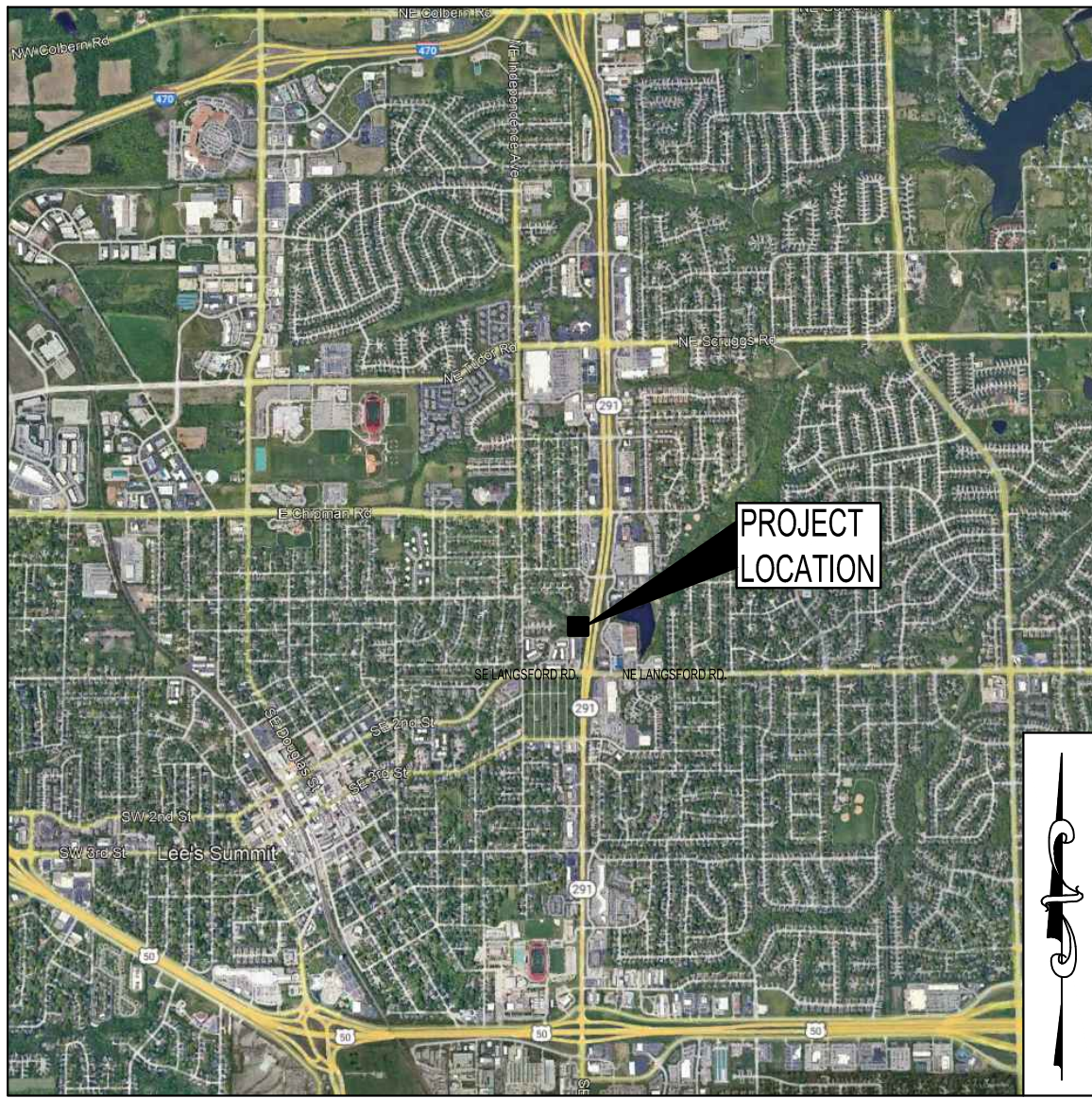


# PROPOSED TAKE 5 OIL CHANGE

RTE 291 @ SE LANGSFORD RD  
LEE'S SUMMIT, MISSOURI



VICINITY MAP  
N.T.S

- NOTE:
- THIS PROJECT IS TO BE CONSTRUCTED WITHIN THE JURISDICTIONAL BOUNDARIES OF THE CITY OF LEE'S SUMMIT, MO.
  - UNLESS OTHERWISE NOTED ALL IMPROVEMENTS SHALL COMPLY WITH THE CITY OF LEE'S SUMMIT, MO STANDARD SPECIFICATIONS AND DRAWINGS.

SHEET INDEX

CIVIL		
1.	COVER	COVER SHEET
2.		SURVEY
3.	ES-1	EROSION CONTROL PLAN
4.	C-1	SITE PLAN
5.	C-2	GRADING PLAN
6.	C-3	UTILITY PLAN
7.	C-3.1	OFFSITE UTILITY PLAN
LANDSCAPE		
7.	L-1.0	LANDSCAPE PLAN
8.	L-1.2.	LANDSCAPE DETAILS
ARCHITECTURAL		
9.	A2.10	FLOOR, REFL CEILING & ROOF PLANS
10.	A4.00	BLDG ELEVATIONS
11.	A9.00	DUMPSTER PLAN & ELEVATIONS

DEVELOPER

DRIVEN ASSETS, LLC  
2101 PEARL STREET  
BOULDER, CO 80302



REVISION	BY

**HIGHTIDE**  
CONSULTANTS LLC  
434 N. COLUMBIA ST, SUITE 200A  
COVINGTON, LA 70433  
www.hightidelc.com

  
SIGNATURE

SEPTEMBER 8, 2023  
DATE

  
STAMP

PROPOSED TAKE 5  
LEE'S SUMMIT, MISSOURI

FOR DRIVEN ASSETS, LLC  
2101 PEARL STREET  
BOULDER, CO 80302

DRAWN KRG
CHECKED RCG
ISSUED DATE 09/08/23
ISSUED FOR REVIEW
PROJECT NO. 22-218
FILE 22-218 COVER

SHEET  
COVER



Sec. 5-47-31

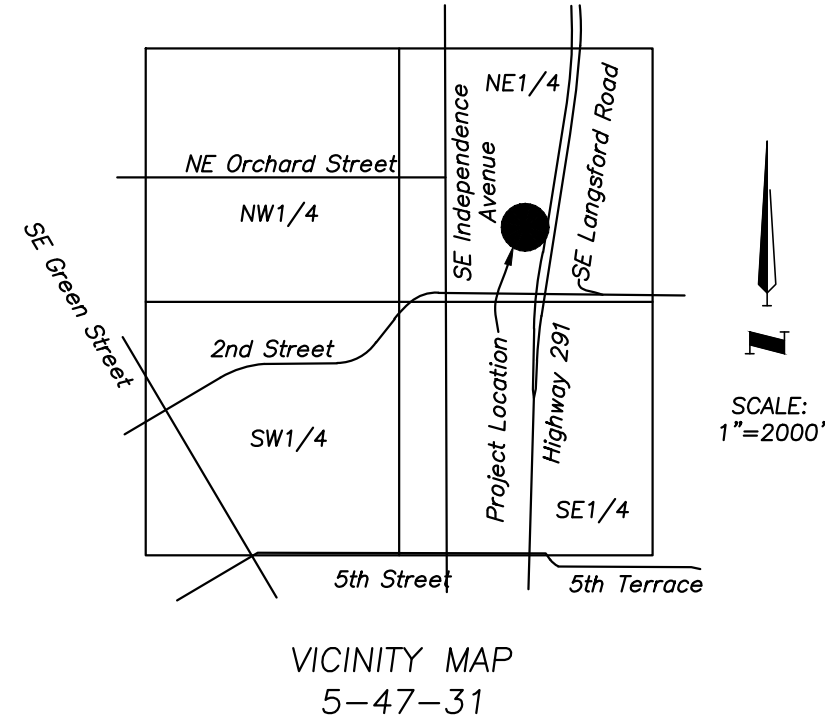
11250 Corporate Avenue  
Lenexa, KS 66219-1392  
913.888.7800 FAX: 913.888.7868  
**SURVEYING | ENGINEERING | CONSTRUCTION**  
*COPYRIGHT © 2017 SHAFER, KLINE & WARREN,*



**CLIENT**

**Byram Realty, LLC**  
5350 W. 94th Terrace, Suite 201  
Prairie Village KS, 66207  
Phone: (913) 722-5229

Job No. 170159-010 March 6, 2017 klg



**DESCRIPTION:**

TRACT 1:

The South 150 feet of the East 150 feet of the North 300 feet of the South 902 feet of the East 880 feet of the West One Half of the Northeast Quarter of Section 5, Township 47, Range 31, in Lee's Summit, Jackson County, Missouri, more particularly described as follows: Commencing at the Southeast corner of said West One Half, a distance of 150.00 feet, then South 89 Degrees, 22 Minutes, 09 Seconds East along the South line of the West One Half of said Quarter Section, a distance of 1321.26 feet to the Southeast corner of said West One Half; thence North 00 Degrees, 40 Minutes, 00 Seconds East along the East line of said West One Half, a distance of 602.00 feet to the East corner of said West One Half; thence North 00 Degrees, 40 Minutes, 00 Seconds East along the South line of said West One Half, a distance of 150.00 feet; thence North 00 Degrees, 40 Minutes, 00 Seconds East, parallel with the East line of said West One Half, a distance of 150.00 feet; thence South 89 Degrees, 22 Minutes, 09 Seconds East, parallel with the South line of said West One Half, a distance of 150.00 feet to the point of beginning; thence North 00 Degrees, 40 Minutes, 00 Seconds West along said East line, a distance of 150.00 feet to the point of beginning.

TRACT 1:  
Commencing at the Southwest corner of the East 1/2 of the Northeast 1/4 of Section 5, Township 47,  
Range 31, Lee's Summit, Jackson County, Missouri; thence along the West line of said line of 1/2 of 1/4  
of Section 5, North 21 Degrees, 23 Minutes, 33 Seconds East to a point; thence along the Right-of-Way  
tract; thence along said West line North 2 Degrees, 33 Minutes, 11 Seconds East 478.76 feet; thence  
South 88 Degrees, 27 Minutes, 48 Seconds East 152.53 feet to a point on the West line of the  
Right-of-Way of M-291; thence along said Right-of-Way line as follows: South 16 Degrees, 32  
Minutes, 36 Seconds West 73.03 feet to a point 135 feet opposite center line Station 1177+00; thence  
South 23 Degrees, 23 Minutes, 47 Seconds West 200 feet to a point 135 feet opposite center line  
Station 1191+00; thence South 1 Degree, 11 Minutes, 44 Seconds West 101.61 feet to a point 117 feet  
opposite center line Station 1204+00; thence parallel to said center line South 11 Degrees, 23 Minutes, 27  
Seconds West 50 feet; thence South 64 Degrees, 21 Minutes, 40 Seconds West 66.40 feet to a  
point 170 feet opposite center line Station 1210+00; thence parallel to said center line South 11  
Degrees, 23 Minutes, 27 Seconds West 31.23 feet; thence parallel to said Right-of-Way North 77  
Degrees, 26 Minutes, 43 Seconds West 35.61 feet to the true point of beginning.

**FLOOD NOTE:**

*This property lies within flood Zone X, defined as areas determined to be outside the limits of the 0.2% annual chance flood plane, and Other Flood areas as shown on the Flood Insurance rate map prepared by the Federal Emergency Management Agency for the City of Overland Park, Johnson County, Kansas, Community No. 29 174, Panel No. 0436G and dated January 20, 2017*

General Notes:

The horizontal datum is based on the State plane coordinate system MO West Zone NAD 83

Adjusted to Ground Plane CAF=0.999901213

*Elevations shown hereon are based upon NAVD88 Datum.*

Contours shown hereon are at 1' contour intervals.

The accuracy standard for this survey is in accordance with type "URBAN"

**ZONING NOTE:**

No Zoning report or letter was furnished at the time of survey.

**BENCHMARK 1** **ELEV.: 982.13**  
Set square cut in the top of the South side of a 15" light  
pole base 100'± North of the Northeast property corner.  
East side of parking lot 70'± West of 291 HWY.

BENCHMARK 2 ELEV.: 991.62  
Existing square cut on back of curb 50± East Northeast of  
the Northeast corner of meineke on the North side drive at  
the flume.

Area = 75,218± Sq. Ft. or 1.727± Acres

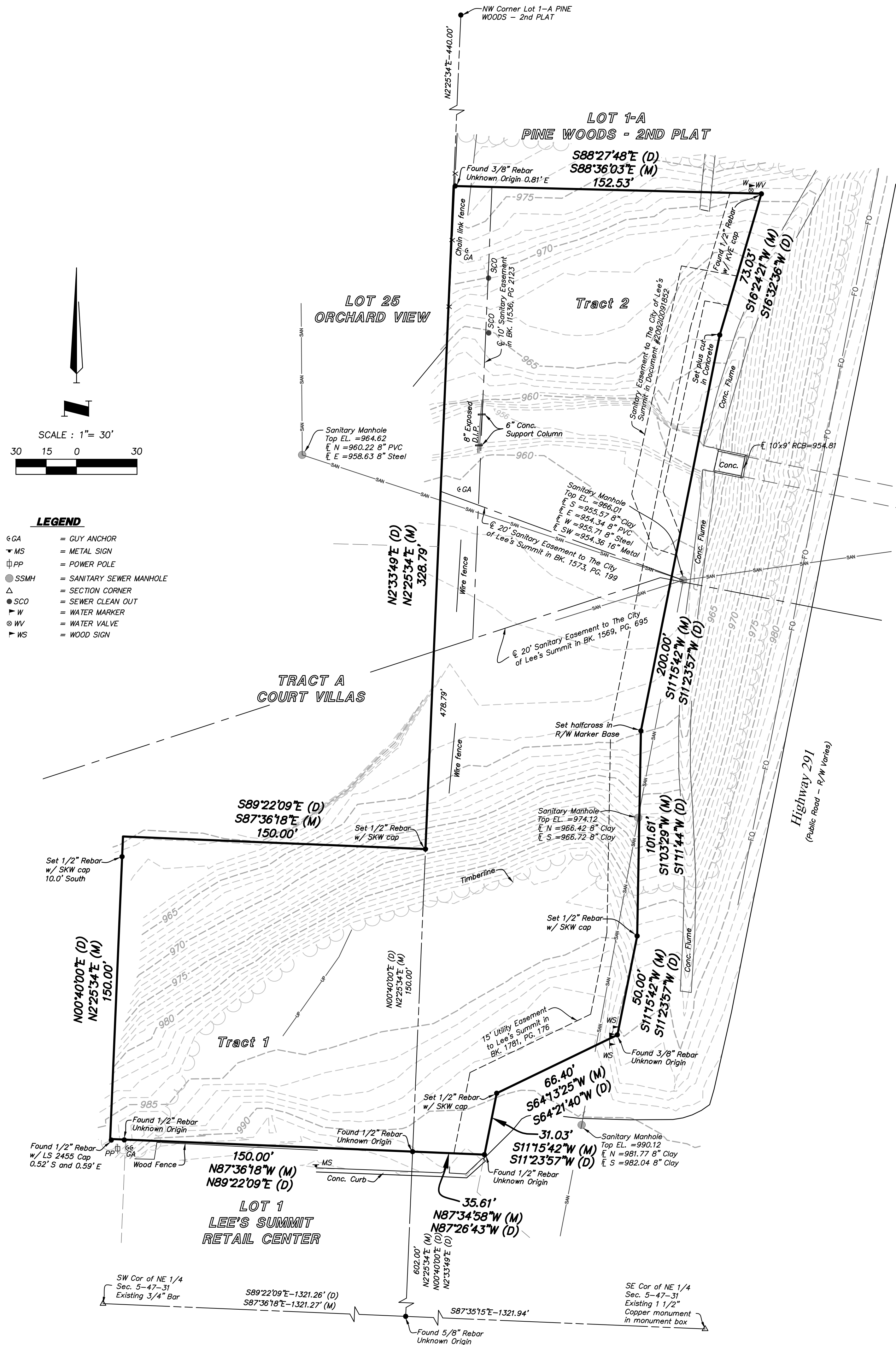
To: Vivion Properties, LLC; LSMO I, LLC; Bennisonvestments, LLC; Silverlake Holdings, LLC; and Old Republic National Title Insurance Company  
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 3, 4, 5, 6a, 8, and 11 of Table A thereof. The fieldwork was completed on February 24, 2017.



**Note.**

1. Visual indications of utilities are as shown. Underground locations shown, as furnished by the respective utility companies, are approximate and shall be verified in the field at the time of construction. For actual field locations of underground utilities, call 1-800-344-7233.

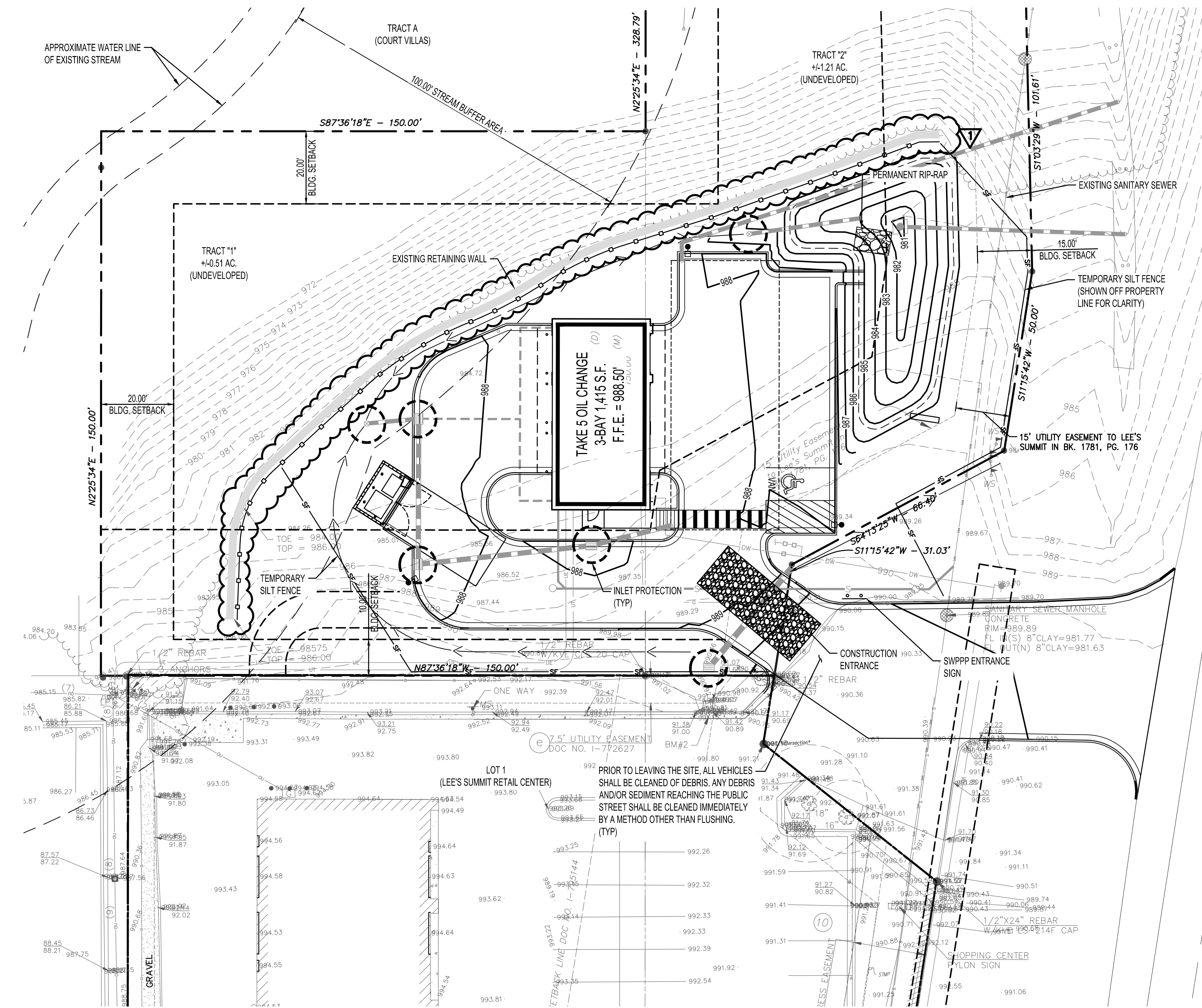
2. The contractor shall be responsible for contacting all utility companies for field location of all underground utility lines prior to any excavation and for the coordination and scheduling with utility owners of all work required to resolve conflicts with installations, constructions, excavations, removals, placements, relocation and other miscellaneous work.



Robert Craig Sandlin, PLS-2016000169  
Shafer, Kline & Warren, Inc. Corporate Certificate/License No. 000003

Job No. 170159-010  
Sec. 5-47-31  
Jackson County Missouri  
170159-010 SUR.DWG





ACCORDING TO THE MISSOURI DEPARTMENT OF NATURAL RESOURCES GIS MAP, NO EXISTING OIL AND GAS WELLS ARE LOCATED ON SITE.

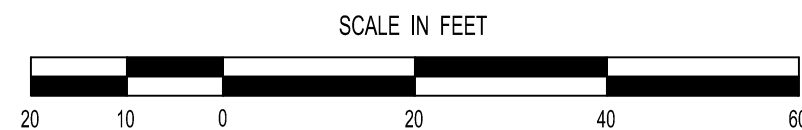
#### EROSION CONTROL LEGEND

- CONSTRUCTION ENTRANCE
- INLET PROTECTION
- TEMPORARY SILT FENCE
- PERMANENT RIP-RAP
- STORM DRAIN PIPE

REFER TO SURVEY SHEETS FOR LEGEND OF EXISTING FEATURES



## EROSION CONTROL PLAN



REVISION	BY
1	KRG
9/26/23	
REVISED PER CITY	

**HIGH TIDE CONSULTANTS LLC**  
434 N. COLUMBIA ST, SUITE 200A  
COVINGTON, LA 70433  
www.hightidela.com

**SEPTEMBER 26, 2023**  
DATE

**B. SHANE**  
SIGNATURE

**PROFESSIONAL ENGINEER**  
MISSOURI  
B. SHANE  
NUMBER  
PE - 202100076

**PROPOSED TAKE 5**  
LEE'S SUMMIT, MISSOURI

**FOR DRIVEN ASSETS, LLC**  
2101 PEARL STREET  
BOULDER, CO 80302

DRAWN KRG
CHECKED RCG
ISSUED DATE 09/08/23
ISSUED FOR REVIEW
PROJECT NO. 22-218
FILE 22-218 ES-1 Erosion Control Plan

SHEET  
**ES-1**



ACCORDING TO THE MISSOURI DEPARTMENT OF NATURAL RESOURCES GIS MAP, NO EXISTING OIL AND GAS WELLS ARE LOCATED ON SITE.

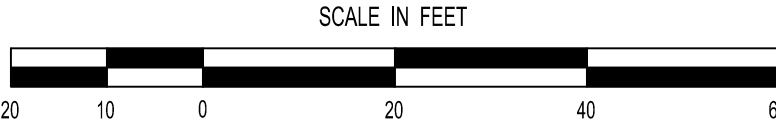
FLOOD NOTE:  
THIS PROPERTY LIES WITHIN FLOOD ZONE X, DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE LIMITS OF THE 0.2% ANNUAL CHANCE FLOOD PLANE, AND OTHER FLOOD AREAS AS SHOWN ON THE FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, COMMUNITY NO. 29 174 0436G AND DATED JANUARY 20, 2017

#### SITE DATA SUMMARY

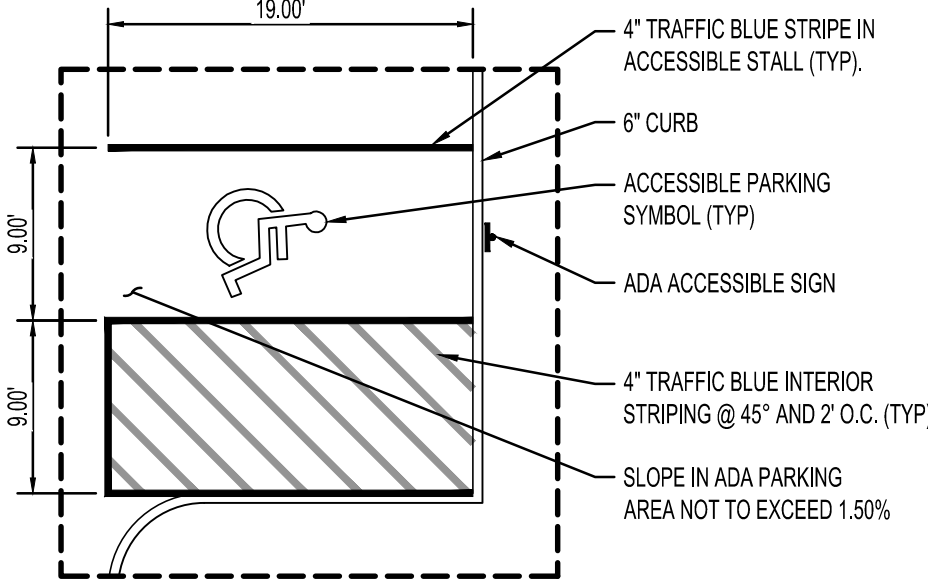
ZONING	CP-2 (APPLIED)
PROPOSED USE	AUTOMOBILE SERVICE
BUILDING AREA (GROSS SQUARE FOOTAGE)	1,415 S.F.
LAND AREA	21,863.80 S.F.
IMPERVIOUS SURFACE	10,436.60 S.F.
FLOOR AREA RATIO (FAR)	1,415/21,863.8 = 0.065 < 0.55 MAX



## SITE PLAN



#### ADA DETAIL



#### LEGEND

	PROPERTY LINE		STANDARD DUTY CONCRETE PAVEMENT
	PROPOSED BUILDING		HEAVY DUTY CONCRETE PAVEMENT
	CG-1 CONCRETE CURB		HEAVY DUTY REINFORCED CONCRETE DUMPSTER PAD
	PARKING COUNT		STAINED CONCRETE
	SITE LIGHTING FIXTURE		SIDEWALK
	3' FLUME		

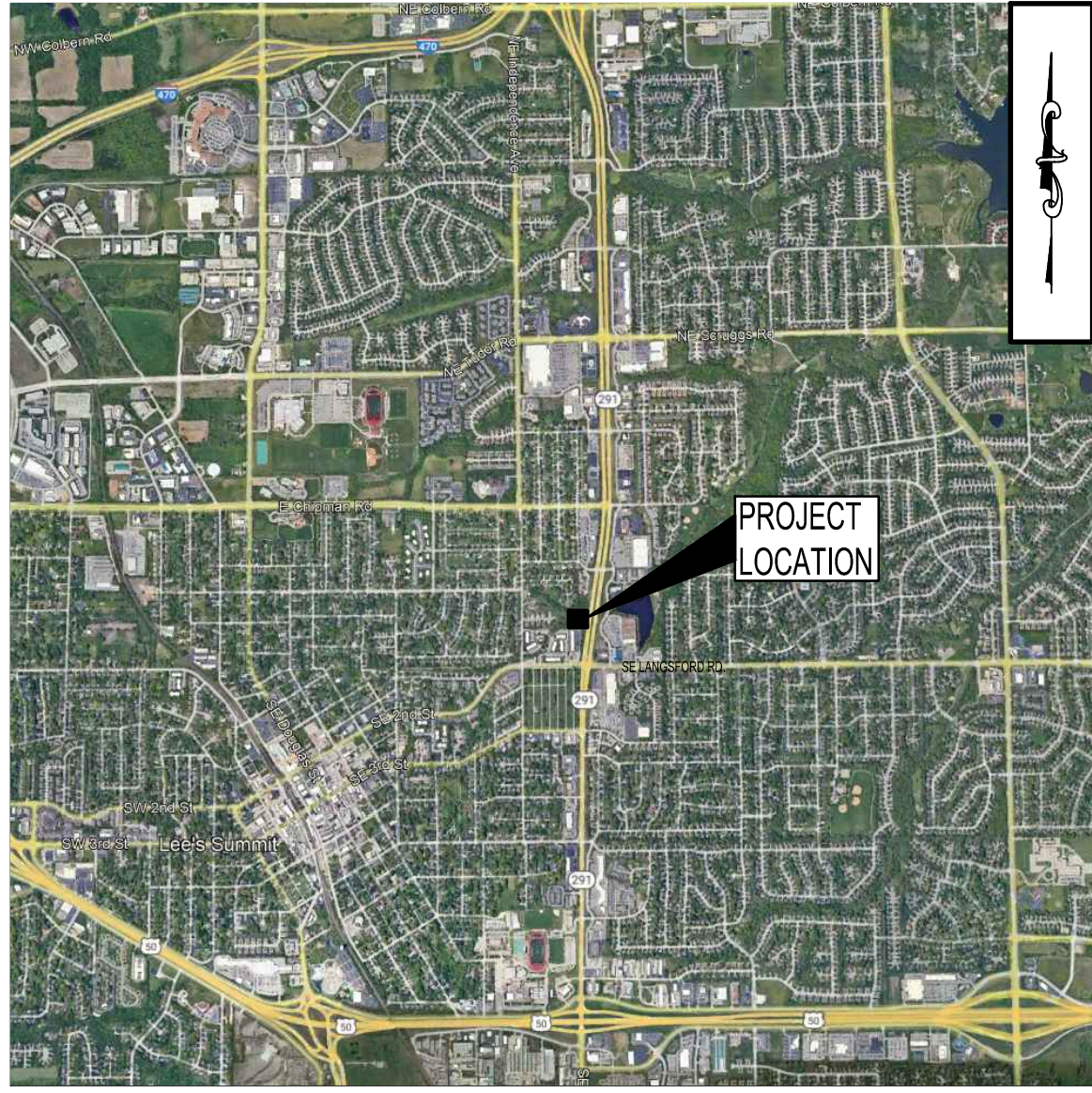
REFER TO SURVEY SHEETS FOR LEGEND OF EXISTING FEATURES.

#### PARKING ANALYSIS

TAKE 5 OIL	+/- 1,415 S.F.
PARKING REQUIRED	10 SPACES
PARKING PROVIDED	10 SPACES (INCLUDING 3 BAYS)

\*CITY PARKING REQUIREMENT  
3 SPACES PER BAY, BAYS MAY BE COUNTED AS A PARKING SPACE

#### VICINITY MAP



OWNER  
VIVION PROPERTIES, LLC  
5350 W. 94th TERRACE,  
SUITE 104  
PRAIRIE VILLAGE, KS 66207

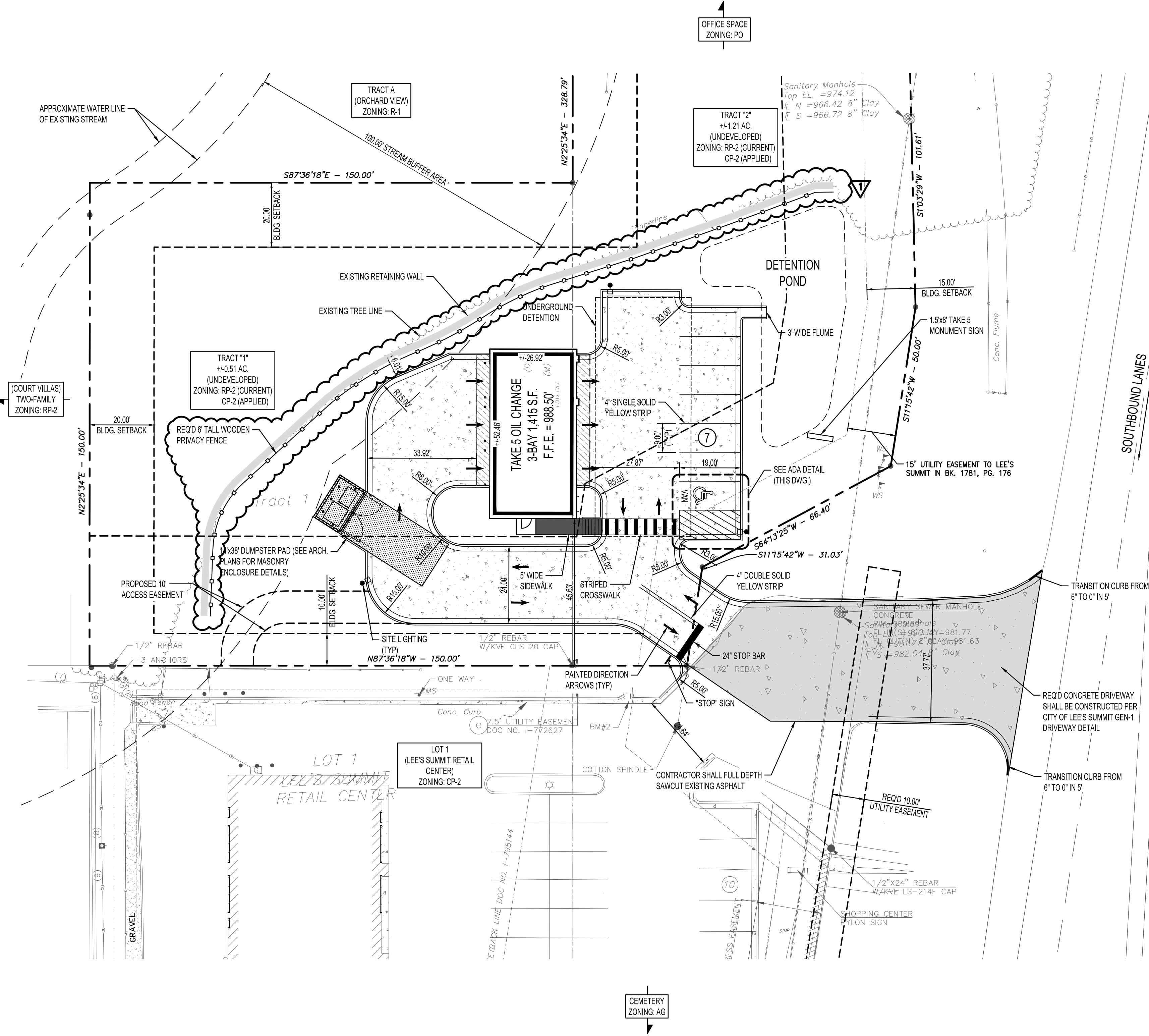
PLAN PREPARE/CIVIL ENGINEER  
HIGH TIDE CONSULTANTS, LLC  
434 N. COLUMBIA ST., SUITE 200A  
COVINGTON, LA 70435  
ATTN: RICHARD C. GALLOWAY, PE  
EMAIL: ricky@hightidela.com

ARCHITECT  
FUSION ARCHITECTS  
3488 BRETHWOOD DRIVE  
BATON ROUGE, LA 70806  
ATTN: MATT DAIGREPONT, AIA  
PHONE: 225-766-4848

LANDSCAPE ARCHITECT  
MCKNIGHT LANDSCAPE ARCHITECTS  
668 S. FOSTER DRIVE, STE 101  
BATON ROUGE, LA 70806  
ATTN: WES WILKERSON  
EMAIL: wes@mcknight-la.com

DEVELOPER  
DAP LANSING, LLC  
2101 PEARL STREET  
BOULDER, CO 80302  
ATTN: TODD MINNIS  
EMAIL: todd@drivenassets.com  
PHONE: 214-587-5088

MULTI-USE DEVELOPMENT  
ZONING: CP-2



REVISION	BY
1	KRG
9/26/23	
REVISED PER CITY	

**HIGH TIDE**  
**CONSULTANTS LLC**  
434 N. COLUMBIA ST., SUITE 200A  
COVINGTON, LA 70433  
www.hightidela.com

SIGNATURE:   
DATE: SEPTEMBER 26, 2023

STAMP: MISSOURI PROFESSIONAL ENGINEER  
B. SHANE GUIN  
NUMBER: PE - 202100076

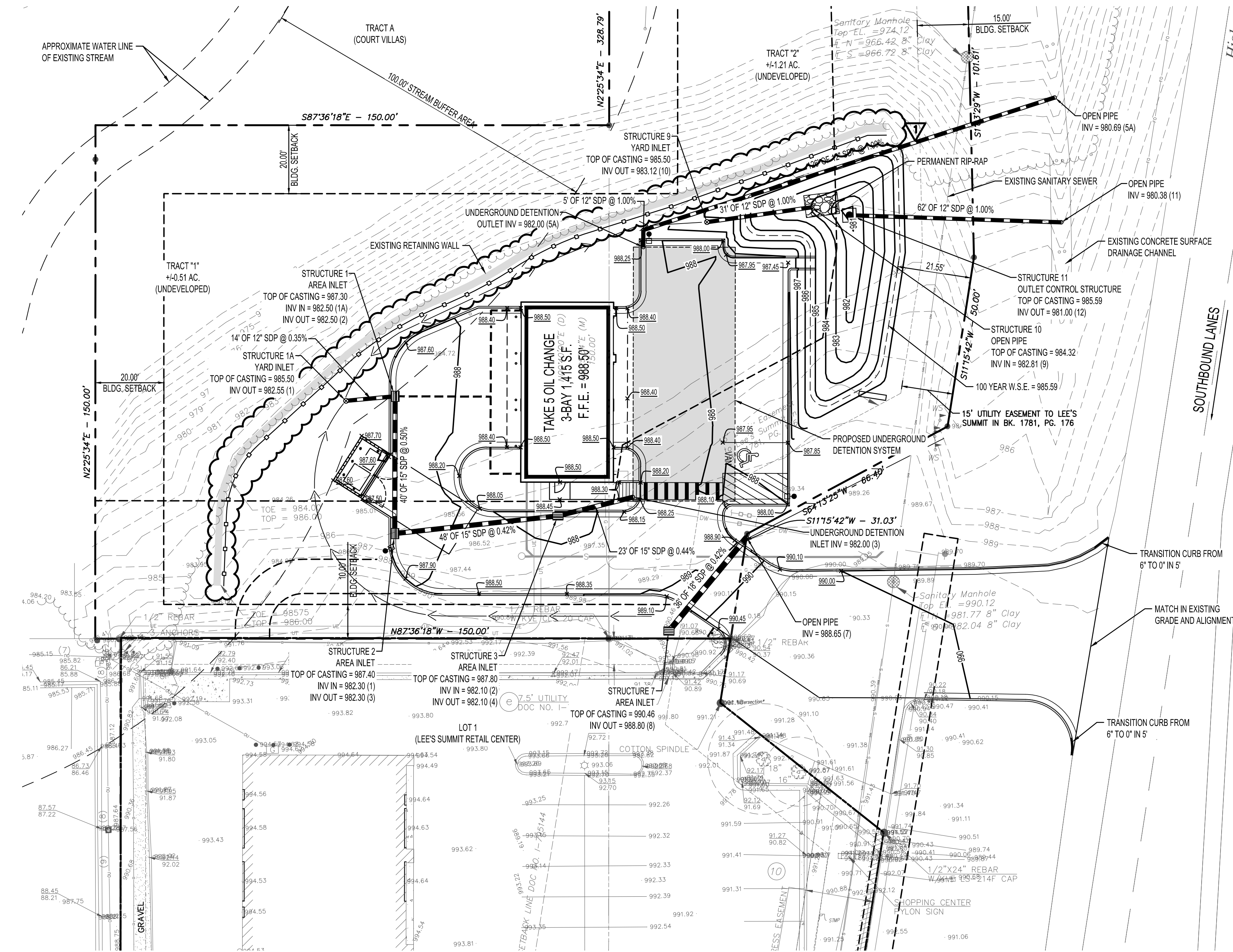
PROPOSED TAKE 5  
LEE'S SUMMIT, MISSOURI

FOR DRIVEN ASSETS, LLC  
2101 PEARL STREET  
BOULDER, CO 80302

DRAWN KRG
CHECKED RCG
ISSUED DATE 09/08/23
ISSUED FOR REVIEW
PROJECT NO. 22-218
FILE 22-218 C-1 Site Plan
SHEET C-1



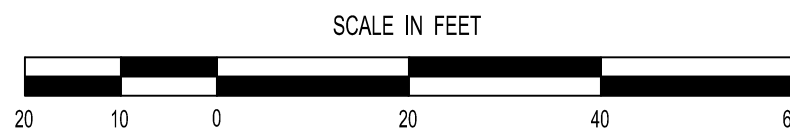
ACCORDING TO THE MISSOURI DEPARTMENT OF NATURAL RESOURCES GIS MAP, NO EXISTING OIL AND GAS WELLS ARE LOCATED ON SITE.



**FLOOD NOTE:**  
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## GRADING PLAN



### LEGEND - PROPOSED IMPROVEMENTS

	PROPERTY LINE		CONTOUR
	PROPOSED BUILDING		SPOT ELEVATION
	CG-1 CONCRETE CURB		SLOPE ARROW
	STORM DRAIN PIPE		DOMESTIC WATER LINE
	AREA INLET		SANITARY SEWER LINE
	3' FLUME		GAS LINE
	HIGH POINT / GRADE BREAK		UNDERGROUND TELEPHONE LINE
			UNDERGROUND ELECTRICAL LINE

REFER TO SURVEY SHEETS FOR  
LEGEND OF EXISTING FEATURES

REVISION	BY
1 9/26/23 REVISED PER CITY	KRG

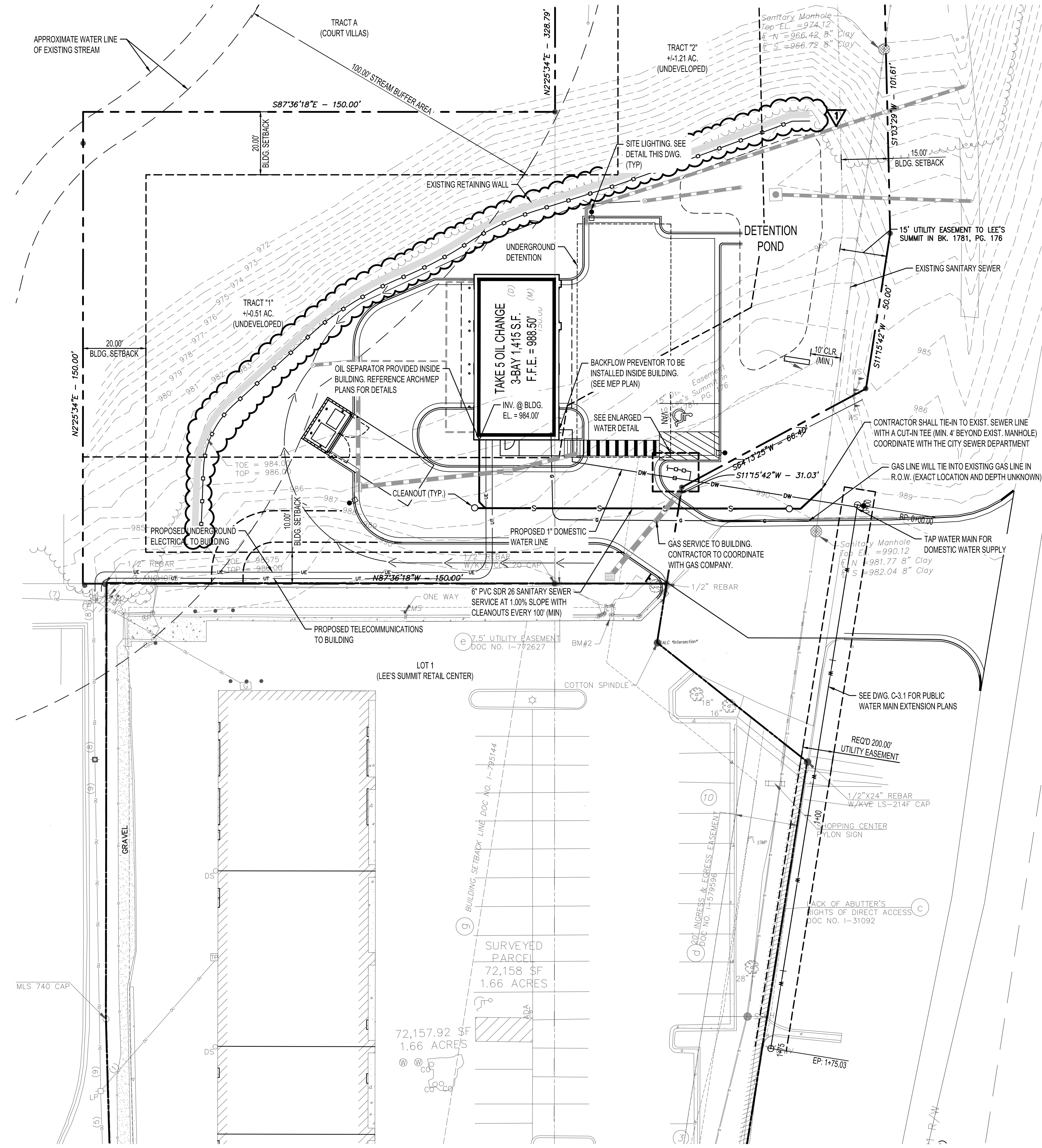
**HIGH TIDE**  
**CONSULTANTS LLC**  
434 N. COLUMBIA ST, SUITE 200A  
COVINGTON, LA 70433  
www.hightidela.com

B. SHANE GUIN  
PROFESSIONAL ENGINEER  
STATE OF MISSOURI  
LICENSE NO. 202100076  
DATE: SEPTEMBER 26, 2023  
SIGNATURE: [Signature]

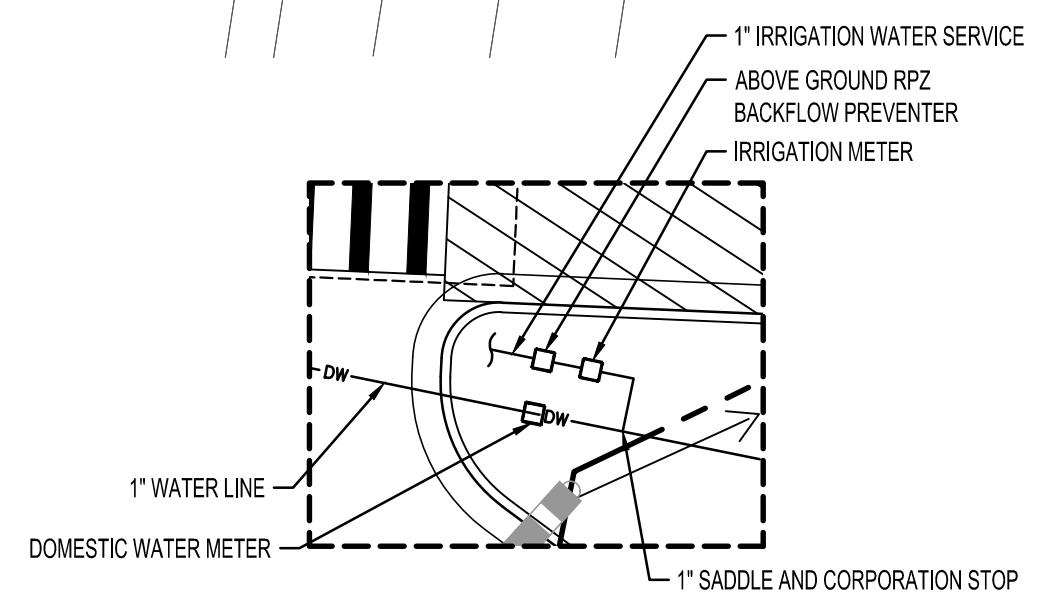
PROPOSED TAKE 5  
LEE'S SUMMIT, MISSOURI  
FOR DRIVEN ASSETS, LLC  
2101 PEARL STREET  
BOULDER, CO 80302

DRAWN KRG
CHECKED RCG
ISSUED DATE 09/08/23
ISSUED FOR REVIEW
PROJECT NO. 22-218
FILE 22-218 C-2 Grading Plan
SHEET C-2

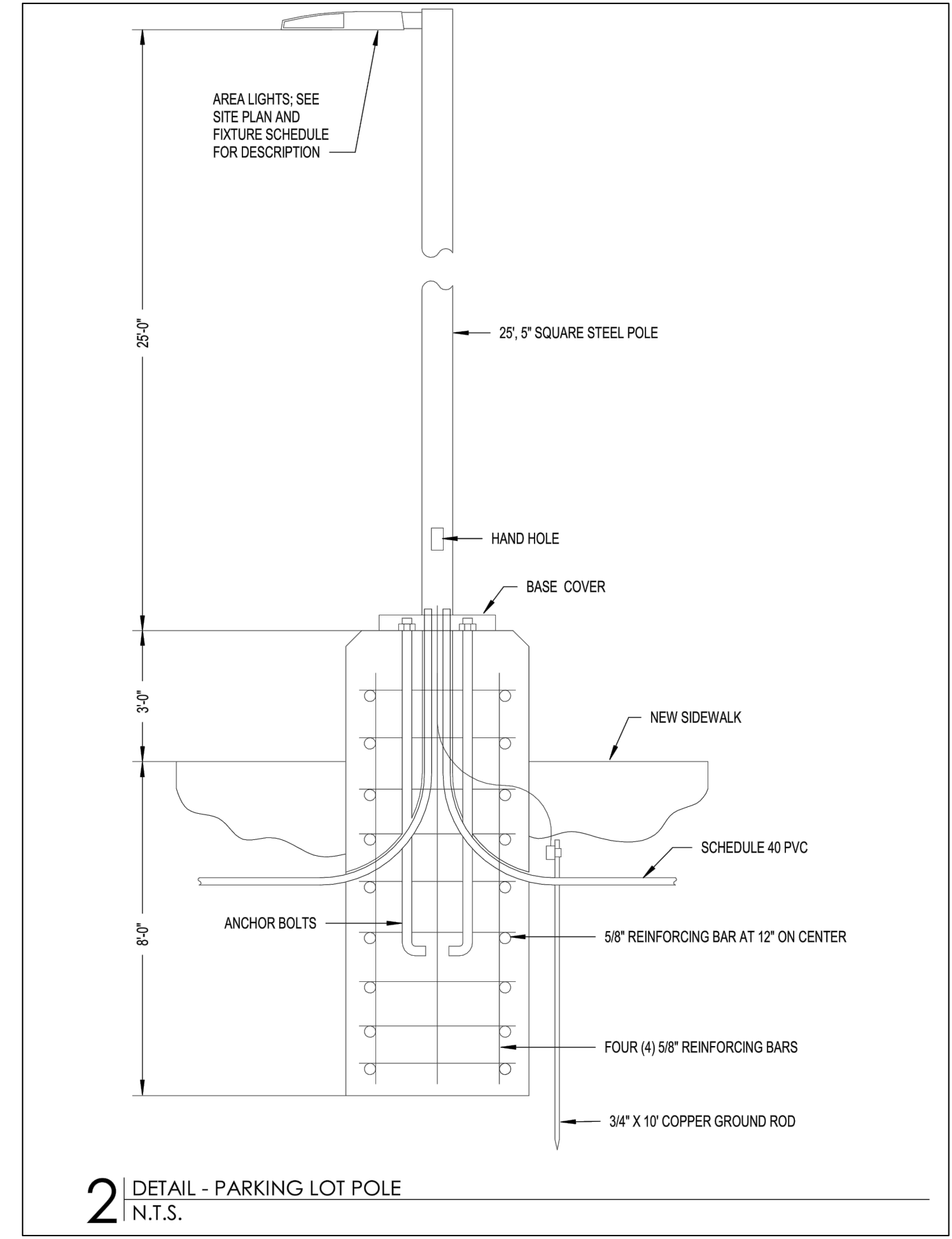




ACCORDING TO THE MISSOURI DEPARTMENT OF NATURAL RESOURCES GIS MAP, NO EXISTING OIL AND GAS WELLS ARE LOCATED ON SITE.



ENLARGED WATER DETAIL  
N.T.S.



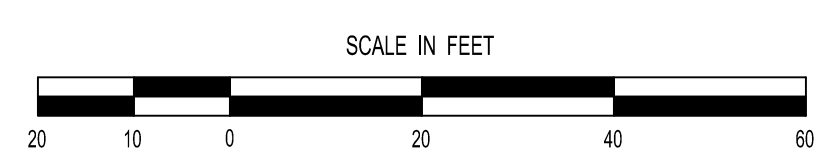
LIGHTING FIXTURE SCHEDULE										
MARK	DESCRIPTION	LAMPS	VOLTS	LOAD	TEMP.	LUMENS	MOUNTING	MANUFACTURER	CATALOG NO.	COUNT
G	PARKING LOT FIXTURE ON 25' SSS POLE. PROVIDE ALL MOUNTING HARDWARE AS REQUIRED. PROVIDE HOUSESIDE SHIELD	LED	UNV	60 VA	4,000	6,500	25' SSS POLE	LITHONIA LIGHTING	DSX1 LED 12 40K T3M MVOLT HS	3

LEGEND

- PROPERTY LINE
- PROPOSED BUILDING
- CG-1 CONCRETE CURB
- STORM DRAIN PIPE
- DOMESTIC WATER LINE
- SANITARY SEWER LINE
- GAS LINE
- UNDERGROUND TELEPHONE LINE
- UNDERGROUND ELECTRICAL LINE
- CLEANOUT
- SITE LIGHTING FIXTURE



UTILITY PLAN



REVISION  
9/26/23  
REVISED PER CITY

BY  
KRG

HIGH TIDE  
CONSULTANTS LLC  
434 N. COLUMBIA ST, SUITE 200A  
COVINGTON, LA 70433  
www.hightidela.com

SIGNATURE

SEPTEMBER 26, 2023  
DATE

PROPOSED TAKE 5  
LEE'S SUMMIT, MISSOURI

FOR DRIVEN ASSETS, LLC  
2101 PEARL STREET  
BOULDER, CO 80302

DRAWN  
KRG

CHECKED  
RCG

ISSUED DATE  
09/08/23

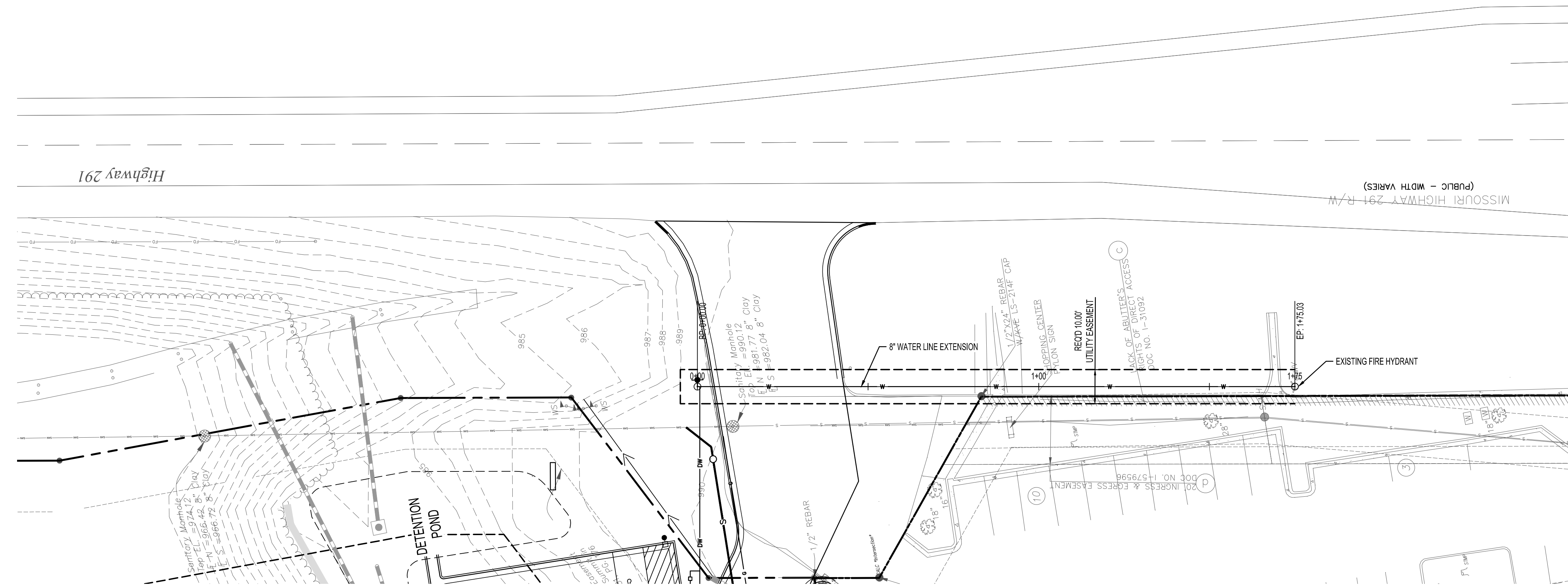
ISSUED FOR REVIEW

PROJECT NO.  
22-218

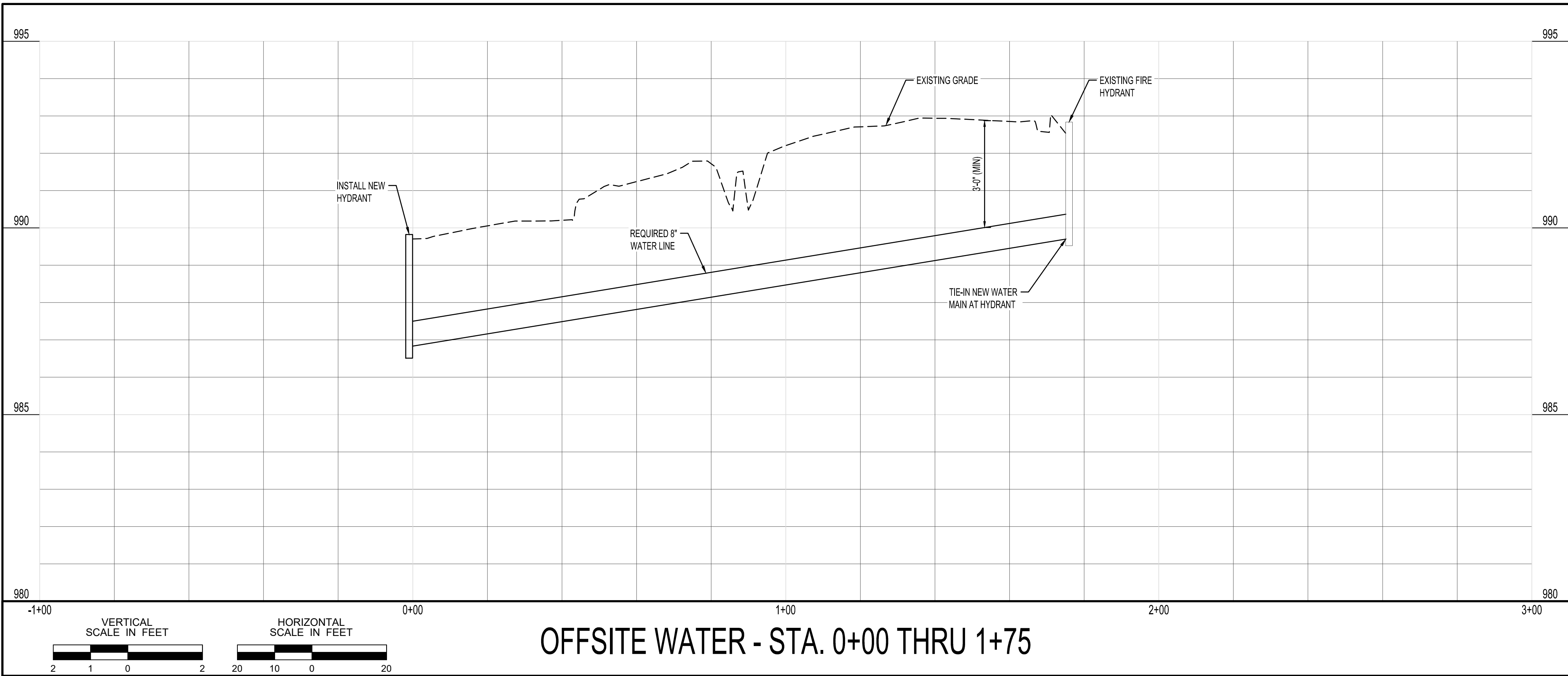
FILE  
22-218 C-3 Utility Plan

SHEET  
C-3





- LEGEND
- PROPERTY LINE
  - PROPOSED BUILDING
  - CG-1 CONCRETE CURB
  - STORM DRAIN PIPE
  - DOMESTIC WATER LINE
  - SANITARY SEWER LINE
  - GAS LINE
  - UNDERGROUND TELEPHONE LINE
  - UNDERGROUND ELECTRICAL LINE
  - CLEANOUT
  - SITE LIGHTING FIXTURE



OFFSITE WATER - STA. 0+00 THRU 1+75

ACCORDING TO THE MISSOURI DEPARTMENT OF NATURAL RESOURCES GIS MAP, NO EXISTING OIL AND GAS WELLS ARE LOCATED ON SITE.



Not For Construction

# OFFSITE UTILITY PLAN

SCALE IN FEET

20 10 0 20 40 60

REVISION	BY

**HIGH TIDE**  
CONSULTANTS LLC  
434 N. COLUMBIA ST, SUITE 200A  
COVINGTON, LA 70433  
www.hightidela.com

B. SHANE  
STATE OF MISSOURI  
LICENSED PROFESSIONAL ENGINEER  
NUMBER 202100076  
DATE: SEPTEMBER 8, 2023  
SIGNATURE: [Signature]

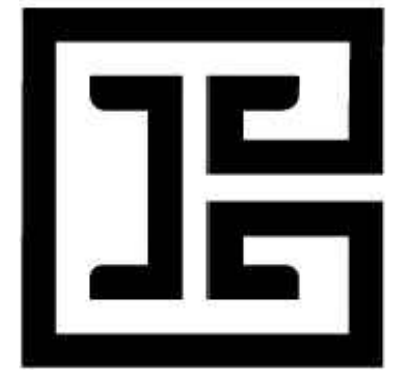
PROPOSED TAKE 5  
LEE'S SUMMIT, MISSOURI  
FOR DRIVEN ASSETS, LLC  
2101 PEARL STREET  
BOULDER, CO 80302

DRAWN: KRG  
CHECKED: RCG  
ISSUED DATE: 11/XX/22  
ISSUED FOR REVIEW  
PROJECT NO.: 22-218  
FILE: 22-218 C-3 Utility Plan  
SHEET: C-3.1



REVISION	BY
REVISION #1	

HIGH TIDE  
CONSULTANTS LLC  
434 N. COLUMBIA ST, SUITE 200A  
COVINGTON, LA 70433  
www.hightidela.com



SIGNATURE  
DATE  
STAMP  
STATE OF MISSOURI  
LANDSCAPE ARCHITECT  
PLA-2021099815

PROPOSED TAKE 5  
LEE'S SUMMIT, MISSOURI  
FOR DRIVEN ASSETS, LLC  
2101 PEARL STREET  
BOULDER, CO 80302

DRAWN  
ML  
CHECKED  
BG/EM  
ISSUED DATE  
9/28/2023  
ISSUED FOR  
PRELIMINARY DEVELOPMENT  
PROJECT NO.  
FILE  
L1.0 LANDSCAPE ORDINANCE PLAN

SHEET  
L1.0

LANDSCAPE MATERIALS AND PLANTS LIST	
QUANTITY	PLANT / MATERIAL NAME AND DESCRIPTION
832	Bed Preparation (square feet) 6" planting soil over 8" loosened topsoil. Mix top 4" of topsoil with first 3" of imported planting soil.
AS NEEDED	Hardwood Mulch, shredded (square feet) 3" thick layer in all planting areas and 2x root ball diameter ring around all trees
272	Metal Edging (linear feet) 1/2" x 4" aluminum edging color black; install between planting and gravel border
63	Gravel Border (square feet) 1/2" - 1" river rock. 3" deep layer over non-woven filter fabric
880	Lawn - Turf Type Fescue (square yards) certified weed and pest free
14	Drift Rose 'Popcorn' (Rosa 'Navarospop') 3 gallon container, 15"-18" spread, dense and compact growth habit
660	Liriope (Liriope muscari) 4" Container, 4"-6" height and spread, full container 4 per square foot
6	New Horizon Elm (Ulmus davidiana var. japonicus x Ulmus pumila) 45 gallon container, 12'-14' height, 5'-7' spread, 2 1/2"-3" caliper, straight trunk, heavily branched, heavy canopy
4	Sweetbay Magnolia 'Green Shadow'; (Magnolia virginiana 'Green Shadow') 7'-8' height, 4'-5' spread, standard, 1" caliper, heavily branched
6	Viburnum (Viburnum rhytidophyloides 'Allegheny') 5 gallon container, 3' height, dense foliage, full container
46	Japanese Yew (Podocarpus macrophyllus) 5 gallon container, 18" height, 18" spread, dense and compact growth habit, strong central leader
64	'Hayden's Sedge' Carex haydenii 3 gallon container, 7"- 8" height, 12" - 18" spread at base, full container, heavy and active foliage, planted 24" o.c.



NOTE:  
OWNER'S REPRESENTATIVE SHALL REVIEW LANDSCAPING FOLLOWING INSTALLATION TO CERTIFY COMPLIANCE WITH APPROVED PLAN.

#### LANDSCAPE ORDINANCE STANDARDS

- THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL FINAL GRADE WITH THE LANDSCAPE ARCHITECT AND OR DESIGN TEAM PRIOR TO COMPLETION.
- LOCATION AND PLACEMENT OF ALL PLANT MATERIAL SHALL BE COORDINATED WITH THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- THE LOCATION OF ALL UTILITIES ARE APPROXIMATE, THE CONTRACTOR SHALL FIELD VERIFY LOCATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION OPERATIONS.
- REFER TO CIVIL DRAWINGS FOR ALL GRADING AND BERMING, EROSION CONTROL, STORM DRAINAGE, UTILITIES AND SITE LAYOUT.
- PLANT QUANTITIES ARE FOR INFORMATION ONLY DRAWING SHALL PREVAIL IF CONFLICT OCCURS. CONTRACTOR IS RESPONSIBLE FOR CALCULATING OWN QUANTITIES AND BID ACCORDINGLY.
- THE CONTRACTOR IS TO NOTIFY LANDSCAPE ARCHITECT AFTER STAKING IS COMPLETE AND BEFORE PLANT PITS ARE EXCAVATED. PROVIDE PHOTOGRAPHS.
- TREE LOCATIONS IN AREAS ADJACENT TO DRIVES, WALKS, WALLS AND LIGHT FIXTURES MAY BE FIELD ADJUSTED AS APPROVED BY LANDSCAPE ARCHITECT.
- THE CONTRACTOR SHALL REPORT SUBSURFACE SOIL OR DRAINAGE PROBLEMS TO THE LANDSCAPE ARCHITECT.
- THE PLAN IS SUBJECT TO CHANGES BASED ON PLANT SIZE AND MATERIAL AVAILABILITY. ALL CHANGES OR SUBSTITUTIONS MUST BE APPROVED BY THE CITY OF LEE'S SUMMIT, MISSOURI AND THE LANDSCAPE ARCHITECT.
- ALUMINUM LANDSCAPE EDGING TO BE USED ON ALL LANDSCAPE BEDS ABUTTING TURF AREAS AS NOTED ON LANDSCAPE PLANS/LEGEND.
- LANDSCAPE CONTRACTOR IS TO BE RESPONSIBLE FOR WATERING ALL PLANT MATERIAL UNTIL THE TIME THAT A PERMANENT WATER SOURCE IS READY.
- THE CONTRACTOR SHALL SHOW PROOF OF PROCUREMENT, SOURCES, QUANTITIES AND VARIETIES FOR ALL SHRUBS, PERENNIALS ORNAMENTAL GRASSES AND ANNUALS WITHIN 21 DAYS FOLLOWING THE AWARD OF THE CONTRACT.
- CONTRACTOR SHALL PROVIDE FULL MAINTENANCE FOR NEWLY LANDSCAPED AREAS FOR A PERIOD OF 30 DAYS AFTER THE DATE OF FINAL ACCEPTANCE. AT THE END OF THE MAINTENANCE PERIOD, A HEALTHY, WELL-ROOTED, EVEN-COLORED, VIABLE TURF AND LANDSCAPED AREA MUST BE ESTABLISHED. THE LANDSCAPED AREAS SHALL BE FREE OF WEEDS, OPEN JOINTS, BARE AREAS AND SURFACE IRREGULARITIES.
- LANDSCAPE CONTRACTOR SHALL PROVIDE HARDWOOD MULCH SAMPLE TO OWNER FOR APPROVAL.

#### LANDSCAPE ORDINANCE CALCULATIONS

LEE'S SUMMIT MO DEVELOPMENT CODE, DIVISION III, SECTION 8.710-900, ZONED: CP2

##### STREET FRONTAGE (NON RESIDENTIAL ZONE)

- A. 1 TREE PER 30 L.F. OF STREET FRONTAGE  
REQUIRED: 5 TREES  
PROVIDED: 5 TREES
- B. 20' WIDE LANDSCAPE STRIP TO SEPARATE PARKING AREA FROM THE STREET.  
PROVIDED: 20' LANDSCAPE STRIP
- C. 1 SHRUB FOR EACH 20' OF STREET FRONTAGE  
REQUIRED: 7 SHRUBS  
PROVIDED: 14 SHRUBS (NEAR SIGNAGE)

##### OPEN YARD AREA

LOT CONTAINS A LARGE CONSERVATION AREA THAT WILL REMAIN. CALCULATIONS BELOW ARE BASED ON CLEARED PORTION OF THE LOT; 23,670 SQUARE FEET.

- A. 2 SHRUBS PER 5,000 SQUARE FEET  
REQUIRED: 10 SHRUBS  
PROVIDED: 20 SHRUBS (PROVIDED TO HIDE TRASH ENCLOSURE AND DRIVEWAY)
- B. 1 TREE PER 5,000 SQUARE FEET  
REQUIRED: 5 TREES  
PROVIDED: 5 TREES

##### PARKING LOT SCREENING

- A. 2 1/2' HEIGHT OF SCREENING REQUIRED ALONG THE EDGE OF PARKING LOT CLOSEST TO THE STREET
- B. A HEDGE CONSISTING OF AT LEAST 12 SHRUBS PER 40'. HEDGE MUST BE AT LEAST 18" TALL AT TIME OF PLANTING.  
REQUIRED: 36 SHRUBS (CONTINUOUS HEDGE)  
PROVIDED: 44 SHRUBS (PROVIDED TO HAVE CONTINUOUS HEDGE AROUND PARKING LOT PER CODE)

##### SOUTH & EAST BUFFER (CP2 ADJACENT TO CP2)

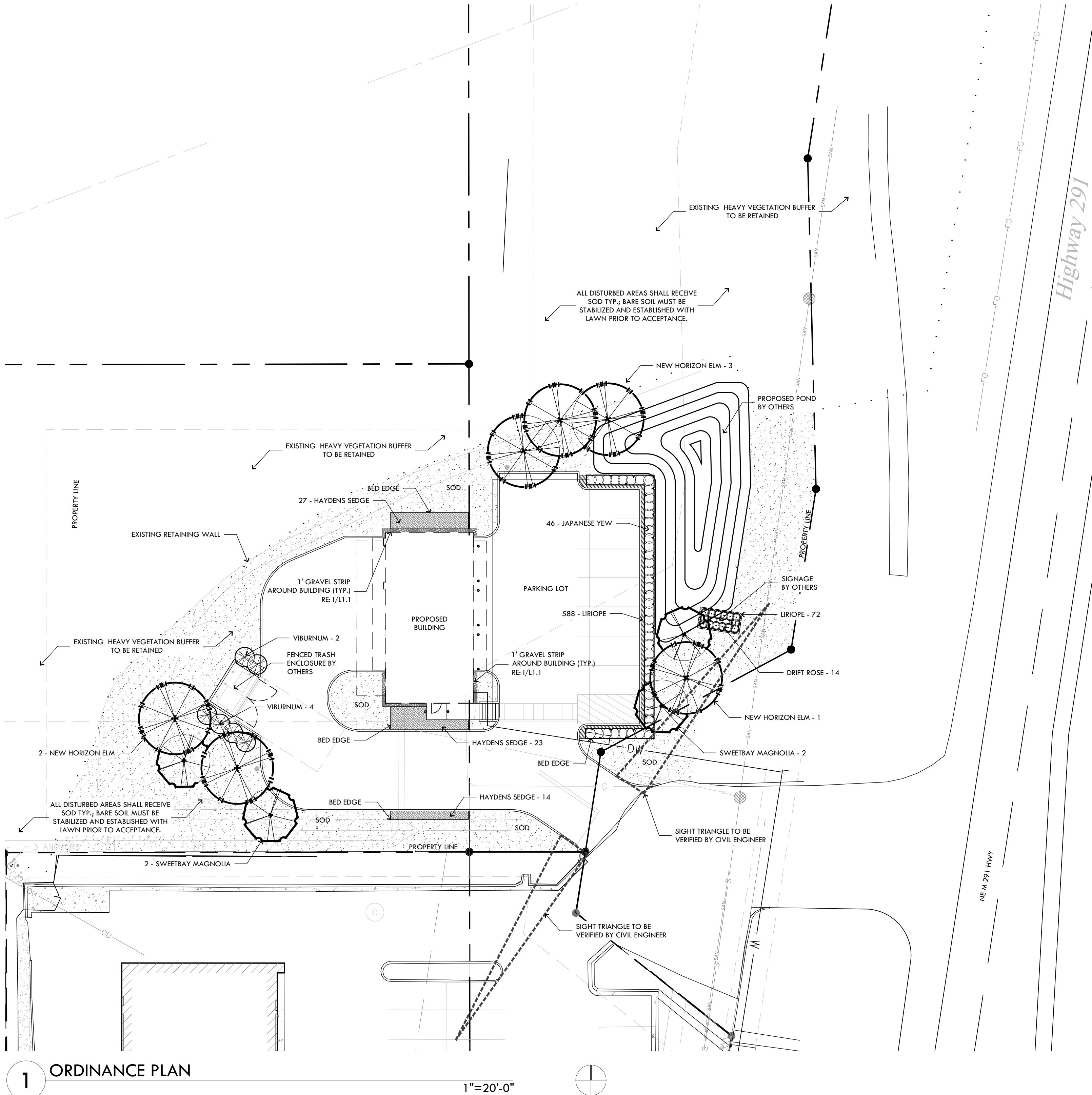
NO REQUIRED BUFFER

##### NORTH & WEST BUFFER (CP2 ADJACENT TO RP-2 & RP-4)

REQUIRED: 20' BUFFER YARD (HEAVY)  
PROVIDED: EXISTING 30'-100' VEGETATED BUFFER & EXISTING RETAINING WALL

#### GENERAL PLANTING NOTES

- LOCATE ALL UTILITIES ON SITE PRIOR TO COMMENCING WORK. ANY DAMAGE DONE TO EXISTING OR NEW UTILITIES SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO OWNER.
- PLANTS SHALL BE WELL FORMED, NO. 1 GRADE OR BETTER NURSERY STOCK AND SHALL MEET THE APPLICABLE STANDARDS NOTED HEREIN AND SHALL BE SUBJECT TO REJECTION BY THE LANDSCAPE ARCHITECT.
- STAKE OUT ALL TREE LOCATIONS FOR APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. LOCATE ALL TREES AS SHOWN ON PLAN.
- COORDINATE WORK WITH THE WORK OF OTHER TRADES ON THE SITE.
- ENTIRE SITE SHALL BE GRADED TO FINISH GRADE PRIOR TO SCHEDULING PLANTING INSTALLATION.
- PLANTS SHALL BE SPECIMEN QUALITY, FULL POT AND HEAD, SYMMETRICAL FOLIAGE AND BRANCHING STRUCTURE. SHRUBS SHALL BE FULL TO GROUND.
- PLANT MATERIAL OF THE SAME SPECIES SHALL BE MATCHING IN CHARACTER AND SIZE, OBTAINED FROM THE SAME SOURCE.
- ANY CHANGES IN PLANT MATERIAL SIZE, QUANTITY, SPECIES OR VARIETY MUST BE APPROVED BY THE OWNER AND/OR LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- INSTALLATION MUST BE COMPLIANT WITH LANDSCAPE ORDINANCE STANDARDS.
- SOD ALL AREAS DISTURBED BY CONSTRUCTION.



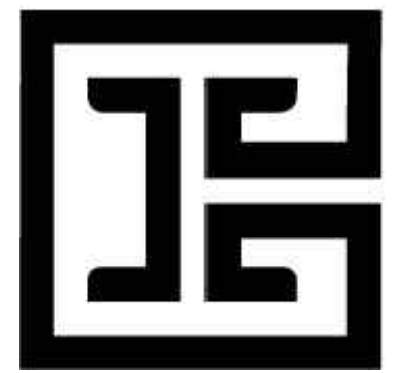
1 ORDINANCE PLAN

1"=20'-0"



REVISION	BY

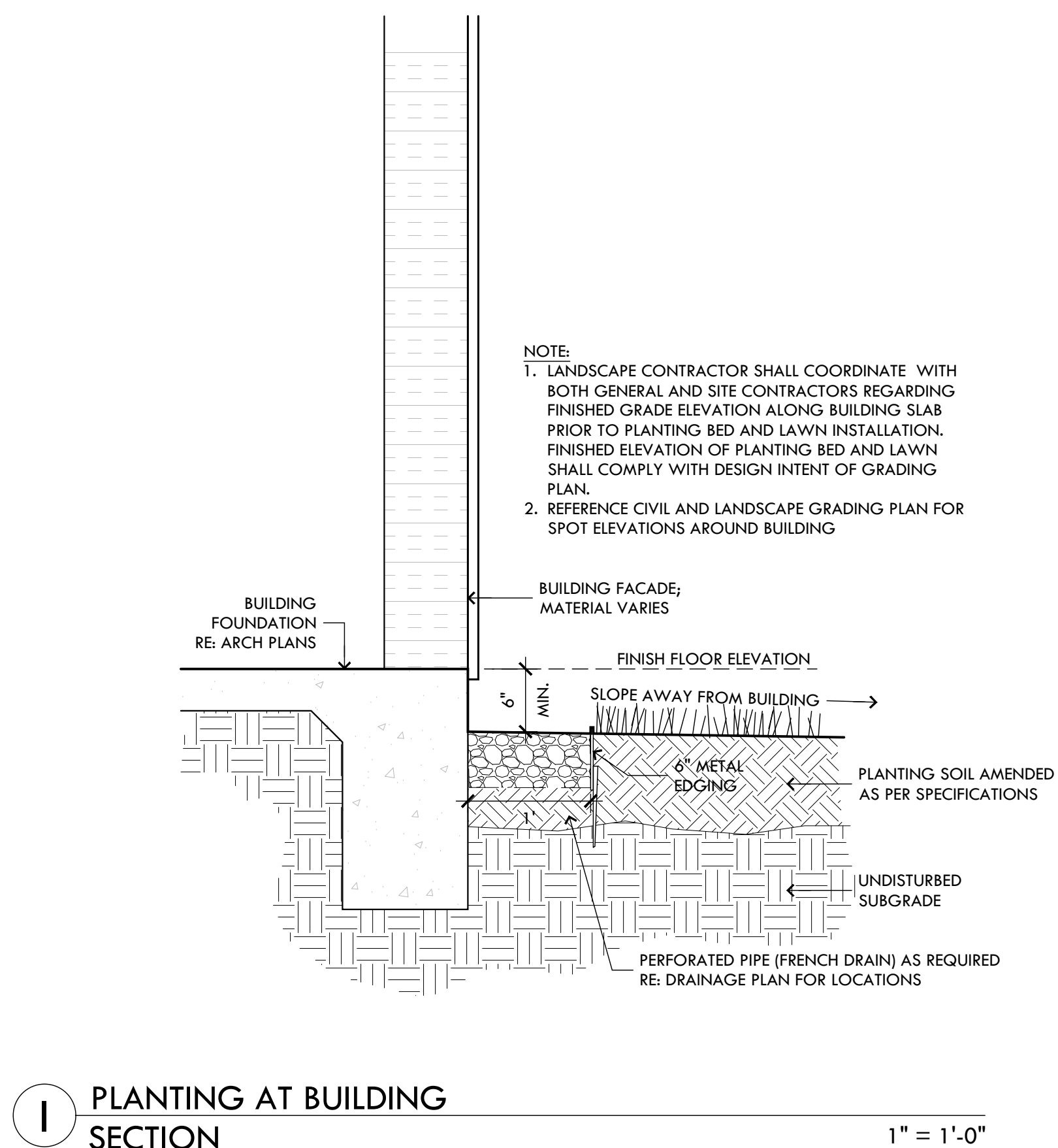
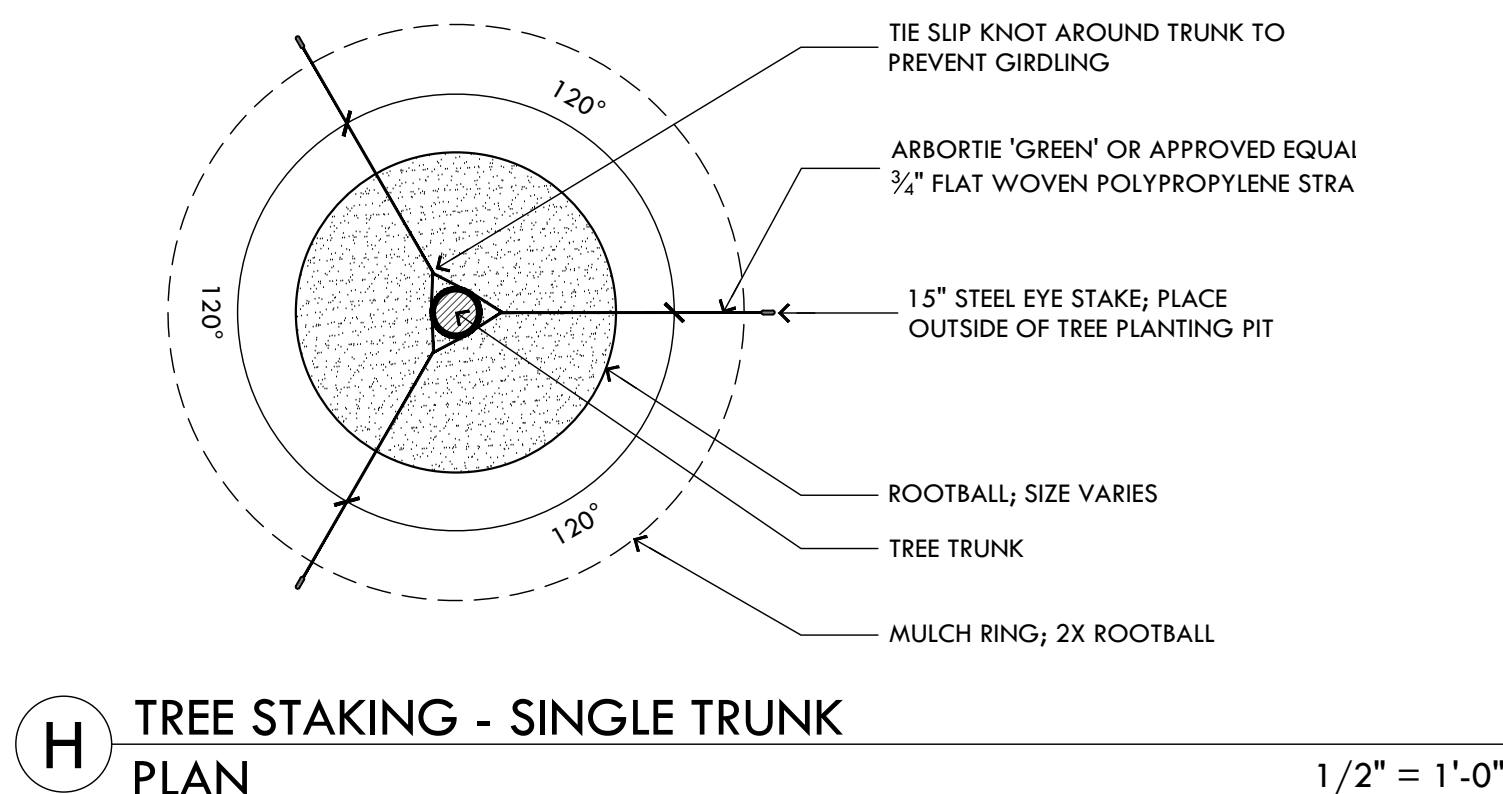
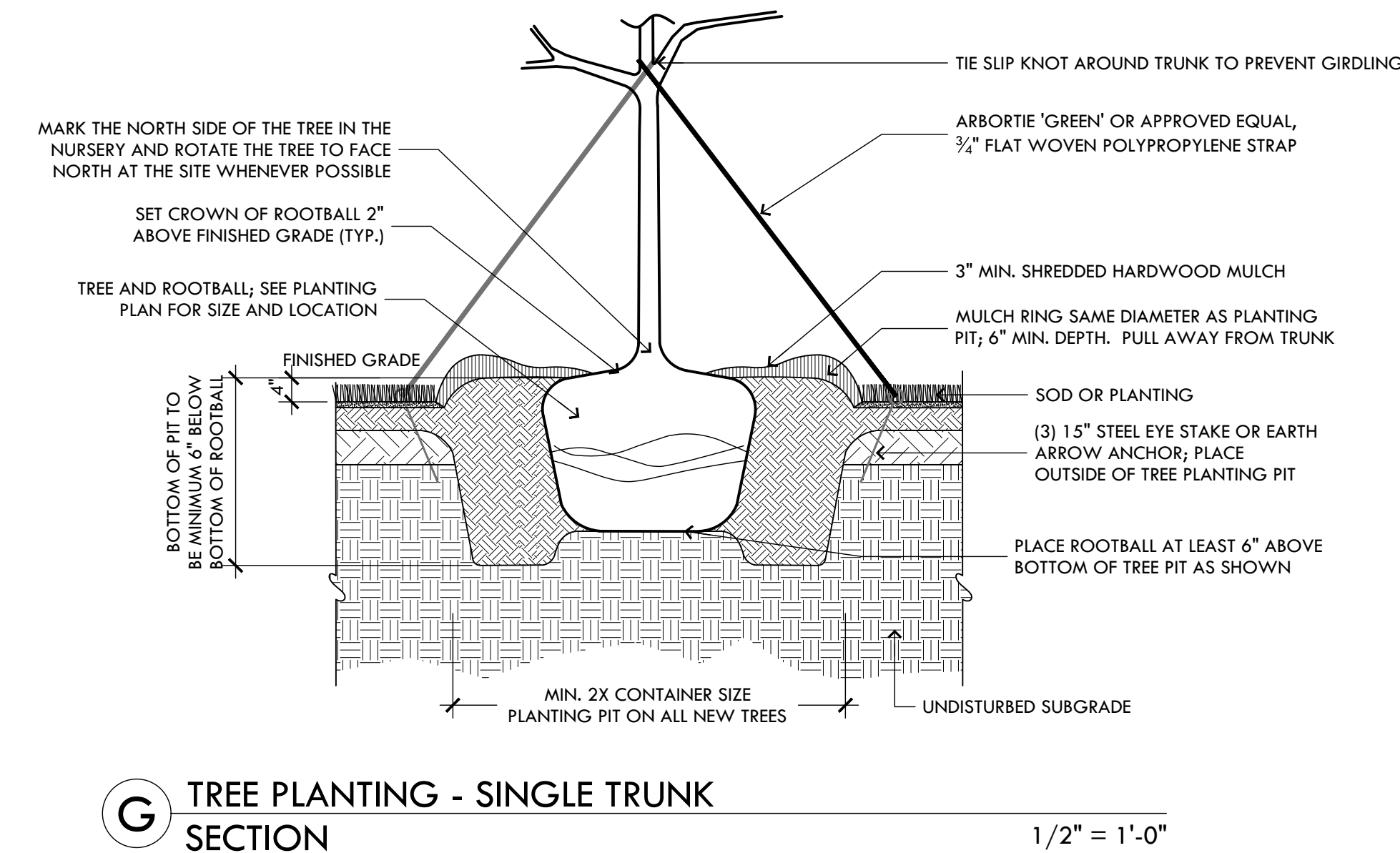
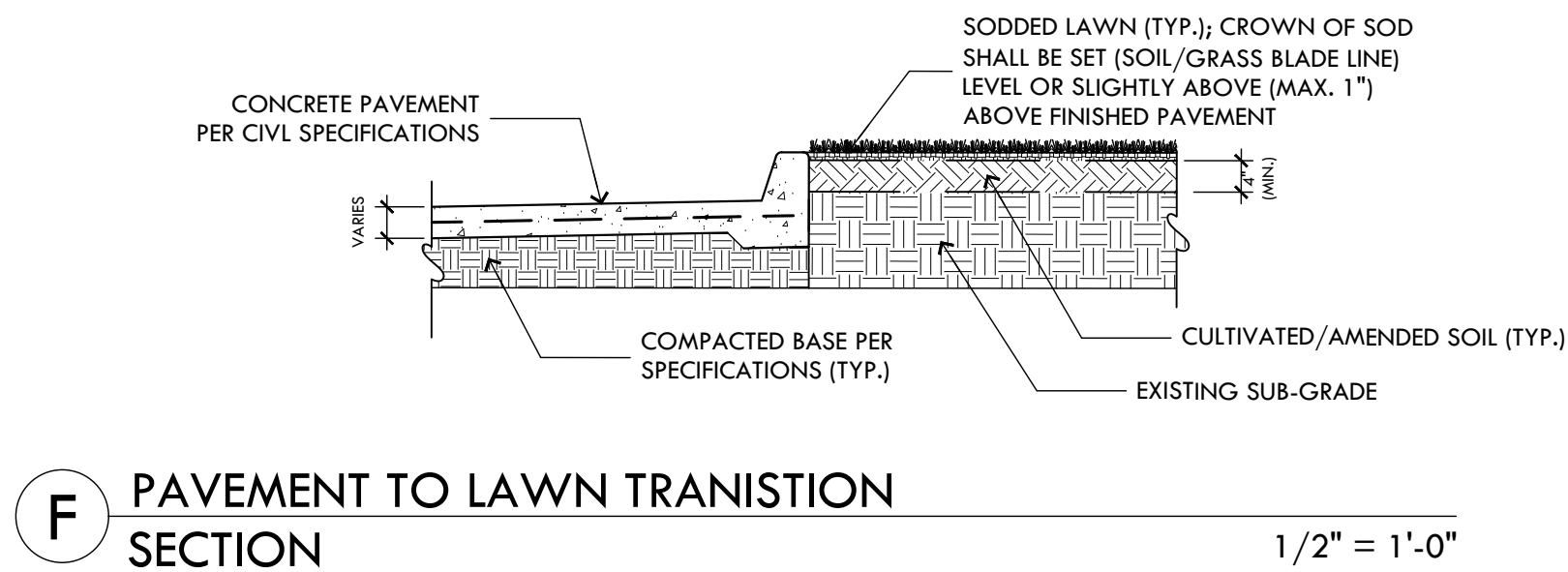
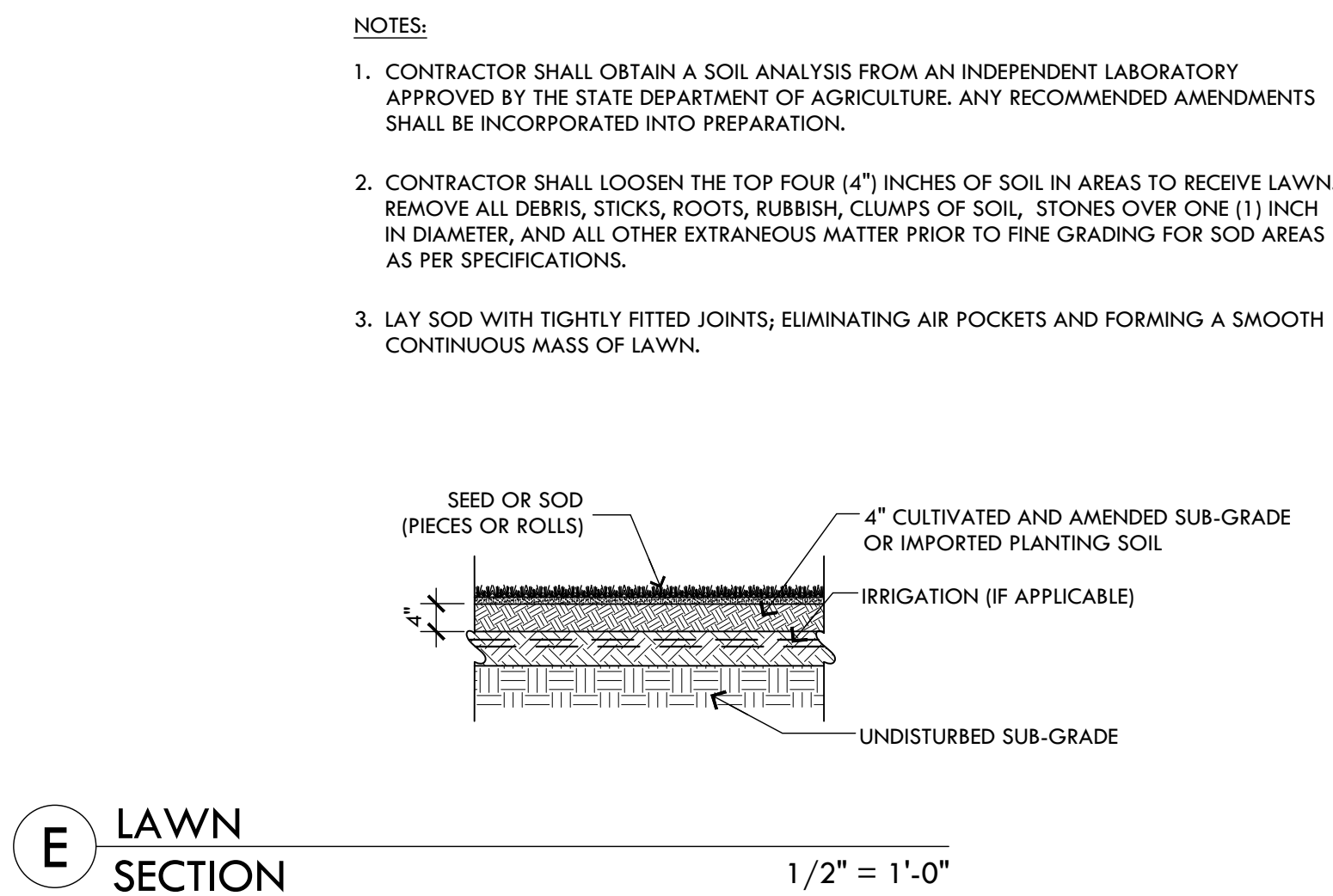
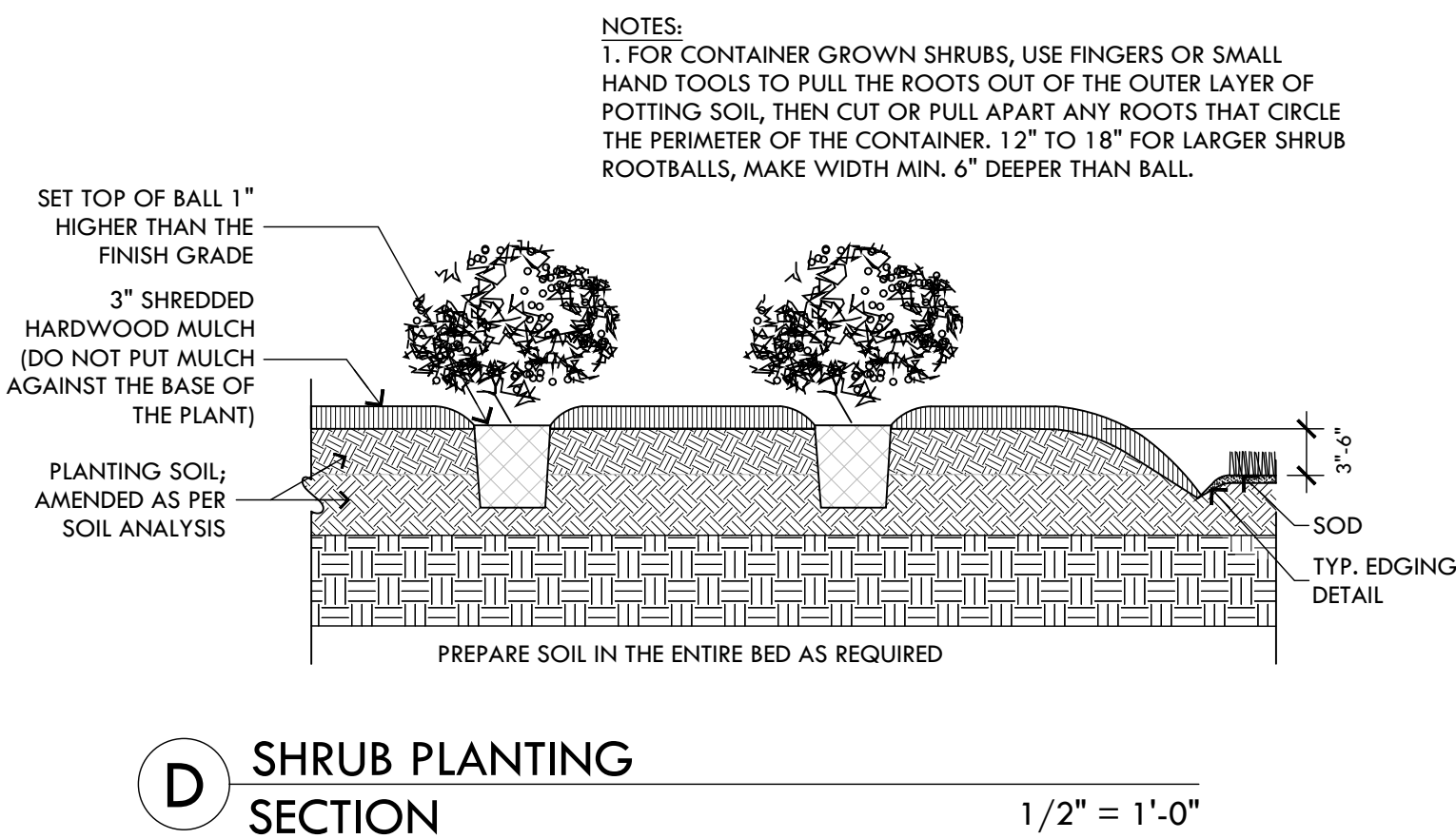
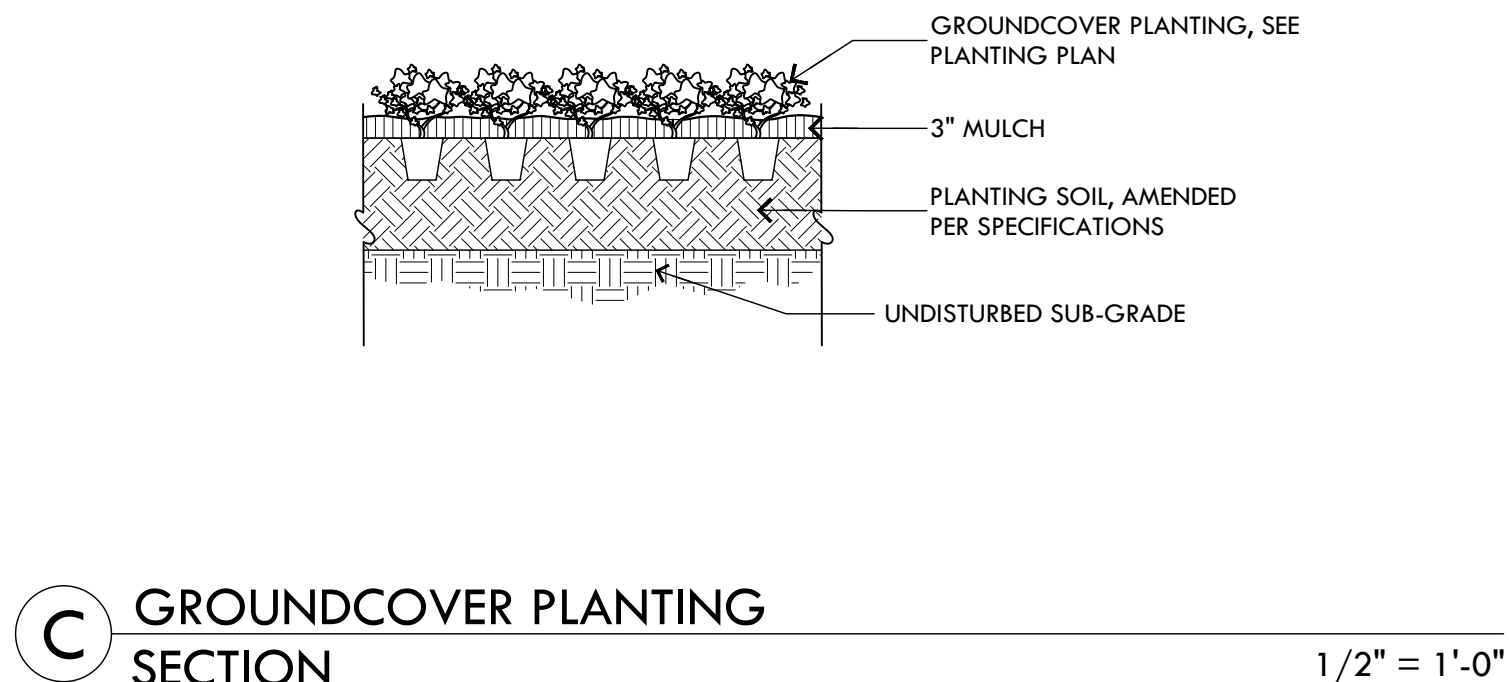
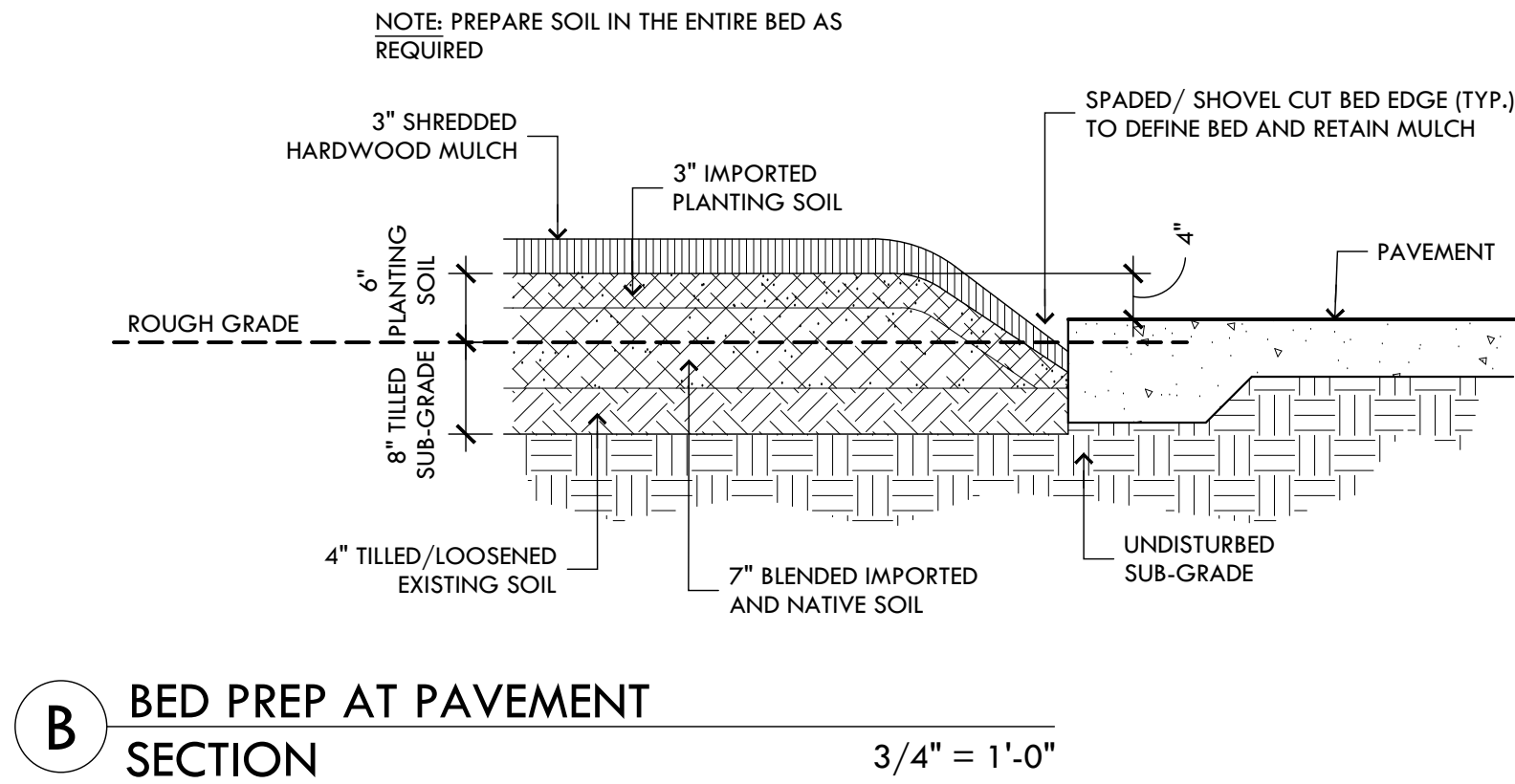
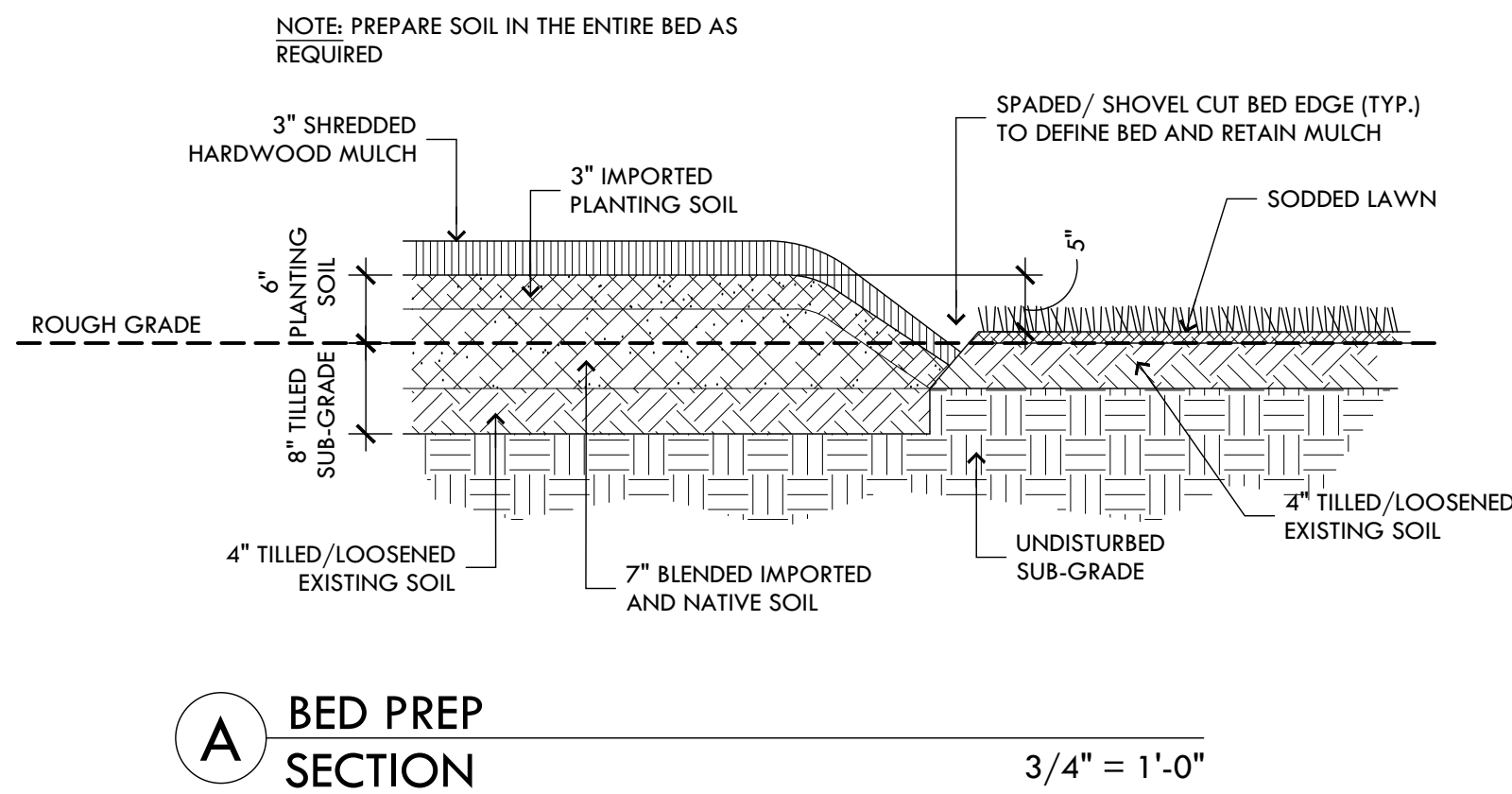
**HIGH TIDE**  
CONSULTANTS LLC  
434 N. COLUMBIA ST, SUITE 200A  
COVINGTON, LA 70433  
www.hightidelc.com



SIGNATURE	DATE
STAMP	

PROPOSED TAKE 5  
LEE'S SUMMIT, MISSOURI  
FOR DRIVEN ASSETS, LLC  
2101 PEARL STREET  
BOULDER, CO 80302

DRAWN ML
CHECKED BG/AM
ISSUED DATE 9/08/2023
ISSUED FOR PRELIMINARY DEVELOPMENT
PROJECT NO.
FILE L1.2 PLANTING DETAILS
SHEET <b>L1.1</b>





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9/8/2023 9:27:07 AM

NOTE

PROVIDE R-19 BATT INSULATION IN OFFICE AND RESTROOM WALLS

WIRE SHELVING: 12" WIRE SHELVING TO BE "CLOSETMAID SUPERSLIDE" OR EQUAL, ON ADJUSTABLE MOUNT HARDWARE W/ VERTICAL STANDARDS AT 24" O.C. MAX SPACING.

16" WIRE SHELVING TO BE "CLOSETMAID MAX LOAD" OR EQUAL, ON HEAVY DUTY "MAX LOAD" ADJUSTABLE MOUNT HARDWARE W/ VERT STANDARDS AT 24" O.C. MAX

CLOSET ROD TO BE "CLOSETMAID" EPOXY COATED STEEL "SUPER SLIDE SYSTEM" W/ CORNER ROUNDED BAR SUPPORTS TO BE HEAVY DUTY METAL "I" BRACKETS. PROVIDE CLOSET ROD END CAPS AT EACH END.

ALL FINISHES TO BE BRUSHED CHROME.

NOTE:

PIT FRAMES AND ROLLING DRAIN PANS TO BE PROVIDED BY G.C. G.C. IS TO COORDINATE MANUFACTURER OF PIT RAILS AND TO CONTACT MANUFACTURER OF OIL DRAIN PANS AND SCHEDULE DELIVERY. G.C. IS TO TAKE DELIVERY AND INSTALL FRAMES AND ROLLING PANS PRIOR TO SUBSTANTIAL COMPLETION.

OIL DRAIN PAN MANUFACTURER CONTACT INFORMATION:

JEFF JOHNSON,  
JEFF@OFAB.NET  
(325) 427-1713

12x24 SPLASH BLOCK OR CONNECT TO STORM DRAIN VIA SUBSURFACE DRAINAGE - RE: CIVIL.

4x4 PRE-FINISHED METAL DOWNSPOUT LEADERHEAD W/ 3 EA. STRAP ANCHORS EQUALLY SPACED VERTICALLY (COLOR - DARK BRONZE) RE: SPECS.

1 1/2" EIFS WALL SYSTEM OVER OSB SHEATHING - RE: SPECS.

2" RECESSED SLAB @ OIL TANK AREA - RE: STRUCTURE.

1" PVC STUB UP - RE: PLUMBING.

WORK STATION - RE: ELECTRICAL.

2" RECESS SLAB

ATTIC LADDER

2" PAINTED STRIPE @ FULL LENGTH OF SLAB EDGE (COLOR DETECTABLE YELLOW)

STENCIL YELLOW, LETTERING FOR WARNING OF FLOOR DROP.

OVERHEAD DOOR AND FRAME - RE: SCHEDULE.

1 1/2" EIFS WALL SYSTEM OVER OSB SHEATHING - RE: SPECS.

1 FLOOR PLAN  
1/4" = 1'-0"

4x4 PREFINISHED METAL DOWNSPOUT LEADERHEAD W/ 3 STRAP ANCHORS POSITIONED EQUALLY ALONG THE VERTICAL AXIS RE: SPECS (COLOR DARK BRONZE)

OVERHEAD DOOR AND FRAME RE: SCHEDULE.

4x4 PREFINISHED METAL DOWNSPOUT LEADERHEAD W/ 3 STRAP ANCHORS POSITIONED EQUALLY ALONG THE VERTICAL AXIS RE: SPECS (COLOR DARK BRONZE)

LIGHT FIXTURE RE: ELECTRICAL

1/2" PLYWOOD CEILING, CLEAN, PRIME, & PAINT - RE: SPECS.

1/2" PLYWOOD WALL OVER 6" WOOD STUDS @ 16" O.C. - CLEAN, PRIME, & PAINT - TYPICAL.

ATTIC LADDER RE: SPECS

1/2" PLYWOOD WALL OVER 6" WOOD STUDS @ 16" O.C. - CLEAN, PRIME, & PAINT - TYPICAL.

1/2" PLYWOOD CEILING, CLEAN, PRIME, & PAINT - RE: SPECS.

LOUVERED VENT - RE: MECHANICAL (COLOR DARK BRONZE)

1/2" PLYWOOD WALL OVER 6" WOOD STUDS @ 16" O.C. - CLEAN, PRIME, & PAINT - TYPICAL.

1/2" PLYWOOD CEILING, CLEAN, PRIME, & PAINT - RE: SPECS.

OVERHEAD DOOR AND FRAME RE: SCHEDULE.

LIGHT FIXTURE RE: ELECTRICAL

3 REFLECTED CEILING PLAN  
1/4" = 1'-0"

OPERATIONAL NOTES:

CLASS 1 LIQUIDS ARE NOT STORED IN TAKE 5 BUILDINGS.

CLASS IIB LIQUID (MOTOR OIL) IS STORED IN THE BACK ROOM AREA WHICH IS VENTILATED AS REQUIRED. SEE MECHANICAL SHEETS.

NO LIQUIDS ARE STORED IN THE LUBE TRENCHES.

VEHICLES ARE OPERATED ONLY FOR THE DURATION OF MOVING THEM IN & OUT OF THE BUILDING.

1 1/2" EIFS WALL SYSTEM OVER OSB SHEATHING - RE: SPECS.

OVERHEAD DOOR AND FRAME RE: SCHEDULE.

1 1/2" EIFS WALL SYSTEM OVER OSB SHEATHING - RE: SPECS.

1/2" PLYWOOD WALL OVER 6" WOOD STUDS @ 16" O.C. - CLEAN, PRIME, & PAINT - TYPICAL.

(3) WIRE SHELVES MOUNTED 14" O.C. VERTICALLY ABOVE COMPRESSOR.

ATTIC LADDER ABOVE - RE: SPECS.

DOORS AND FRAMES - RE: SCHEDULE.

ELEC. PANEL, PRIME & PAINT - RE: ELECTRICAL (COLOR - DARK BRONZE)

2" PAINTED STRIPE @ FULL LENGTH OF SLAB EDGE (COLOR DETECTABLE YELLOW)

2" RECESSED SLAB @ WASTE OIL TANK AREA - RE: STRUCTURE.

PLAM COUNTERTOP W/ 4" BACKSPLASH.

FLOOR SAFE BY OWNER - PROVIDE BLOCKING IN WALL.

WINDOW AND FRAME - RE: SCHEDULE.

PTAC UNIT WITH DARK BRONZE SHROUD.

1 1/2" EIFS WALL SYSTEM OVER OSB SHEATHING - RE: SPECS.

OVERHEAD DOOR AND FRAME RE: SCHEDULE.

1 1/2" EIFS WALL SYSTEM OVER OSB SHEATHING - RE: SPECS.

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OVERHEAD DOOR AND FRAME RE: SCHEDULE.

1 1/2" EIFS WALL SYSTEM OVER OSB SHEATHING - RE: SPECS.

OVERHEAD DOOR AND FRAME RE: SCHEDULE.

TRENCH FINISH:

(2) COATS OF EPOXY AT WALLS AND FLOOR OF TRENCHES. RUST-OLEUM 2-PART EPOXY 6500 SYSTEM (COLOR - NAVY GRAY).

4x4 PREFINISHED METAL DOWNSPOUT LEADERHEAD W/ 3 STRAP ANCHORS POSITIONED EQUALLY ALONG THE VERTICAL AXIS RE: SPECS (COLOR DARK BRONZE)

PREFINISHED METAL PARAPET CAP, RE: SPECS (COLOR DARK BRONZE)

ONE PIECE SHOP FABRICATED PRE-FINISHED METAL CORNER COPING, (COLOR DARK BRONZE) ALL JOINTS SEALED AND POP RIVETED FOR COMPLETE WATER TIGHTNESS & ALL EDGES HEMMED - TYPICAL.

4 ROOF & REFERENCE PLAN  
1/4" = 1'-0"

2 STORAGE PLATFORM PLAN  
1/4" = 1'-0"

New Construction For  
Take 5 Oil Change

(NO ADDRESS ASSIGNED) NE M 291 Hwy  
Lee's Summit, Missouri 64086



PROJECT NO: 33-006-22

PHASE: PRELIMINARY

DATE: 09/08/2023

PROJ. ARCHITECT:

Floor, Refl Ceiling, &  
Roof Plans

SHEET NO.

A2.10

OF

FUSION  
ARCHITECTS  
B.C.B.

3488 BRENTWOOD DRIVE  
BATON ROUGE, LA 70809  
P. 225.766.4848 F. 225.766.4724  
FUSIONARCHITECTURE.COM



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Scales as stated hereon are valid on the original drawing only.

These plans were prepared in this office under our personal supervision, and to the best of our knowledge comply with state and local codes. Will generally administer construction.

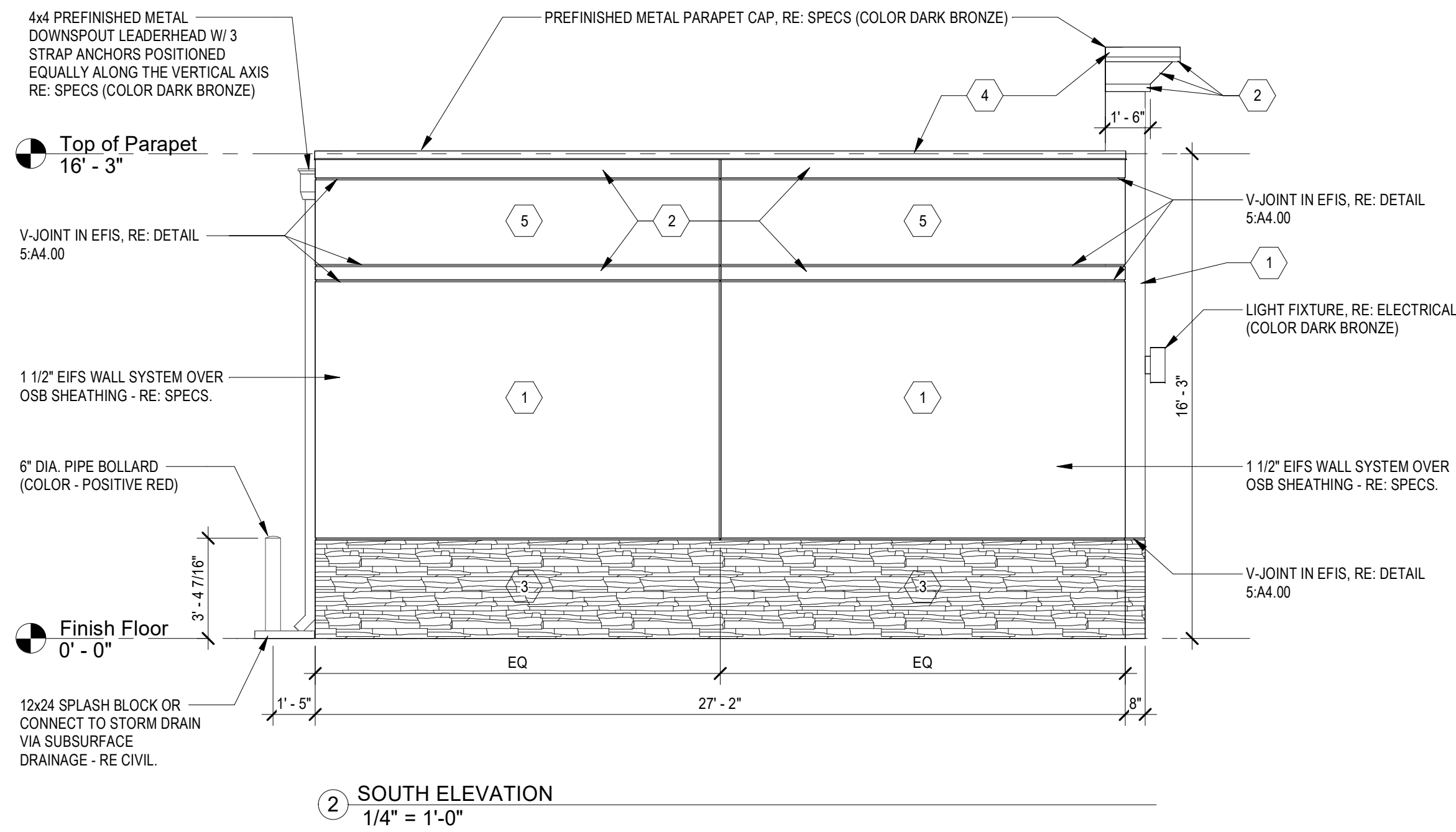
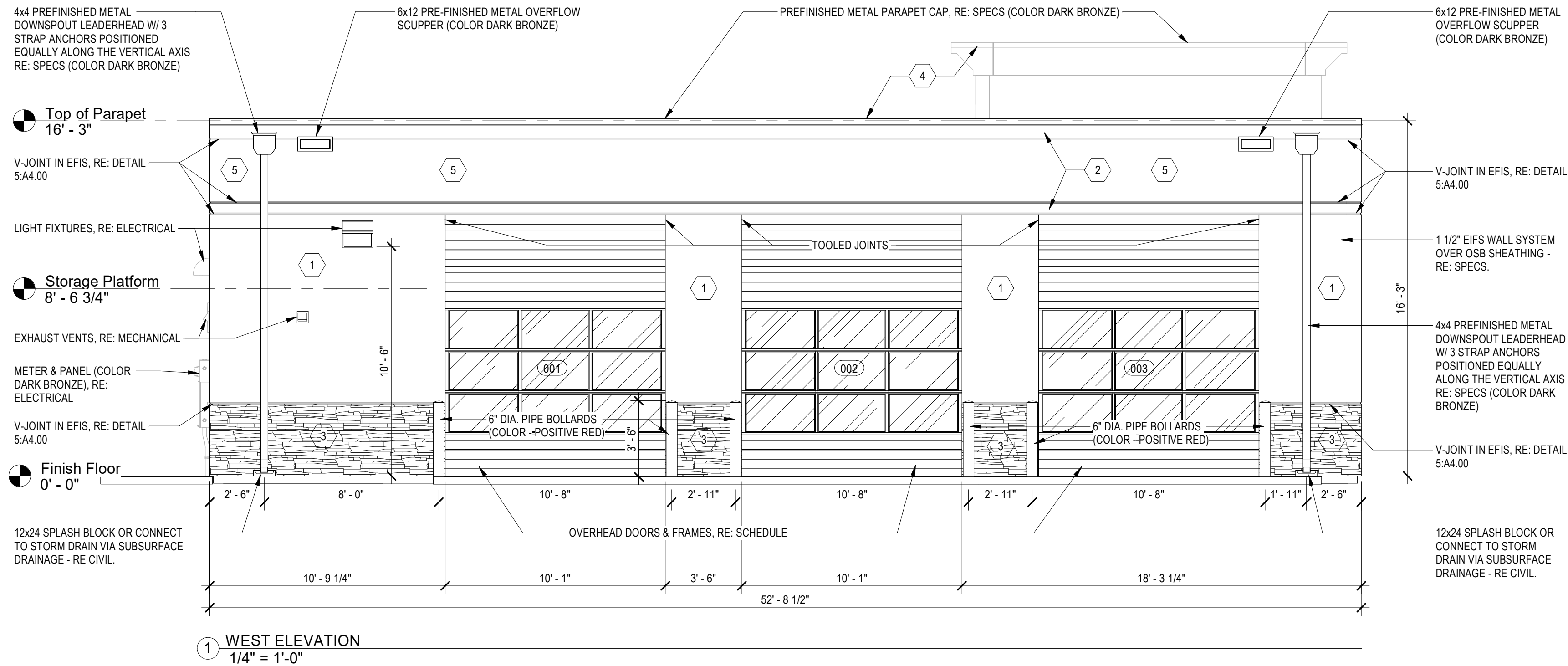
By: *[Signature]*

No. REVISION DATE



9/25/2023 5:08:43 PM

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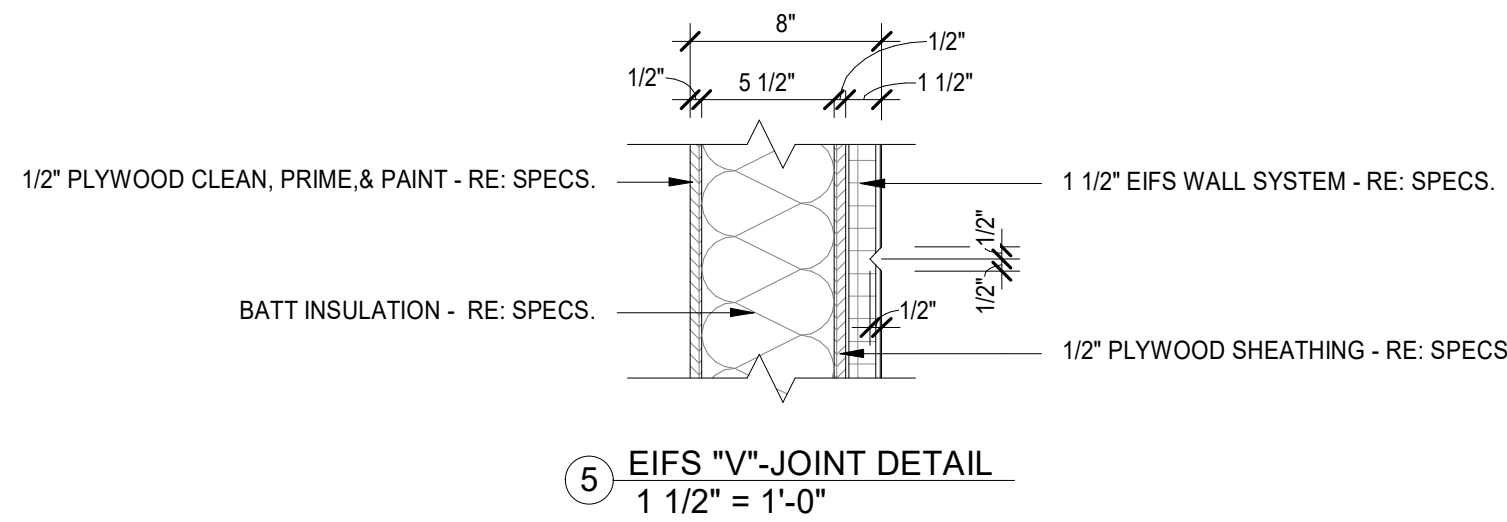


2 SOUTH ELEVATION  
1/4" = 1'-0"

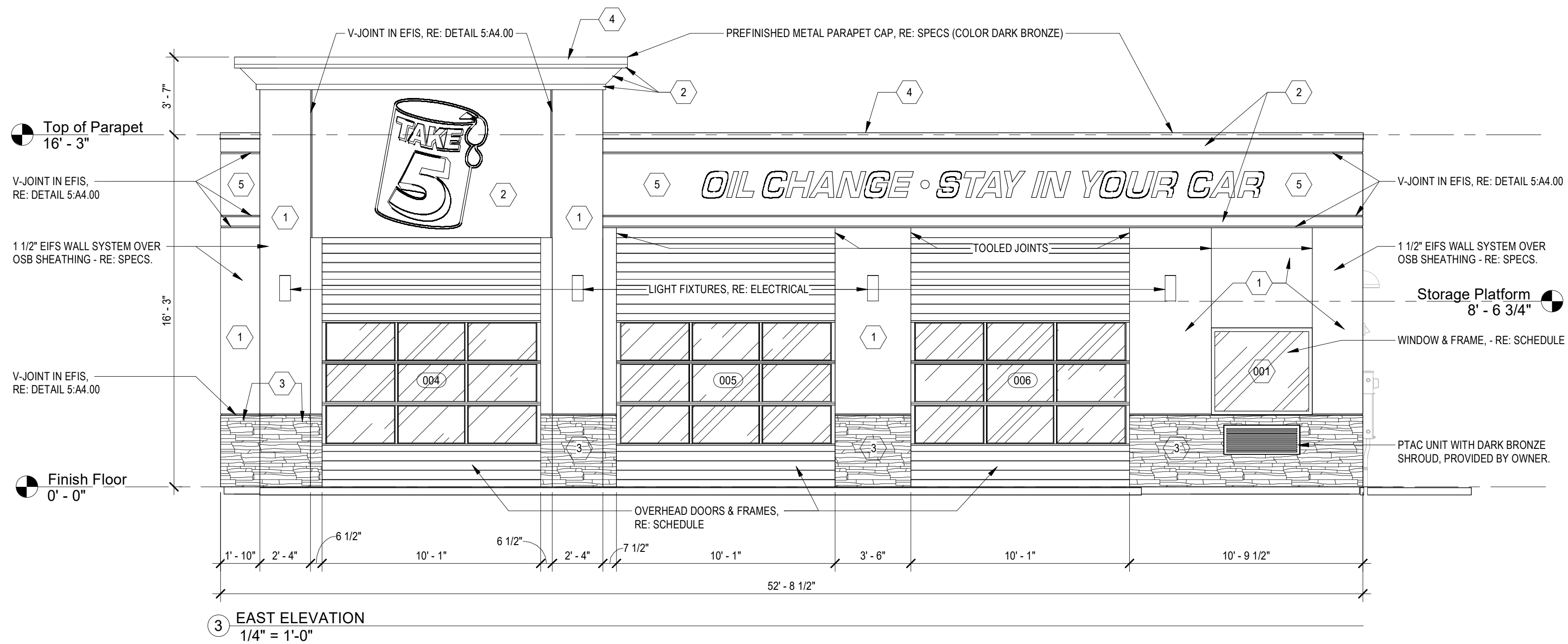
EXTERIOR FINISH SCHEDULE				
NO.	AREA	COATS	COLOR	FINISH
1	EIFS OR STUCCO MAIN COLOR	SEE SPECIFICATION & MANUFACTURER'S REQ'MENTS	MATCH SW COLOR #7693, STONEBRIAR	FINISH TO MATCH STO "MEDIUM SAND" OR DRYVIT "SANDPEBBLE FINE"
2	EIFS OR STUCCO ACCENT BAND AND FACE EIFS OR STUCCO CORNICE	SEE SPECIFICATION & MANUFACTURER'S REQ'MENTS	MATCH SW COLOR #7678, COTTAGE CREAM	FINISH TO MATCH STO "FINE SAND" OR DRYVIT "SANDBLAST"
3	CULTURED STONE WAINSCOT	SEE SPECIFICATION & MANUFACTURER'S REQ'MENTS	VERIFY COLOR WITH OWNER	VERIFY COLOR WITH OWNER
4	COPING	SEE SPECIFICATION & MANUFACTURER'S REQ'MENTS	DARK BRONZE	FINISH TO BE KYNAR 500 PREFINISHED
5	EIFS OR STUCCO SECONDARY COLOR	SEE SPECIFICATION & MANUFACTURER'S REQ'MENTS	MATCH SW COLOR #6871, POSITIVE RED	FINISH TO MATCH STO "MEDIUM SAND" OR DRYVIT "SANDPEBBLE FINE"
6				
7	BOLLARDS	SEE SPECIFICATION & MANUFACTURER'S REQ'MENTS	MATCH SW COLOR #6871, POSITIVE RED	-----

EXTERIOR FINISH NOTES:

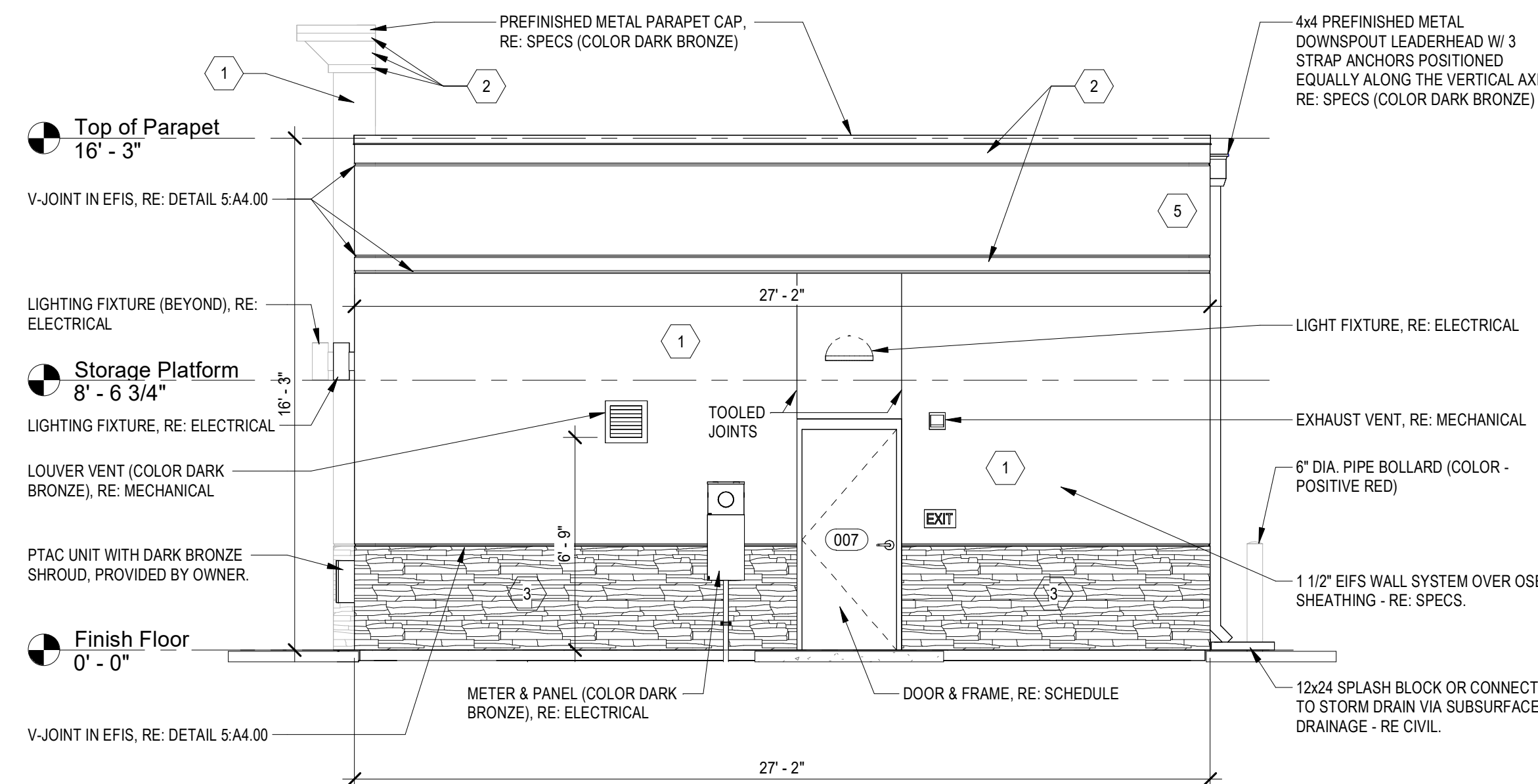
- EIFS TO BE STO THERM CI CLASSIC, DRYVIT OUTSULATION PLUS MD OR APPROVED EQUAL.
- EIFS TO HAVE ULTRA-HIGH IMPACT MESH TO 4'-0" AFF.
- VENEER STONE - BORAL PRO FIT, SOUTHERN LEDGESTONE, COLOR - "BUCKS COUNTY" CONTRACTOR TO PROVIDE SAMPLES AND OBTAIN APPROVAL FROM OWNER PRIOR TO ORDERING
- EIFS TO HAVE STANDRRAD IMPACT MESH ABOVE 8'-0" AFF.
- METAL ROOF TO BE ATAS DUTCH SEAM OR BERRIDGE MANUF. WITH DEEP VEE PANELS AND 2" BATTEN CAPS.
- METAL ROOF PANELS TO BE 24 GA. GALVALUME WITH KYNAR 500, 2.0 MILS THICK FLOUROCARBON FINISH.
- METAL COPING TO BE PREFINISHED, 24 GA. GALVALUME WITH KYNAR 500, 2.0 MILS THICK FLOUROCARBON FINISH.



5 EIFS "V"-JOINT DETAIL  
1 1/2" = 1'-0"



3 EAST ELEVATION  
1/4" = 1'-0"



4 NORTH ELEVATION  
1/4" = 1'-0"

PROJECT NO: 33-006-22  
PHASE: PRELIMINARY  
DATE: 08/11/20  
PROJ. ARCHITECT: Designer

Bldg Elevations

SHEET NO.  
**A4.00**  
OF

STATE OF MISSOURI  
NOT FOR CONSTRUCTION  
NUMBER  
A-2021000770  
ARCHITECT

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By:

FUSION  
ARCHITECTS  
BCB

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New Construction For  
Take 5 Oil Change  
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