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CIVIL SUBMITTAL

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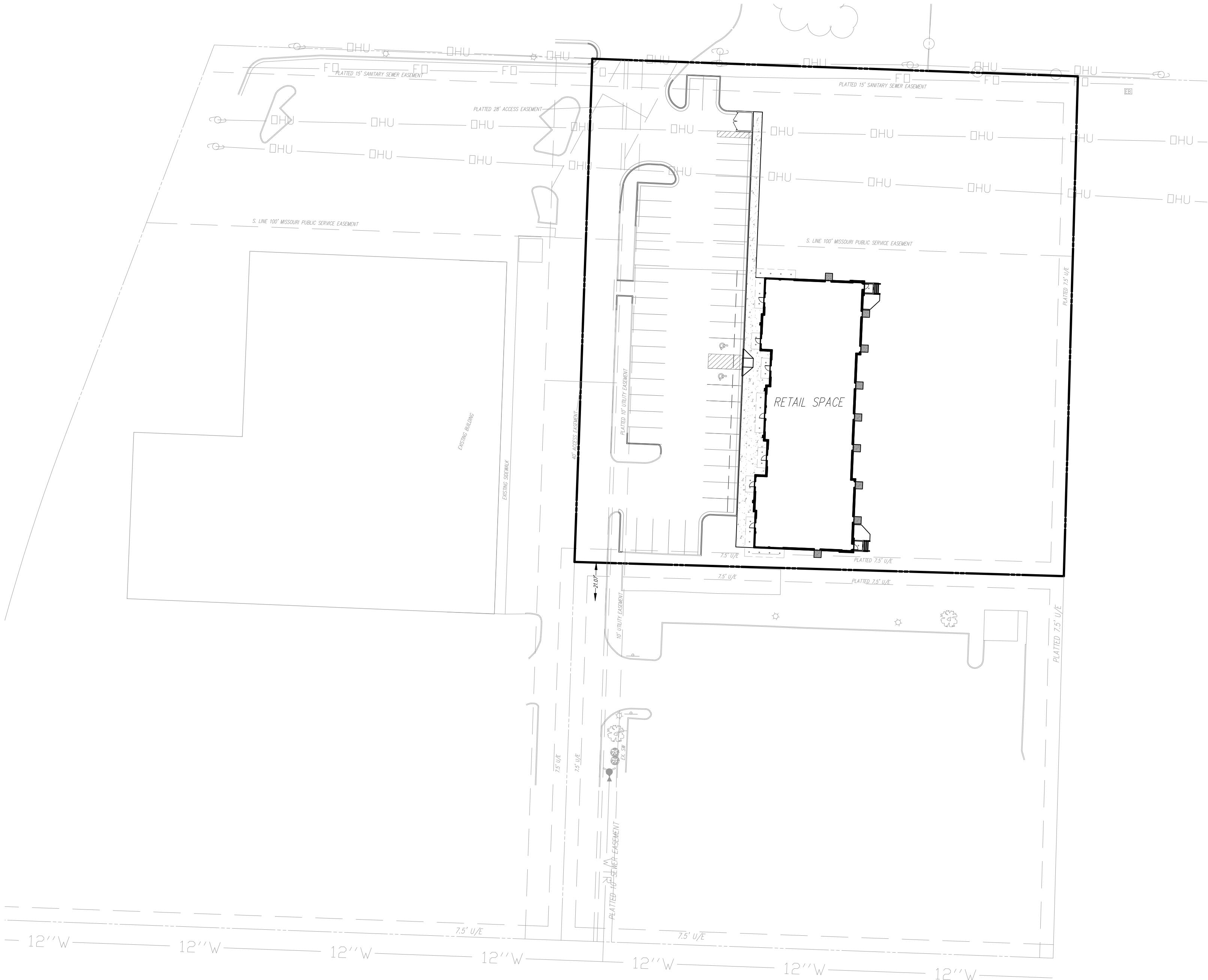
APPENDIX

- MINOR PLAT  
PHOTOMETRIC AND LIGHTING PLAN

FINAL DEVELOPMENT PLAN  
**DOUGLAS CORNER - LOT 1C**  
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI  
RETAIL BUILDING



Know what's below.  
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UTILITIES

City of Lee's Summit  
Department of Public Works  
220 SE Green  
Lee's Summit, Mo.  
816-969-1800

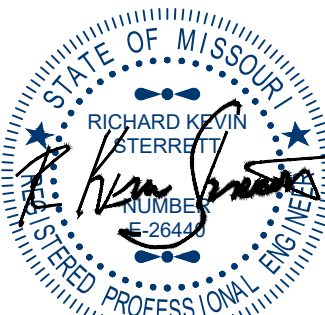
EVERGY  
130 SE Hamblen Road  
Lee's Summit, Mo.  
816-347-4320

Spire  
(Administrative Offices)  
3025 SE Clover Road  
Lee's Summit, MO  
816-537-4681

AT&T  
Craig Perkins  
500 E. 8th Street  
Kansas City, MO 64106  
816-275-2721

Comcast  
New Construction Hotline  
866-771-2281

Missouri One Call  
1-800-344-7483



September 27, 2023

**Consult Inc**  
engineers planners  
1533 Locust Street, Kansas City, Missouri 64108  
CORPORATE LICENSE No. E201000573 (MO.) / E-1736 (KS.) / LS 2019005467

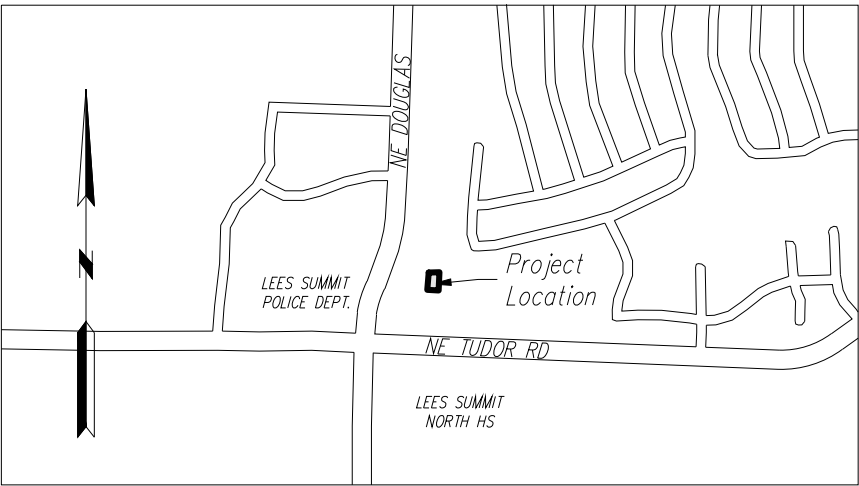
GENERAL NOTES:

1. The underground utilities shown herein have been plotted from available information and do not necessarily reflect the actual existence, or nonexistence, size, type, number, or locations of these or other utilities. The contractor shall be responsible for verifying the actual locations of all underground utilities, shown or not shown, and said utilities shall be located in the field prior to any grading, excavation, or construction of improvements. These provisions shall in now way absolve any party from complying with the "UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT", Chapter 319, RSMO.
2. Gas, Water, and other Utilities shall not conflict with the depth or horizontal location of existing and proposed sanitary and storm sewers, including building laterals.
3. Prior to submittal of construction bids, the Contractor shall be required to visit the site to verify existing conditions and proposed improvements.
4. The Contractor shall be responsible for notification and coordination with all Utility Companies.
5. The Contractor shall notify the Engineer immediately of any discrepancies in the plans.
6. All sidewalk shall be ADA compliant.
7. There are no oil or gas wells located on the subject property as of May 9, 2023 as shown by the Missouri Geological Survey GEOSTRAT (Geosciences Technical Resource Assessment Tool).

ENGINEER  
**Hg CONSULT, INC.**  
15 Locust St.  
Kansas City, MO 64108  
(816) 703-7098  
Contact - Kevin Sterrett

PLANS PREPARED FOR:  
**Capital Builders, LLC**  
1507 NE Wall St.  
Lee's Summit, MO 64086  
(816) 609-8633  
Contact - Matt Hendrickson

VICINITY MAP



Contractor to verify all invert elevations for existing sewer connections. Contact civil engineer if conflict arises.

PROJECT BENCHMARK:

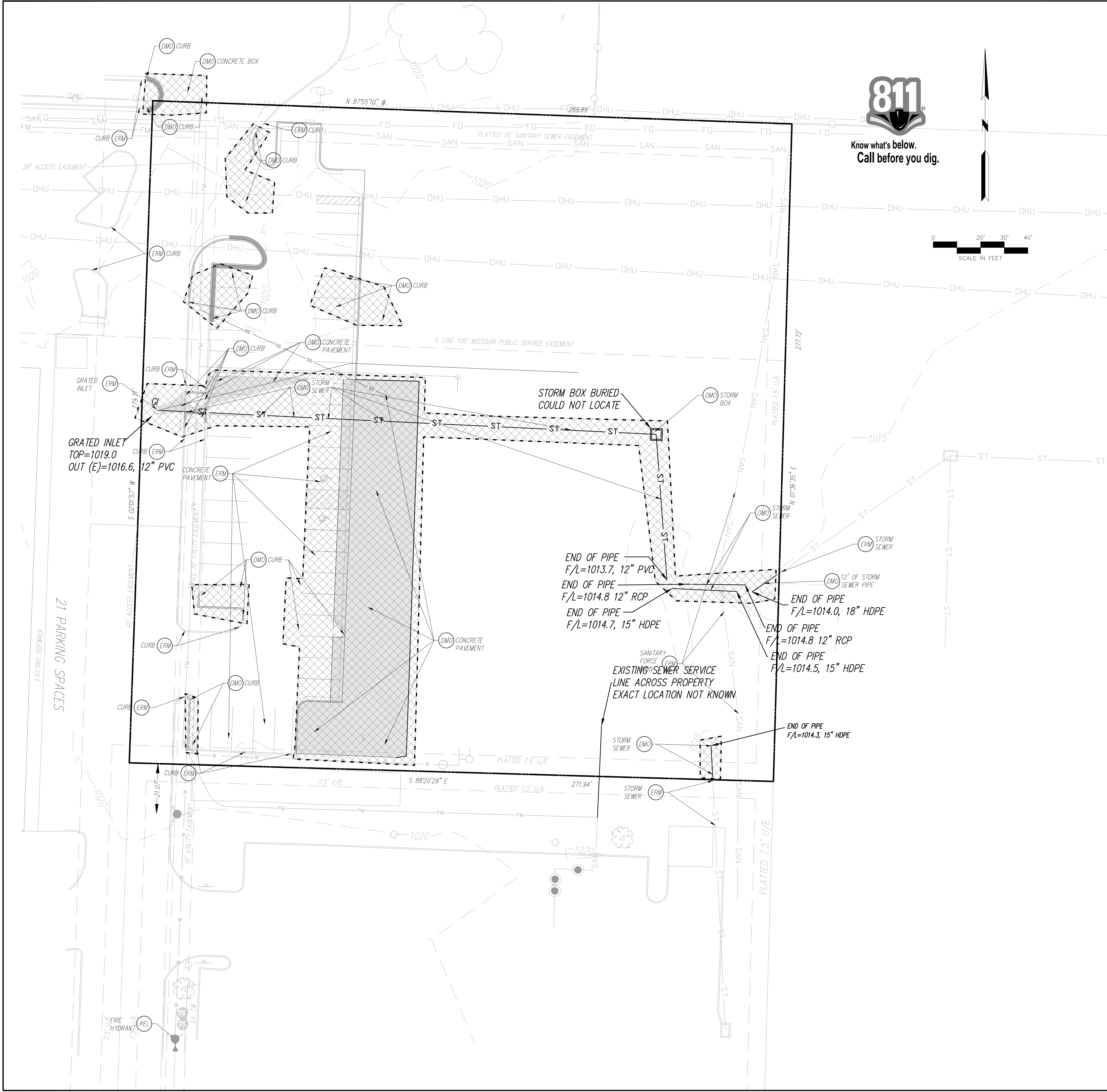
- #1 Iron bar at north west corner of property.  
N 1006947.3760  
E 2823375.6230  
TOP ELEV. 1021.42
- #2 Top of curb at corner of parking lot in Schlotsky's parking.  
N: 1006628.2690  
E: 2823585.0320  
TOP ELEV. 1019.80

COVER SHEET

DOUGLAS CORNER BUILDING  
LEE'S SUMMIT - JACKSON COUNTY - MISSOURI

X-REF NO. 18109B
DRAWING NO. 23-033P00P
DATE MAY 10, 2023
JOB NO. 23-033
1 OF 13





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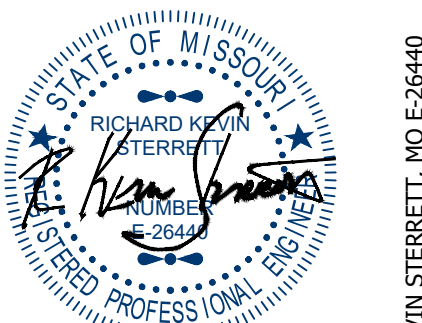


DEMOLITION PROPOSED FEATURES	
	LIMITS OF DEMOLITION
	ALL TREES, STRUCTURES, AND UTILITIES WITHIN THE HATCHED AREAS ARE TO BE REMOVED. ANYTHING LOCATED OUTSIDE THE HATCHED AREAS ARE TO REMAIN UNLESS OTHERWISE SPECIFIED.
	FULL DEPTH PAVEMENT REMOVAL

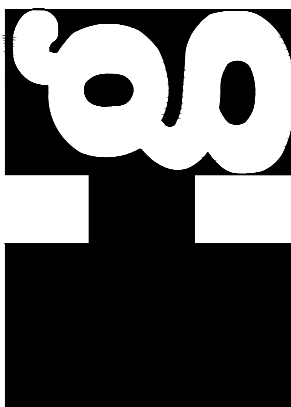
DEMO NOTES	
	Items labeled by the following symbols are shown on this sheet.
	EXISTING TO BE REMOVED
	EXISTING TO REMAIN
	EXISTING TO BE RELOCATED

DEMOLITION GENERAL NOTES:	
CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF THE EXISTING STRUCTURES, RELATED UTILITIES, PAVING, UNDERGROUND STORAGE TANKS AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED. SEE THE OWNER'S/DEVELOPER'S SITE WORK SPECIFICATIONS. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.	
THE GENERAL CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.	
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS, WHETHER SHOWN OR NOT SHOWN AT NO ADDITIONAL COST TO THE OWNER.	
CONTRACTOR SHALL INSPECT AND TEST AS NECESSARY FOR ASBESTOS MATERIALS. REMOVAL OF ASBESTOS MATERIAL WILL MEET ALL LOCAL GOVERNING REQUIREMENTS.	

DATE	REVISION	BY	CHK/APP
9/13/23	1	MSW	RKS
9/25/23	2	MSW	RKS



September 27, 2023



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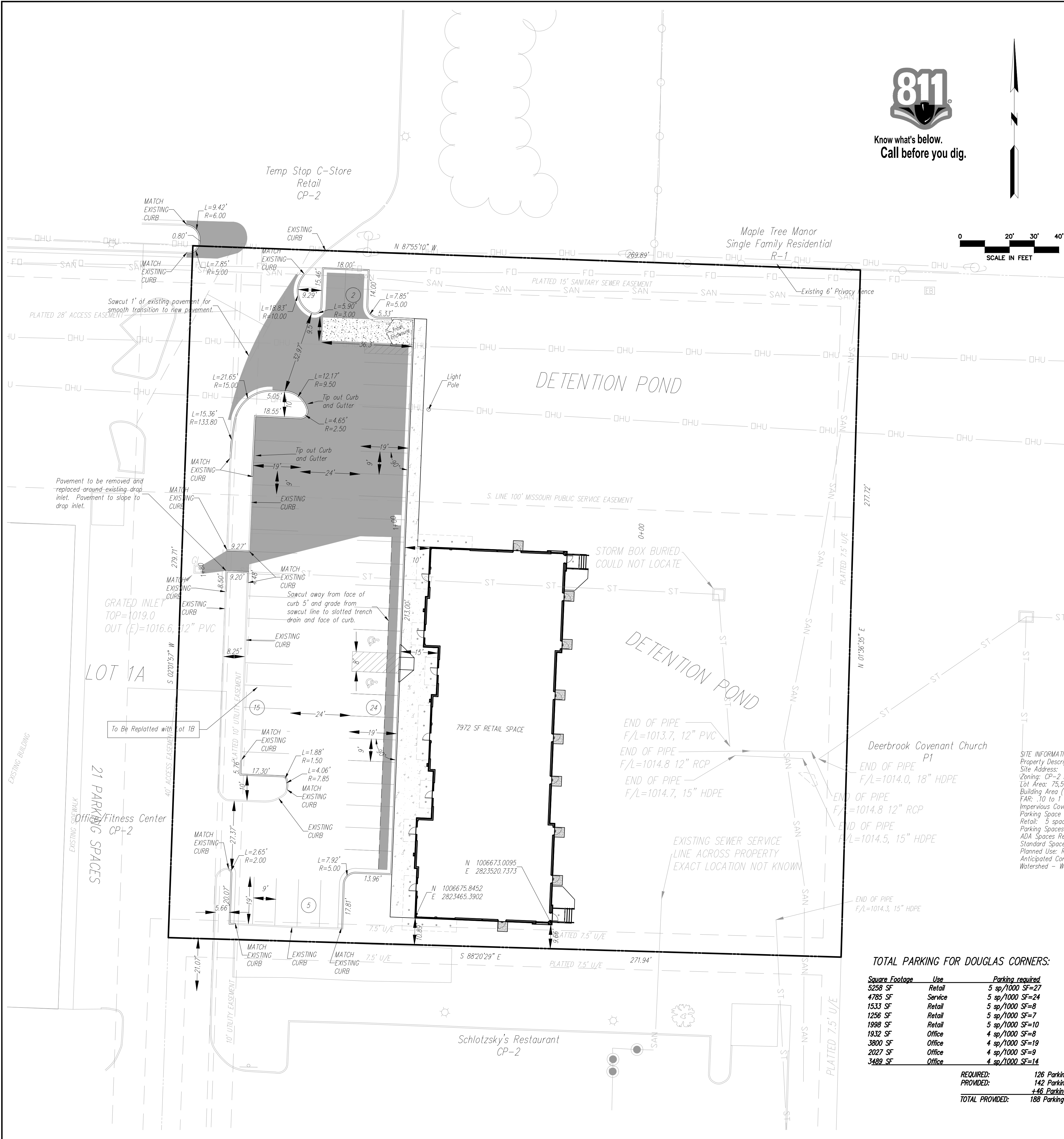
1533 Locust Street, Kansas City, Missouri 64108  
CORPORATE LICENSE NO. E201000572 (MO.) / LS 2019005467

DEMOLITION PLAN

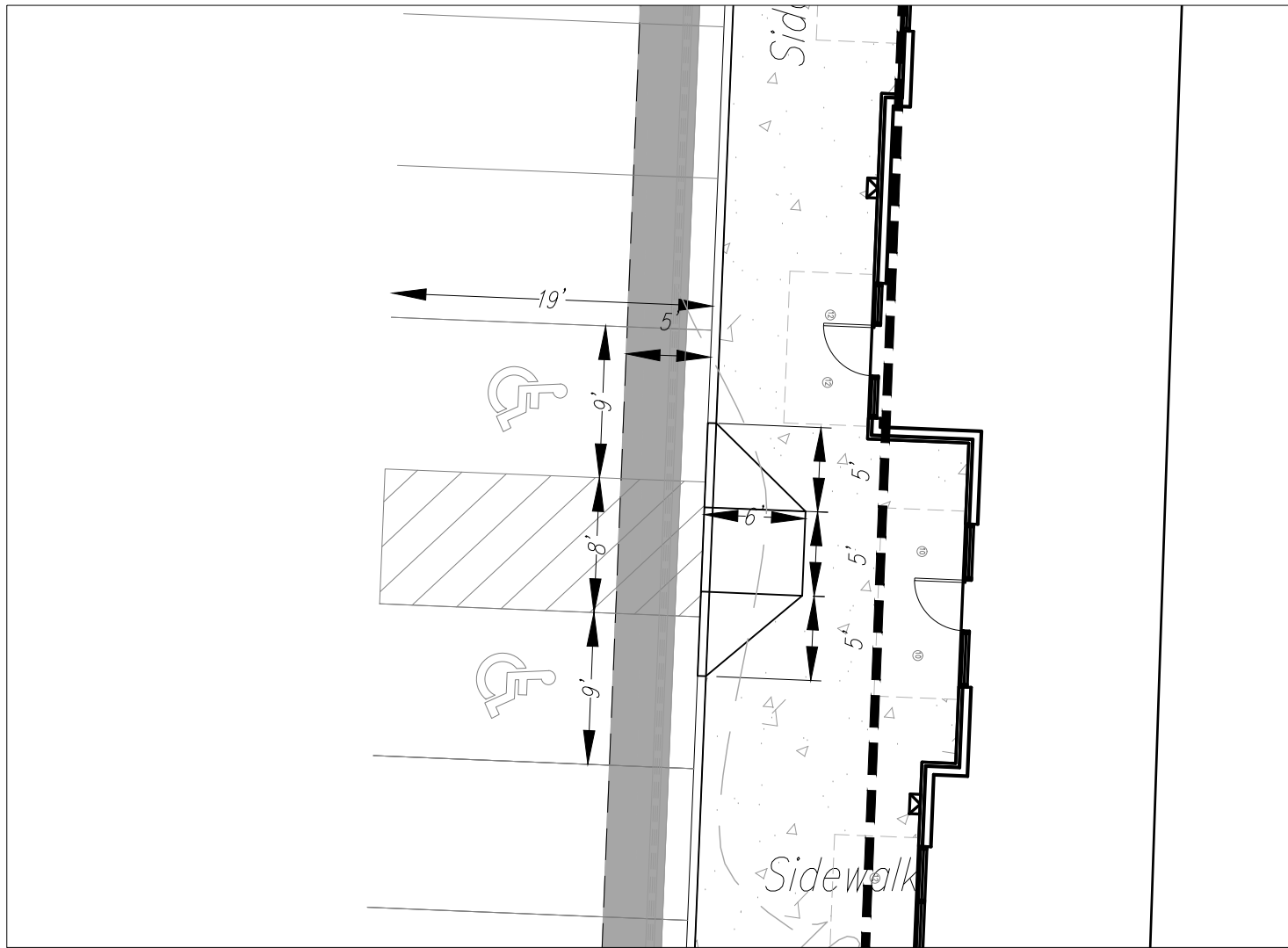
DOUGLAS CORNER BUILDING  
LEE'S SUMMIT - JACKSON COUNTY - MISSOURI

X-REF NO.	151098
DRAWING NO.	23-033PDP
DATE	MAY 10, 2023
JOB NO.	23-033
SHEET OF	13





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DETAIL OF ADA PARKING STALLS  
1"=10'

- NOTES:
1. All construction and materials to conform to the city and the specifications and details per the Kansas City Metro Chapter APWA. It is advisable that the contractor become familiar with this document in the event that there is a discrepancy between this and the approved plan and the Manual. Advise the design engineer of any discrepancy prior to bidding or working on this project.
  2. Silt fence shall be installed at the perimeter of all disturbed areas within the site during construction for erosion control.
  3. Contractor shall contact the Development Engineering Inspections 48 hours prior to commencement of work at (816) 969-1800.
  4. Contractor to locate and relocate any existing utilities that may conflict with construction as necessary.
  5. All curb shall be CC-1 or integral with the sidewalk.
  6. A handicap parking sign, 5' above finish grade, shall be placed at the head of the designated parking space.
  7. There shall be two way traffic movement.
  8. Perimeter parking area dimensions shown are to the back of curb.
  9. All mechanical equipment shall be screened to 100% opacity and match building material (See Architectural Submittal). (Height of screen shall equal the height of mechanical equipment that is being screened).
  10. See architectural submittal for all building dimensions, monument signs and lighting details.
  11. This lot is not in a flood plane per FIRM Panel 417 of 625, Map No. 2309500417G, dated Jan. 20, 2017.
  12. ADA accessible ramp to have detectable surface on public handicap ramps only. Detectable surfaces do not need to be installed on the ramps at commercial drives. See KCAPWA web site for details.
  13. Building coordinates are pointed to or measured at the outside face of building foundation corners. Contractor shall confirm building dimensions with structural drawings.
  14. Other coordinates are pointed to or measured from the back of curb, back of wall or property corner location.
  15. Contractor shall coordinate building entrances, egresses, walkways and door locations with architectural and structural drawings.
  16. See architectural/structural/mechanical/electrical drawings for miscellaneous site equipment and pads.
  17. Curb to be installed at proposed drives by saw cutting a clean straight edge of existing asphalt and forming curb to edge of gutter existing elevation.

SITE INFORMATION:  
Property Description: Lot 1C, Douglas Corners  
Site Address: 150 NE Tudor Road  
Zoning: CP-2 Planned Community Commercial  
Lot Area: 75,508 SF (1.73 AC)  
Building Area (GFA): 7,792 SF Retail  
FAR: .10 to 1  
Impervious Coverage: 34,710 SF, 46%  
Parking Space Required:  
Retail: 5 space/1000 SF = 39 spaces  
Parking Spaces Provided: 44 spaces  
ADA Spaces Required/Provided: 2/2  
Standard Space Size: 9'x19',  
Planned Use: Retail Shops  
Anticipated Completion: Spring / Summer 2024  
Watershed - West Tributary to Prairie Lee Lake (East Fork of Little Blue River)

TOTAL PARKING FOR DOUGLAS CORNERS:

Square Footage	Use	Parking required
3258 SF	Retail	5 sp/1000 SF=27
4785 SF	Service	5 sp/1000 SF=24
1533 SF	Retail	5 sp/1000 SF=8
1256 SF	Retail	5 sp/1000 SF=7
1998 SF	Office	5 sp/1000 SF=10
1932 SF	Office	4 sp/1000 SF=8
3800 SF	Office	4 sp/1000 SF=19
2027 SF	Office	4 sp/1000 SF=9
3489 SF	Office	4 sp/1000 SF=14

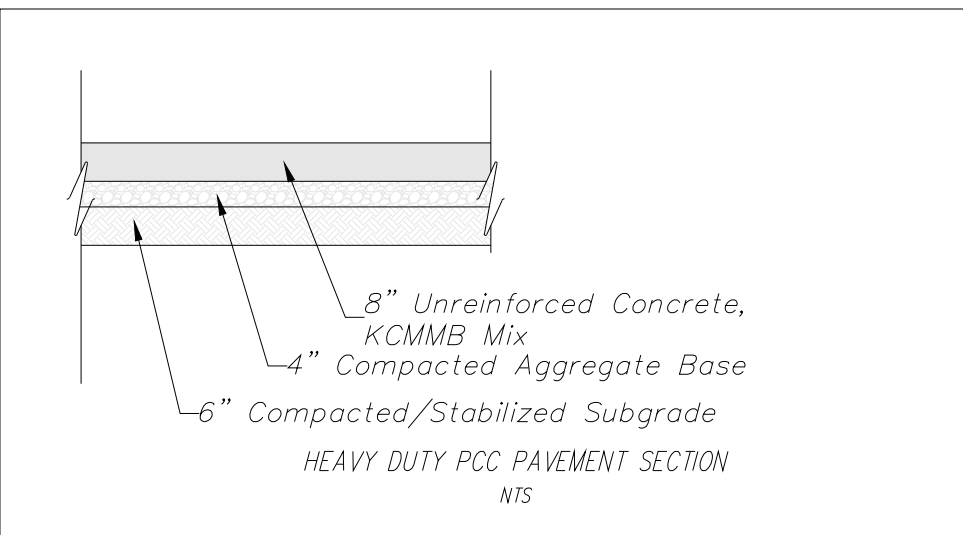
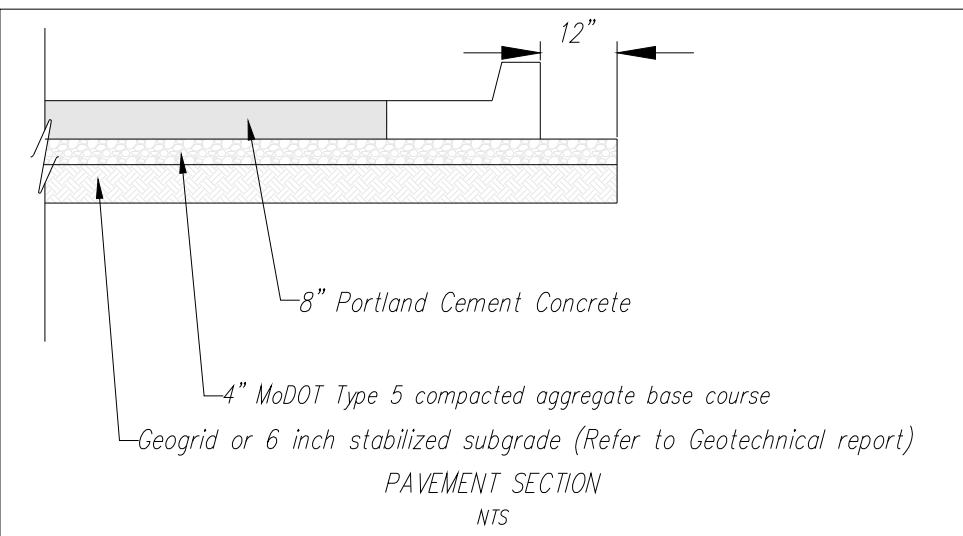
REQUIRED: 126 Parking spaces  
PROVIDED: 142 Parking spaces  
TOTAL PROVIDED: 168 Parking spaces

Heavy Duty PCC Pavement

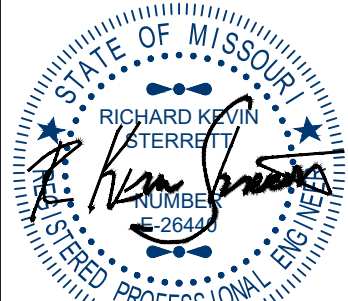
6" Concrete Pavement over 4" McDOT Type 5 compacted aggregate base course

Sidewalk

All level landings to have a minimum of 18" of level pavement beyond the pull/latch side of all ADA doorways designated with "LEVEL LANDING"



NO.	BY	DATE	REVISION
1	NGW	9/12/23	Revised per City Comment letter dated 9/07/2023
2	NGW	9/25/23	Revised per City Comment letter dated 9/25/2023



September 27, 2023

**Consult Inc**  
engineers planners  
1533 Locust Street, Kansas City, Missouri 64108  
CORPORATE LICENSE NO. E20100573 (MO.) / E-1736 (KS.) / LS 2019005467

SITE DIMENSION PLAN

DOUGLAS CORNER BUILDING  
LEE'S SUMMIT - JACKSON COUNTY - MISSOURI

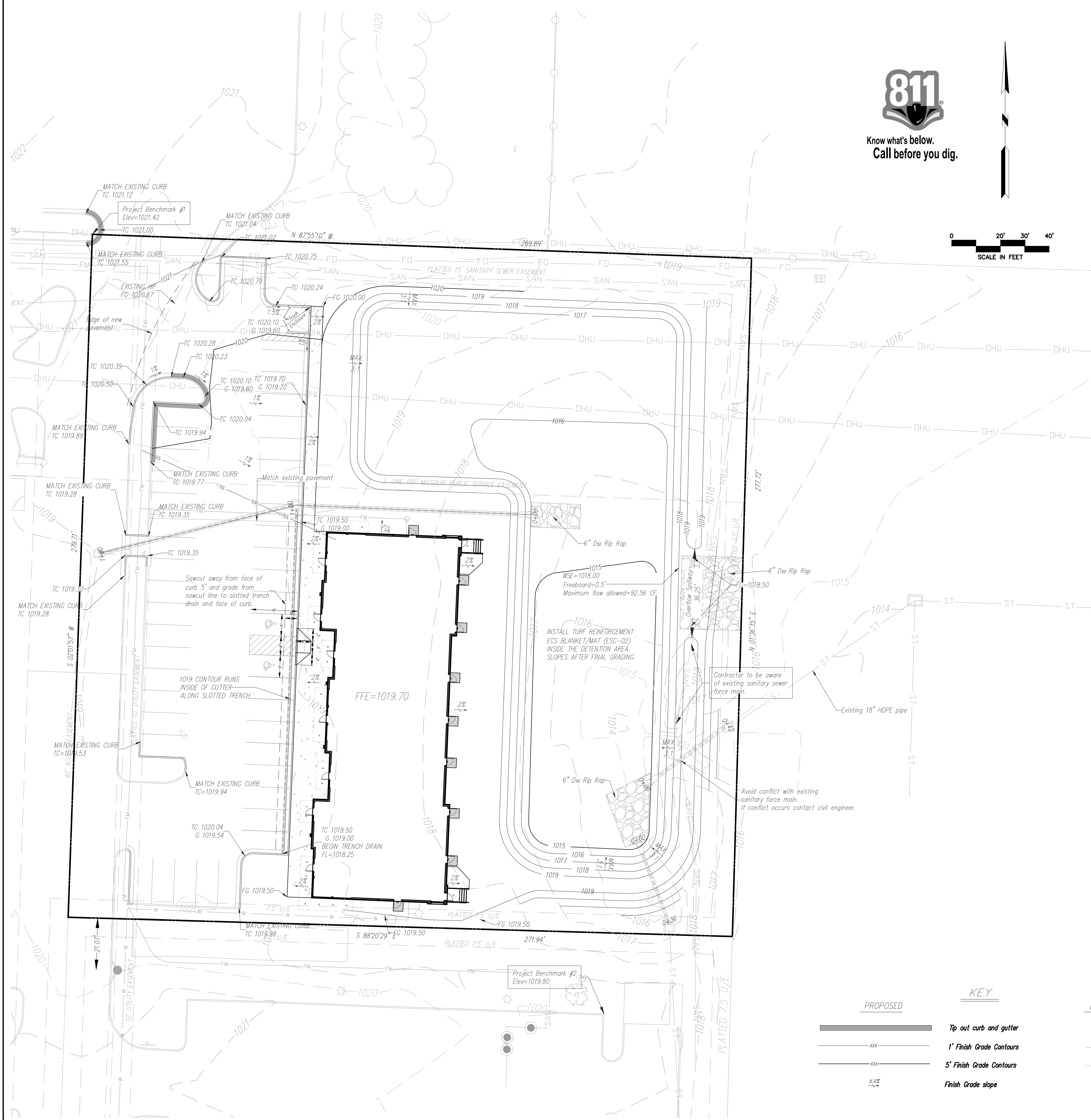
X-REF NO.  
181098

DRAWING NO.  
23-033PDP

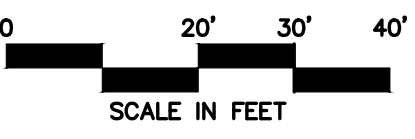
DATE  
MAY 10, 2023

JOB NO.  
23-033



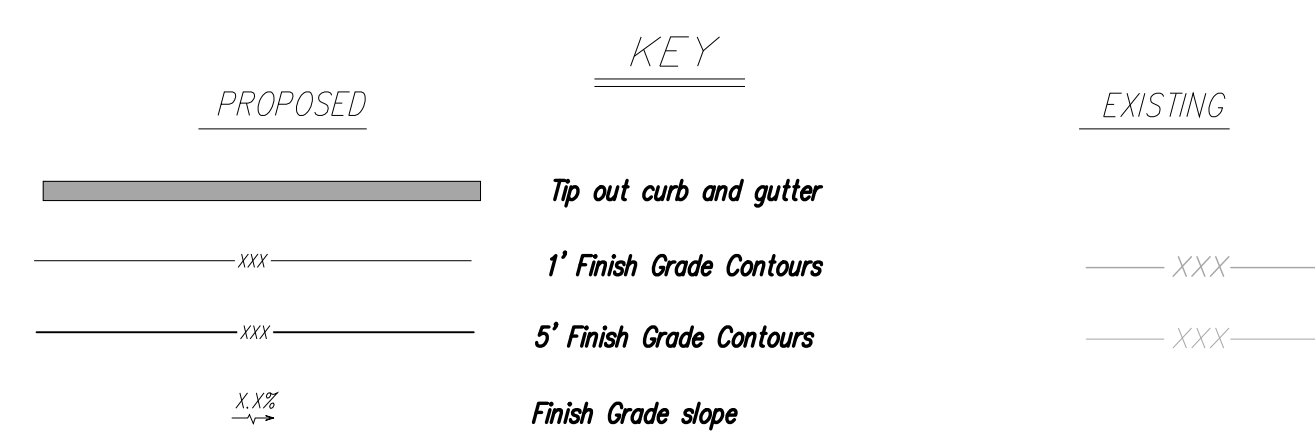
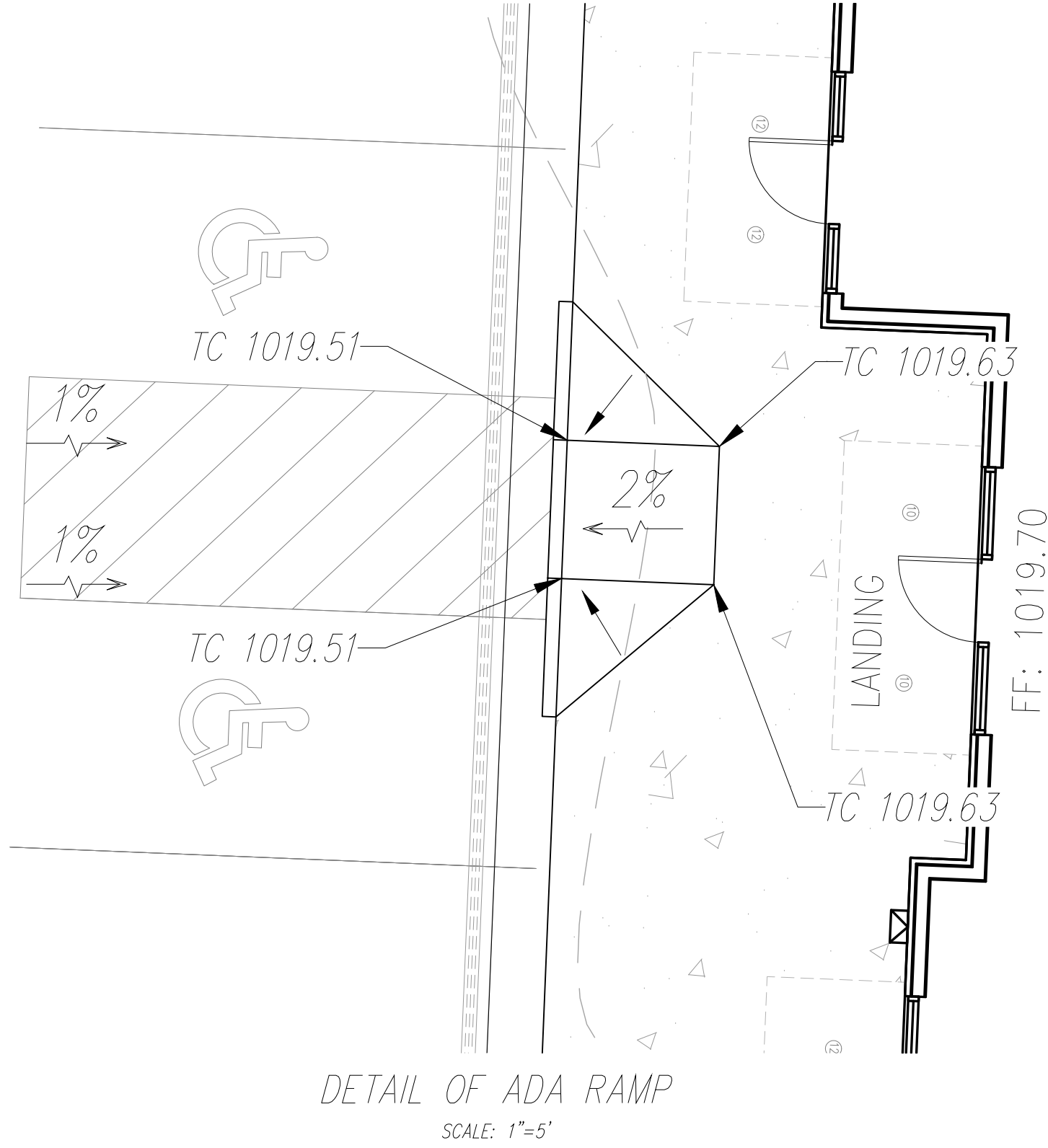


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**GRADING AND DRAINAGE NOTES:**

Information pertaining to under ground utilities was obtained from available records and field locations when possible, but the contractor must determine the exact location and elevation of all existing utilities by digging test pits by hand at all utility crossings in advance of machine trenching. If clearances are less than specified on these plans or 24", which ever is less, contact the Engineer and the Owner/ Developer prior to proceeding with construction. All structures located within Right Of Way or otherwise noted on these plans shall be constructed per City standards. If structure(s) are not prototypical or construction cannot be achieved contractor shall submit shop drawing to HG Consult, for review and approval. Contractor shall be responsible for relocation or removal of existing underground utilities shown or not shown at no additional cost to the owner. Contractor shall coordinate with utility companies on adjusting existing utility line as required by cut and fill at no additional cost to the owner. Contractor shall be held responsible for the design and implementation of sheeting, shoring, bracing and special excavation measures required to meet OSHA, Federal, State and Local regulations pursuant to the installation of the work indicated on these drawings. All disturbed areas and slopes shall be graded smooth and (4") of top soil applied. The area shall be seeded and watered until hardy grass growth has been established. Storm drain pipe bedding shall be installed per APWA, section 2100. See Erosion Control Plan for rip rap pad sizes. Elevations are called out for top of curb, top of pavement, or top of structure, unless otherwise noted. Parking lot grading shall be performed to route storm water as directed to the storm collection system. All curb shall be CG-1. Clear and grub areas to be filled, remove trees, vegetation, roots, or other debris, and other materials that would affect the stability of the fill. Ensure that fill material is free of brush, rubbish, rocks, logs, stumps, building debris, and other materials inappropriate for constructing stable fills. Do not incorporate frozen material or soft, muck, or highly compressible materials into fill slopes. Permanently stabilize all graded areas after final grading is completed on each area of the grading plan, apply temporary stabilization measures on all graded areas when work is to be interrupted or delayed (see Erosion Control Plan(s)). Contractor shall match top of proposed drainage structures with proposed grades. If a discrepancy occurs between proposed grades and proposed structure tops, the grading shall govern. If the discrepancy is more than 4 inches the contractor shall contact the Engineer of Record. All utilities, including storm sewer, shown within public easements or right of way shall be constructed to the governing agency's specifications. All other utilities shall be constructed to the client's or the governing agency's specifications, whichever is more stringent, if there is a question as to which specifications should apply the contractor shall contact the Engineer of Record. All existing structures, unless otherwise noted to remain, all fencing, trees, & etc., within construction area shall be removed & disposed of off site, unless otherwise noted. any burning on site shall be subject to local ordinances and/or the owner/developers standards and specifications. All drainage structures shall be pre-cast. All drainage structures and storm sewer pipes shall meet heavy duty traffic (H20) loading and be installed accordingly. Contractor shall notify all utility companies having underground utilities on site or in right-of-way prior to excavation. Contractor shall contact utility locating company (STATE ONE CALL system) and locate all utilities prior to grading start. Site grading shall not proceed until Erosion Control measures have been installed. After permits have been obtained and Erosion Control measures installed, the contractor shall grade building pad & aprons to 0" to - 1/2" of subgrade.



Contractor to verify all invert elevations for existing sewer connections. Contact civil engineer if conflict arises.

**PROJECT BENCHMARK:**

#1 Iron bar at north west corner of property.  
N 1006947.3760  
E 2823375.6230  
TOP ELEV. 1021.42

#2 Top of curb at corner of parking lot in Schlotsky's parking.  
N: 1006628.2690  
E: 2823585.0320  
TOP ELEV. 1019.80

TC Top of Curb  
FG Finish Grade  
G Gutter Elevation  
HP High Point  
LP Low Point  
FFE Finish Floor Elevation

**gconsult**  
Inc  
engineers  
planners

1533 Locust Street, Kansas City, Missouri 64108  
CORPORATE LICENSE NO. E201000572 (MO.) / E-1736 (KS.) / LS 2019005467

**DOUGLAS CORNER BUILDING**  
LEE'S SUMMIT - JACKSON COUNTY - MISSOURI

**GRADING PLAN**

NO.	BY	CHK/APP
1	MGW	RKS
2	MGW	RKS

DATE	REVISION
9/12/23	Revised per City Comment letter dated 9/07/2023
9/25/23	Revised per City Comment letter dated 9/25/2023

September 27, 2023

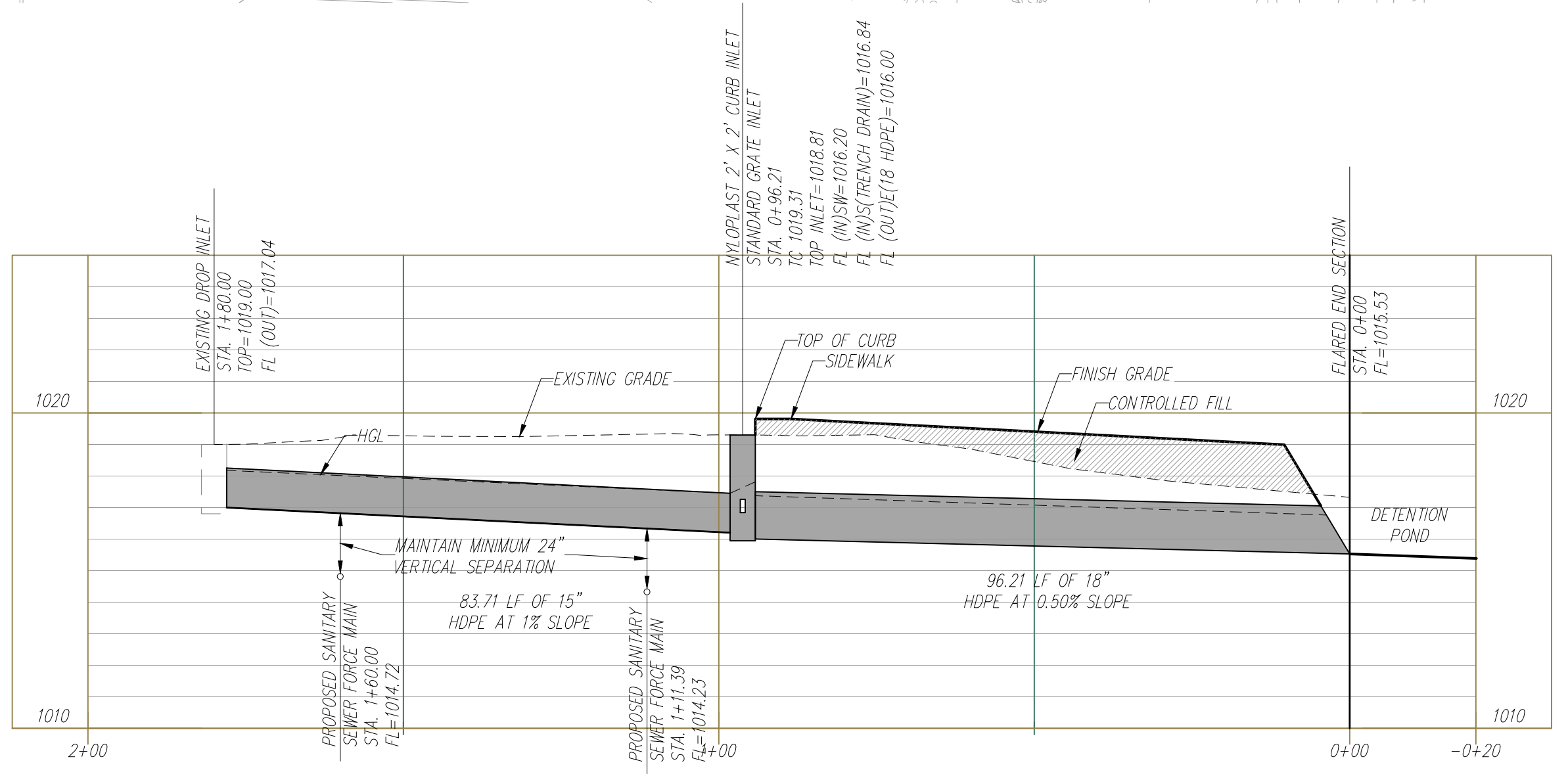
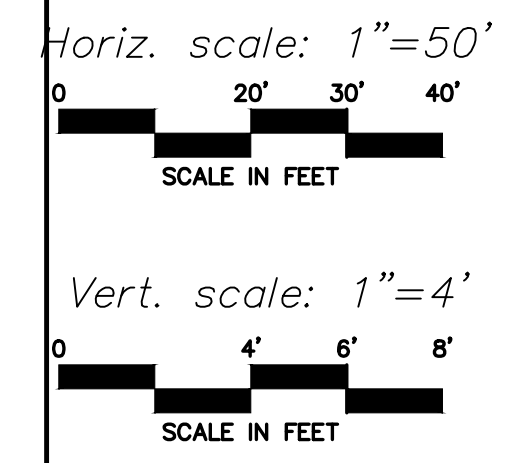
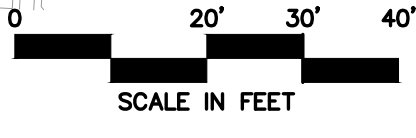
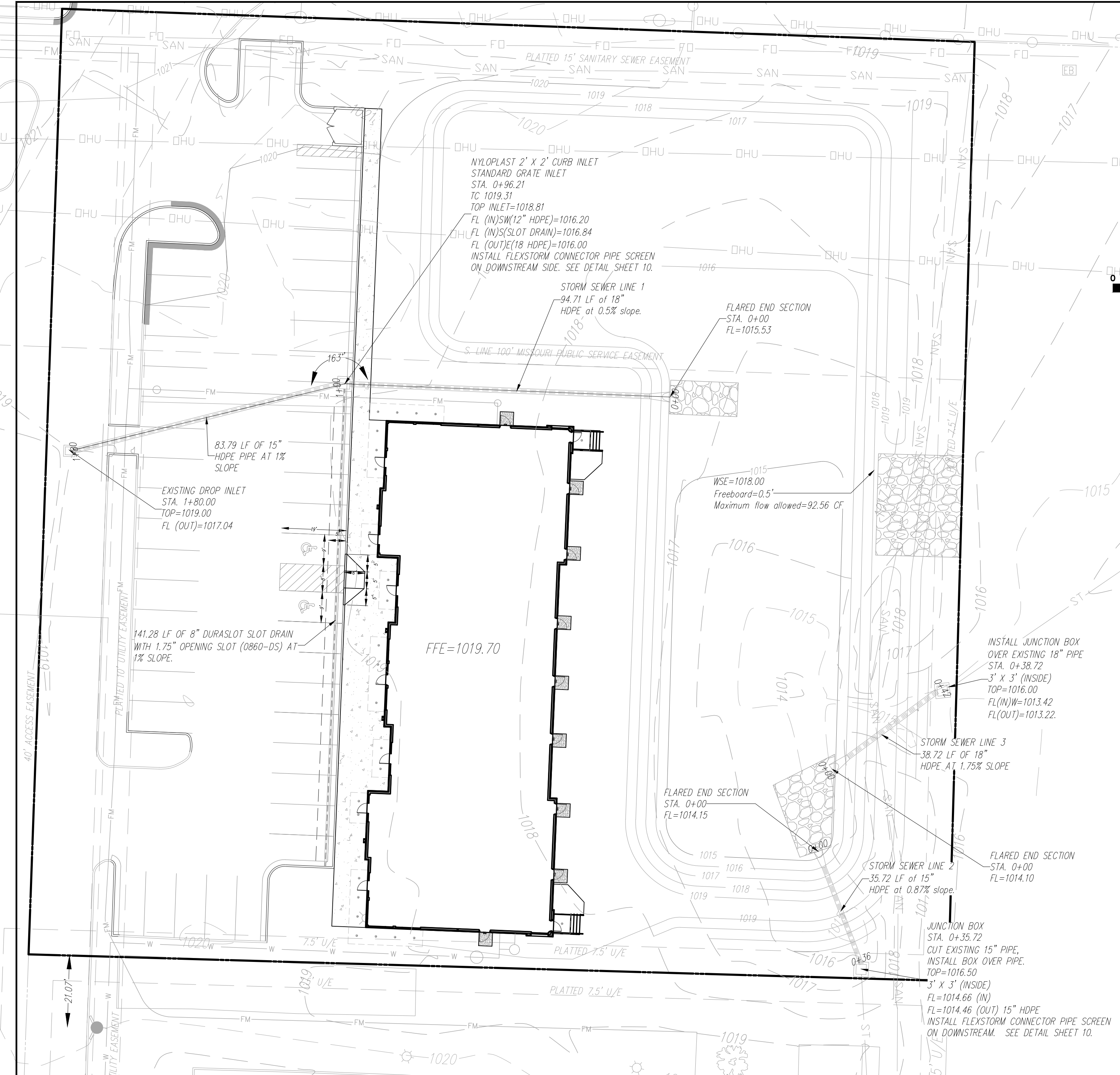
STATE OF MISSOURI  
REGISTERED PROFESSIONAL ENGINEER  
RICHARD KEVIN STERRET  
No. 26386  
EXPIRATION DATE 12/31/2026

4A

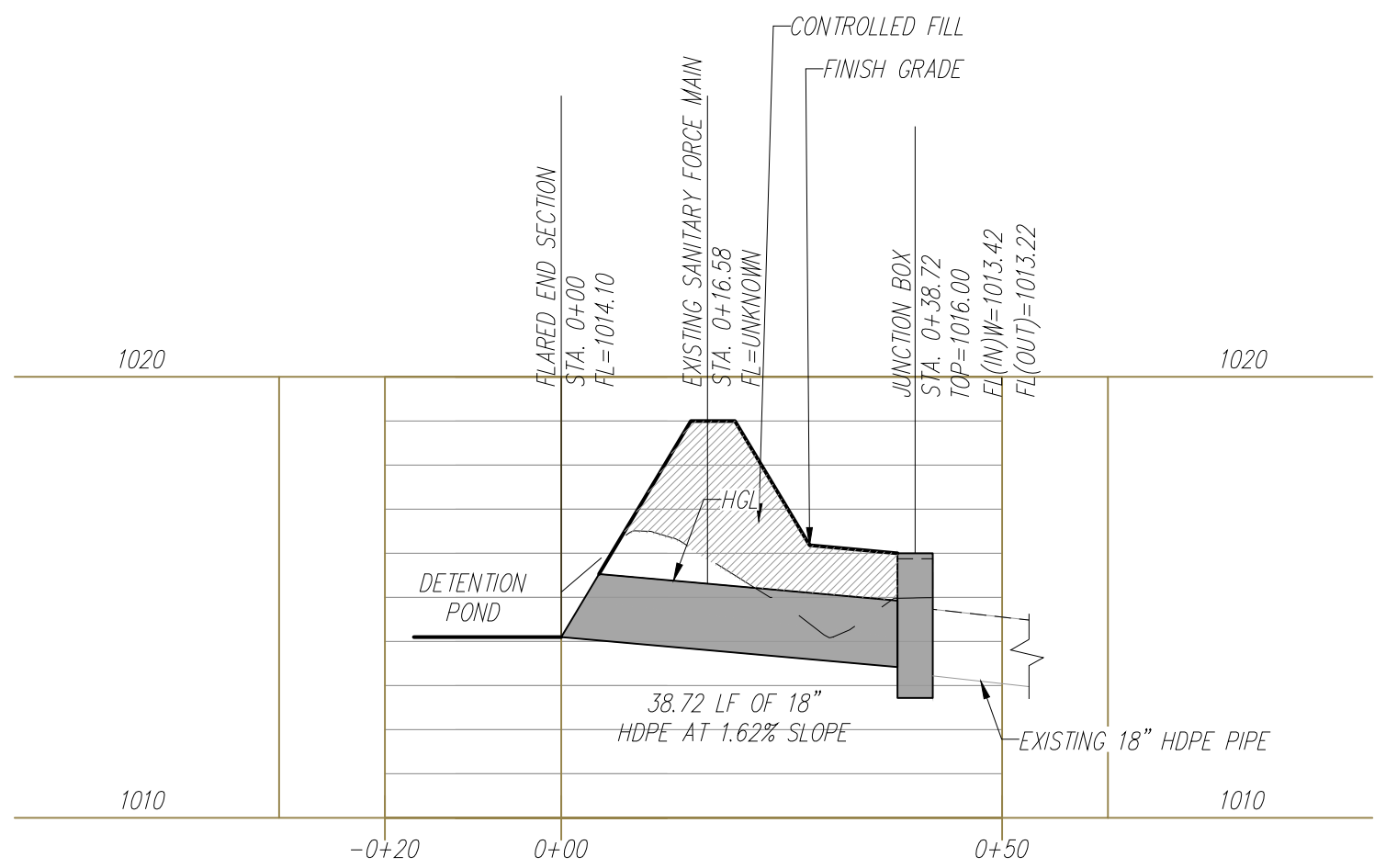
SHEET OF 13

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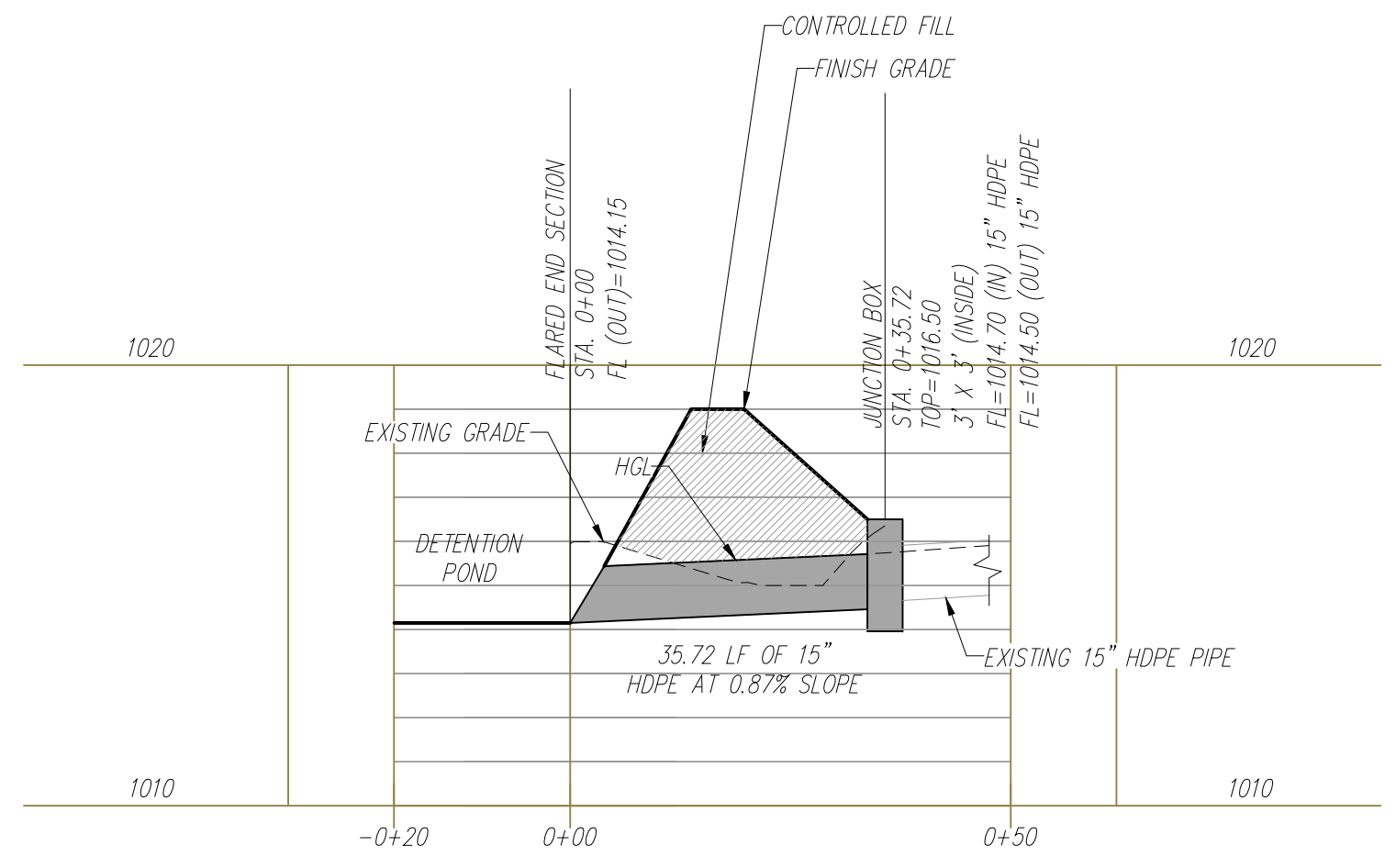




STORM SEWER LINE 1



STORM SEWER LINE 3



STORM SEWER LINE 2

Contractor to verify all invert elevations for existing sewer connections. Contact civil engineer if conflict arises.

- PROJECT BENCHMARK:**
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E 2823375.6230  
TOP ELEV. 1021.42
  - #2 Top of curb at corner of parking lot in Schlotsky's parking.  
N 1006628.2690  
E 2823585.0320  
TOP ELEV. 1019.80

STORM SEWER LINE 1, 2 AND 3  
PLAN AND PROFILE

DOUGLAS CORNER BUILDING  
LEE'S SUMMIT - JACKSON COUNTY - MISSOURI

811  
consult  
Inc  
engineers  
planners

1533 Locust Street, Kansas City, Missouri 64108  
CORPORATE LICENSE NO. E201000572 (MO.) / E-1736 (KS.) / LS 2019005467

STATE OF MISSOURI  
REGISTERED PROFESSIONAL ENGINEER  
RICHARD K. KATZ  
NUMBER 26686  
EXPIRATION 12/31/2026

September 27, 2023

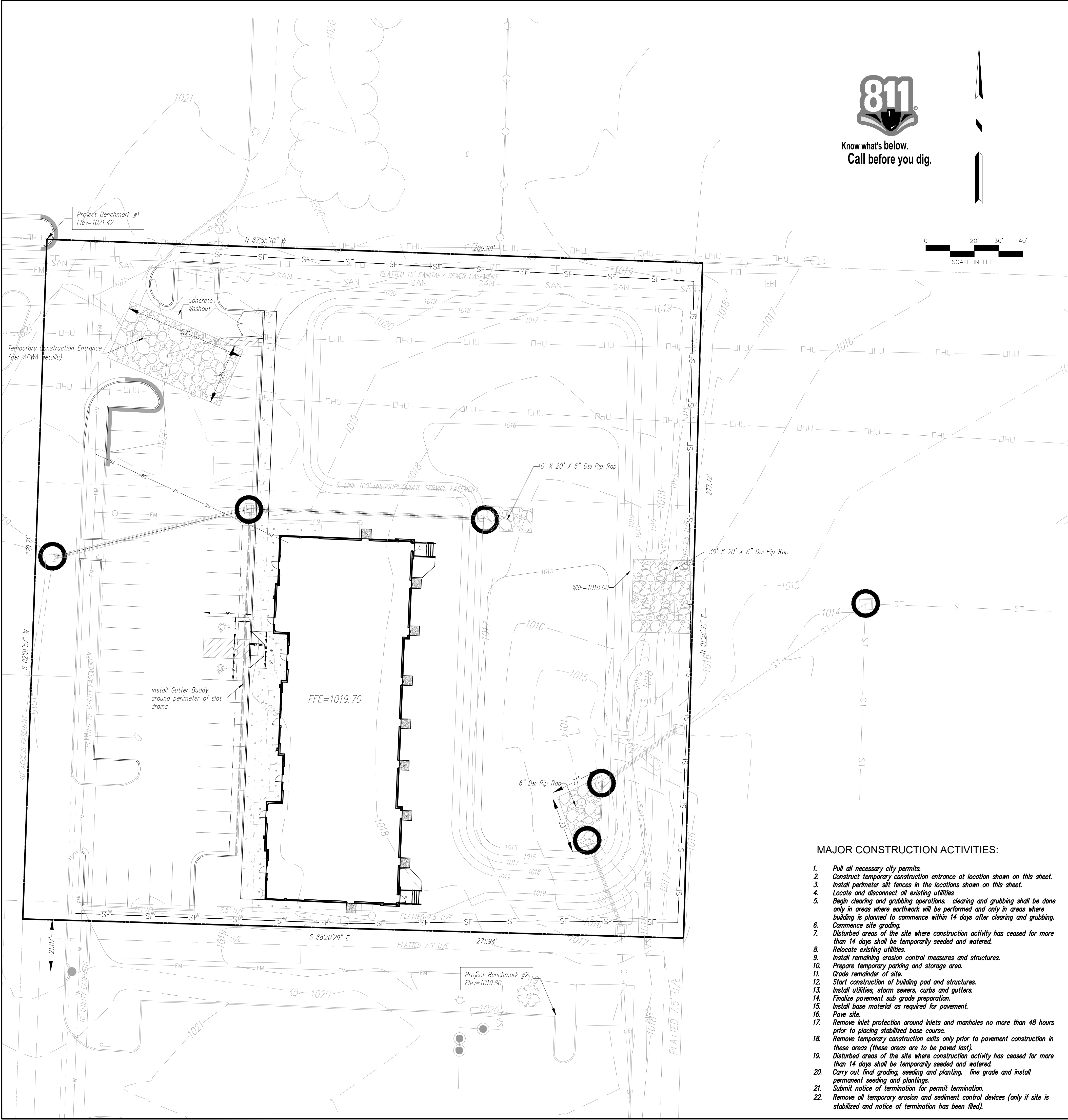
NO.	BY	REVISION	DATE
1	CK/APP	Revised per City Comment letter dated 9/07/2023	9/17/23
2	CK/APP	Revised per City Comment letter dated 9/25/2023	9/25/23

IF THIS IS NOT A BLUE INK SEAL AND THE SIGNATURE IN BLUE INK, THE PLAN IS A COPY AND MAY CONTAIN UNAUTHORIZED ALTERATIONS. THE CERTIFICATION CONTAINED ON THIS DOCUMENT SHALL NOT APPLY TO ANY COPIES.

4B

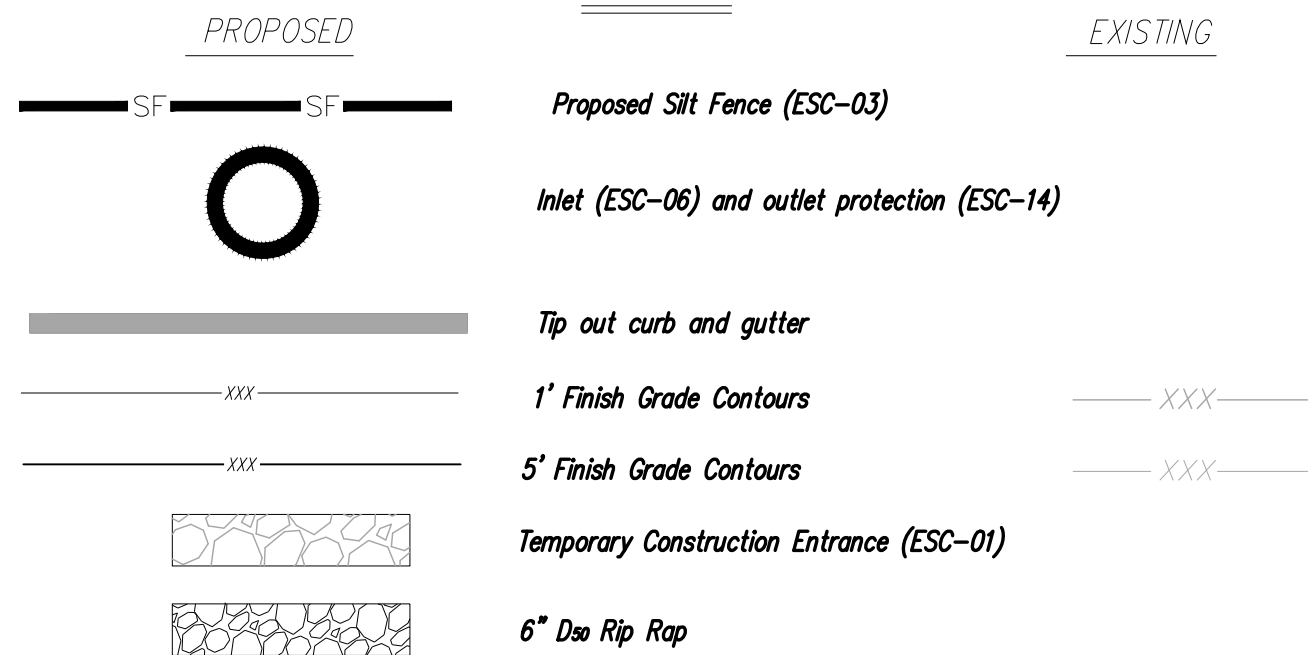
SHEET  
OF  
13





EROSION CONTROL GENERAL NOTES:

The contractor shall inspect, repair and add stone to the stone construction entrance when it becomes saturated with mud to insure it functions as it was intended.  
The topsoil stockpile shall be graded to drain and seeded with a temporary seed mix.  
All erosion and sediment control devices shall be inspected, cleaned, repaired in accordance with the Storm Water Pollution Prevention Plan.  
Temporary sediment control measures (silt fence, construction entrance, etc.) shall be maintained until all contributing areas are graded and stabilized.  
Dust control on site shall be minimized by spraying water on dry areas of the site. the use of oils and other petroleum based or toxic liquids for dust suppression is strictly prohibited.  
If the majority of mud or dirt is not removed from exiting traffic, contractor shall establish vehicle wash areas at construction traffic exit points and vehicle operation shall be intercepted and trapped before wash water is allowed to be discharged offsite, rise-off will not be allowed outside the project construction limits.  
Repair eroded areas immediately, reseed as necessary to maintain good vegetative cover, more vegetative cover to maintain a maximum height of six inches, and remove trash as needed.  
Inspect and repair the collection system (i.e. catch basins, piping, swales, rip rap, etc.) after significant rainfall to maintain proper functioning.  
All existing structures, fencing, trees, etc., within the construction area shall be removed and disposed of off site per state and local ordinances. any burning on site shall be subject to local ordinances.  
All wash water (concrete truck, vehicle cleaning, equipment cleaning, etc.) shall be disposed of in a manner that prevents contact between these materials and storm water that is discharged from the site.  
All materials spilled, dropped, washed, or tracked from vehicles onto roadways or into storm drains must be removed immediately.  
Contractor shall remove all temporary erosion control devices/ditches and dispose of per local codes once the site has been stabilized. Contractor shall refer to the grading plan for final grades.  
Land disturbing activities shall not commence until approval to do so has been received by governing authorities.  
No land clearing or grading shall begin until all erosion control measures have been installed.  
All exposed areas shall be seeded as specified within 14 days of final grading.  
Should construction stop for longer than 14 days, the site shall be seeded as specified.  
After every significant runoff producing rainfall event of 1/2" or greater and at least once a week:  
A. Inspect the detention basin system for sediment accumulation, erosion, trash accumulation, vegetated cover, and general condition.  
B. Check and clear the outfall device of any obstructions.  
This plan shall not be considered all inclusive as the general contractor shall take all necessary precautions to prevent soil sediment from leaving the site.  
General Contractor shall comply with all State and Local ordinances that apply.  
Additional erosion and sediment control measures will be installed if deemed necessary by on site inspection.  
If installation of storm drainage system should be interrupted by weather or nighttime, the pipe ends shall be covered with filter fabric.  
General Contractor shall be responsible to take whatever means necessary to establish permanent soil stabilization.  
Additional erosion and siltation control methods and devices may be required as directed by the City or MoDOT.



Contractor to verify all invert elevations for existing sewer connections. Contact civil engineer if conflict arises.

PROJECT BENCHMARK:

- #1 Iron bar at north west corner of property.  
N 1006947.3760  
E 2823375.6230  
TOP ELEV. 1021.42
- #2 Top of curb at corner of parking lot in Schlotsky's parking.  
N 1006628.2690  
E 2823585.0320  
TOP ELEV. 1019.80

MAJOR CONSTRUCTION ACTIVITIES:

1. Pull all necessary city permits.
2. Construct temporary construction entrance at location shown on this sheet.
3. Install perimeter silt fences in the locations shown on this sheet.
4. Locate and disconnect all existing utilities
5. Begin clearing and grubbing operations. clearing and grubbing shall be done only in areas where earthwork will be performed and only in areas where building is planned to commence within 14 days after clearing and grubbing.
6. Commence site grading.
7. Disturbed areas of the site where construction activity has ceased for more than 14 days shall be temporarily seeded and watered.
8. Relocate existing utilities.
9. Install remaining erosion control measures and structures.
10. Prepare temporary parking and storage area.
11. Grade remainder of site.
12. Start construction of building pad and structures.
13. Install utilities, storm sewers, curbs and gutters.
14. Finalize pavement sub grade preparation.
15. Install base material as required for pavement.
16. Pave site.
17. Remove inlet protection around inlets and manholes no more than 48 hours prior to placing stabilized base course.
18. Remove temporary construction exits only prior to pavement construction in these areas (these areas are to be paved last).
19. Disturbed areas of the site where construction activity has ceased for more than 14 days shall be temporarily seeded and watered.
20. Carry out final grading, seeding and planting. Fine grade and install permanent seeding and plantings.
21. Submit notice of termination for permit termination.
22. Remove all temporary erosion and sediment control devices (only if site is stabilized and notice of termination has been filed).

EROSION CONTROL PLAN

DOUGLAS CORNER BUILDING  
LEE'S SUMMIT - JACKSON COUNTY - MISSOURI

811

consult  
Inc  
engineers  
planners

1533 Locust Street, Kansas City, Missouri 64108  
CORPORATE LICENSE NO. E201000572 (MO.) / E-1736 (KS.) / LS 2019005467  
R. KEVIN STERNETT, MO E-26440

NO.	BY	CHK/APP
1	MGW	RKS
2	MGW	RKS

DATE	REVISION
9/12/23	Revised per City Comment letter dated 9/07/2023
9/25/23	Revised per City Comment letter dated 9/25/2023

X-REF NO.  
181098

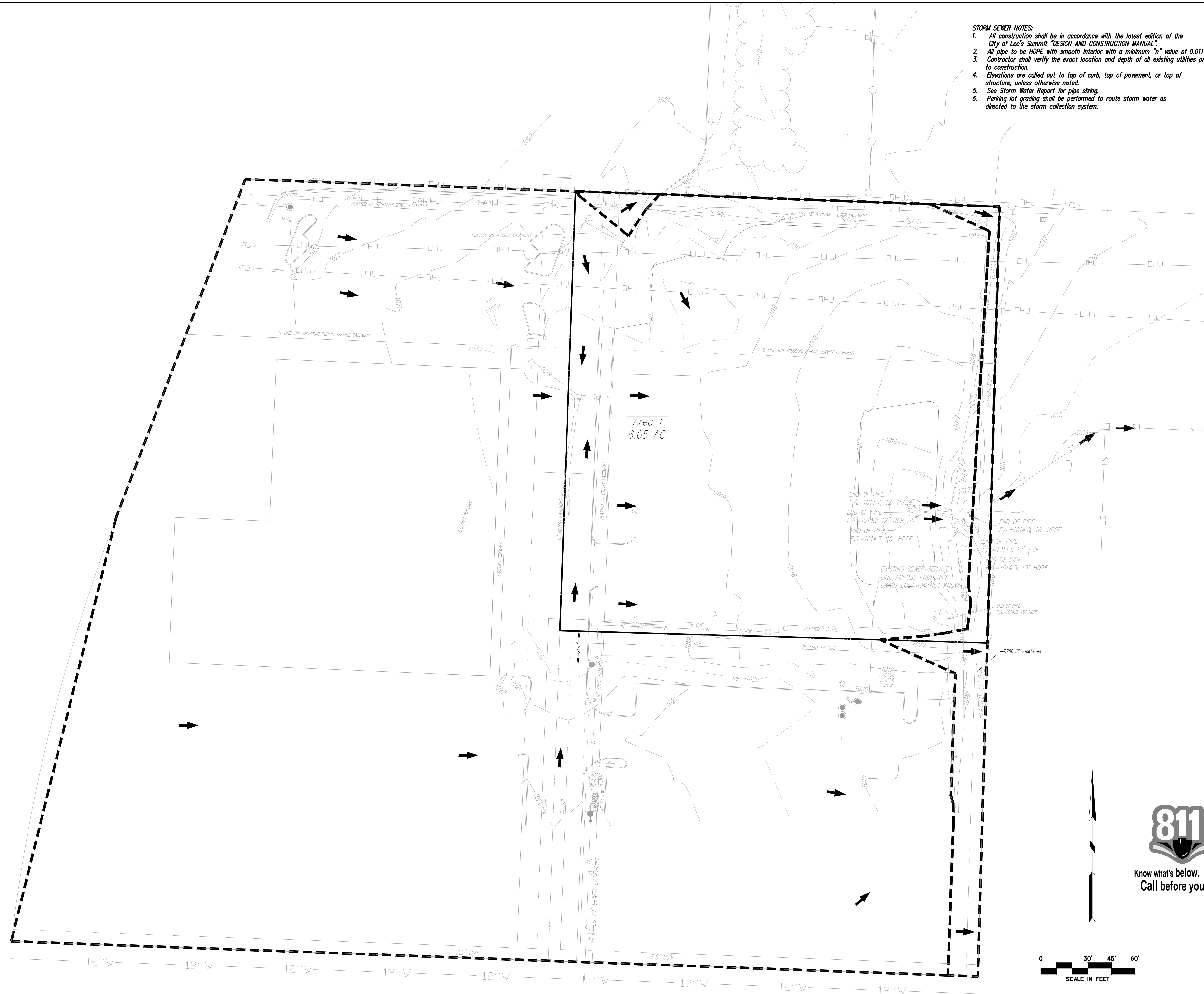
DRAWING NO.  
23-033PDP

DATE  
MAY 10, 2023

JOB NO.  
23-033

5 SHEET OF 13





**STORM SEWER NOTES:**

1. All construction shall be in accordance with the latest edition of the City of Lee's Summit "DESIGN AND CONSTRUCTION MANUAL".
2. All pipe to be HDPE with smooth interior with a minimum "n" value of 0.011
3. Contractor shall verify the exact location and depth of all existing utilities prior to construction.
4. Elevations are called out to top of curb, top of pavement, or top of structure, unless otherwise noted.
5. See Storm Water Report for pipe sizing.
6. Parking lot grading shall be performed to route storm water as directed to the storm collection system.

Contractor to verify all invert elevations for existing sewer connections. Contact civil engineer if conflict arises.

PROJECT BENCHMARK:

- #1** Iron bar at north west corner of property.  
N 1006947.3760  
E 2823375.6230  
TOP ELEV. 1021.42
- #2** Top of curb at corner of parking lot in Schlotsky's parking  
N: 1006628.2690  
E: 2823585.0320  
TOP ELEV. 1019.80



Know what's below.  
**Call before you dig.**

KEY

PROPOSED

EXISTING

979

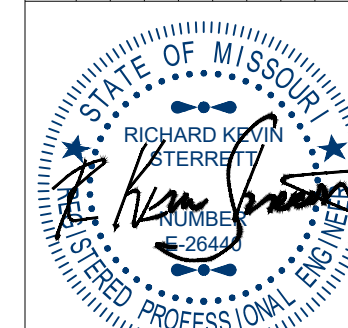
Grades

100 Year Overflow

960

Drainage Area

Contractor to verify all invert elevations for existing sewer connections. Contact civil engineer if conflict arises.

[illegible]

September 27, 2023



1533 Locust Street, Kansas City, Missouri 64108  
CORPORATE LICENSE No. E201000573 (MO.) / E-1736 (KS.) / LS 2019005467

# PRELIMINARY DEVELOPMENT DRAINAGE AREA MAP

DOUGLAS CORNER BUILDING  
LEE'S SUMMIT - JACKSON COUNTY - MISSOURI

X-REF NO.  
18109B

DRAWING NO.  
23-033PD

DATE  
MAY 10 20

JOB NO.

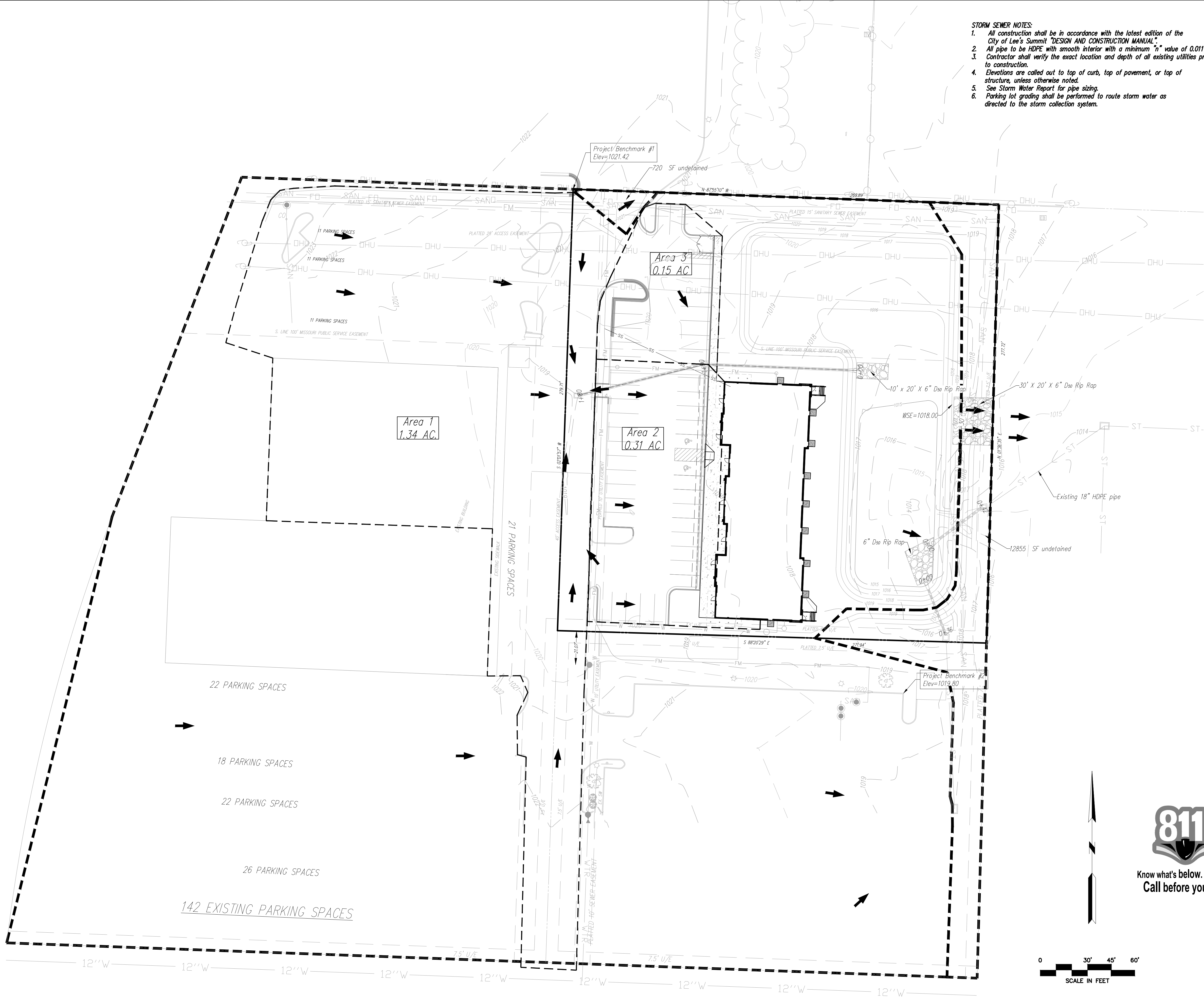
6

SHEET OF 13

IF THIS IS NOT A BLUE INK SEAL AND THE SIGNATURE IN BLUE INK, THE PLAN IS A COPY AND MAY CONTAIN UNAUTHORIZED ALTERATIONS. THE CERTIFICATION CONTAINED ON THIS DOCUMENT SHALL NOT APPLY TO ANY CODE

R. KEVIN STERRETT, MO E-26440





- STORM SEWER NOTES:
- All construction shall be in accordance with the latest edition of the City of Lee's Summit "DESIGN AND CONSTRUCTION MANUAL".
  - All pipe to be HDPE with smooth interior with a minimum "n" value of 0.011
  - Contractor shall verify the exact location and depth of all existing utilities prior to construction.
  - Elevations are called out to top of curb, top of pavement, or top of structure, unless otherwise noted.
  - See Storm Water Report for pipe sizing.
  - Parking lot grading shall be performed to route storm water as directed to the storm collection system.

Detention Pond Details:

Elevation (feet)	Surf.Area (sq-ft)	Cum.Store (cubic-feet)
1014.10	52	0
1015	5,623	2,553
1016	10,269	10,499
1017	17,998	24,633
1018	20,048	43,657

Detention release was sized by Bentley PondPACK V8i and is sized to release the 100-year storm event over the proposed rip rap lined channel.

\*Areas shown are impervious areas to drainage structures.

Contractor to verify all invert elevations for existing sewer connections. Contact civil engineer if conflict arises.

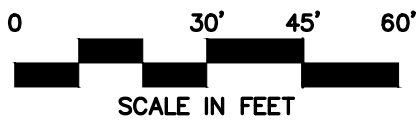
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N: 1006947.3760  
E: 2823375.6230  
TOP ELEV. 1021.42
- #2 Top of curb at corner of parking lot in Schlotsky's parking.  
N: 1006628.2690  
E: 2823585.0320  
TOP ELEV. 1019.80

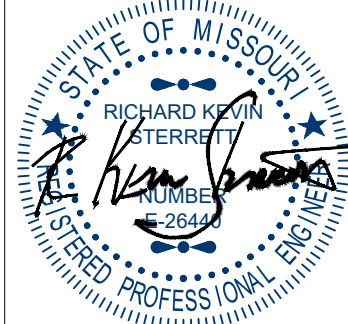
KEY

PROPOSED	Grades	EXISTING
— 979 —	— 960 —	
➔	100 Year Overflow	
- - -	Drainage Area	

Contractor to verify all invert elevations for existing sewer connections. Contact civil engineer if conflict arises.



DATE	REVISION	NO.	BY	CHK/APP.
9/12/23	Revised per City Comment letter dated 9/07/2023	1	NGW	RKS
9/25/23	Revised per City Comment letter dated 9/25/2023	2	NGW	RKS



September 27, 2023

**Consult Inc**  
engineers planners  
1533 Locust Street, Kansas City, Missouri 64108  
CORPORATE LICENSE NO. E20100573 (MO.) / E-1736 (KS.) / LS 2019005467

POST DEVELOPMENT  
DRAINAGE AREA MAP

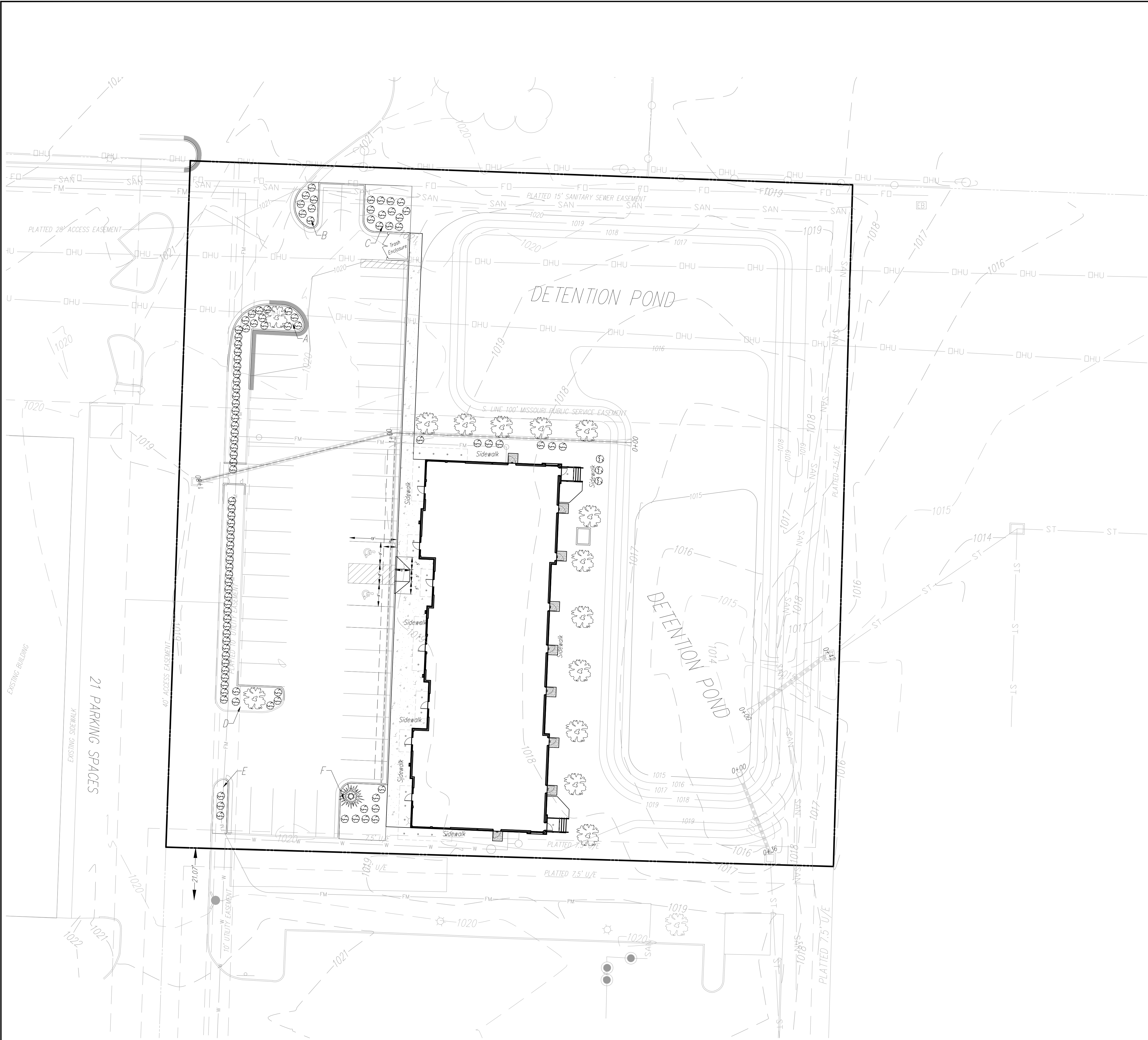
DOUGLAS CORNER BUILDING  
LEE'S SUMMIT - JACKSON COUNTY - MISSOURI

X-REF NO. 18109B	7
DRAWING NO. 23-033PDP	13
DATE MAY 10, 2023	
JOB NO. 23-033	
SHEET OF	









Interior Landscape

Area	SF
A	195 SF
B	138 SF
C	356 SF
D	183 SF
E	121 SF
F	427 SF

TOTAL 1392 SF

NOTES:

- Open areas not covered with other landscaping materials shall be covered with sod.
- All trees/shrubs are shown graphically, not numerically.
- A 3 foot tall berm may be substituted for screening shrubs.
- Trees shall be located a minimum distance of 5 feet from the sanitary and water lines as measured from the outside of the mature tree trunk to the outside of the pipe.
- The trees and shrubs shown are for graphical purposes and does not represent the actual count required per the worksheet.
- Evergreen shrubs used to screen mechanical equipment shall be equal height as the mechanical units at the time of planting.
- Detention pond and slopes into pond to use TBM with seed and all other disturbed ground to be sodded.

Worksheet for Tree and Shrub Requirements:

A - Size of development site	= 75,508 SF
B - Length of street frontage of development site	= 0 LF
C - Trees required on street frontage = 1/30 LF	= 0 Trees
D - Trees provided	= 0 Trees
E - Parking lot area	= 14,178 SF
F - Green space required in parking lot (E x 5%)	= 709 SF
G - Green space provided	= 1,392 SF
H - Shrubs required along frontage = 1/20 LF	= 0 Shrubs
Shrubs required along frontage (Parking lot screen)	
270 LF at 12/40 LF	= 81 Shrubs
I - Shrubs Provided	
Shrubs Provided (Parking lot screen)	= 81 Shrubs
Shrubs Provided (Total frontage)	= 0 Shrubs
J - Quantity of additional trees required	
1 tree per 5000 SF of open area (63,040/5,000)	= 13 Trees
K - Additional Trees Provided	= 15 Trees
L - Quantity of additional shrubs required	
2 shrubs per 5000 SF of open area (63,040/5,000)	= 25 Shrubs
M - Additional Shrubs Provided	= 25 Shrubs

LANDSCAPE SCHEDULE:

SPECIES	CALIPER/HEIGHT	QUANTITY
"October Glory" Maple	3" caliper measured 6" from the ground	12
Acer Rubrum		
Eastern White Pine (or equal) 8' (at time of planting)		1
Pinus Strobus		
Evergreen Shrub (or equal)	24" Minimum height at time of planting	76

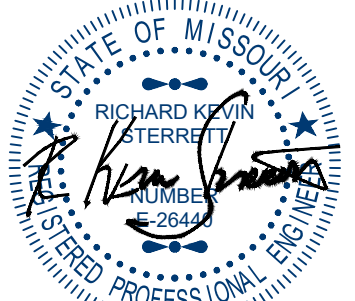


Know what's below.  
Call before you dig.

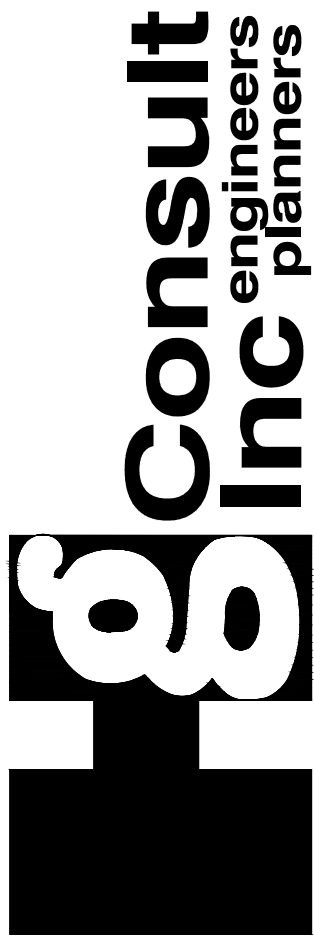


NO.	BY	CHK/APP
1	MSW	BKS
2	MSW	BKS

DATE	REVISION
9/12/23	Revised per City Comment letter dated 9/07/2023
9/25/23	Revised per City Comment letter dated 9/25/2023



September 27, 2023



1533 Locust Street, Kansas City, Missouri 64108  
CORPORATE LICENSE No. E201000573 (MO.) / E-736 (KS.) / LS 2019005467

LANDSCAPE PLAN

DOUGLAS CORNER BUILDING  
LEE'S SUMMIT - JACKSON COUNTY - MISSOURI

X-REF NO.  
181095

DRAWING NO.  
23-033PDP

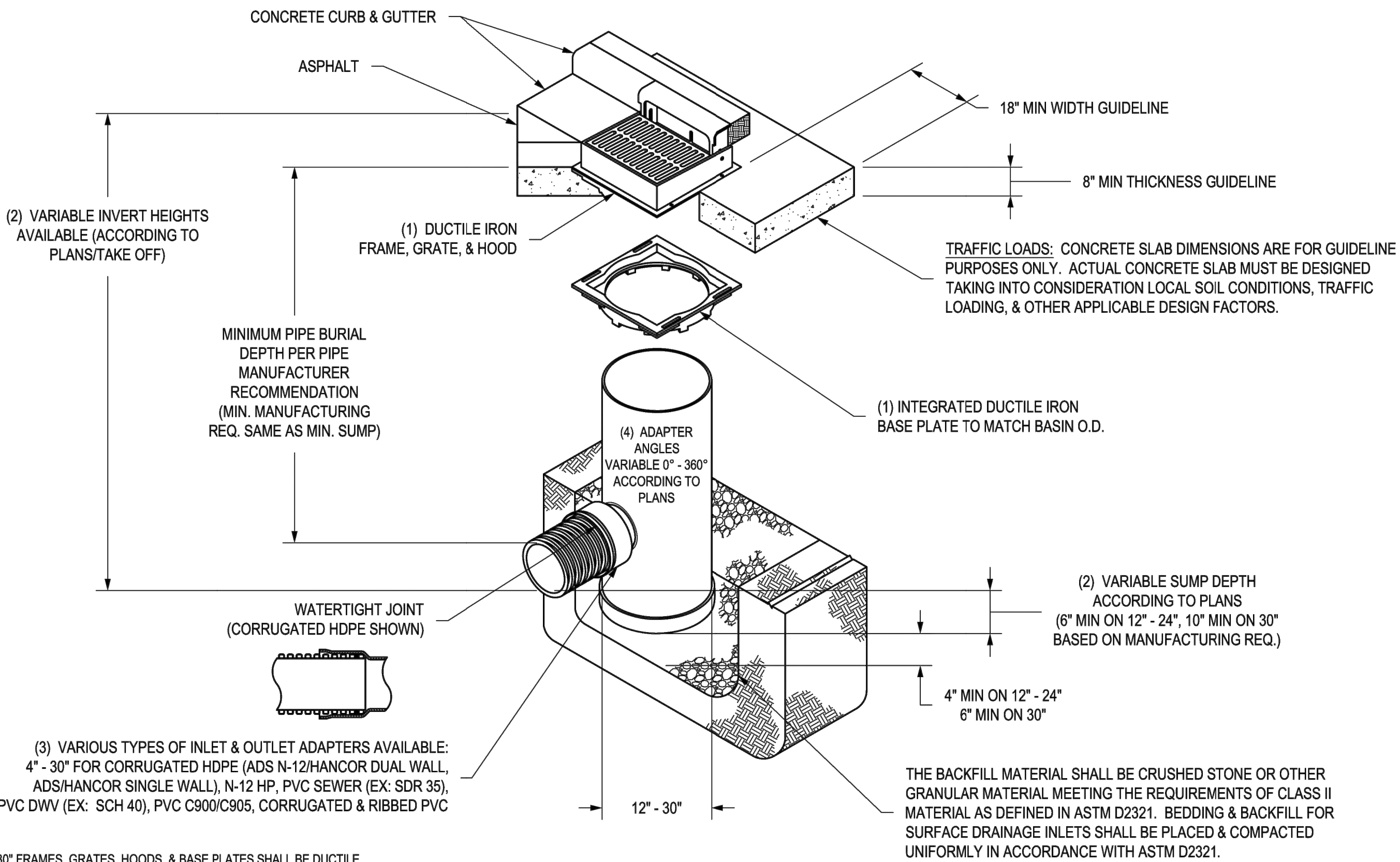
DATE  
MAY 10, 2023

JOB NO.  
23-033

9 OF 13



NYLOPLAST 2 FT X 2FT CURB INLET STRUCTURE: 30 \_\_ AGS \_\_ X



- 1 - 12" - 30" FRAMES, GRATES, HOODS, & BASE PLATES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
- 2 - DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS.
- 3 - DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HDPE (ADS N-12/HANCOR DUAL WALL, N-12 HP, & PVC SEWER (4" - 24").
- 4 - ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0° TO 360°. TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 7001-110-012.
- 5 - ALL CURB INLET GRATE OPTIONS (STANDARD & DIAGONAL) SHALL MEET H-20 LOAD RATING

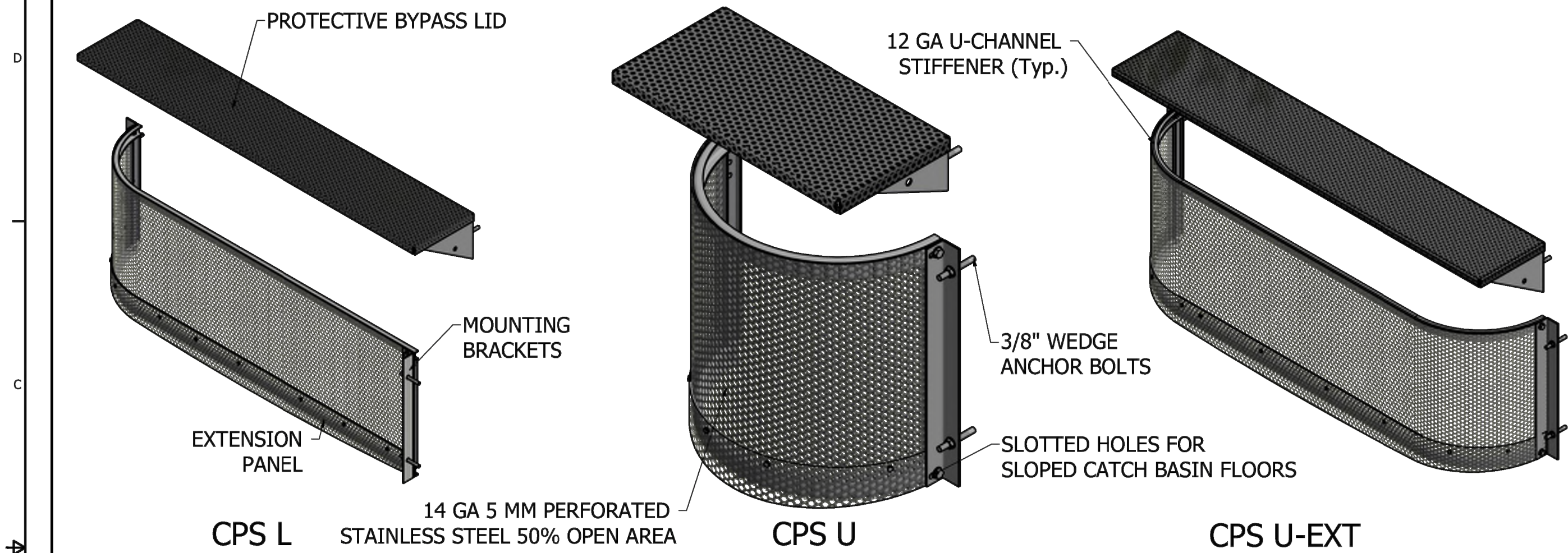
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DRAWN BY EBC  
DATE 1-23-06  
REVISED BY EBC  
DATE 3-17-10  
DWG SIZE A  
SCALE 1:40  
SHEET 1 OF 1

MATERIAL  
PROJECT NO./NAME  
TITLE  
DRAIN BASIN WITH 2 FT X 2 FT CURB INLET  
QUICK SPEC INSTALLATION DETAIL  
DWG NO. 7002-110-032  
REV F

3130 VERONA AVE  
BUFORD, GA 30518  
PHN (770) 932-2443  
FAX (770) 932-2490  
www.nyloplast-us.com

ADS FLEXSTORM: CONNECTOR PIPE SCREEN (CPS)

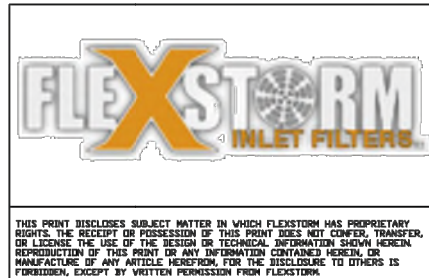


SIZING TABLE					MINIMUM BYPASS RATINGS for lid designs with 6" Freeboard											
CPS Flow Rates by Model			$Q_{screen} = C A_{screen} \sqrt{2gh}$		B (bypass height) = 4"		B (bypass height) = 6"		B (bypass height) = 8"		B (bypass height) = 10"		B (bypass height) = 12"			
Model	Screen Length	Screen Height	A <sub>screen</sub> (Net open area)	Q <sub>screen</sub> Flow Rate (cfs)	L <sub>bypass</sub> (ft)	Q4	H4	Q6	H6	Q8	H8	Q10	H10	Q12	H12	
3L18H-Bypass-Shape	3	18	1.80	8.72	3.00	3.93	8	5.52	7	6.81	6	7.77	5	13.19	10	
4L18H-Bypass-Shape	4	18	2.45	11.84	4.00	5.24	8	7.35	7	9.08	6	10.36	5	17.58	10	
5L18H-Bypass-Shape	5	18	3.09	14.96	5.00	6.55	8	9.19	7	11.35	6	12.95	5	21.98	10	

Determine CPS model number based on screen length and height - bypass height - and screen shape. For example Model 3L18H-8-U is 3' wide x 18" tall, has 8" bypass height, and is "U" shaped. Custom lengths and heights are available for any catch basin.

\*LA County approved

\*Full Capture Device as Certified by the California Regional Water Quality Control Board (CRWQCB)



ALL PRODUCTS MANUFACTURED BY INLET & PIPE PROTECTION, INC. A DIVISION OF ADS, INC. WWW.INLETFILTERS.COM (866) 287-8655 PH (630) 355-3477 FX INFO@INLETFILTERS.COM  
SIZE FRAME TYPE DWG NO. CPS Flexstorm CPS A  
SCALE SHEET 1 OF 1



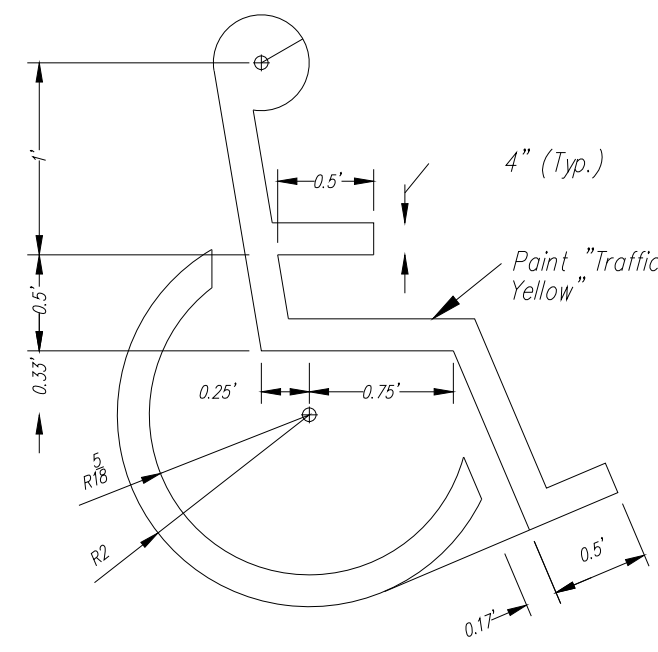
Colors  
Legend and Border - Green  
White Symbol on Blue Background  
Background - White  
(R7-6)



6"x12"

ACCESSIBLE SIGN DETAIL  
N.T.S.

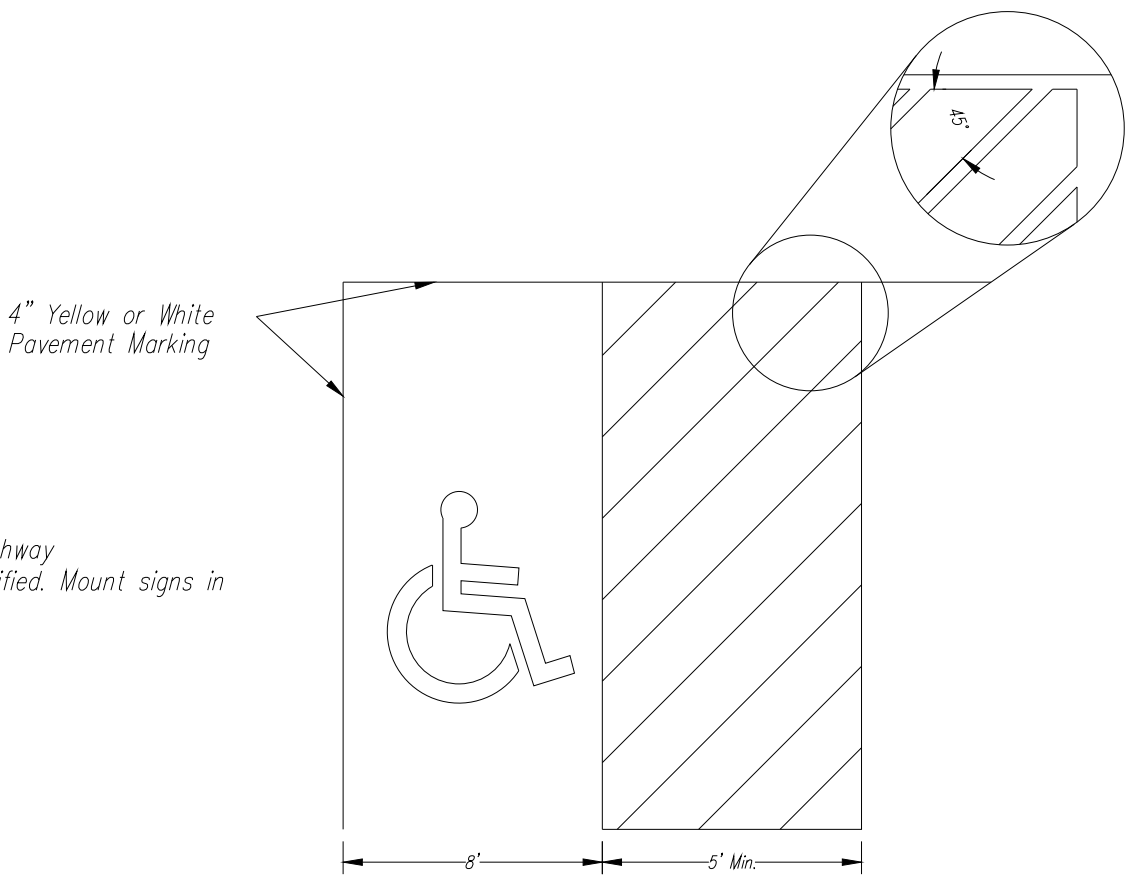
1. Mount 2 Accessible Signs to building. See plans for locations.
2. All signs should comply with U.S. Department of Transportation Federal Highway Administration's "Uniform Traffic Control Devices", and local codes as specified. Mount signs in accordance with manufacturer's instructions.



ACCESSIBLE PARKING SYMBOL

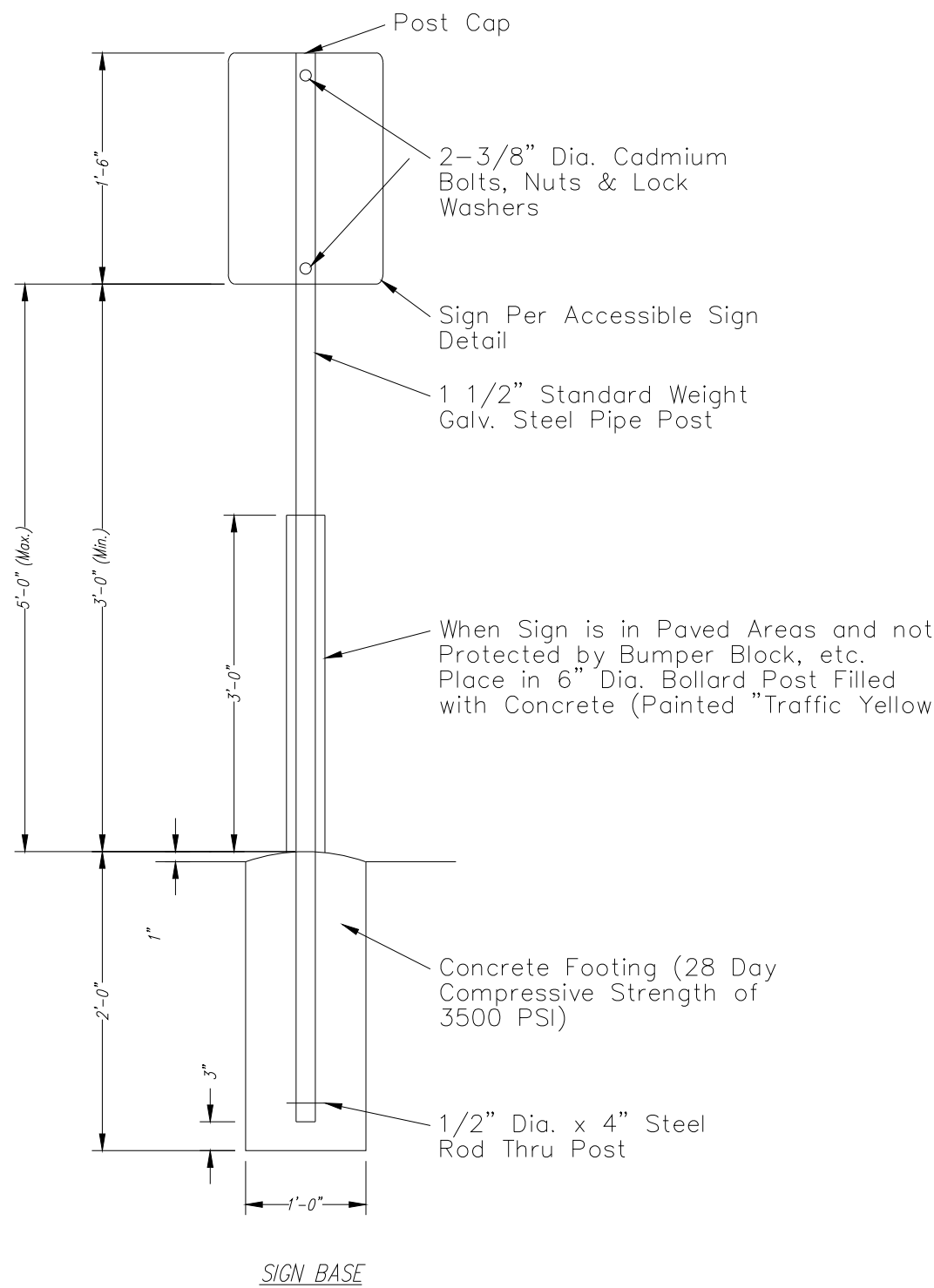
N.T.S.

NOTE: Symbol to be centered in parking space and oriented as illustrated on plans.

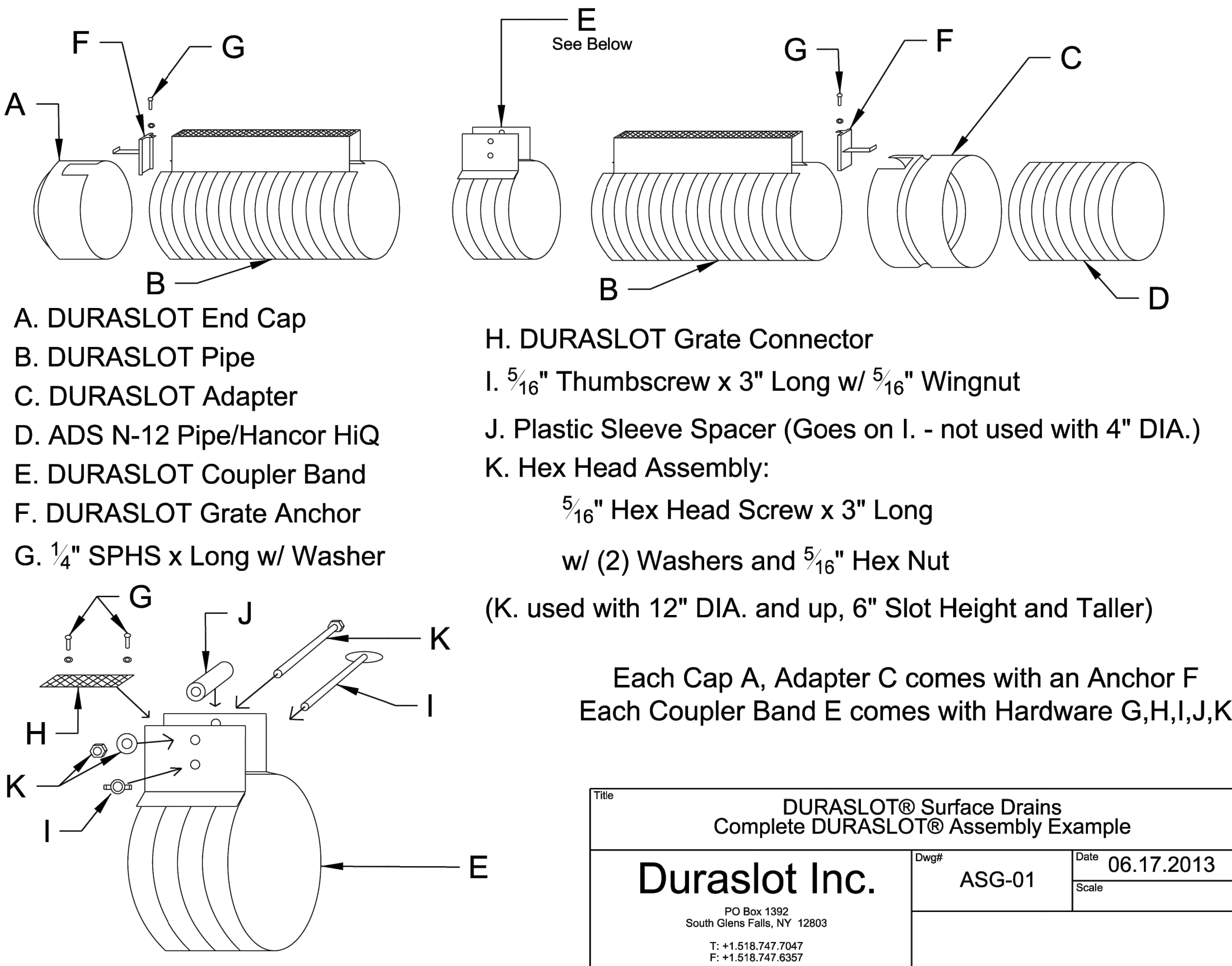


ACCESSIBLE STRIPING DETAIL

N.T.S.



SIGN BASE

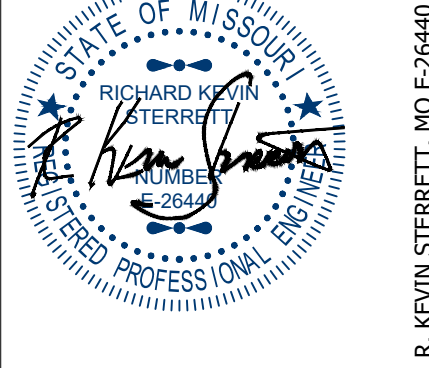


Each Cap A, Adapter C comes with an Anchor F  
Each Coupler Band E comes with Hardware G,H,I,J,K

Title			
DURASLOT® Surface Drains Complete DURASLOT® Assembly Example			
Duraslot Inc.		Dwg#	ASG-01
PO Box 1392 South Glens Falls, NY 12803 T: +1.518.747.7047 F: +1.518.747.6357		Date	06.17.2013
		Scale	

NO.	BY	CHK/APP
1	MGW	RNS
2	MGW	RNS

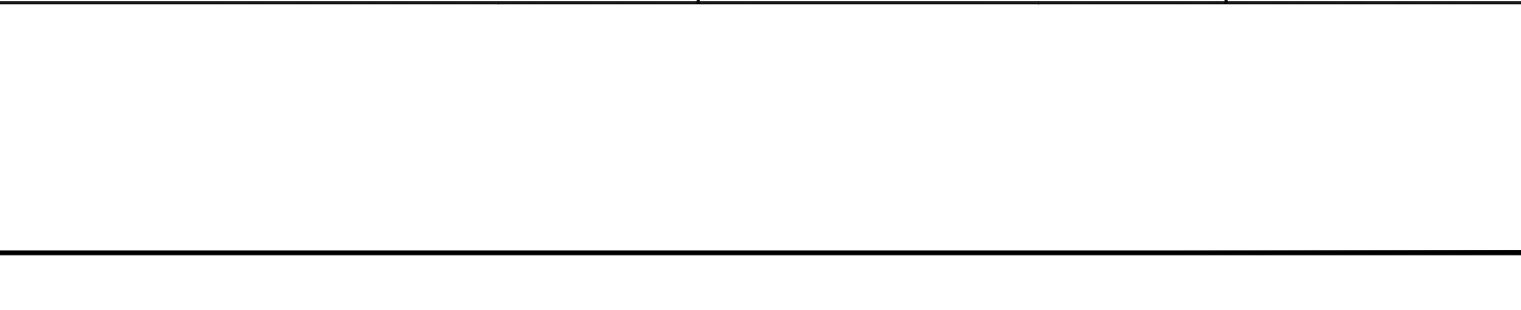
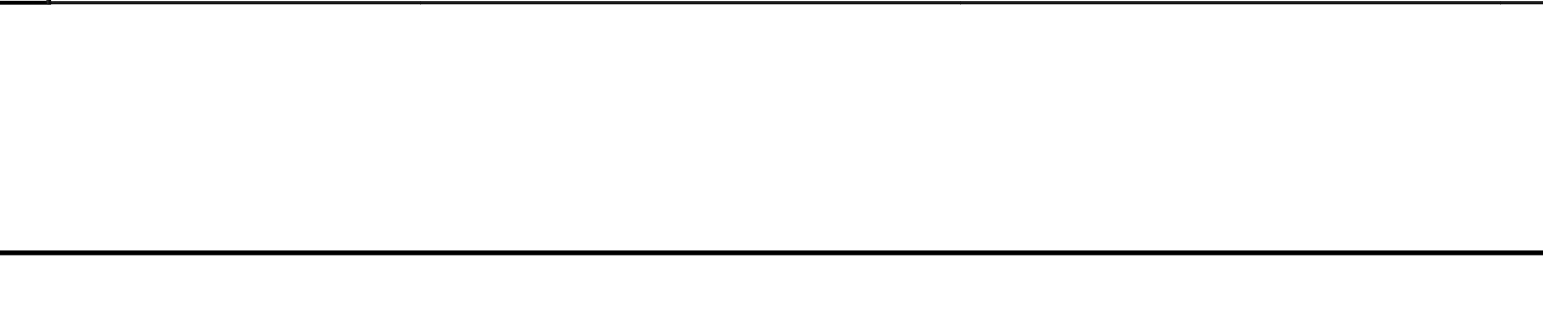
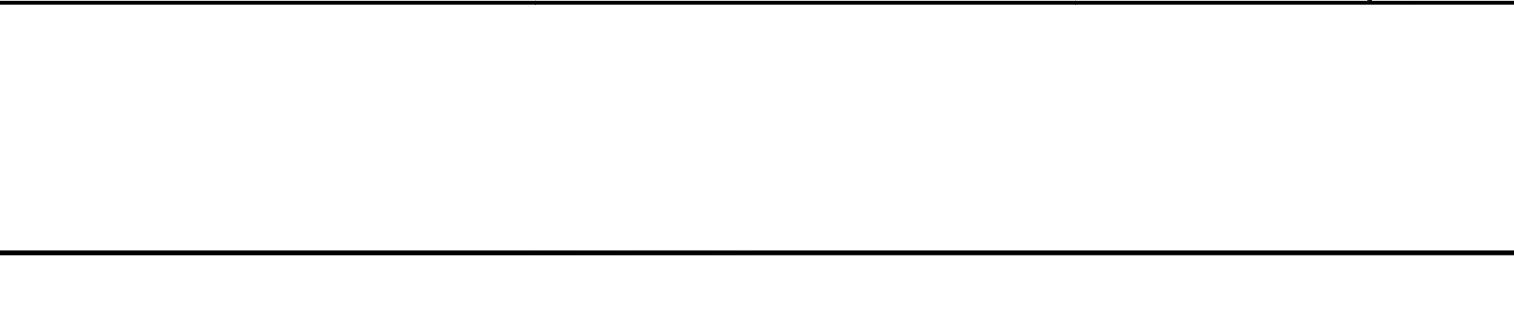
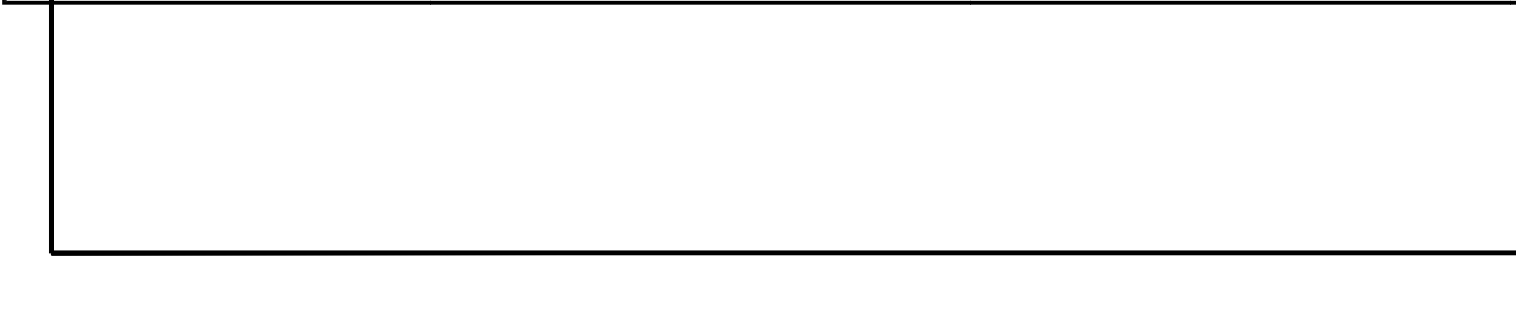
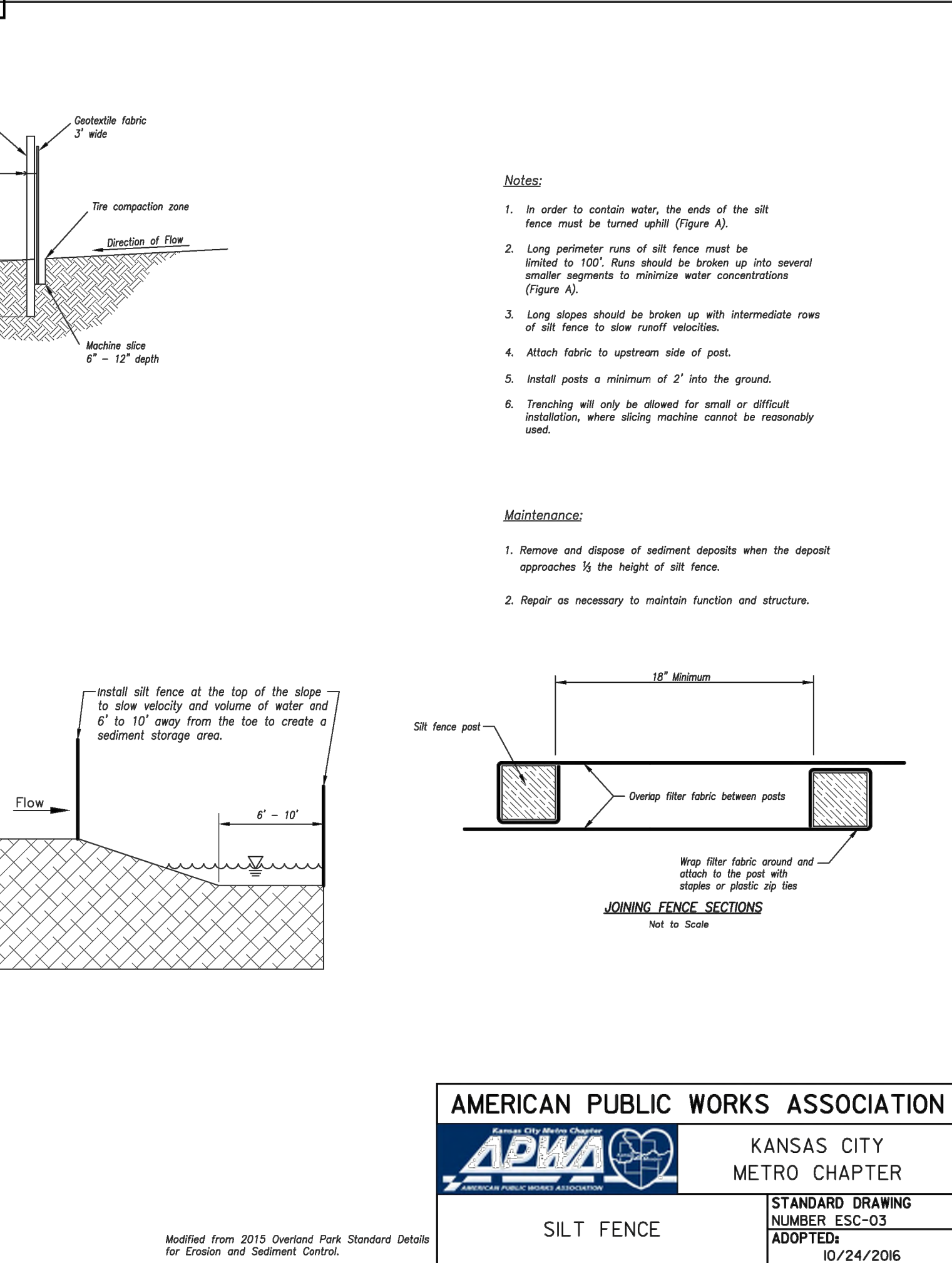
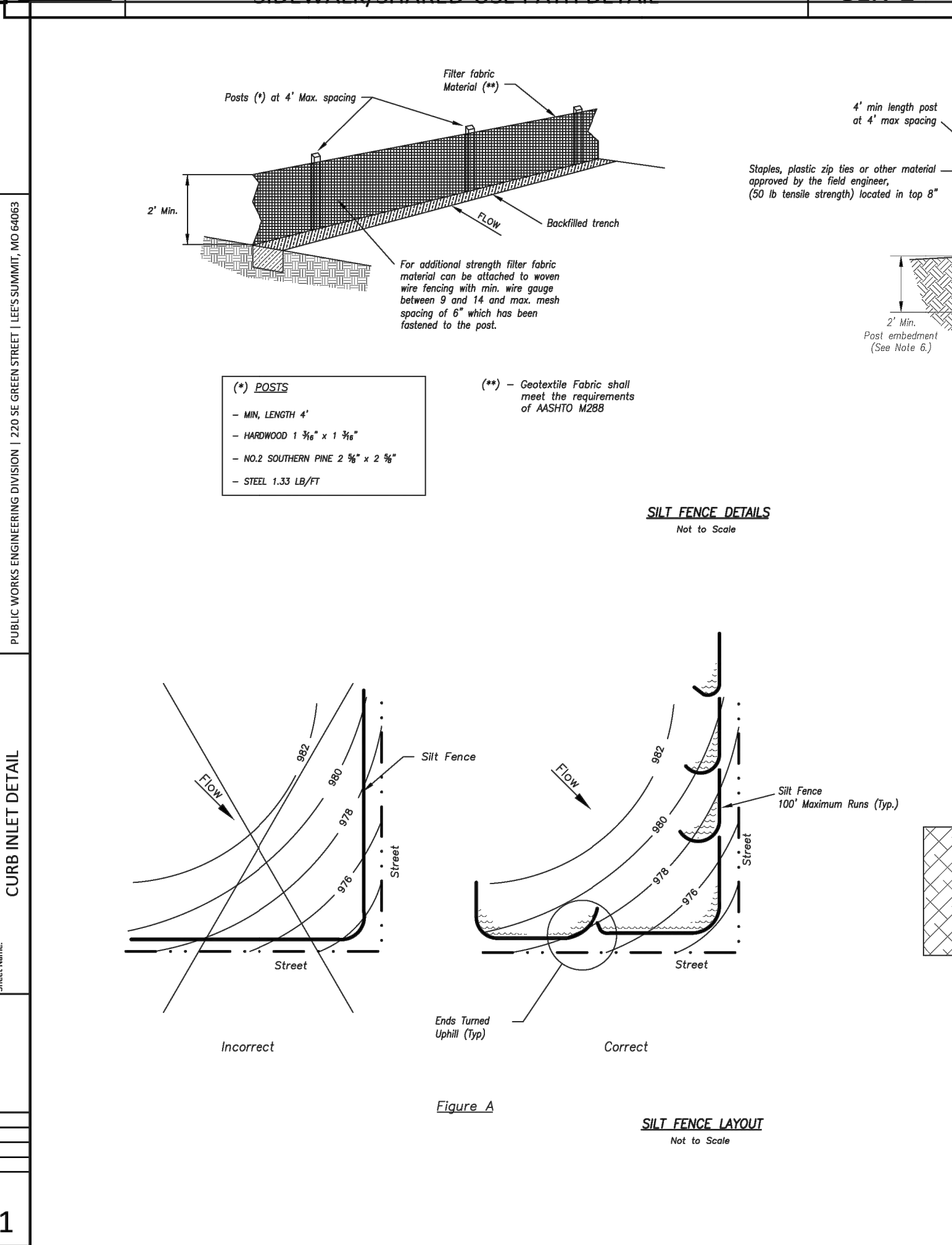
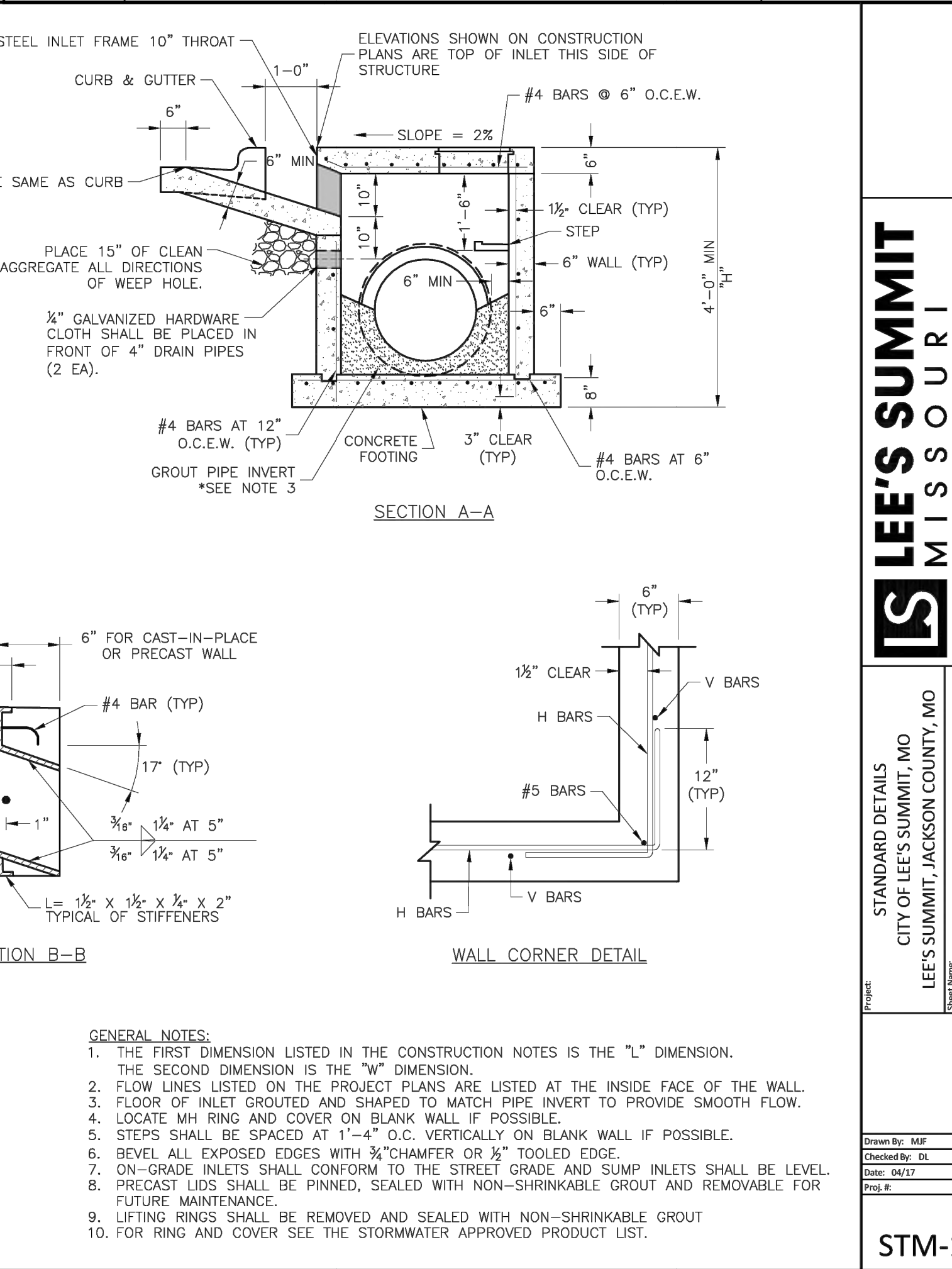
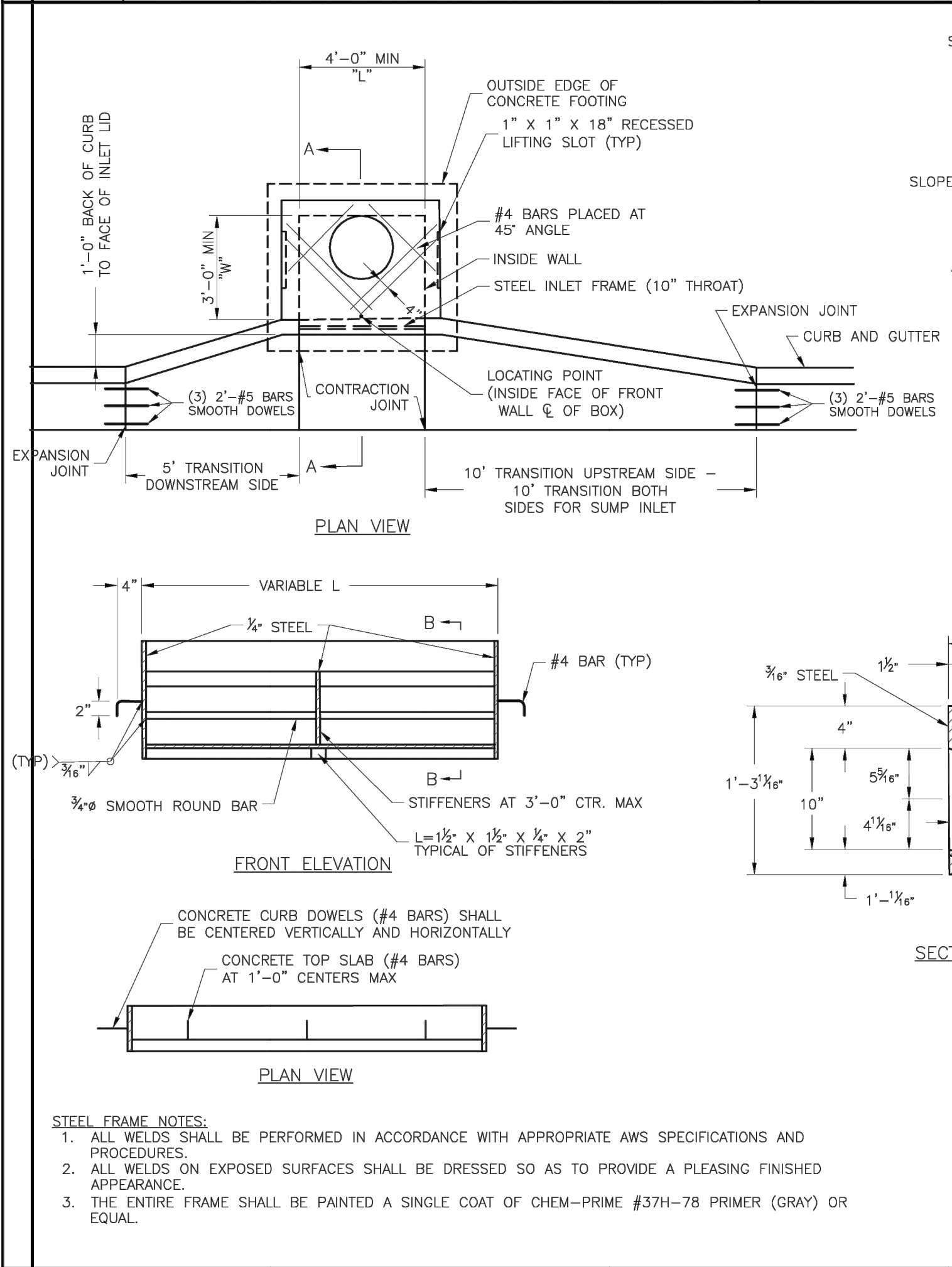
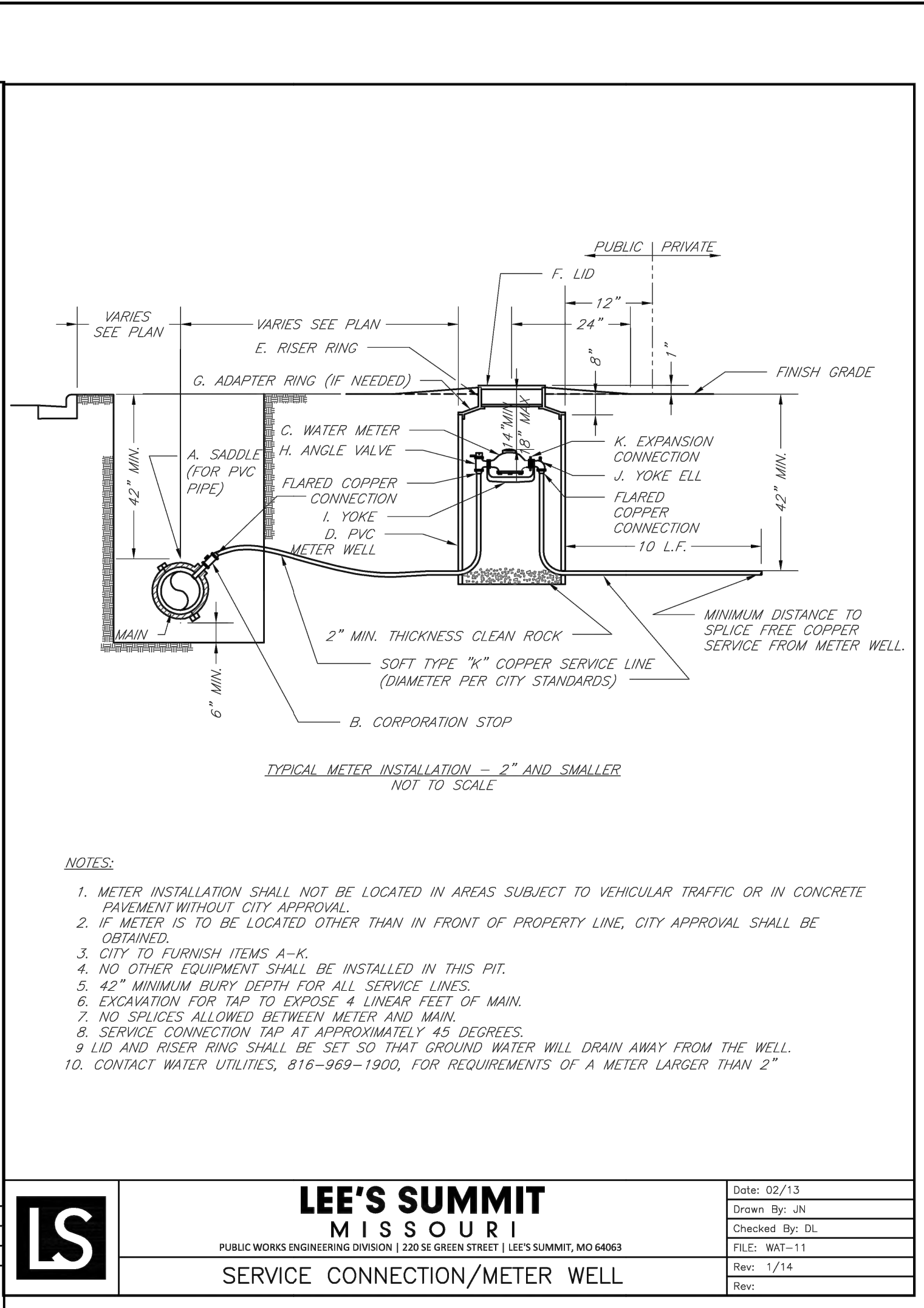
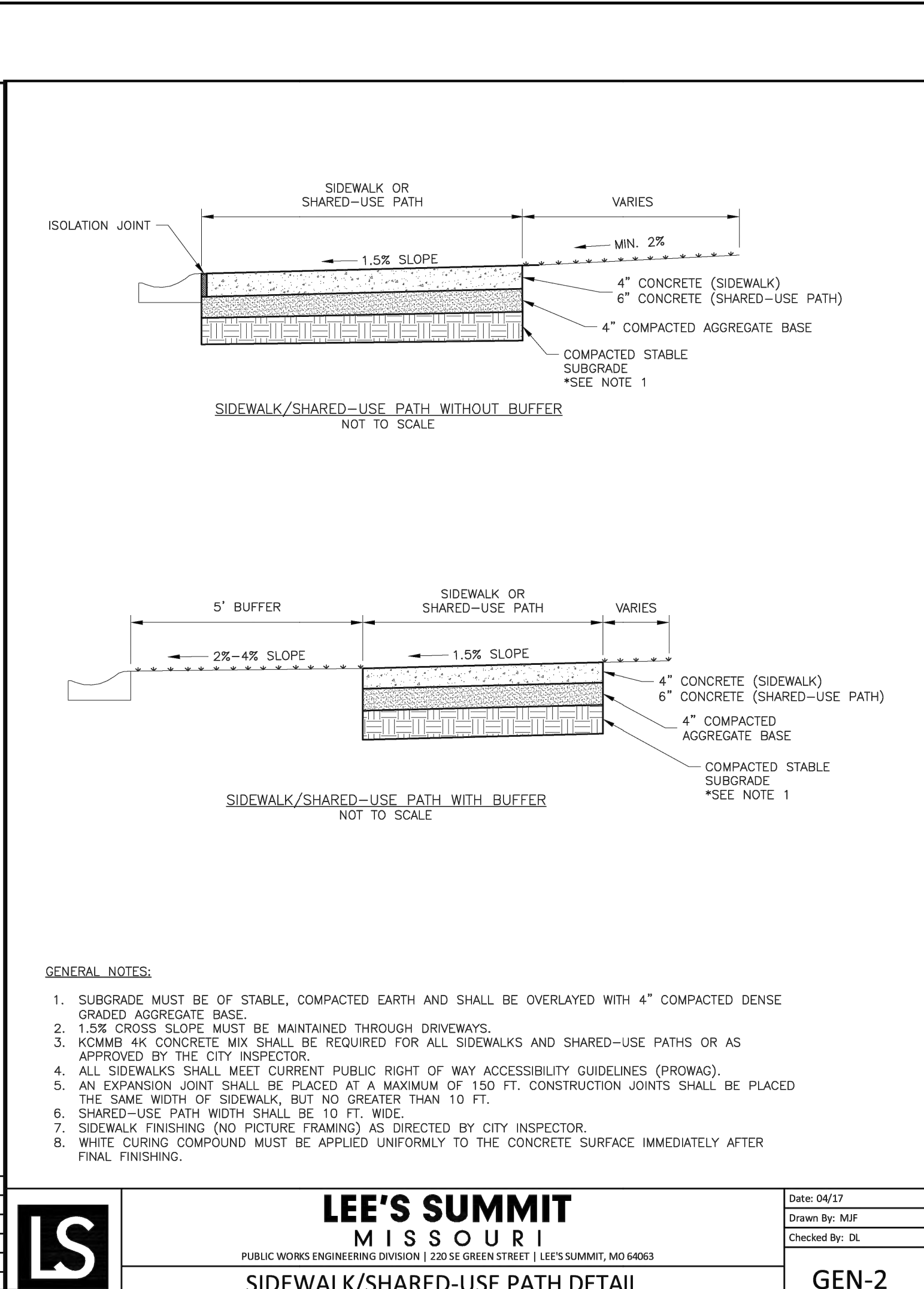
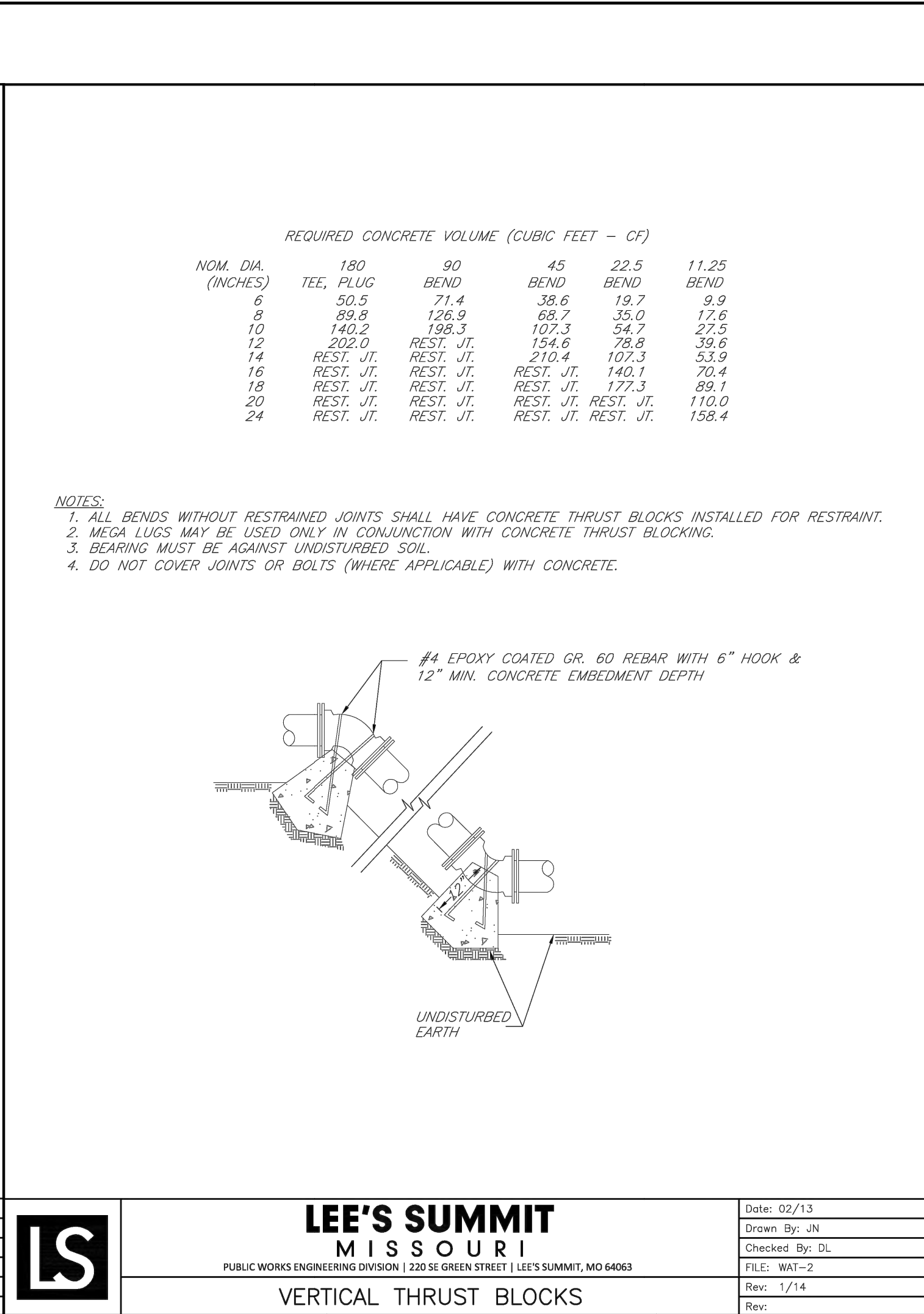
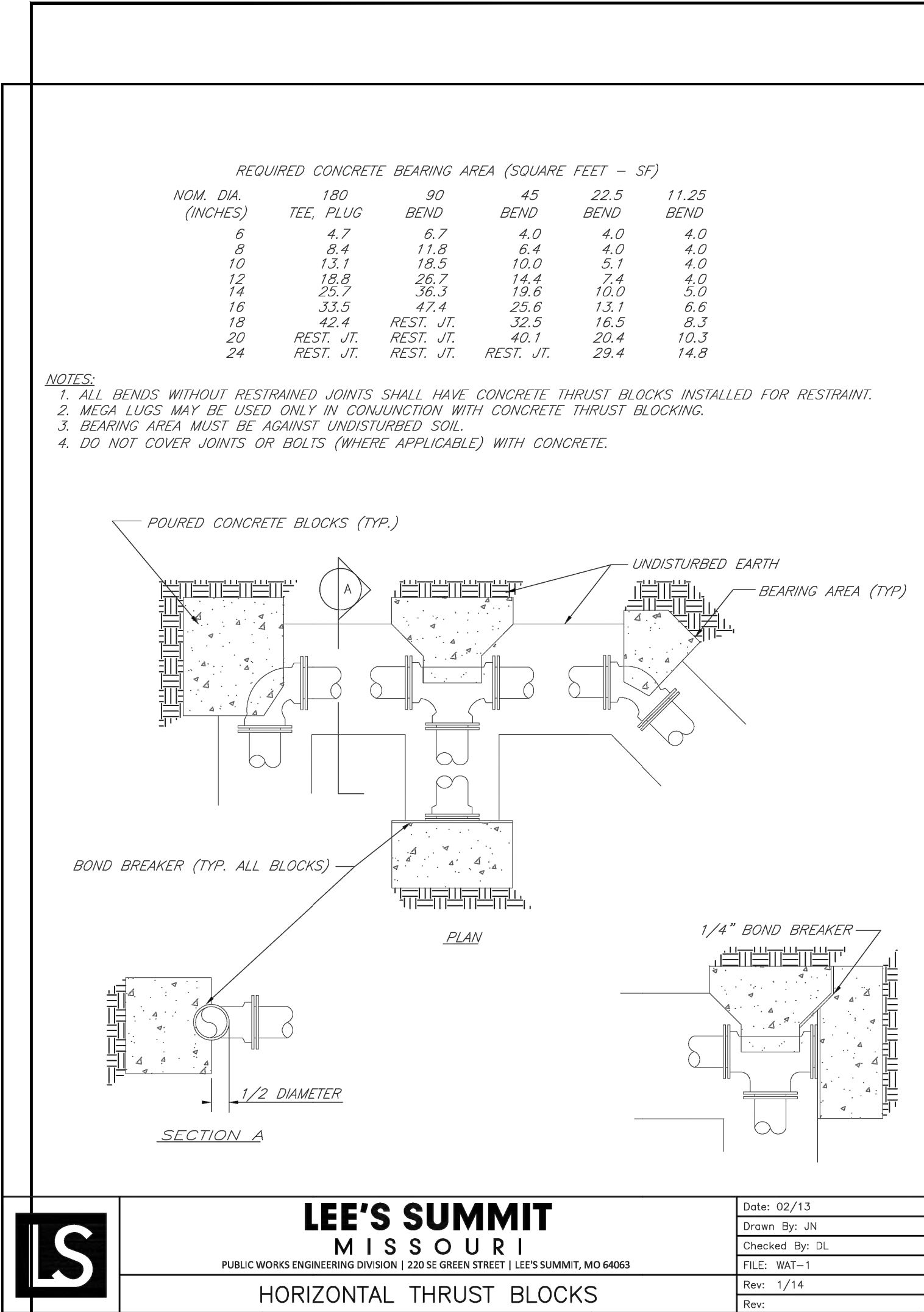
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**Consult Inc engineers planners**  
1533 Locust Street, Kansas City, Missouri 64108  
CORPORATE LICENSE No. E201000573 (MO.) / E-1736 (KS.) / LS 2019005467

SITE DETAIL SHEET	
DOUGLAS CORNER BUILDING LEE'S SUMMIT - JACKSON COUNTY - MISSOURI	
X-REF NO. 18109B	
DRAWING NO. 23-033PDP	
DATE MAY 10, 2023	
JOB NO. 23-033	
10	SHEET 13





CONSULT INC. ENGINEERS PLANNERS

1533 Locust Street, Kansas City, Missouri 64108

CORPORATE LICENSE NO. E201000573 (MO.) / E-1736 (KS.) / LS 20190505467

STATE OF MISSOURI

REGISTERED PROFESSIONAL ENGINEER

NO. BY CK/APP

1 1 RNS

2 2 RNS

DATE REVISION

9/12/23 Revised per City Comment letter dated 9/07/2023

9/25/23 Revised per City Comment letter dated 9/25/2023

11 OF 13




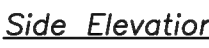
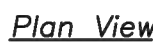


NOTE: Ring & Cover to be Neenah R-1537, Clay & Bailey #2020, Deeter #2016, or approved equal.  
(Casting may vary by municipality, refer to plans & contract documents.)



- ### GENERAL NOTES:
1. Locate ring and cover over outlet.
  2. All work and materials shall conform to Section 2800 APWA.
  3. Use  $3\frac{1}{2}"$  Chamber stiff or  $2\frac{1}{2}"$  R edge tool on all exposed concrete corners.
  4. Steps required for 6" O.C. depth from top of casting to invert exceeds 4'.
  5. Boxouts will not be allowed to project through the members of the structure and the minimum distance between boxouts is 6" with 1 corner bar.
  6. The minimum reinforcing shall be 1 H-Bar over a cast-in place pipe and 2 H-Bars over a precast boxout.
  7. Limit opening height to 6" with No. 5 gvanized bars extending to corner rebar.
  8. Show field inlet orientation on plans plus number and size of openings locating point at center of structure.
  9. O.R. = one half outside pipe diameter (O.D.).
  10. Reinforcing of covers in streets require special design.
  11. Ring & Cover to be Neenah R-1736, Gray & Bailey #2008, Dealer #315, or approved equal.
  12. Casting may vary by municipality, refer to plans & specifications.

AMERICAN PUBLIC WORKS ASSOCIATION	
	KANSAS CITY METROPOLITAN CHAPTER
JUNCTION BOX DETAILS	STANDARD DRAWING NUMBER JB - 1 ADOPTED: APRIL 17, 1996



1. Avoid locating on steep slopes, at curves on public roads, or at corner of culverted area.
2. Remove all vegetation and other unsuitable material from the foundation area, grade, and crown for positive drainage.
3. If slope towards the public road exceeds 2%, construct a 6'-to 8'-inch high bridge with 3:1HV side slopes across the foundation approximately 15' feet from the edge of the public road to divert runoff from it.
4. Install pipe under the entrance if needed to maintain drainage ditch along public road.
5. Place stones to dimensions and grade as shown on plans. Leave surface smooth for drainage.
6. Divert all surface runoff and drainage from the entrance to a sediment control device.
7. If conditions warrant, place geotextile fabric on the graded foundation to improve stability.

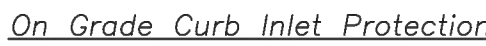
- Maintenance for Construction Entrance:



- ### Notes for Concrete Washout:
1. Concrete washout areas shall be installed prior to any concrete placement on site.
  2. Concrete washout area shall include a flat subsurface pit sized relative to the amount of concrete to be placed on site. The slopes leading out of the subsurface pit shall be 3:1. The vehicle tracking pad shall be sloped towards the concrete washout area.
  3. Vehicle tracking control is required at the access point to all concrete washout areas.
  4. Signs shall be placed at the construction site entrance, washout area and elsewhere as necessary to clearly indicate the location(s) of the concrete washout area(s) to operators of concrete truck and pump rigs.
  5. A one-piece impervious liner may be required along the bottom and sides of the subsurface pit, in sandy or gravelly soils.

- Maintenance for Concrete Washout:

1. Concrete washout materials shall be removed once the materials have filled the washout to approximately 75% full.
2. Concrete washout areas shall be enlarged as necessary to maintain capacity for wasted concrete.
3. Concrete washout water, wasted places of concrete and all other debris in the subsurface pit shall be transported from the job site in a water-tight container and disposed of properly.
4. Concrete washout areas shall remain in place until all concrete for the project is placed.
5. When concrete washout areas are removed, excavations shall be filled with compacted backfill and topped, any disturbed areas associated with the installation, maintenance, and/or removal of the concrete washout areas shall be stabilized.



- Notes:
1. Immediately following inlet construction and prior to construction of curb and inlet throat, protect inlet opening by installing  $2' \times 10'$  (min.) boards wrapped in silt fence. Structures shall have excavated storage area on all four sides to allow settling of sediment (Early Stage Curb Inlet).
  2. When inlet is completed and curb poured, filter socks or approved equal should be used (Late Stage Curb Inlet). Straw wattles are not approved for curb inlet use.
  3. Contractor to field verify ponding water shall not create a traffic hazard.

- Maintenance:

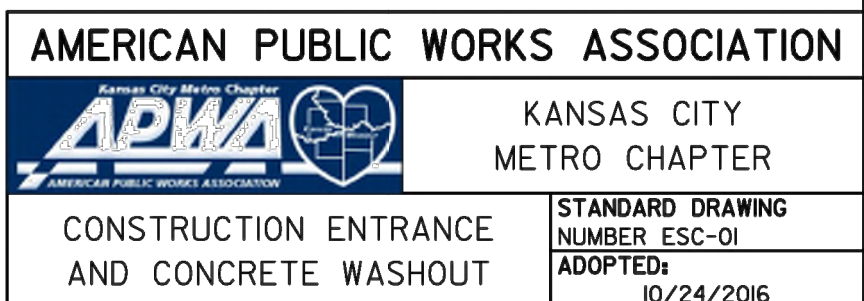
1. Remove deposited sediment from excavated storage areas when available storage has been reduced by 20%.
2. Remove deposited sediment from filter socks or similar when any accumulation of sediment is visible.
3. Repair or replace as necessary to maintain function and integrity of installation.

Modified from 2015 Overland Park Standard Details  
for Erosion and Sediment Control.



- Notes:
1. Rock all sides steeper than 3:1.
  2. Stabilize all disturbed areas downstream of outlet to the limits of disturbance.
  3. Alternative outlet protection and slope stabilization measures may be used with approval by the Engineer.
  4. Install riprap apron so that it is no higher than flowline of pipe.
  5. Reference APWA Specification 2650 for rock type, size, and placement.

Modified from 2015 Overland Park Standard Details  
for Erosion and Sediment Control.



# SITE DETAIL SHEET

DOUGLAS CORNER BUILDING

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<i>X-REF NO.</i>	18109B
<i>DRAWING NO.</i>	23-033PDF
<i>DATE</i>	MAY 10, 202
<i>JOB NO.</i>	23-033

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The logo features a large, bold, black number '8' on the left. To its right, the word 'Consult' is written in a large, bold, black sans-serif font. Below 'Consult', the words 'Inc engineers planners' are written in a smaller, black sans-serif font, stacked vertically.

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