



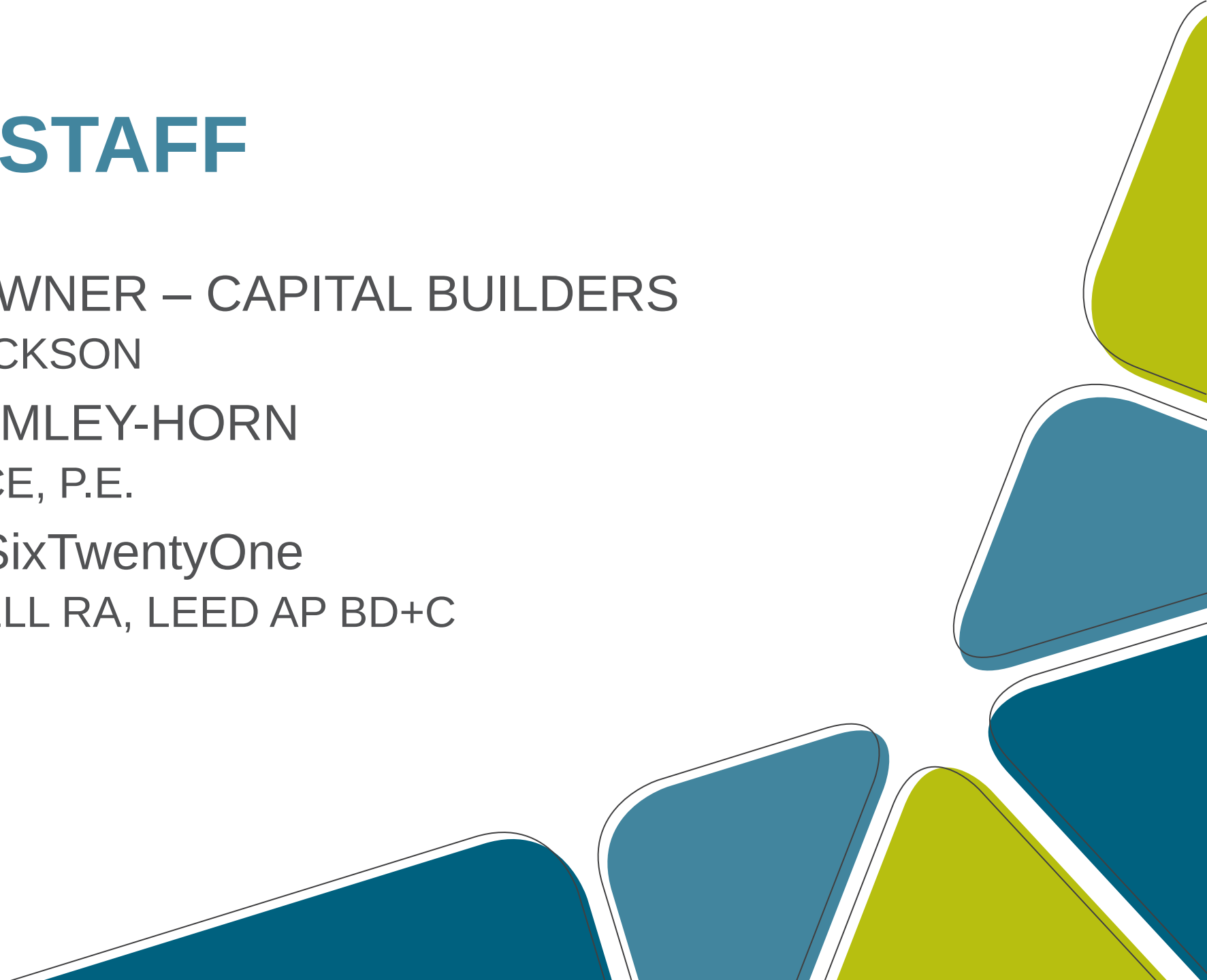
LEE'S SUMMIT FLEX SPACES

CAPITAL BUILDERS

Kimley»Horn

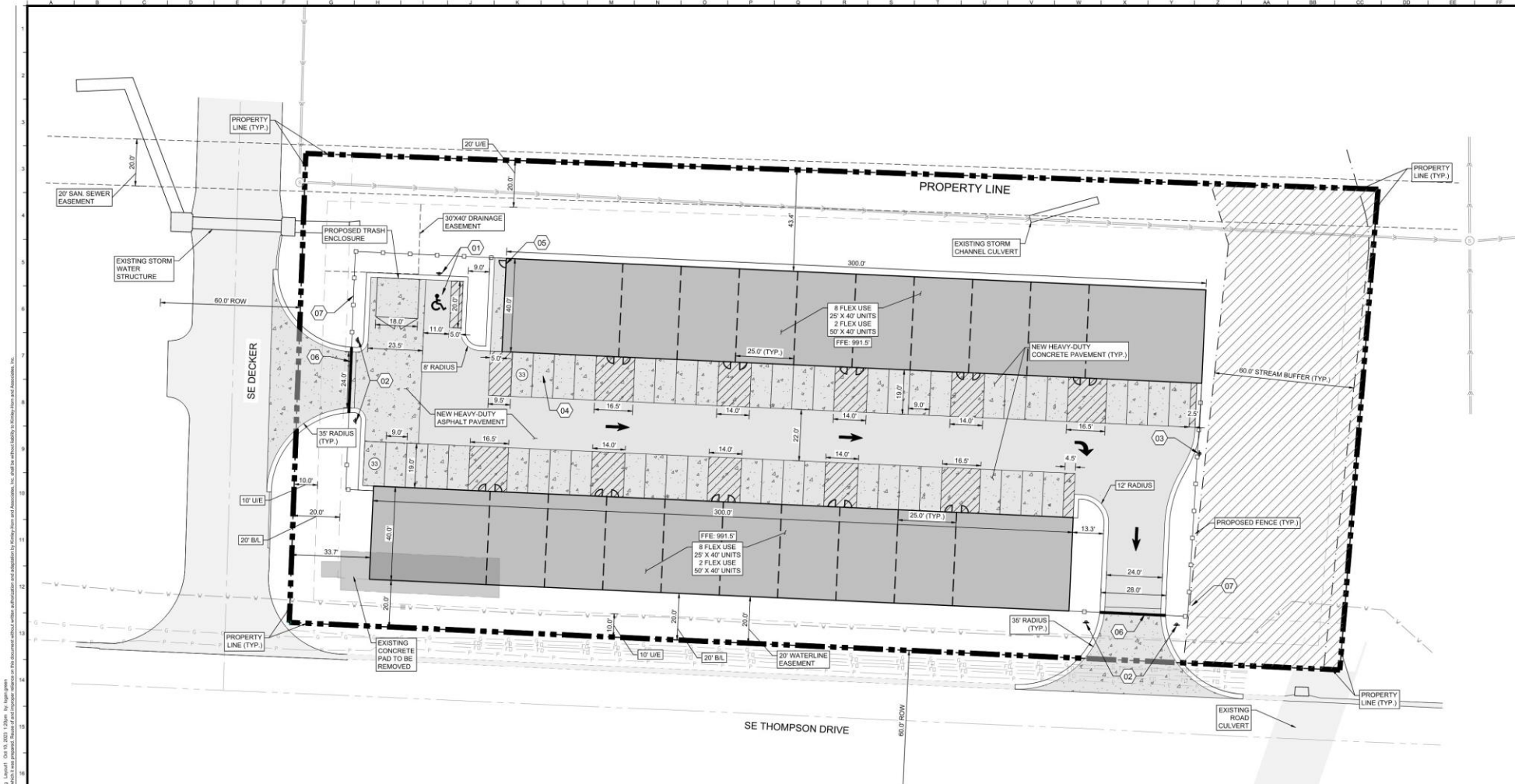
PROJECT STAFF

- DEVELOPER/OWNER – CAPITAL BUILDERS
 - MATT HENDRICKSON
- ENGINEER – KIMLEY-HORN
 - PATRICK JOYCE, P.E.
- ARCHITECT – SixTwentyOne
 - JACOB LITTRELL RA, LEED AP BD+C









SITE PLAN LEGEND

PROPOSED HEAVY DUTY ASPHALT PAVEMENT

PROPOSED HEAVY DUTY CONCRETE PAVEMENT

PROPOSED BUILDING

EXISTING PUBLIC ROADWAY

EXISTING 60' STREAM BUFFER

PROPOSED BUILDING OUTLINE

PROPERTY LINE

EASEMENT LINE

SETBACK LINE

STANDARD CURB & GUTTER

GENERAL NOTES

1. ALL DIMENSIONS REFER TO THE BACK OF CURB UNLESS OTHERWISE NOTED.

2. BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.

3. B/L REFERS TO THE BUILDING SETBACK LINE.

4. U/E REFERS TO THE UTILITY EASEMENT LINE.

5. RADII ADJACENT TO PARKING STALL AND NOT DIMENSIONED ON THIS PLAN SHALL BE 5- FEET, TYPICAL.

6. ALL PROPOSED ON-SITE STRIPING SHALL BE PAINTED UNLESS OTHERWISE NOTED.

7. EXTERIOR LIGHT FIXTURES SHALL COMPLY WITH THE LIGHTING STANDARDS UNDER THE CITY OF LEE'S SUMMIT UNIFIED DEVELOPMENT ORDINANCE ARTICLE 8.

8. TRASH ENCLOSURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF LEE'S SUMMIT UNIFIED DEVELOPMENT ORDINANCE SECTION 8.180.G.

9. AN AUTOMATIC SPRINKLER SYSTEM IS TO BE INSTALLED IN BOTH BUILDINGS IN ACCORDANCE WITH IFC 503.1.1, SECTION 903.3.1.1 AND 903.3.1.3.

PROPOSED USE

WAREHOUSE-OFFICE SPACE (APPROVED IN P1 ZONING PER CITY OF LEE'S SUMMIT UNIFIED DEVELOPMENT ORDINANCE §6.025, TABLE 6-1)

GENERAL USE

1. ALL ISSUES PERTAINING TO LIFE SAFETY AND PROPERTY PROTECTION FROM THE HAZARDS OF FIRE, EXPLOSION, OR DANGEROUS CONDITIONS IN NEW AND EXISTING BUILDINGS, STRUCTURES AND PREMISES, AND TO THE SAFETY OF FIRE FIGHTERS AND EMERGENCY RESPONDERS DURING EMERGENCY OPERATIONS, SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL FIRE CODE.

ZONING

P1 (PLANNED INDUSTRIAL)

CURRENT USE

VACANT

SITE PLAN KEY NOTES

01. INSTALL 1 VAN ACCESSIBLE ADA PARKING STALL WITH SIGN MOUNTED A MINIMUM OF 5 FEET ABOVE FINISHED GRADE

02. INSTALL "DO NOT ENTER" SIGNS

03. INSTALL "ONE WAY" SIGN

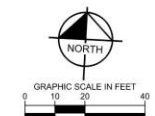
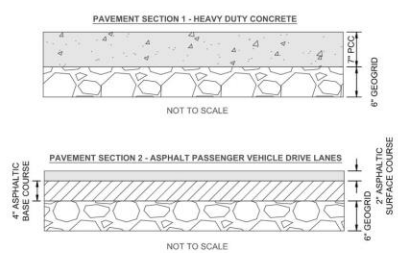
04. INSTALL PARKING STALLS (TYP.)

05. INSTALL SECURED RESTROOM WITH SIDE DOOR

06. INSTALL AMERISTAR MONTAGE PLUS 3-RAIL SYSTEM GATE IF PROJECT BUDGET PERMITS

07. INSTALL AMERISTAR MONTAGE PLUS 3-RAIL SYSTEM FENCE IF PROJECT BUDGET PERMITS

SUMMARY TABLE	
A	Zoning
	Existing Industrial
B	Approximate Total Land Area*
	Existing 2.13 Acres
C	Right-of-way
	Existing 0.00 Acres
D	Approximate Net Land Area*
	Existing 2.13 Acres
E	Impervious Area
	Existing 0.03 Acres 1.4% Area
F	Proposed Uses
	Flex Storage
G	Building Information
	Gross Floor Area (SF) +/- 24,000
H	Off-Street Vehicle Parking
	Stalls Required 25
	Stalls Provided 48
	ADA Stalls Required 1
	ADA Stalls Provided 1



Kimley-Horn

1000 N. HAWKINS BLVD., SUITE 100
KANSAS CITY, MISSOURI 64105
WWW.KIMLEY-HORN.COM

SCALE: AS NOTED

DESIGNED BY: LLS

DRAWN BY: LLS

CHECKED BY: PU

SITE PLAN

LEE'S SUMMIT
FLEX SPACE
60 SE THOMPSON DR
LEE'S SUMMIT, MISSOURI 64081

ORIGINAL ISSUE: XXXXX/2023

KHA PROJECT NO: 28942000

SHEET NUMBER

C003

STREET FRONTAGE

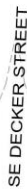
OPEN YARD AREAS

PROVIDED: 14 TREES AND 27 SHRUBS

ORNAMENTAL TREE

EVERGREEN SHRUB

100



PROPOSED BUILDING

PROPOSED BUILDING

SE THOMPSON DRIVE

Existing Vegetation to Remain Undisturbed



landworks
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102 S. Cherry Street
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www.landworksstudio.com

FLEX SPACE
LEE'S SUMMIT, MISSOURI

60 SOUTHEAST THOMPSON DRIVE
LEE'S SUMMIT, MO 64082

current submittal

Special Use Permit Plan

issued: 08/15/2023

revisions

Date	No.
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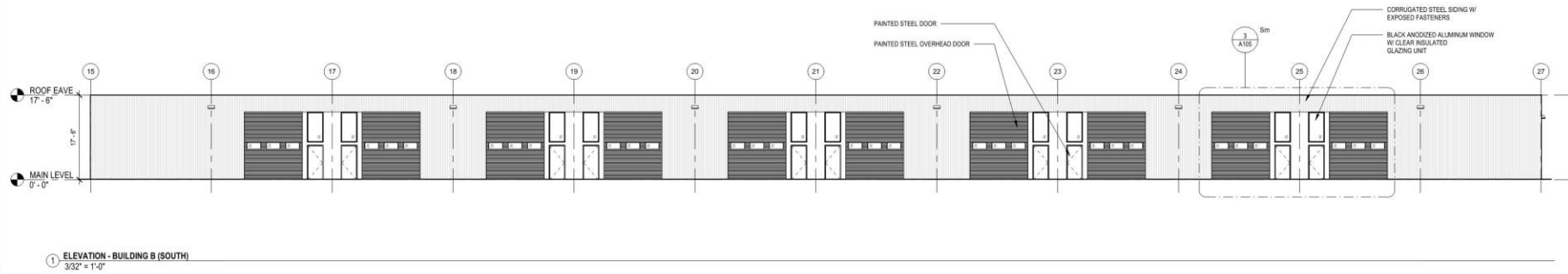
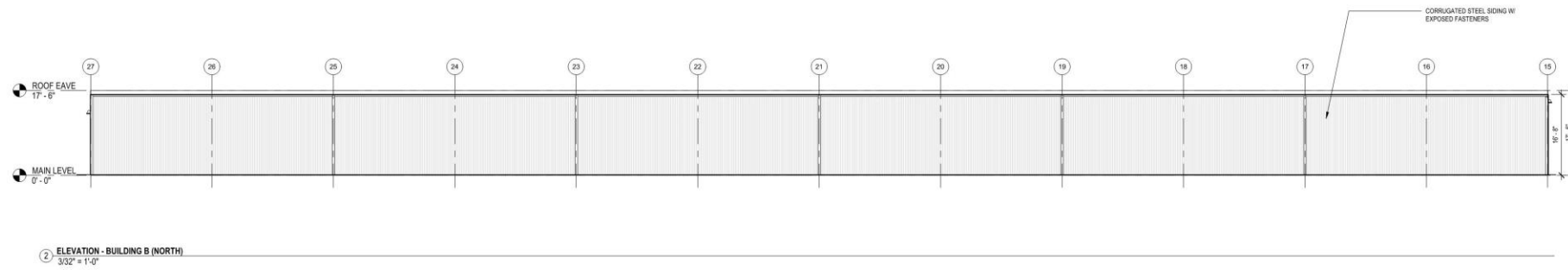
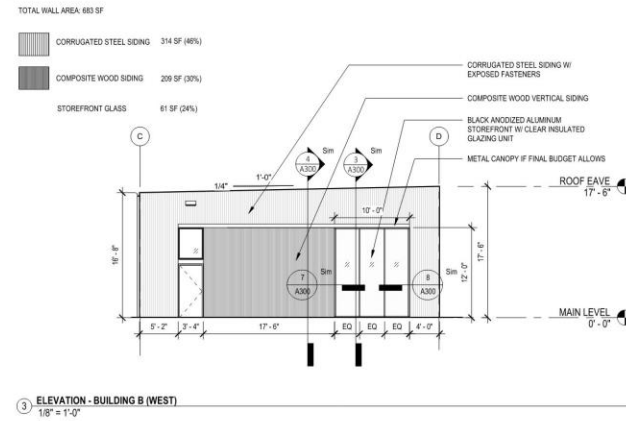
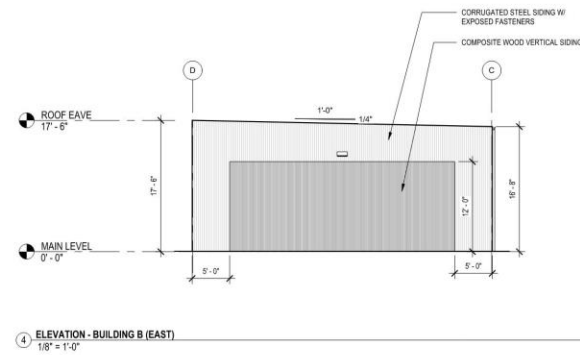
LANDSCAPE PLAN

L001



Revision no.

A201



Sheet	Revision no.
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A202



FLEX SPACES

60 SE Thompson Dr.
Lee's Summit, MO 64082

PROJECT NUMBER: 23092

CLIENT: Matt Hendrickson

SCHEMATIC DESIGN

08.28.2023

[illegible]

ARCHITECT:

six
twenty
one

SixTwentyOne
1725 SUMMIT ST.
KANSAS CITY, MO 64108
T: 816.694.1269
www.sixtwentyone.com

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RENDERINGS

Sheet	Revision no.
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A203



1685 SE Decker



Exit Street View

Sat Sep 2 2023



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[Report a problem](#)

Google Earth

Imagery Date: 6/2021 38°53'22.51" N 94°22'14.65" W elev 1114 ft eye alt 1001 ft



THANKS

