

LEE'S SUMMIT DOWNTOWN MARKET REZONING & PRELIMINARY DEVELOPMENT PLAN

GREEN STREET - 2ND STREET TO 3RD STREET
LEE'S SUMMIT, MISSOURI
JACKSON COUNTY

OWNER: CITY OF LEE'S SUMMIT, MISSOURI
CONTACT: MARK DUNNING, CITY MANAGER
220 SE GREEN ST, LEE'S SUMMIT, MO 64063
816.969.1010

OLSSON - LANDSCAPE ARCHITECTURE
MO CERTIFICATE OF AUTHORITY #: 200500285

LANDSCAPE ARCHITECT:

olsson studio

1814 MAIN ST,
KANSAS CITY, MO 64108
TEL 816.842.8844
www.olsson-studio.com

CIVIL ENGINEER:

olsson

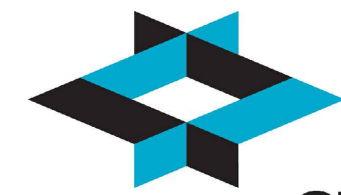
1301 BURLINGTON ST,
NORTH KANSAS CITY, MO 64116
TEL 816.587.4320
www.olsson.com

ELECTRICAL ENGINEER:

olsson

1301 BURLINGTON ST,
NORTH KANSAS CITY, MO 64116
TEL 816.587.4320
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ARCHITECT:



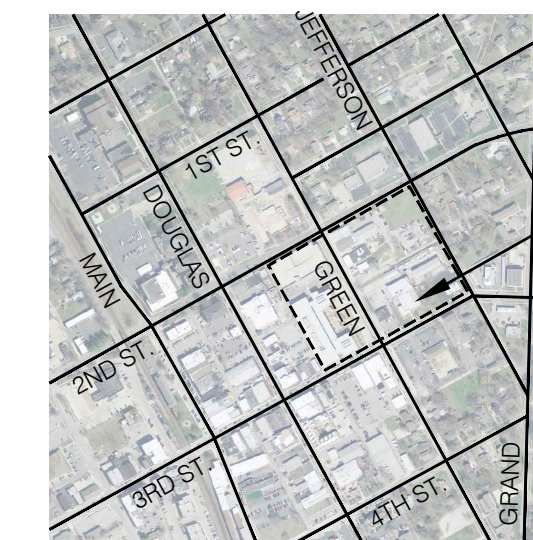
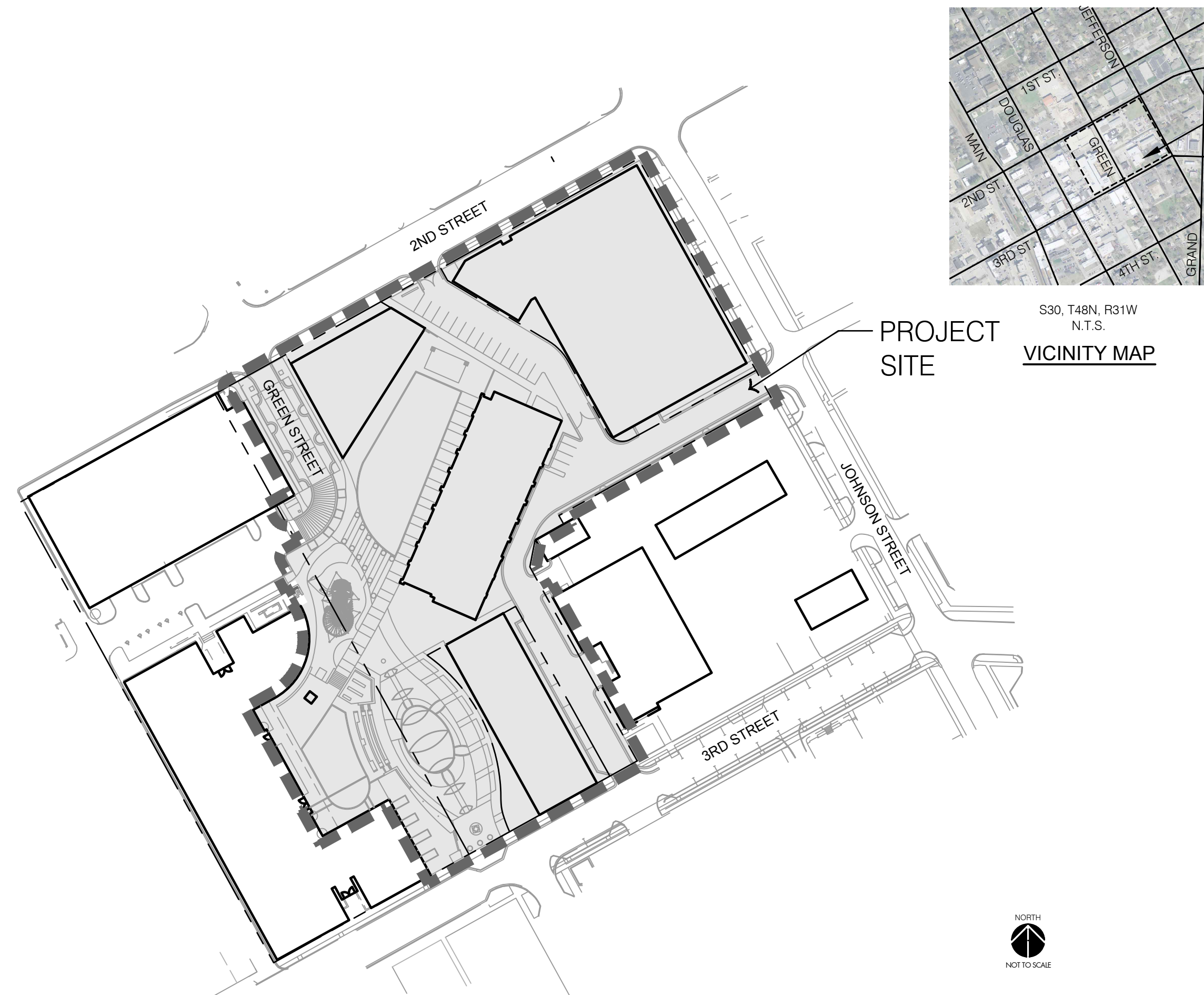
GLMVArchitecture

9229 WARD PKWY # 210,
KANSAS CITY, MO 64114
TEL 816.444.4200
www.glmv.com

STRUCTURAL ENGINEER:

olsson

2111 S 67TH ST #200,
OMAHA, NE 68106
TEL 402.341.1116
www.olsson.com



S30, T48N, R31W
N.T.S.
VICINITY MAP

PROJECT LOCATION

PROJECT SITE



DRAWING DATE

07/28/2023 PRELIMINARY DEVELOPMENT PLANS
08/28/2023 PRELIMINARY DEVELOPMENT PLANS 2ND SUBMITTAL

**REZONING AND PRELIMINARY DEVELOPMENT PLAN
PROPERTY DESCRIPTION:**

ALL OF LOT 1, LEE'S SUMMIT CITY HALL, TOGETHER WITH ALL OF LOTS 5 THROUGH 10, TOGETHER WITH PART OF LOT 4, TOGETHER WITH ALL OF THE ADJACENT 20-FOOT-WIDE ALLEY, TOGETHER WITH ALL OF GREEN STREET RIGHT OF WAY, ALL IN BLOCK 18 OF W.B. HOWARD'S ADDITION TO THE TOWN OF STROTHER, BOTH SUBDIVISIONS IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, LYING IN THE SOUTHWEST QUARTER OF SECTION 5, TOWNSHIP 47 NORTH, RANGE 31 WEST, DESCRIBED BY PATRICK ETHAN WARD, PLS-2005000071 OF OLSSON, INC., LC-366, ON JULY 28, 2023, AS FOLLOWS:

BEGINNING AT THE SOUTHERNMOST CORNER OF SAID LOT 1; THENCE NORTH 28 DEGREES 53 MINUTES 39 SECONDS WEST, ON THE SOUTHWESTERLY LINE OF SAID LOT 1, A DISTANCE OF 520.09 FEET TO WESTERNMOST CORNER OF SAID LOT 1; THENCE NORTH 60 DEGREES 57 MINUTES 02 SECONDS EAST, ON THE NORTHWESTERLY LINE OF SAID LOT 1, AND ON THE NORTHWESTERLY LINE OF SAID BLOCK 18, A DISTANCE OF 700.34 FEET TO THE NORTHERNMOST CORNER OF SAID BLOCK 18; THENCE SOUTH 29 DEGREES 04 MINUTES 41 SECONDS EAST, ON THE NORTHEASTERLY LINE OF SAID BLOCK 18, A DISTANCE OF 270.98 FEET TO THE EASTERNMOST CORNER OF SAID 20-FOOT-WIDE ALLEY; THENCE SOUTH 61 DEGREES 04 MINUTES 19 SECONDS WEST, ON THE SOUTHEASTERLY LINE OF SAID ALLEY, A DISTANCE OF 240.27 FEET TO A POINT ON THE NORTHERNMOST CORNER OF SAID LOT 4; THENCE SOUTH 28 DEGREES 55 MINUTES 51 SECONDS EAST, DEPARTING SAID SOUTHEASTERLY LINE, ON THE NORTHEASTERLY LINE OF SAID LOT 4, A DISTANCE OF 9.74 FEET TO A POINT; THENCE SOUTH 60 DEGREES 38 MINUTES 25 SECONDS WEST, DEPARTING SAID NORTHEASTERLY LINE, A DISTANCE OF 32.63 FEET TO A POINT; THENCE SOUTH 10 DEGREES 58 MINUTES 02 SECONDS WEST A DISTANCE OF 26.69 FEET TO A POINT; THENCE SOUTH 28 DEGREES 58 MINUTES 15 SECONDS EAST A DISTANCE OF 219.45 FEET TO A POINT ON THE SOUTHEASTERLY LINE OF SAID BLOCK 18; THENCE SOUTH 60 DEGREES 58 MINUTES 38 SECONDS WEST, ON SAID SOUTHEASTERLY LINE, AND ON THE SOUTHEASTERLY LINE OF SAID LOT 1, A DISTANCE OF 411.51 FEET TO THE POINT OF BEGINNING, CONTAINING 292,983 SQUARE FEET OR 6.7260 ACRES, MORE OR LESS.

MISSOURI ONE CALL:



THE EXISTENCE AND LOCATION OF UNDERGROUND UTILITY PIPES AND STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS AND TO THE BEST OF OUR KNOWLEDGE CONSTITUTES ALL KNOW FACILITIES. HOWEVER, THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT ANY EXISTING UTILITIES OR STRUCTURES LOCATED AT THE WORK SITE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT MISSOURI ONE CALL SYSTEMS, INC. AT 1-800-344-7483 IN ADVANCE OF ANY EXCAVATION FOR THE MARK-OUT OF THE LOCATION OF UTILITIES AND NOTIFICATION OF COMMENCEMENT OF WORK.

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**NOT FOR
CONSTRUCTION**

PROJECT NO: 022-00393

SHEET INDEX:

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LEE'S SUMMIT DOWNTOWN MARKET			
	COVER SHEET	x	x
L001	PROJECT SHEET	x	x
L002	PROJECT SHEET	x	x
L100	EXISTING CONDITIONS	x	x
L101	GENERAL LAYOUT	x	x
L102	DEVELOPMENT DATA TABLE	x	x
L103	FIRE TRUCK ACCESS LANE	x	x
L200	SITE PLAN	x	x
C100	PRELIMINARY GRADING PLAN	x	x
C101	INTERSECTION SIGHT TRIANGLES PLAN	x	x
C200	UTILITY PLAN	x	x
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L401	LANDSCAPE & SCREENING REQUIREMENTS DATA	x	x
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A-100	CONTEXTUAL FLOOR PLAN	x	x
A-121	ROOF PLAN	x	x
A-201	EXTERIOR ELEVATIONS	x	x
A-202	EXTERIOR ELEVATIONS	x	x

GENERAL NOTES:

1. THE CONSTRUCTION COVERED BY THESE PLANS SHALL CONFORM TO ALL APPLICABLE STANDARDS AND SPECIFICATIONS OF THE CITY OF LEE'S SUMMIT, MISSOURI IN CURRENT USAGE. ALL STANDARDS NOT COVERED BY THE CITY SHALL BE APWA STANDARDS IN CURRENT USAGE UNLESS OTHERWISE NOTED.
2. THE UTILITY LOCATIONS SHOWN ON THESE PLANS ARE APPROXIMATE ONLY. THE UTILITY INFORMATION IS NOT MEANT TO BE ALL INCLUSIVE. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION TO PROVIDE NON-INTERRUPTION OF SERVICE, TO ENSURE PROPER CLEARANCES, AND TO AVOID DAMAGE THERETO.
3. CONTRACTOR SHALL, BY HIS OWN INVESTIGATION, AND PRIOR TO COMMENCING WORK, SATISFY HIMSELF AS TO, AND ACCEPT THE SITE CONDITIONS TO BE ENCOUNTERED.
4. WHERE THE NEW IMPROVEMENTS ABUT EXISTING IMPROVEMENTS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MATCHING THE ELEVATION OF THE EXISTING IMPROVEMENTS UNLESS OTHERWISE NOTED.
5. THE CONTRACTOR SHALL PROVIDE A SECURE SITE TO PROTECT VEHICLES AND PEDESTRIANS FROM ACCIDENTAL FALLS AND HARM FROM THE CONSTRUCTION PROCESS.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR DE-WATERING CONSTRUCTION AREAS IN ORDER TO PERMIT CONTINUATION OF THE WORK. ANY WATER ACCUMULATION SHALL BE REMOVED BY PUMPING.
7. CONTRACTOR IS RESPONSIBLE FOR ALL QUANTIFIABLE OR MATERIALS AS SHOWN IN THESE PLANS. CONTRACTOR SHALL ACCOMMODATE ALL SLOPE AND GRADE CONDITIONS IN THEIR CALCULATION OF MATERIAL QUANTITIES FOR ALL WORK SHOWN ON THESE PLANS.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR PEDESTRIAN AND VEHICULAR TRAFFIC CONTROL DURING CONSTRUCTION OPERATIONS. OWNER SHALL APPROVE MEASURES USED TO ALLOW TENANTS AND SHOPPERS PROPER ACCESS DURING CONSTRUCTION.

PROJECT DESIGN CRITERIA:

CODE EDITIONS USED: 2018 INTERNATIONAL BUILDING CODE (IBC)
2018 INTERNATIONAL MECHANICAL CODE (IMC)
2017 NATIONAL ELECTRIC CODE (NEC)
2010 ADA STANDARDS FOR ACCESSIBLE DESIGN
2009 ICC A117.1 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES
2018 INTERNATIONAL FIRE CODE (IFC)
2018 INTERNATIONAL FUEL GAS CODE (IFGC)
2018 INTERNATIONAL PLUMBING CODE (IPC)

CODE SUMMARY: THE SITE HAS BEEN DESIGNED TO MEET THE ABOVE CODES. THE SITE WILL BE ACCESSIBLE PER THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND 2009 ICC A117.1 ACCESSIBLE AND USABLE BUILDING AND FACILITIES.

ABBREVIATIONS:

- x = TOP OF PAVEMENT ELEVATION
- TC = TOP OF CURB ELEVATION
- TD = TOP OF DRAIN
- TS = TOP OF STRUCTURE ELEVATION
- TW = TOP OF WALL ELEVATION
- TCL = TOP OF CONCRETE LANDSCAPE BED EDGE
- FC = FLUSH CURB SPOT ELEVATION
- FG = FINISHED GRADE SPOT ELEVATION
- EX = EXISTING TOP OF PAVEMENT ELEVATION

UTILITIES:

- ELECTRIC:
CONTACT: RON DEJARNETTE
1300 SE HAMBLEN RD.,
LEE'S SUMMIT, MO 64081
PH: 816.347.4316
- GAS:
SPIRE
CONTACT: RICHI GARCIA
3025 SE CLOVER DR.,
LEE'S SUMMIT, MO 64082
PH: 816.507.0713
- STORMWATER:
LEE'S SUMMIT PUBLIC WORKS
220 SE GREEN ST.,
LEE'S SUMMIT, MO 64063
PH: 816.969.1800
- SANITARY SEWER & WATER:
LEE'S SUMMIT WATER UTILITIES
220 SE HAMBLEN RD.,
LEE'S SUMMIT, MO 64081
PH: 816.969.1900
- COMMUNICATIONS:
AT&T
CONTACT: TIMOTHY BUSHART
2121 E. 63RD STREET,
KANSAS CITY, MO 64130
PH: 816.803.2608
- COMMUNICATIONS:
SPECTRUM
CONTACT: JORDAN SMITH
8221 W 119TH ST.,
OVERLAND PARK, KS 66213
PH: 816.266.1059

GENERAL		SURVEY MARKERS	
ACU	AIR CONDITIONING UNIT	BMK	BENCHMARK
AST	ARROW STRAIGHT	CPT	CONTROL POINT
ATL	ARROW TURN LEFT	FND	FOUND MONUMENT
ATR	ARROW TURN RIGHT	ROW	ROW MARKER
BLB	BILLBOARD	SCR	SECTION CORNER
BOV	BLOW OFF VALVE	SET	SET MONUMENT
BSH	BUSH	BOUNDARIES	
COL	COLUMN	--- ---	SECTION LINE
CTR	CONIFEROUS TREE	--- ---	EXISTING PROPERTY BOUNDARY
DRN	DRAIN GRATE	--- ---	PROPOSED PROPERTY BOUNDARY
DTR	DECIDUOUS TREE	---	EXISTING LOT LINE
FLP	FLAG POLE	---	PROPOSED LOT LINE
GDP	GUARD POST	--- ---	EXISTING RIGHT-OF-WAY
GPL	GUY POLE	--- ---	PROPOSED RIGHT-OF-WAY
GTP	GREASE TRAP	UTILITIES	
GUY	GUY WIRE	CAB	CABLE BOX
HCP	ACCESSIBLE PARKING MARKER	CAV	CABLE VAULT
LST	LIFT STATION	TVP	TELEVISION PEDESTAL
MLB	MAILBOX	TVR	TELEVISION RISER
MP	MILE POST MARKER	ECVH	EXISTING CABLE TV, OVERHEAD
MWL	MONITORING WELL	EOTV	EXISTING CABLE TV, UNDERGROUND
PIV	POST INDICATOR VALVE	ECVH	PROPOSED CABLE TV, OVERHEAD
PPT	PROPANE TANK	ECVH	PROPOSED CABLE TV, UNDERGROUND
RAT	RADIO TOWER	FOB	FIBER OPTIC BOX
SAD	SATELLITE	FOM	FIBER OPTIC MANHOLE
SCV	SPRINKLER CONTROL VALVE	FOP	FIBER OPTIC PEDESTAL
SGN	SIGN	FOP	FIBER OPTIC VAULT
SLB	STREET LIGHT BOX	EFVH	EXISTING FIBER OPTIC, OVERHEAD
SLC	STREET LIGHT CABINET	EFVH	EXISTING FIBER OPTIC, UNDERGROUND
SPB	SPRINKLER BOX	FOVH	PROPOSED FIBER OPTIC, OVERHEAD
SPH	SPRINKLER HEAD	FOVH	PROPOSED FIBER OPTIC, UNDERGROUND
STP	STUMP	FD	PROPOSED FIBER OPTIC, UNDERGROUND
SVL	SEWER VALVE	FDC	FIRE DEPT. CONNECTION
TCL	TRAFFIC CONTROL BOX	EFFP	EXISTING FIRE PROTECTION SYSTEM LINE
TSC	TRAFFIC SIGNAL CABINET	FF	PROPOSED FIRE PROTECTION SYSTEM LINE
TSA	TRAFFIC SIGNAL WITH MAST ARM	EFFL	EXISTING FUEL LINE
TSMH	TRAFFIC SIGNAL MANHOLE	FFL	PROPOSED FUEL LINE
TSP	TRAFFIC SIGNAL POLE	GAR	GAS RISER
EXISTING TREETLINE		GMH	GAS MANHOLE
PROPOSED TREETLINE		GMK	GAS MARKER
EXISTING SIDEWALK		GMT	GAS METER
PROPOSED SIDEWALK		GR	GAS REGULATOR
FUTURE SIDEWALK		GVL	GAS VALVE
EXISTING BUILDINGS		EXISTING NATURAL GAS LINE	
FUTURE BUILDINGS		PROPOSED NATURAL GAS LINE	
EXISTING EDGE OF PAVEMENT		TELEPHONE CABINET	
PROPOSED EDGE OF PAVEMENT		TELEPHONE PEDESTAL	
FUTURE EDGE OF PAVEMENT		TELEPHONE RISER	
EXISTING ROADWAY CENTER LINE		TELEPHONE VAULT	
PROPOSED ROADWAY CENTER LINE		TELEPHONE MANHOLE	
FUTURE ROADWAY CENTER LINE		EXISTING TELEPHONE LINE, OVERHEAD	
EXISTING CURB & GUTTER		EXISTING TELEPHONE LINE, UNDERGROUND	
PROPOSED CURB & GUTTER		PROPOSED TELEPHONE LINE, OVERHEAD	
FUTURE CURB & GUTTER		PROPOSED TELEPHONE LINE, UNDERGROUND	
R		GROUND LIGHT	
L		LTP	
D		LTP	
A.E.		PWP	
B.M.P.		TRF	
B.L.		ELC	
C.T.V.E.		ELR	
C.E.		ELR	
C.G.E.		EMH	
F.P.E.		EMT	
F.O.E.		ESC	
F.P.S.E.		EVT	
F.L.E.		YDL	
L.S.E.		EEVH	
G.E.		EE	
T.E.		SC	
E.E.		SS	
P.S.		FSS	
S.B.		ESL	
S.D.E.		SL	
SIGHT DIST. ESMT.		SDMH	
S.E.		FES	
S.L.E.		RDN	
D.E.		EXISTING STORM SEWER	
S.W.M.E.		PROPOSED STORM SEWER	
T.C.D.S.E.		FH	
TEMP. ESMT.		WMH	
TRAIL ESMT.		WMK	
U.E.		WMT	
W.E.		WVL	
F.Y.S.		EXISTING WATER LINE	
R.Y.S.		PROPOSED WATER LINE	
S.Y.S.		W	

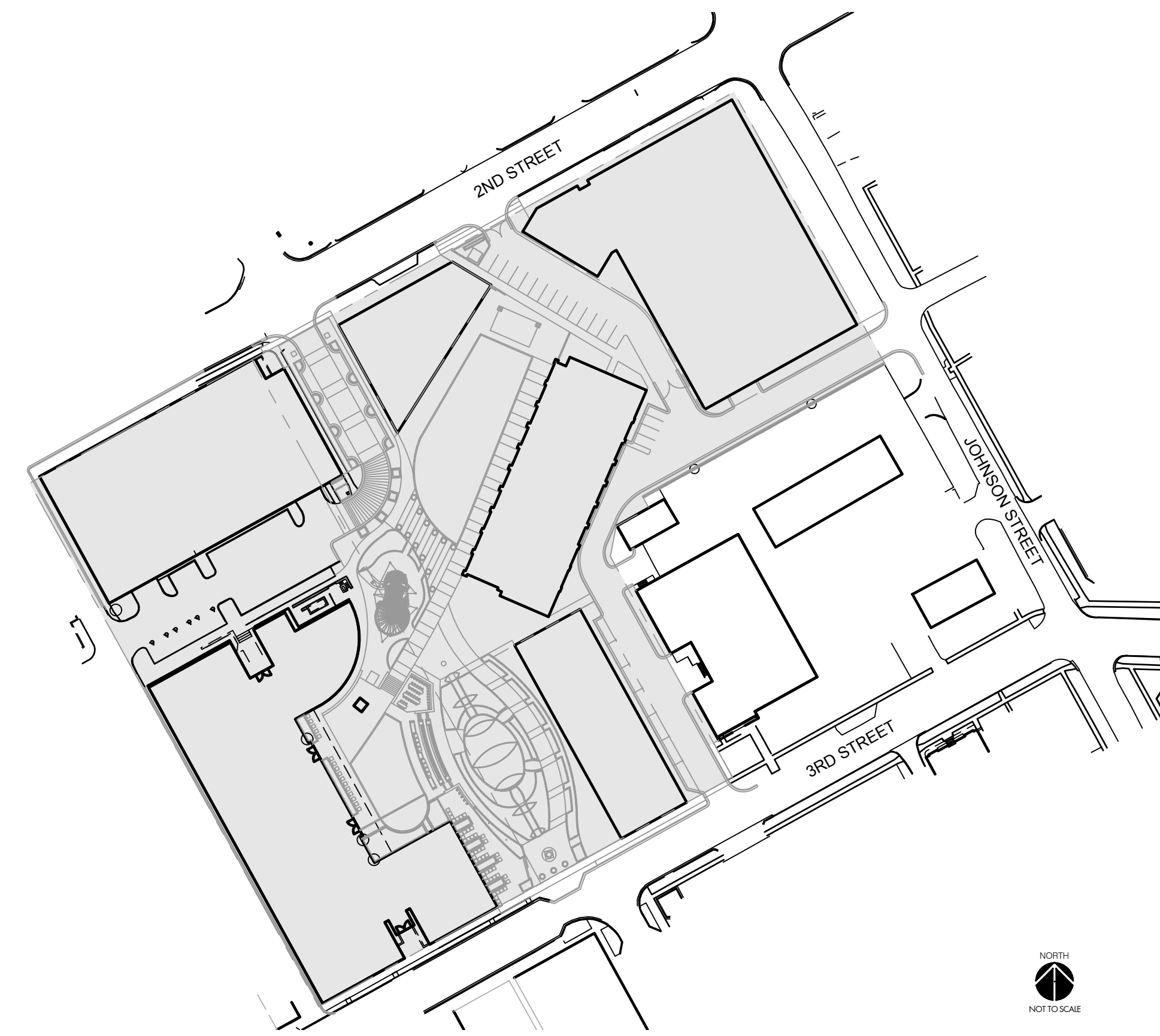
MISSOURI ONE CALL:



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 L_PBASE_02200393
 L_XTOPO_02200393
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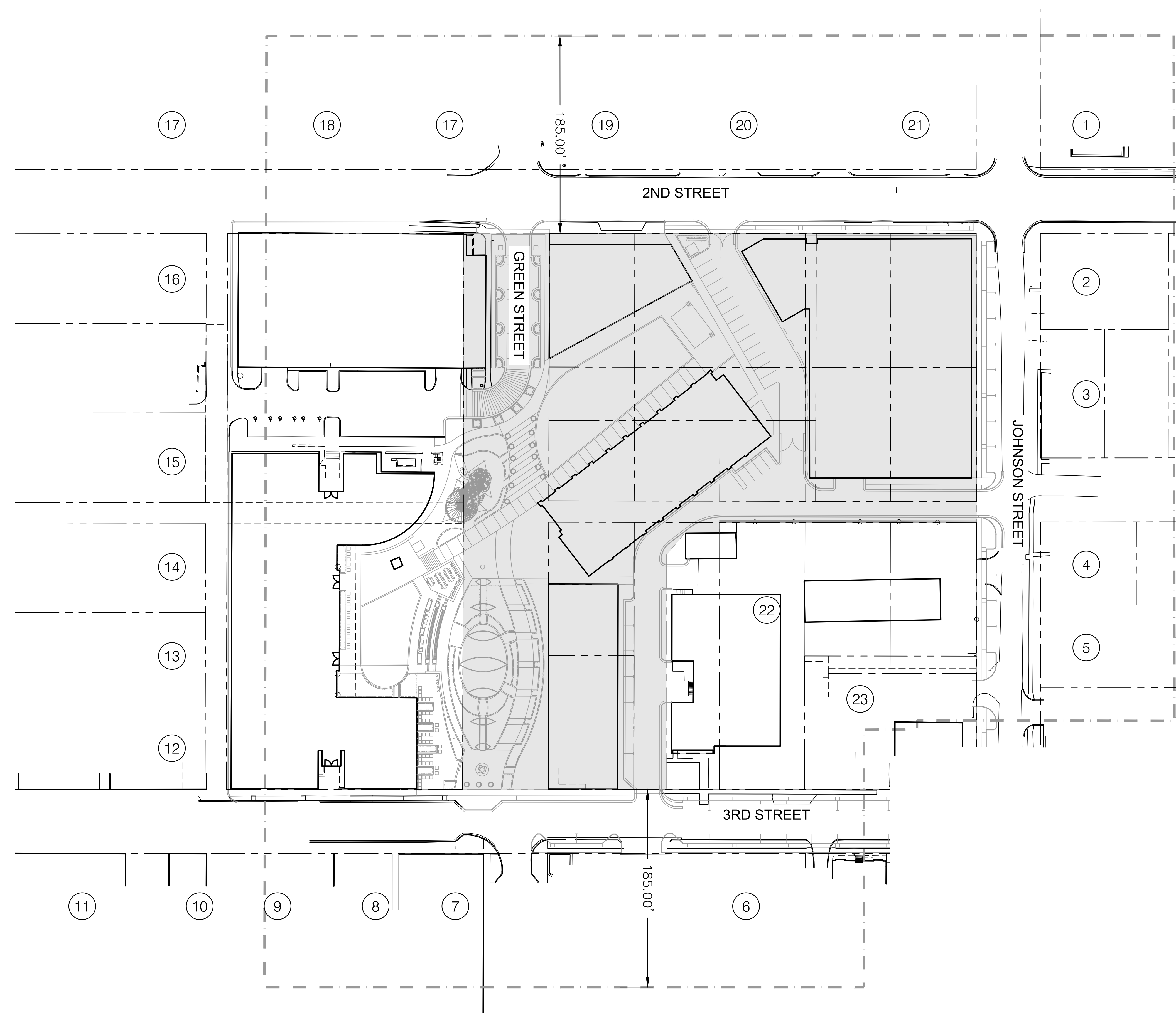
PDP AREA EXHIBIT



NOT FOR CONSTRUCTION

REV.	NO.	DATE	DESCRIPTION

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DEVELOPMENT DATA	
EXISTING ZONING	CBD, CP-2
PROPOSED ZONING	CBD
GROSS AREA (AC.)	4.56 AC
PROPOSED STREET R/W (LF.)	963 LF
NET AREA (AC.)	4.17 AC
IMPERVIOUS COVERAGE	87%
LAND USE (EXISTING / PROPOSED)	PUBLIC USE-MISC

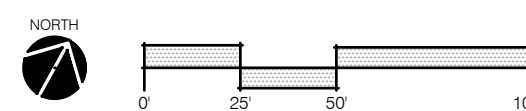
REZONING AND PRELIMINARY DEVELOPMENT PLAN PROPERTY DESCRIPTION:

ALL OF LOT 1, LEE'S SUMMIT CITY HALL, TOGETHER WITH ALL OF LOTS 5 THROUGH 10, TOGETHER WITH PART OF LOT 4, TOGETHER WITH ALL OF THE ADJACENT 20-FOOT-WIDE ALLEY, TOGETHER WITH ALL OF GREEN STREET RIGHT OF WAY, ALL IN BLOCK 18 OF W.B. HOWARD'S ADDITION TO THE TOWN OF STROTHER, BOTH SUBDIVISIONS IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, LYING IN THE SOUTHWEST QUARTER OF SECTION 5, TOWNSHIP 47 NORTH, RANGE 31 WEST, DESCRIBED BY PATRICK ETHAN WARD, PLS-200500071 OF OLSSON, INC., LC-366, ON JULY 28, 2023, AS FOLLOWS:

BEGINNING AT THE SOUTHERNMOST CORNER OF SAID LOT 1; THENCE NORTH 28 DEGREES 53 MINUTES 39 SECONDS WEST, ON THE SOUTHWESTERLY LINE OF SAID LOT 1, A DISTANCE OF 520.09 FEET TO WESTERNMOST CORNER OF SAID LOT 1; THENCE NORTH 60 DEGREES 57 MINUTES 02 SECONDS EAST, ON THE NORTHWESTERLY LINE OF SAID LOT 1, AND ON THE NORTHWESTERLY LINE OF SAID BLOCK 18, A DISTANCE OF 700.34 FEET TO THE NORTHERNMOST CORNER OF SAID BLOCK 18; THENCE SOUTH 29 DEGREES 04 MINUTES 41 SECONDS EAST, ON THE NORTHEASTERLY LINE OF SAID BLOCK 18, A DISTANCE OF 270.98 FEET TO THE EASTERNMOST CORNER OF SAID 20-FOOT-WIDE ALLEY; THENCE SOUTH 61 DEGREES 04 MINUTES 19 SECONDS WEST, ON THE SOUTHEASTERLY LINE OF SAID ALLEY, A DISTANCE OF 240.27 FEET TO A POINT ON THE NORTHERNMOST CORNER OF SAID LOT 4; THENCE SOUTH 28 DEGREES 55 MINUTES 51 SECONDS EAST, DEPARTING SAID SOUTHEASTERLY LINE, ON THE NORTHEASTERLY LINE OF SAID LOT 4, A DISTANCE OF 9.74 FEET TO A POINT; THENCE SOUTH 60 DEGREES 38 MINUTES 25 SECONDS WEST, DEPARTING SAID NORTHEASTERLY LINE, A DISTANCE OF 32.63 FEET TO A POINT; THENCE SOUTH 10 DEGREES 58 MINUTES 02 SECONDS WEST A DISTANCE OF 26.69 FEET TO A POINT; THENCE SOUTH 28 DEGREES 58 MINUTES 15 SECONDS EAST A DISTANCE OF 219.45 FEET TO A POINT ON THE SOUTHEASTERLY LINE OF SAID BLOCK 18; THENCE SOUTH 60 DEGREES 58 MINUTES 38 SECONDS WEST, ON SAID SOUTHEASTERLY LINE, AND ON THE SOUTHEASTERLY LINE OF SAID LOT 1, A DISTANCE OF 411.51 FEET TO THE POINT OF BEGINNING, CONTAINING 292,983 SQUARE FEET OR 6.7260 ACRES, MORE OR LESS.

PROPERTY OWNERS WITHIN 185'			
KEY	PROPERTY ADDRESS	OWNER / OWNER ADDRESS	LAND USE / ZONING
1	300 SE 2ND ST LEES SUMMIT, MO 64063	EJN HOLDINGS LLC 6540 W 95TH ST STE 103 OVERLAND PARK, KS 66212	OFF BLDG. >=15000 SF
2	201 SE JOHNSON ST LEES SUMMIT, MO 64063	FELL JAMES R & RACHAEL A 201 SE JOHNSON ST LEES SUMMIT, MO 64063	SF RESIDENCE
3	300 SE COOPER ST LEES SUMMIT, MO 64063	1706 PROPERTIES LLC 1706 GAMBRELL ST GREENWOOD, MO 64034	SF RESIDENCE
4	211 SE JOHNSON ST LEES SUMMIT, MO 64063	ZAK DAVID & CAROLYN 501 SE COUNTRY LN LEES SUMMIT, MO 64063	SF RESIDENCE
5	215 SE JOHNSON ST LEES SUMMIT, MO 64063	KC COMFORT PROPERTIES LLC 208 SE 3RD ST LEES SUMMIT, MO 64063	VACANT RES LAND
6	203 SE 3RD ST LEES SUMMIT, MO 64063	3GREENSTREET LLC 4705 CENTRAL ST KANSAS CITY, MO 64112	RETAIL STORE
7	129 SE 3RD ST LEES SUMMIT, MO 64063	WATERS & SON LLC 129 SE 3RD ST LEES SUMMIT, MO 64063	RETAIL STORE
8	123 SE 3RD ST LEES SUMMIT, MO 64063	3RD STREET RESTAURANT ASSOCIATES LLC 123 SE 3RD ST LEES SUMMIT, MO 64063	RESTAURANT
9	121 SE 3RD ST LEES SUMMIT, MO 64063	CITY OF LEES SUMMIT PO BOX 1600 LEES SUMMIT, MO 64063-7600	PARKING LOT
10	109 SE 3RD ST LEES SUMMIT, MO 64063	GRONBERG GUY 1516 NE HARDAGE CIR LEES SUMMIT, MO 64086	RETAIL STORE
11	105 SE 3RD ST LEES SUMMIT, MO 64063	3DOUGLAS LLC 4705 CENTRAL ST KANSAS CITY, MO 64112	SHOP CENTER-NBHD
12	110 SE 3RD ST LEES SUMMIT, MO 64063	W. L. BEARS ENTERPRISE, INC. 1800 ALPIRE DR PLEASANT VALLEY, MO 64080	RETAIL STORE
13	PUBLIC OWNED LEES SUMMIT, MO 64063	CITY OF LEES SUMMIT PO BOX 1600 LEES SUMMIT, MO 64063-7600	PARKING LOT
14	209 SE DOUGLAS ST LEES SUMMIT, MO 64063	209 211 SE DOUGLAS LLC 209 SW 3RD ST LEES SUMMIT, MO 64063	OFF BLDG. <15000 SF
15	207 SE DOUGLAS ST LEES SUMMIT, MO 64063	CITY OF LEES SUMMIT PO BOX 1600 LEES SUMMIT, MO 64063-7600	FIRE STATION
16	111 SE 2ND ST LEES SUMMIT, MO 64063	111 2ND STREET LLC 407 SE GRAND AVE LEES SUMMIT, MO 64063	RETAIL STORE
17	110 SE GREEN ST LEES SUMMIT, MO 64063	REORGANIZED SCHOOL DIST NO 7 108 E 2ND ST LEES SUMMIT, MO 64063	SCHOOL-PUBLIC
18	100 SE 2ND ST LEES SUMMIT, MO 64063	SCHOOL DISTRICT 7 REORGANIZED 301 NE TUDOR RD LEES SUMMIT, MO 64086	SCHOOL-PUBLIC
19	200 SE 2ND ST LEES SUMMIT, MO 64063	RYAN HUGH H & MARGIE L 200 SE 2ND ST LEES SUMMIT, MO 64063	OFF BLDG. <15000 SF
20	202 SE 2ND ST LEES SUMMIT, MO 64063	WEEDA RAYMOND R & KAREN K-TR 25207 MILTON THOMPSON RD LEES SUMMIT, MO 64086	OFF BLDG. <15000 SF
21	206 SE 2ND ST LEES SUMMIT, MO 64063	WELLS REALTY LLC Address: 211 SE GRAND ST D LEES SUMMIT, MO 64063	OFF BLDG. <15000 SF
22	202 SE 3RD ST LEES SUMMIT, MO 64063	SOUTHWESTERN BELL TELEPHONE 1010 PINE ST ROOM 9E-L-01 ST. LOUIS, MO 63101	LOCAL ASSESSED UTIL
23	206 SE 3RD ST LEES SUMMIT, MO 64063	KC COMFORT PROPERTIES LLC 208 SE 3RD ST LEES SUMMIT, MO 64063	PARKING LOT

1 REZONING AREA EXHIBIT



olsson studio

OLSSON - LANDSCAPE ARCHITECTURE
MO CERTIFICATE OF AUTHORITY # 2005000285
1814 Main St.
Kansas City, MO 64108 TEL 816.842.8844
olsson-studio.com

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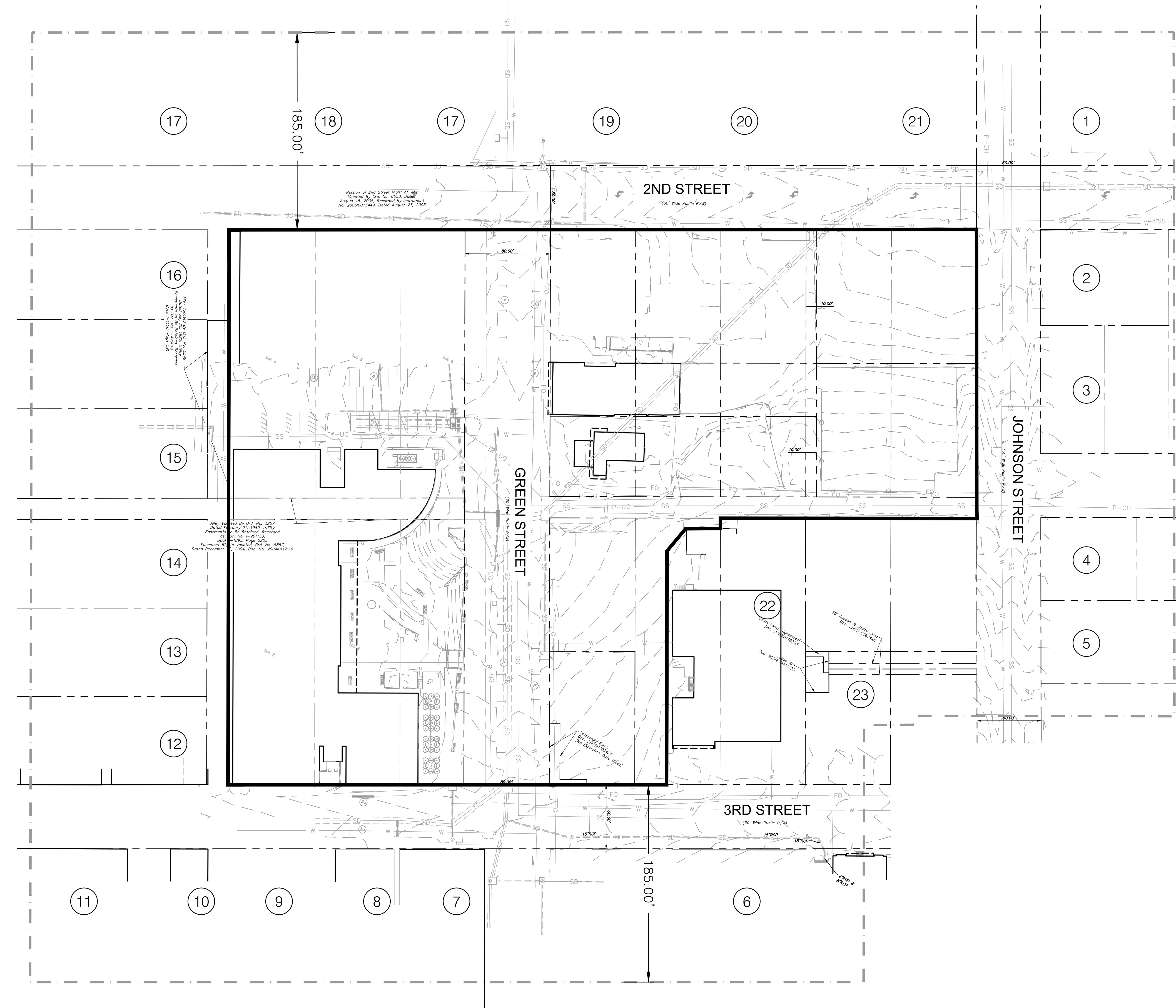
REV. NO.	DATE	REVISIONS DESCRIPTION

PROJECT SHEET
LEE'S SUMMIT DOWNTOWN MARKET
GREEN STREET - 2ND STREET TO 3RD STREET
LEE'S SUMMIT, MISSOURI
2023

SHEET
L002

drawn by: TSV/GEW
checked by: DV
approved by: KPS
QA/QC by: BM
project no.: 022-00393
drawing no.: L_CVR01_02200393
date: 08/28/2023

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DATE: Aug 28, 2023 11:33am
XREFS: L_PTBK_02200393 V_XBNDY_02200393 V_XTOPC_02200393
USER: tawehla



1 EXISTING CONDITIONS

PROPERTY OWNERS WITHIN 185'			
KEY	PROPERTY ADDRESS	OWNER / OWNER ADDRESS	LAND USE / ZONING
①	300 SE 2ND ST LEES SUMMIT, MO 64063	EJN HOLDINGS LLC 6540 W 95TH ST STE 103 OVERLAND PARK, KS 66212	OFF BLDG. ≥15000 SF
②	201 SE JOHNSON ST LEES SUMMIT, MO 64063	FELL JAMES R & RACHAEL A 201 SE JOHNSON ST LEES SUMMIT, MO 64063	SF RESIDENCE
③	300 SE COOPER ST LEES SUMMIT, MO 64063	1706 PROPERTIES LLC 1706 GAMBRELL ST GREENWOOD, MO 64034	SF RESIDENCE
④	211 SE JOHNSON ST LEES SUMMIT, MO 64063	ZAK DAVID & CAROLYN 501 SE COUNTRY LN LEES SUMMIT, MO 64063	SF RESIDENCE
⑤	215 SE JOHNSON ST LEES SUMMIT, MO 64063	KC COMFORT PROPERTIES LLC 208 SE 3RD ST LEES SUMMIT, MO 64063	VACANT RES LAND
⑥	203 SE 3RD ST LEES SUMMIT, MO 64063	3GREENSTREET LLC 4705 CENTRAL ST KANSAS CITY, MO 64112	RETAIL STORE
⑦	129 SE 3RD ST LEES SUMMIT, MO 64063	WATERS & SON LLC 129 SE 3RD ST LEES SUMMIT, MO 64063	RETAIL STORE
⑧	123 SE 3RD ST LEES SUMMIT, MO 64063	3RD STREET RESTAURANT ASSOCIATES LLC 123 SE 3RD ST LEES SUMMIT, MO 64063	RESTAURANT
⑨	121 SE 3RD ST LEES SUMMIT, MO 64063	CITY OF LEES SUMMIT PO BOX 1600 LEES SUMMIT, MO 64063-7600	PARKING LOT
⑩	109 SE 3RD ST LEES SUMMIT, MO 64063	GRONBERG GUY 1516 NE HARDAGE CIR LEES SUMMIT, MO 64086	RETAIL STORE
⑪	105 SE 3RD ST LEES SUMMIT, MO 64063	3DOUGLAS LLC 4705 CENTRAL ST KANSAS CITY, MO 64112	SHOP CENTER-NBHD
⑫	110 SE 3RD ST LEES SUMMIT, MO 64063	W. L. BEARS ENTERPRISE, INC. 1800 ALPIRE DR PLEASANT VALLEY, MO 64080	RETAIL STORE
⑬	PUBLIC OWNED LEES SUMMIT, MO 64063	CITY OF LEES SUMMIT PO BOX 1600 LEES SUMMIT, MO 64063-7600	PARKING LOT
⑭	209 SE DOUGLAS ST LEES SUMMIT, MO 64063	209 211 SE DOUGLAS LLC 209 SW 3RD ST LEES SUMMIT, MO 64063	OFF BLDG. <15000 SF
⑮	207 SE DOUGLAS ST LEES SUMMIT, MO 64063	CITY OF LEES SUMMIT PO BOX 1600 LEES SUMMIT, MO 64063-7600	FIRE STATION
⑯	111 SE 2ND ST LEES SUMMIT, MO 64063	111 2ND STREET LLC 407 SE GRAND AVE LEES SUMMIT, MO 64063	RETAIL STORE
⑰	110 SE GREEN ST LEES SUMMIT, MO 64063	REORGANIZED SCHOOL DIST NO 7 108 E 2ND ST LEES SUMMIT, MO 64063	SCHOOL-PUBLIC
⑱	100 SE 2ND ST LEES SUMMIT, MO 64063	SCHOOL DISTRICT 7 REORGANIZED 301 NE TUDOR RD LEES SUMMIT, MO 64086	SCHOOL-PUBLIC
⑲	200 SE 2ND ST LEES SUMMIT, MO 64063	RYAN HUGH H & MARGIE L 200 SE 2ND ST LEES SUMMIT, MO 64063	OFF BLDG. <15000 SF
⑳	202 SE 2ND ST LEES SUMMIT, MO 64063	WEEDA RAYMOND R & KAREN K-TR 25207 MILTON THOMPSON RD LEES SUMMIT, MO 64086	OFF BLDG. <15000 SF
㉑	206 SE 2ND ST LEES SUMMIT, MO 64063	WELLS REALTY LLC Address: 211 SE GRAND ST D LEES SUMMIT, MO 64063	OFF BLDG. <15000 SF
㉒	202 SE 3RD ST LEES SUMMIT, MO 64063	SOUTHWESTERN BELL TELEPHONE 1010 PINE ST ROOM 9E-L-01 ST. LOUIS, MO 63101	LOCAL ASSESSED UTIL
㉓	206 SE 3RD ST LEES SUMMIT, MO 64063	KC COMFORT PROPERTIES LLC 208 SE 3RD ST LEES SUMMIT, MO 64063	PARKING LOT

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Kansas City, MO 64108 TEL: 816.842.8844 olsson-studio.com

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REV. NO.	DATE	REVISIONS DESCRIPTION	BY

EXISTING CONDITIONS

LEE'S SUMMIT DOWNTOWN MARKET
GREEN STREET - 2ND STREET TO 3RD STREET

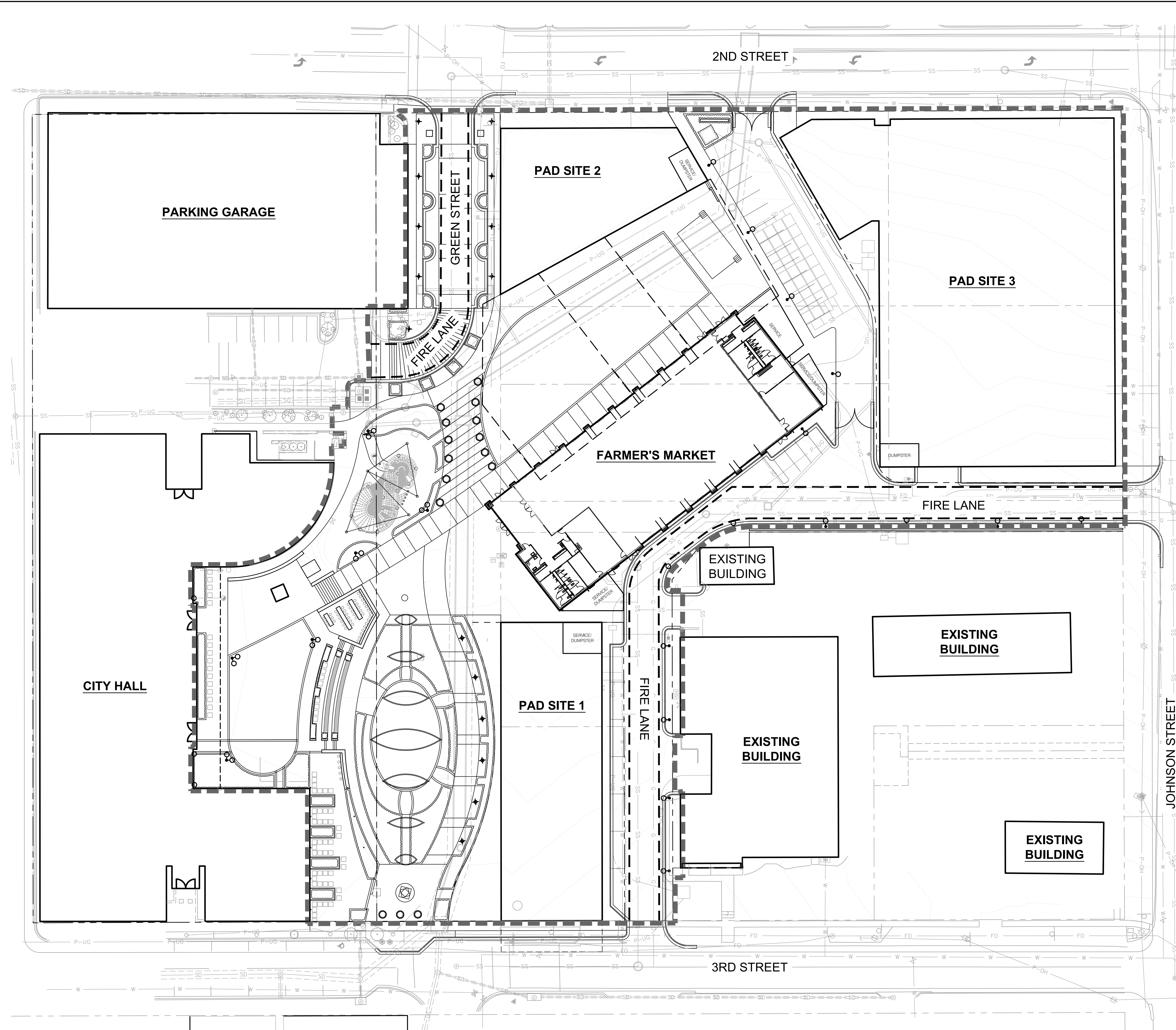
LEE'S SUMMIT, MISSOURI

2023

drawn by: TS/TG/EW
checked by: DV
approved by: KPS
QA/QC by: BM
project no.: 022-00393
drawing no.: L_EXC01_02200393
date: 08/28/2023

SHEET
L100

DWG: F:\2022\00001-00500\022-00393\40-design\AutoCAD\preliminary\plans\Sheets\OSTU\PP\PL_GEN01_02200393.dwg USER: tawehlio
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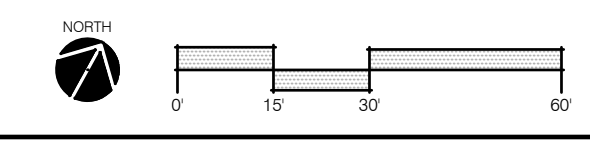


DEVELOPMENT DATA	
EXISTING ZONING	CBD, CP-2
PROPOSED ZONING	CBD
GROSS AREA (AC.)	4.56 AC
PROPOSED STREET R/W (LF.)	963 LF
NET AREA (AC.)	4.17 AC
IMPERVIOUS COVERAGE	87%
LAND USE (EXISTING / PROPOSED)	PUBLIC USE-MISC

GENERAL LEGEND:

	LIMITS OF CONSTRUCTION
	RIGHT OF WAY / PROPERTY LINE
	FIRE LANE LIMITS

1 GENERAL LAYOUT



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BY	
REVISIONS DESCRIPTION	
DATE	
REV. NO.	

GENERAL LAYOUT	2023
LEE'S SUMMIT DOWNTOWN MARKET GREEN STREET - 2ND STREET TO 3RD STREET	
LEE'S SUMMIT, MISSOURI	

drawn by: <u>TS/TG/EW</u> checked by: <u>DV</u> approved by: <u>KPS</u> QA/QC by: <u>BM</u> project no.: <u>022-00393</u> drawing no.: <u>L_GEN01_02200393</u> date: <u>08/28/2023</u>	SHEET L101
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DEVELOPMENT DATA CONTINUED

PAD SITE #	LOT SIZE (SF)	LOT SIZE (AC)	BUILDING COVERAGE (SF)	# OF FLOORS	FLOOR NUMBER	LAND USE	FLOOR SIZE (SF)	TOTAL GROSS FLOOR AREA (SF)	F.A.R.	RESIDENTIAL UNITS	UNITS/ACRE	UDO REQUIRED PARKING SPACES	PROVIDED GARAGE PARKING SPACES	PROVIDED SURFACE PARKING SPACES	PROVIDED ACCESSIBLE PARKING
FARMER'S MARKET	107,529	2.47	17,271	1	1ST FLOOR	FARMER'S MARKET	17,271	17,272		N/A	N/A	N/A	0	18	0
SUBTOTAL:	107,529	2.47	17,271				17,271	17,272	0.16	N/A	N/A	N/A	0	18	0
PAD SITE 1	17,883	0.41	12,476 APPROX.	4	1ST FLOOR	HOTEL	12,476 APPROX.	12,476 APPROX.		80 ROOMS	N/A	N/A	N/A	N/A	N/A
					2ND FLOOR	HOTEL	12,476 APPROX.	12,476 APPROX.							
					3RD FLOOR	HOTEL	12,476 APPROX.	12,476 APPROX.							
					4TH FLOOR	HOTEL	12,476 APPROX.	12,476 APPROX.							
SUBTOTAL:	17,883	0.41	12,476 APPROX.				49,904 APPROX.	49,904 APPROX.	0.36	N/A	N/A	N/A	N/A	N/A	N/A
PAD SITE 2	10,190	0.23	5,000 APPROX.	2	1ST FLOOR	RESTAURANT	5,000 APPROX.	5,000 APPROX.		N/A	N/A	N/A	N/A	7	0
					2ND FLOOR	RESTAURANT	5,000 APPROX.	5,000 APPROX.							
SUBTOTAL:	10,190	0.23	5,000 APPROX.				10,000 APPROX.	10,000 APPROX.	1.02	N/A	N/A	N/A	N/A	N/A	N/A
PAD SITE 3	42,404	0.97	37,209 APPROX.	5	1ST FLOOR	RESIDENTIAL	37,209 APPROX.	37,209 APPROX.		190	N/A	N/A	283	N/A	N/A
					2ND FLOOR	RESIDENTIAL	29,146 APPROX.	29,146 APPROX.							
					3RD FLOOR	RESIDENTIAL	29,146 APPROX.	29,146 APPROX.							
					4TH FLOOR	RESIDENTIAL	29,146 APPROX.	29,146 APPROX.							
					5TH FLOOR	RESIDENTIAL	29,146 APPROX.	29,146 APPROX.							
SUBTOTAL:	42,404	0.97	37,209 APPROX.				153,793 APPROX.	153,793 APPROX.	0.28	N/A	N/A	N/A	N/A	N/A	N/A
TOTAL:	178,006	4	71,009 APPROX.				230,968 APPROX.	230,968 APPROX.	0.77	270	N/A	N/A	283	25	0

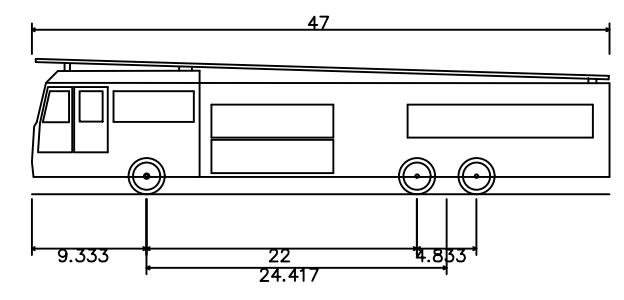
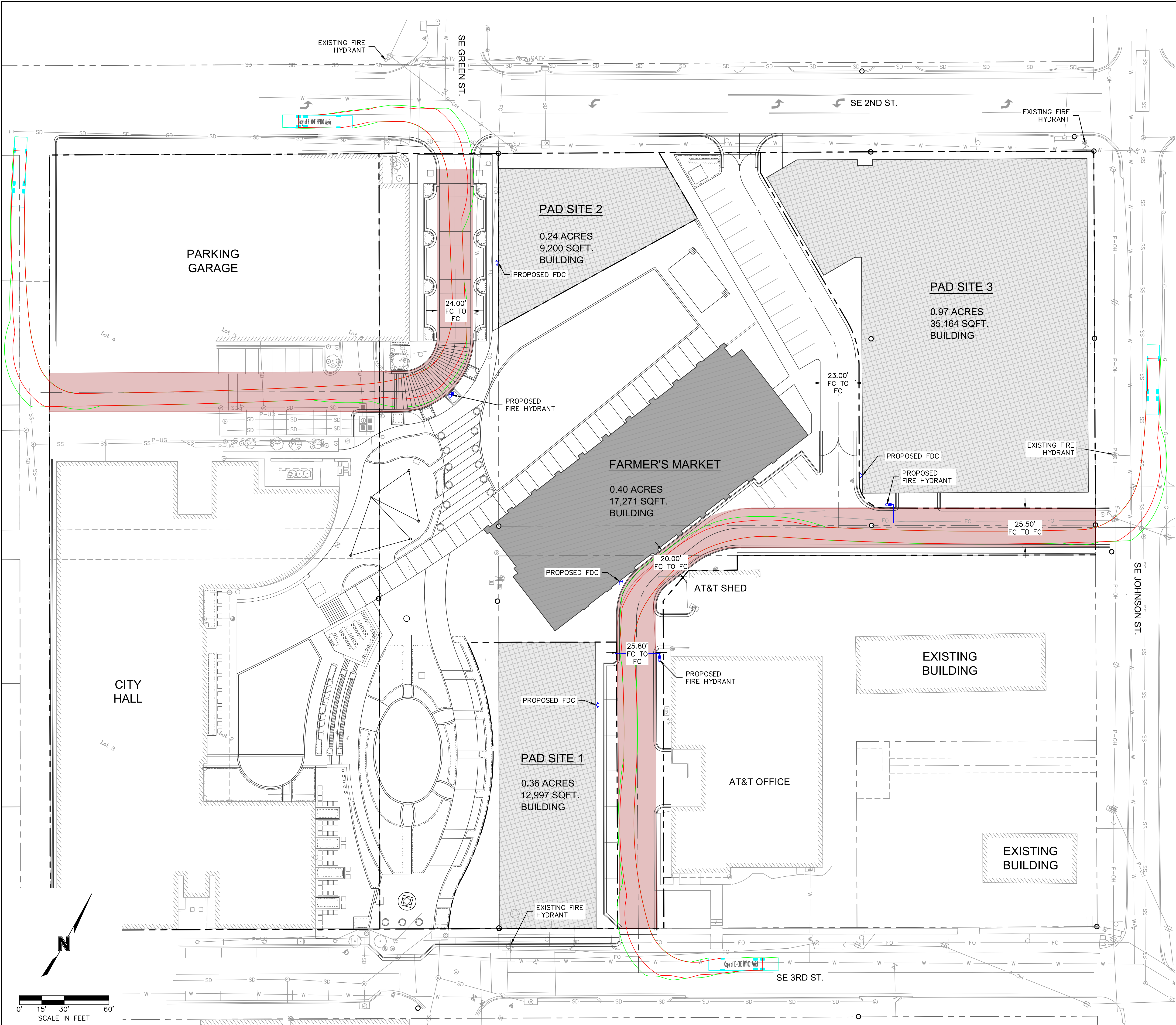
NOTE: PHASE SITE 1, 2, AND 3 ARE PRELIMINARY CONCEPTS AND APPROXIMATE DATA HAS BEEN PROVIDED.

NOT FOR CONSTRUCTION

REV NO.	DATE	REVISIONS DESCRIPTION	BY

DEVELOPMENT DATA TABLES	2023
LEE'S SUMMIT DOWNTOWN MARKET GREEN STREET - 2ND STREET TO 3RD STREET	
LEE'S SUMMIT, MISSOURI	

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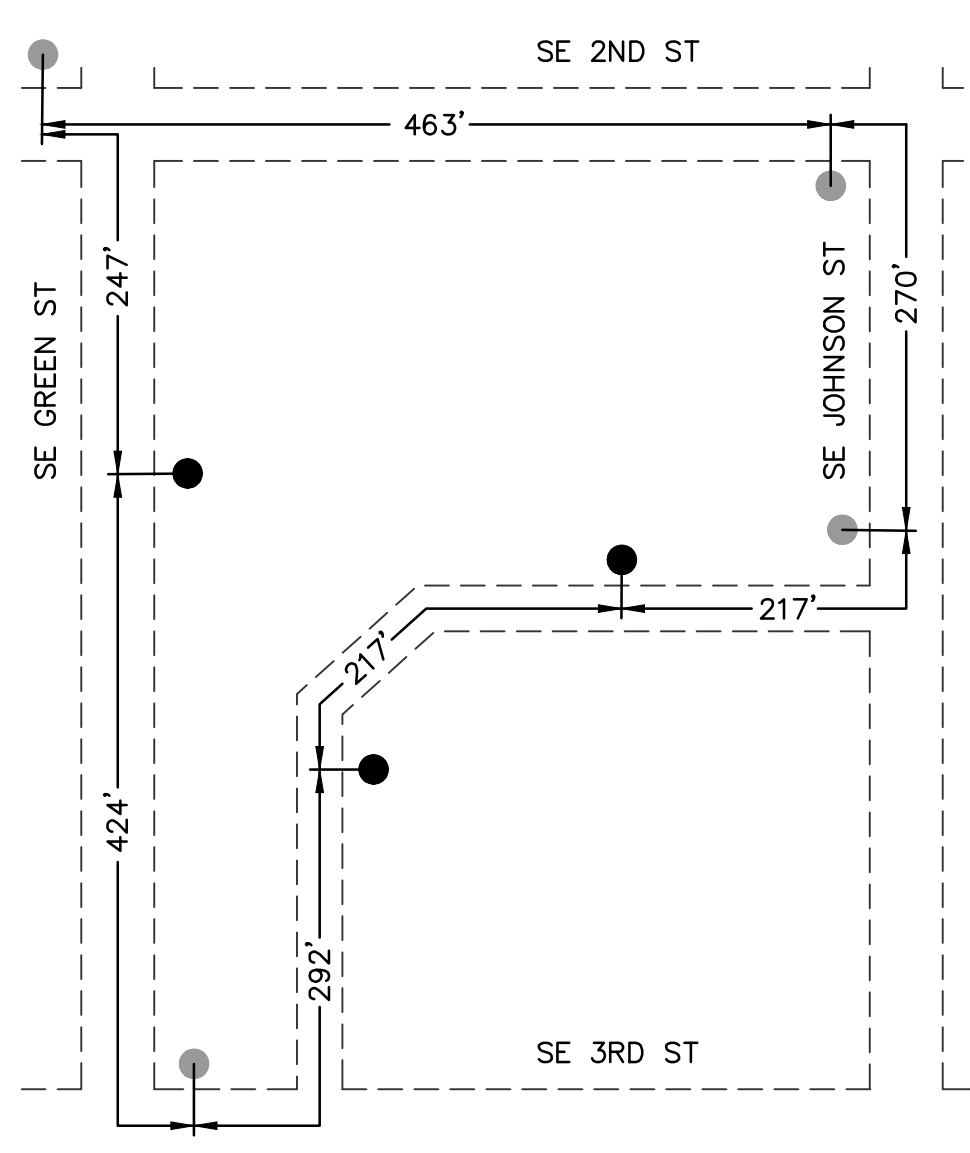


Copy of E-ONE HP100 Aerial
 Overall Length 47.000ft
 Overall Width 8.333ft
 Overall Body Height 11.000ft
 Min Body Ground Clearance 1.393ft
 Track Width 6.000ft
 Lock-to-lock time 6.00s
 Max Wheel Angle 45.00°

FIRE TRUCK DIMENSIONS
 N.T.S

- NOTES**
1. VEHICLE TRAVEL PATH SHOWN IS FOR A FIRE TRUCK. SEE DIMENSIONS ABOVE.
 2. ALL FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS AND SHALL BE SURFACED SO AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. ALL FIRE APPARATUS DRIVE LANES SHALL BE CAPABLE OF SUPPORTING A 75,000-POUND APPARATUS.
 3. WHERE REQUIRED BY THE FIRE CODE OFFICIAL, APPROVED SIGNS OR OTHER APPROVED NOTICES OR MARKINGS THAT INCLUDE THE WORDS NO PARKING--FIRE LANE SHALL BE PROVIDED FOR FIRE APPARATUS ACCESS ROADS TO IDENTIFY SUCH ROADS OR PROHIBIT THE OBSTRUCTION THEREOF. THE MEANS BY WHICH FIRE LANES ARE DESIGNATED SHALL BE MAINTAINED IN A CLEAN AND LEGIBLE CONDITION AT ALL TIMES AND BE REPLACED OR REPAIRED WHEN NECESSARY TO PROVIDE ADEQUATE VISIBILITY. FIRE LANES MAY BE MARKED IN ONE OR A COMBINATION OF METHODS AS APPROVED BY THE FIRE CODE OFFICIAL. CURBS, ALL CURBS AND CURB ENDS SHALL BE PAINTED RED WITH FOUR INCH (4") WHITE LETTERING STATING "FIRE LANE--NO PARKING". WORDING MAY NOT BE SPACED MORE THAN FIFTEEN FEET (15') APART. WHERE NO CURB EXISTS OR A ROLLED CURB IS INSTALLED, A 6-INCH (6") WIDE PAINTED RED STRIPE APPLIED TO THE CONCRETE OR ASPHALT WITH FOUR INCH (4") WHITE LETTERING STATING "FIRE LANE--NO PARKING". SIGNS IN AREA WHERE FIRE LANES ARE REQUIRED, BUT NO CONTINUOUS CURB IS AVAILABLE, ONE OF THE FOLLOWING METHODS SHALL BE USED TO INDICATE THE FIRE LANE. OPTION 1 : A SIGN TWELVE INCHES (12") WIDE AND EIGHTEEN INCHES (18") IN HEIGHT SHALL BE MOUNTED ON A METAL POST SET IN CONCRETE A MINIMUM OF DEPTH OF EIGHTEEN INCHES (18") SET BACK ONE FOOT (1') IN FROM THE EDGE OF THE ROADWAY WITH THE BOTTOM OF THE SIGN BEING SEVEN FEET (7') FROM FINISHED GRADE. SIGNS SHALL FACE ONCOMING TRAFFIC. SPACING OF SIGNS SHALL NOT EXCEED FIFTY FEET (50') BETWEEN SIGNS. SIGNS SHALL BE REFLECTIVE MATERIAL WITH A WHITE COLOR BACKGROUND WITH SYMBOLS, LETTERS AND BORDER IN RED COLOR. "FIRE LANE--NO PARKING". OPTION 2 : A SIGN TWELVE INCHES (12") WIDE AND EIGHTEEN INCHES (18") IN HEIGHT SHALL BE MOUNTED ON THE SIDE OF A STRUCTURE OR OTHER PERMANENT FIXTURE APPROVED BY THE FIRE CODE OFFICIAL. THE BOTTOM OF THE SIGN BEING SEVEN FEET (7') FROM FINISHED GRADE. SPACING OF SIGNS SHALL NOT EXCEED FIFTY FEET (50') BETWEEN SIGNS. SIGNS SHALL BE REFLECTIVE MATERIAL WITH A WHITE COLOR BACKGROUND WITH SYMBOLS, LETTERS AND BORDER IN RED COLOR. "FIRE LANE--NO PARKING"

- LEGEND**
- PROPOSED PROPERTY BOUNDARIES AND R/W LINES
 - EXISTING PROPERTY BOUNDARIES AND R/W LINES
 - FIRE TRUCK BODY LIMITS
 - FIRE TRUCK WHEEL LIMITS
 - FIRE TRUCK ACCESSIBLE LANES
 - X.XX' FC TO FC --- DIMENSION FROM FACE OF CURB TO FACE OF CURB
 - PROPOSED BUILDING
 - PROPOSED PAD SITE

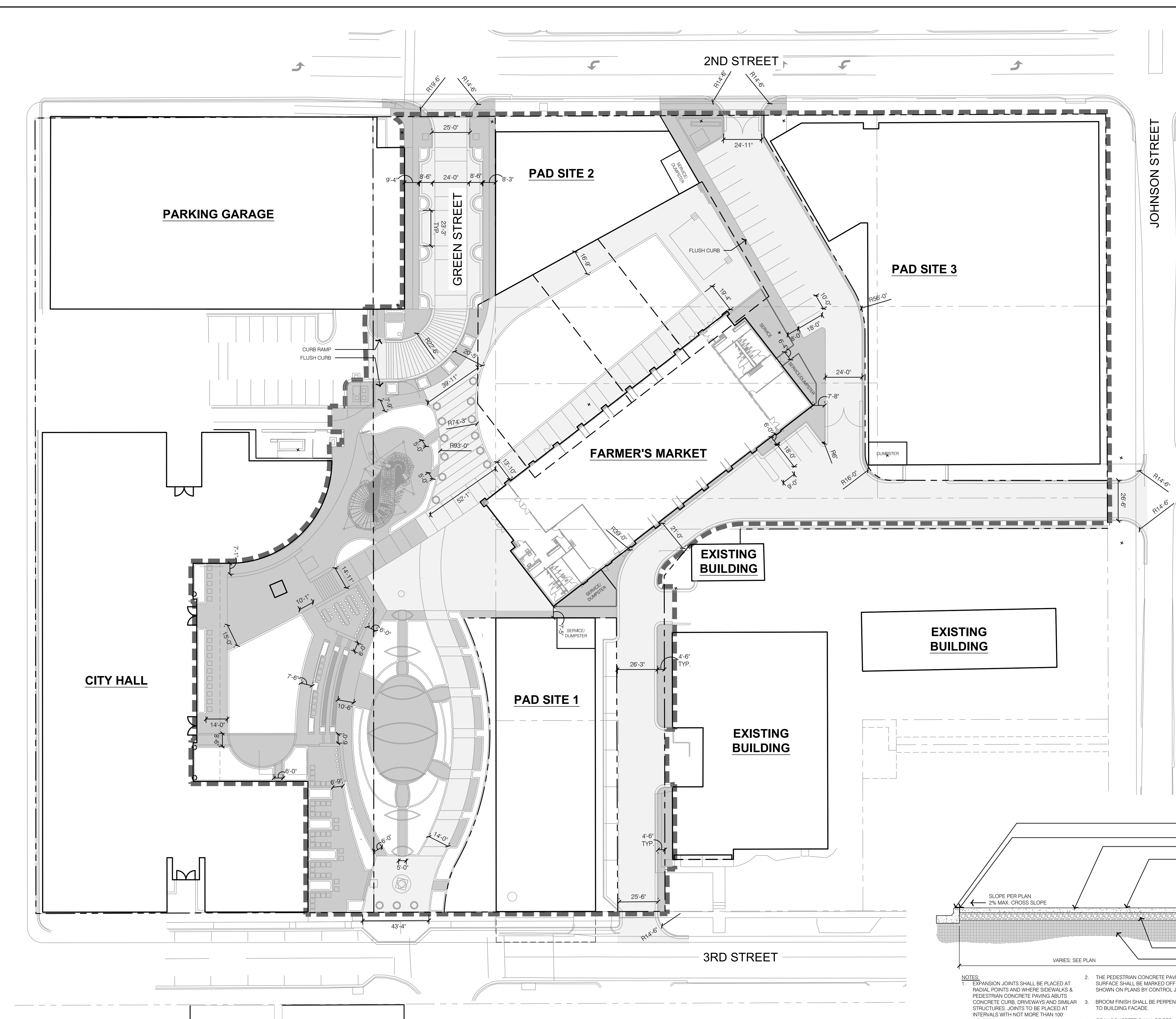


FIRE HYDRANT SPACING DIAGRAM
 DIAGRAM SHOWS HYDRANT-TO-HYDRANT SPACING, INCLUDING BOTH EXISTING (LIGHT) AND PROPOSED (DARK) FIRE HYDRANTS, ALONG STREET C/L NOT TO SCALE

NOT FOR CONSTRUCTION

REV. NO.	DATE	REVISIONS DESCRIPTION

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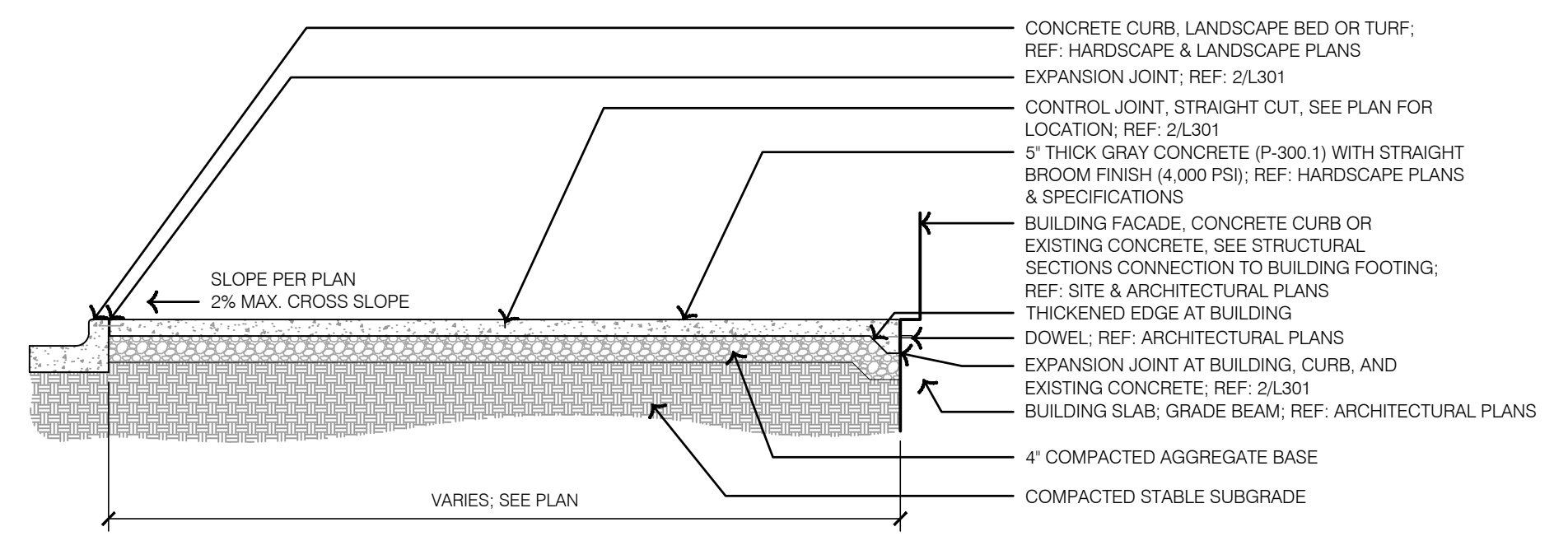


SITE PLAN LEGEND:

- LIMITS OF CONSTRUCTION
- RIGHT OF WAY / PROPERTY LINE
- PROPOSED PEDESTRIAN PAVEMENT
- PROPOSED VEHICULAR PAVEMENT

SITE PLAN NOTES:

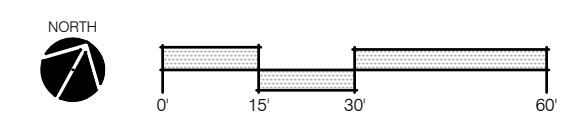
- ALL PROPOSED PARKING SPACES SHALL MEET MINIMUM DIMENSIONS AS SPECIFIED IN LEE'S SUMMIT UDO SEC. 8.620.
- SPECIFIC LOT TRASH ENCLOSURES SHALL MATCH MATERIALS OF ADJACENT BUILDINGS AND SHALL COMPLY WITH REQUIREMENTS PER UDO SEC. 9.790 C.
- PARKING LOT PAVING SHALL MEET THE DESIGN STANDARDS UNDER UDO SECTION 8.620.



NOTES:

- EXPANSION JOINTS SHALL BE PLACED AT RADIAL POINTS AND WHERE SIDEWALKS & PEDESTRIAN CONCRETE PAVING ABUTS CONCRETE CURB, DRIVEWAYS AND SIMILAR STRUCTURES. JOINTS TO BE PLACED AT INTERVALS WITH NOT MORE THAN 100 FEET.
- THE PEDESTRIAN CONCRETE PAVING SURFACE SHALL BE MARKED OFF AS SHOWN ON PLANS BY CONTROL JOINTS.
- BROOM FINISH SHALL BE PERPENDICULAR TO BUILDING FACADE.
- GRAY CONCRETE SHALL BE PER SPECIFICATIONS.

1 SITE PLAN



2 TYPICAL GRAY CONCRETE PAVING

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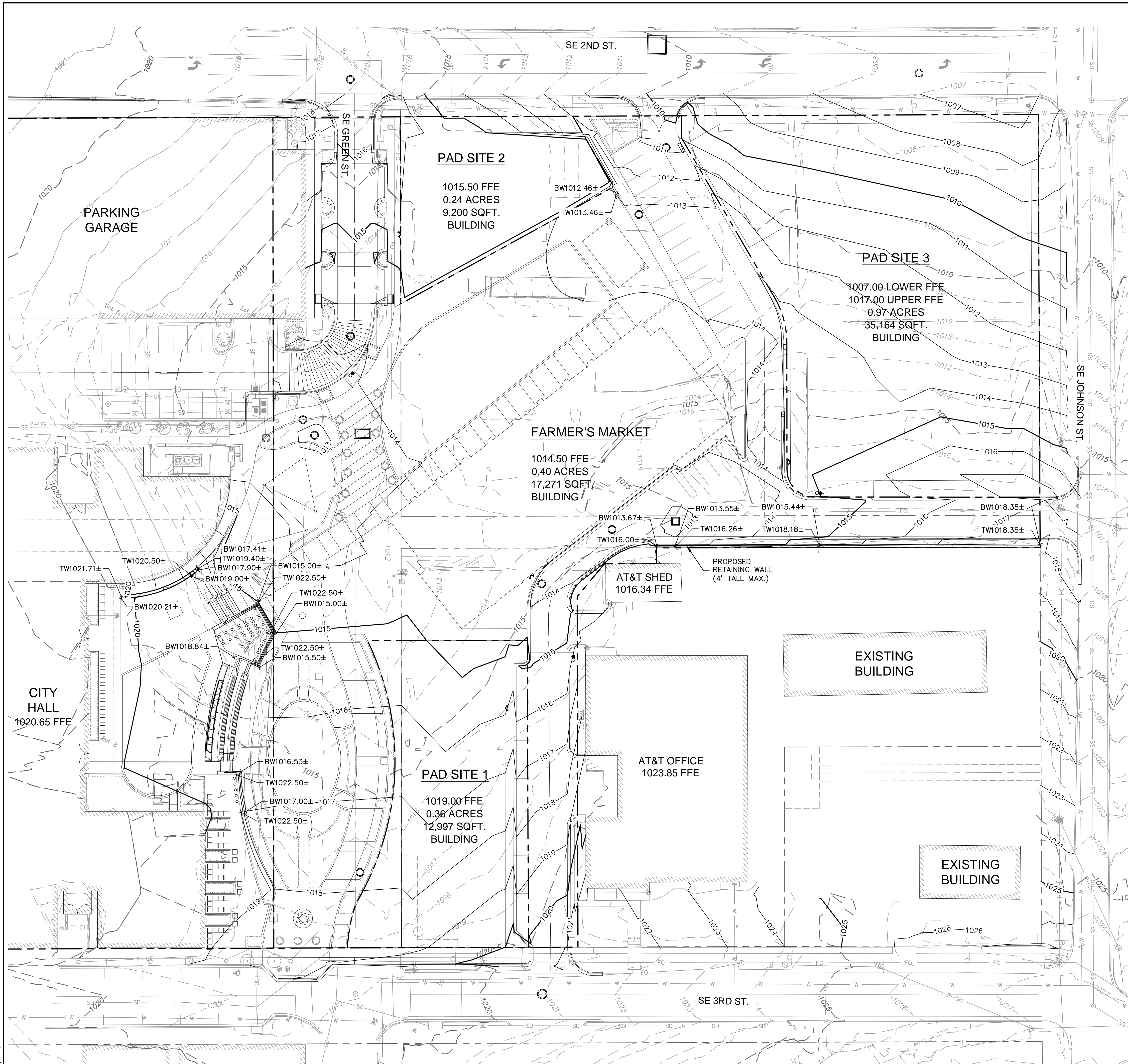
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REV. NO.	DATE	REVISIONS DESCRIPTION	BY

REVISIONS
 SITE PLAN
 LEE'S SUMMIT DOWNTOWN MARKET
 GREEN STREET - 2ND STREET TO 3RD STREET
 2023

drawn by: TS/TG/EW
 checked by: DV
 approved by: KPS
 QA/QC by: BM
 project no.: 022-00393
 drawing no.: L_SIT01_02200393
 date: 08/28/2023

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LEGEND	
-100-	LIMITS OF DISTURBANCE
-100-	EXISTING INDEX CONTOURS
-100-	EXISTING INTERMEDIATE CONTOURS
-100-	PROPOSED INDEX CONTOURS
-100-	PROPOSED INTERMEDIATE CONTOURS
TW1000.00±	APPROXIMATE GRADE AT THE TOP OF WALL
BW1000.00±	APPROXIMATE GRADE AT THE BOTTOM OF WALL

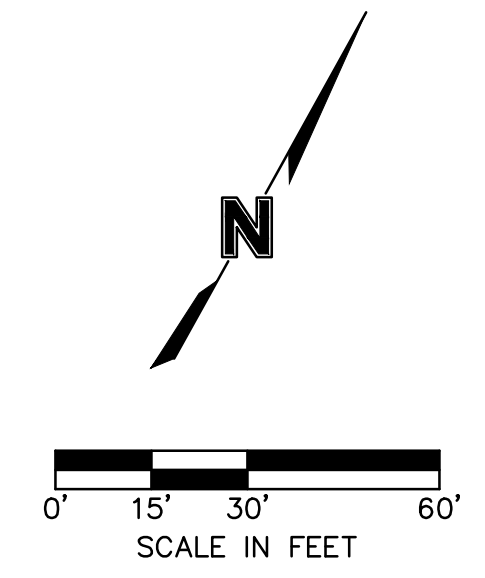
NOTE
 TOP OF WALL AND BOTTOM OF WALL ELEVATIONS PROVIDED ON THIS PLAN ARE PRELIMINARY AND SHOWN FOR GENERAL INFORMATION ONLY. GRADING WILL CHANGE WITH FINAL SITE DEVELOPMENT PLANS

BIAXIAL OR TRIANGULAR POLYPROPYLENE GEOTEXTILE INSTALLED IN SUBGRADE. MATERIAL PER LEE'S SUMMIT PUBLIC WORKS APPROVED PRODUCTS LIST

8" PORTLAND CONCRETE CEMENT (PCC) PER CITY SPECIFICATION
 4" AGGREGATE BASE PER CITY SPECIFICATION
 9" SUBGRADE COMPACTED TO 95% MAX. DENSITY PER APWA SECTION 2201

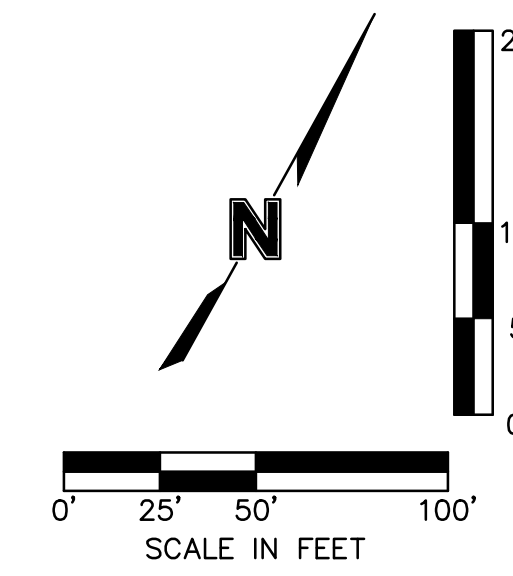
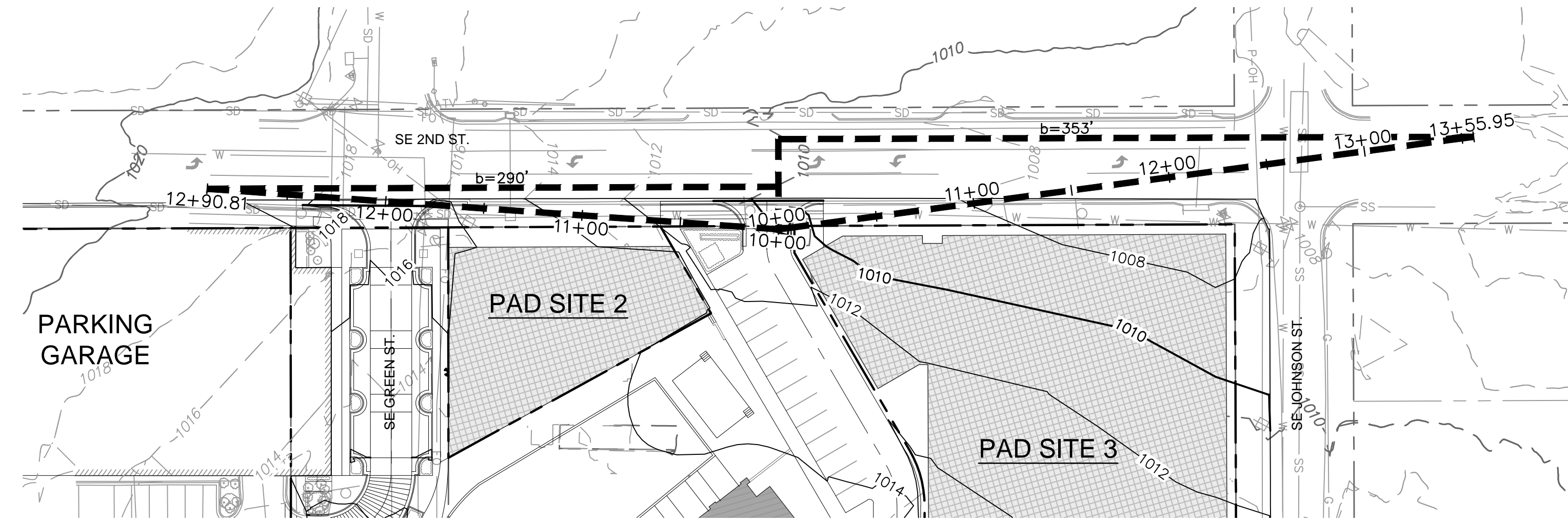
HEAVY DUTY PCC PAVEMENT WITH AGGREGATE SECTION
 NOT TO SCALE

NOTE: ALL CONSTRUCTION, SITE PREPARATION, GRADING, AND EXCAVATION PROCEDURES SHALL CONFORM TO RECOMMENDATIONS AS OUTLINED IN THE GEOTECHNICAL REPORT INCLUDING ADDENDUMS. CONTRACTOR SHALL CONTACT ENGINEER WITH ANY DISCREPANCIES OR CONCERNS BASED ON ACTUAL SITE CONDITIONS.



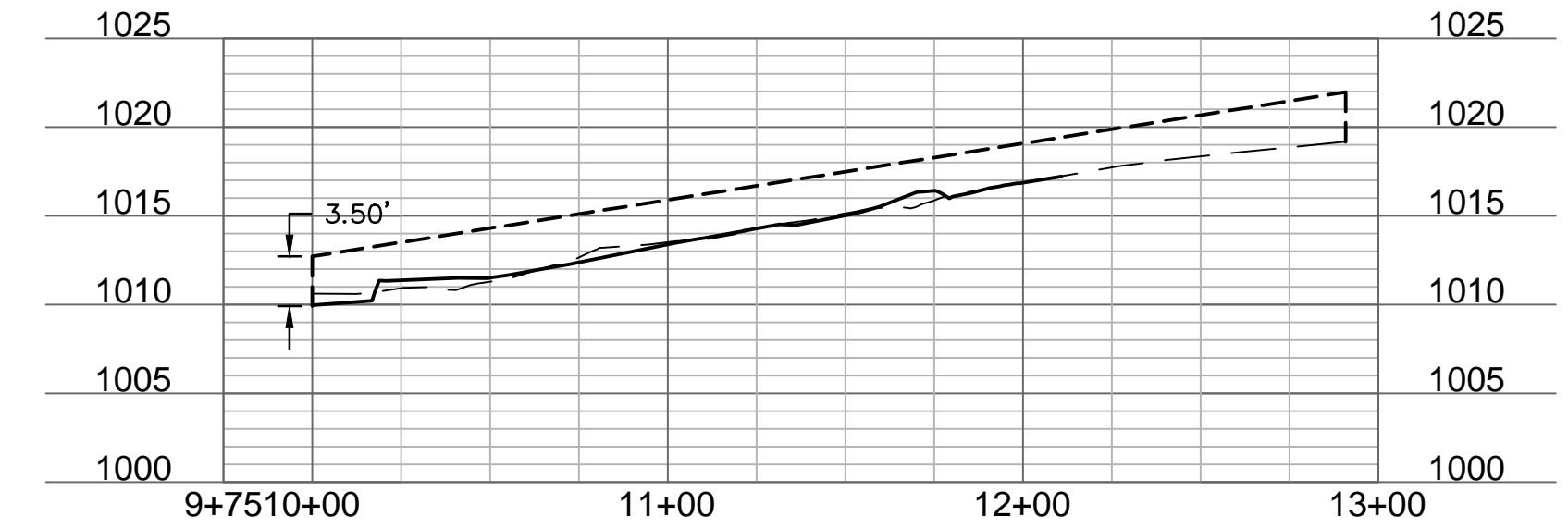
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 1301 Burlington Street
 North Kansas City, MO 64116
 TEL 816.361.1177
 www.ollson.com

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REVISIONS DESCRIPTION	
DATE	
REV. NO.	
PRELIMINARY GRADING PLAN	
LEE'S SUMMIT DOWNTOWN MARKET GREEN STREET - 2ND STREET TO 3RD STREET	
LEE'S SUMMIT, MO	2023
drawn by: _____ DEG	
checked by: _____ JLN	
approved by: _____ DE	
QA/QC by: _____ DR	
project no.: 022-00393	
drawing no.: C_GRD01_02200393	
date: 07/27/2023	
SHEET	
C100	



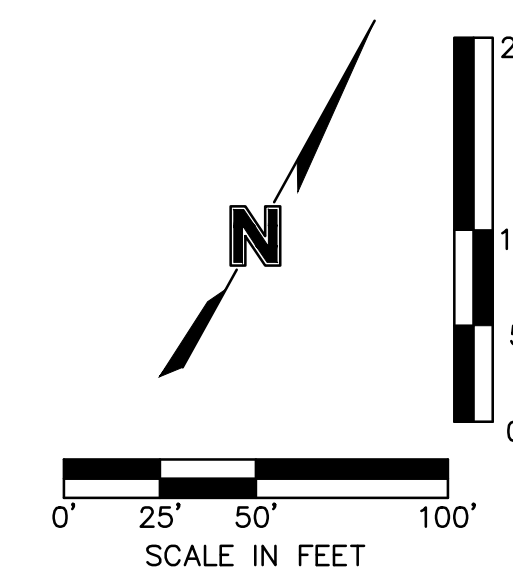
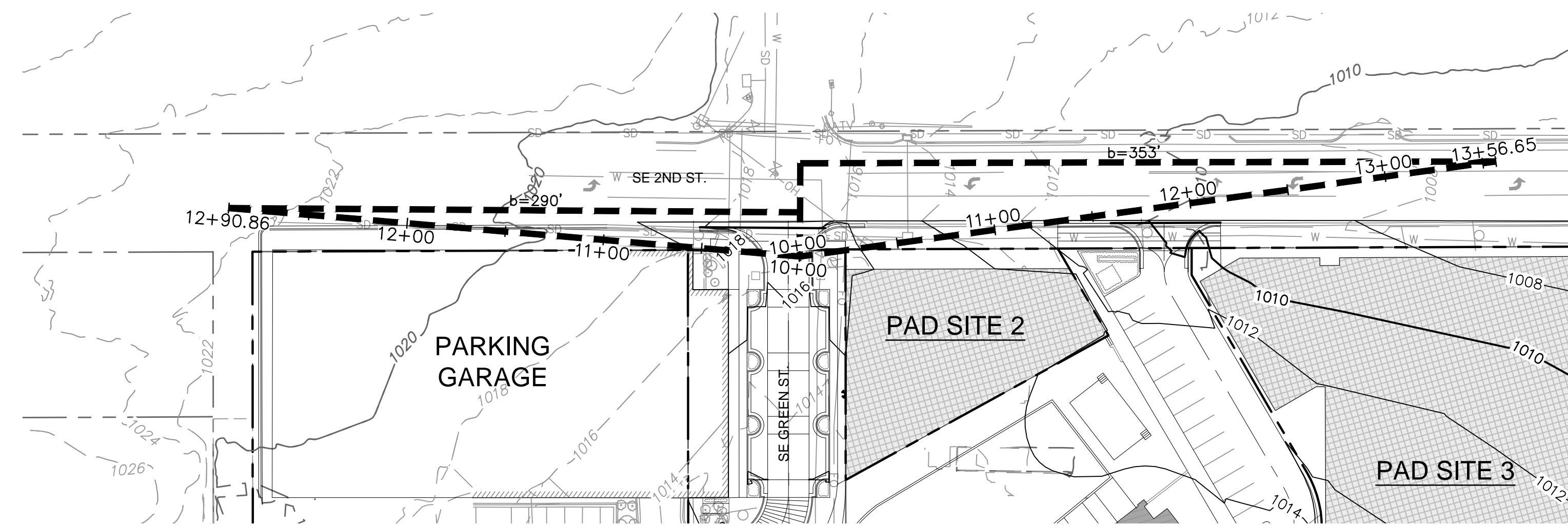
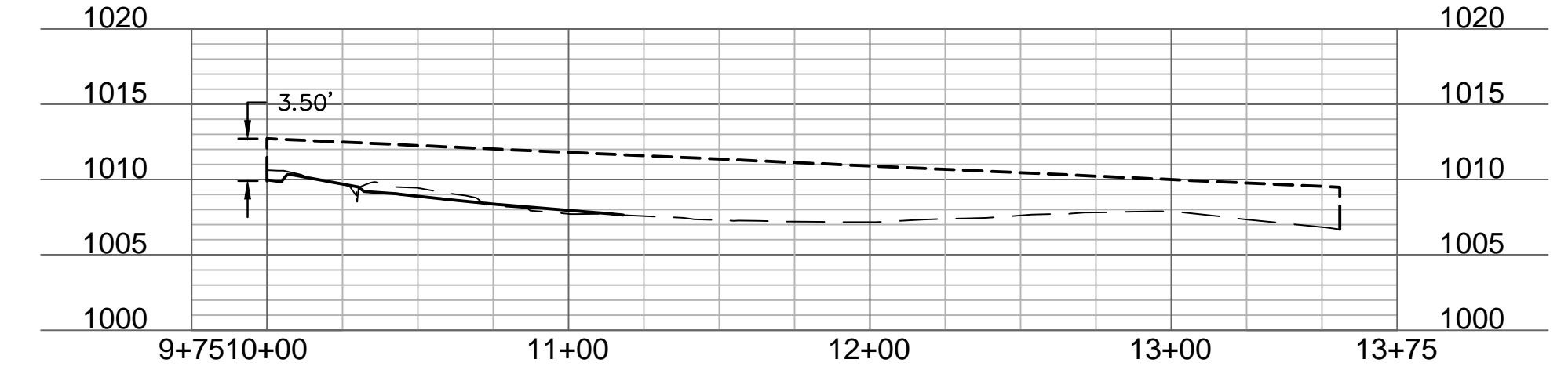
RIGHT TURN FROM ALLEY ONTO SE 2ND ST. (9+75 - 13+00)

CASE B2; $t_g=6.5$ s; $V_{major}=30$ mph



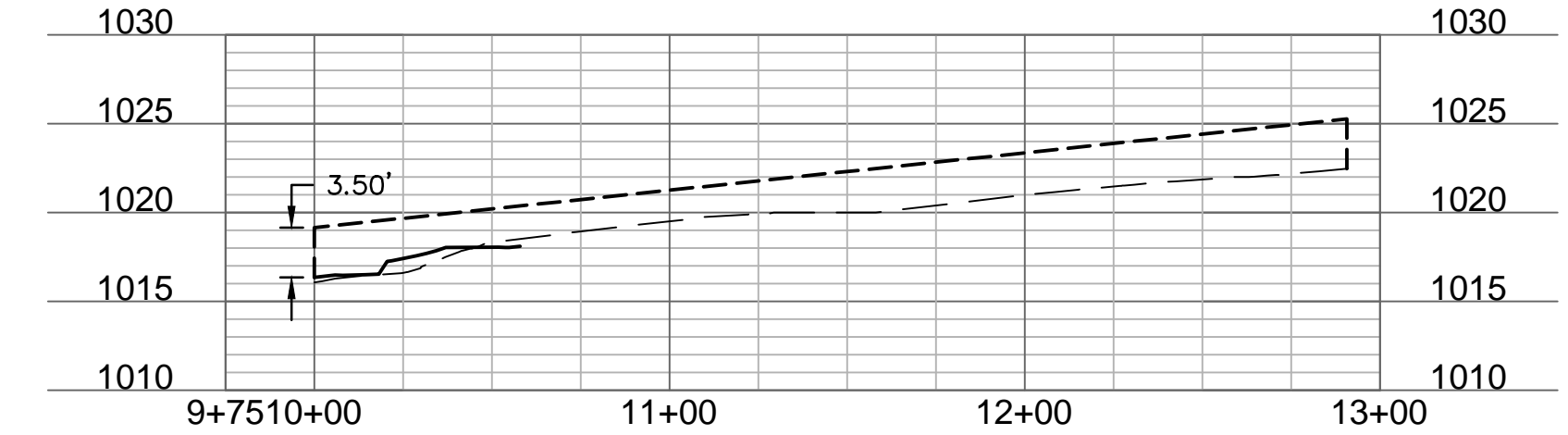
LEFT TURN FROM ALLEY ONTO SE 2ND ST. (9+75 - 13+75)

CASE B1; $t_g=8.0$ s; $V_{major}=30$ mph



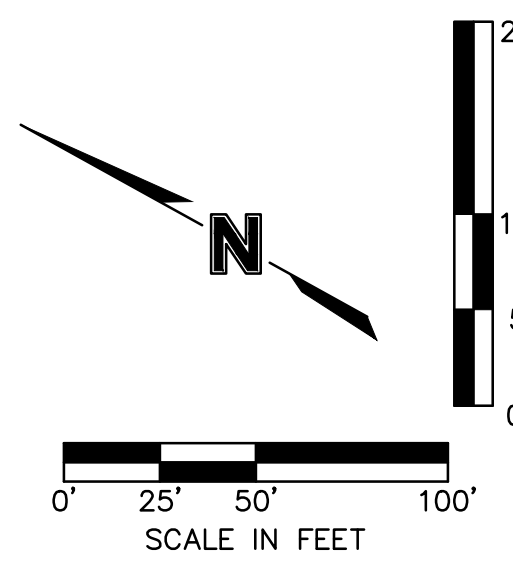
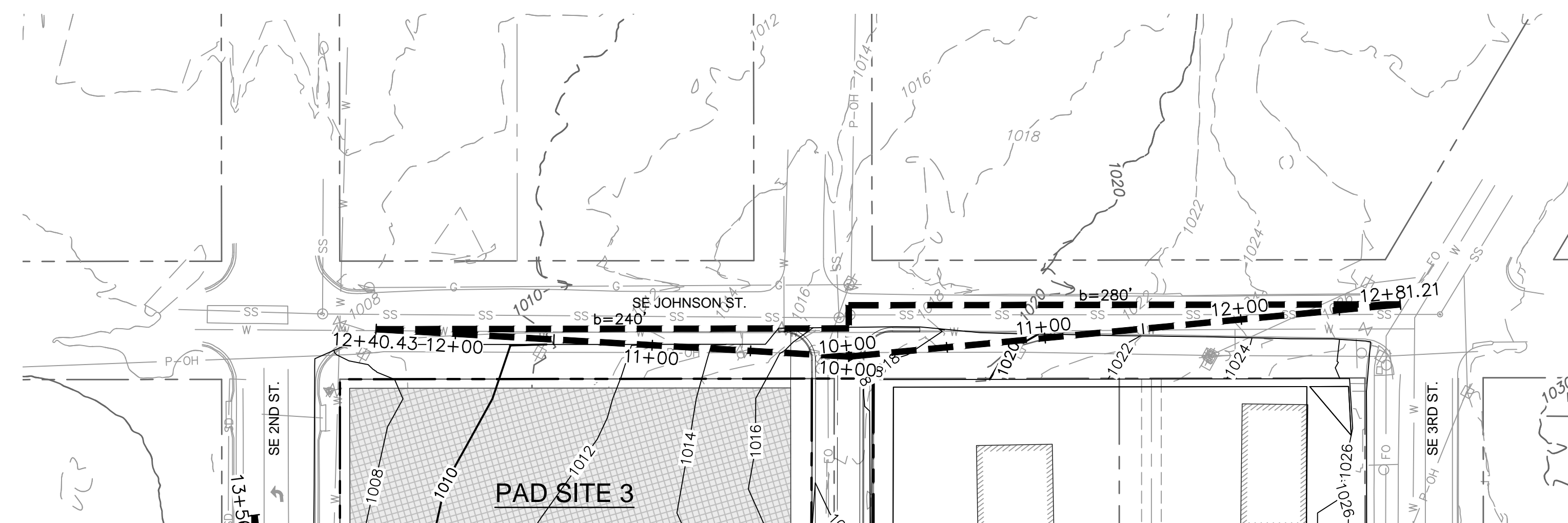
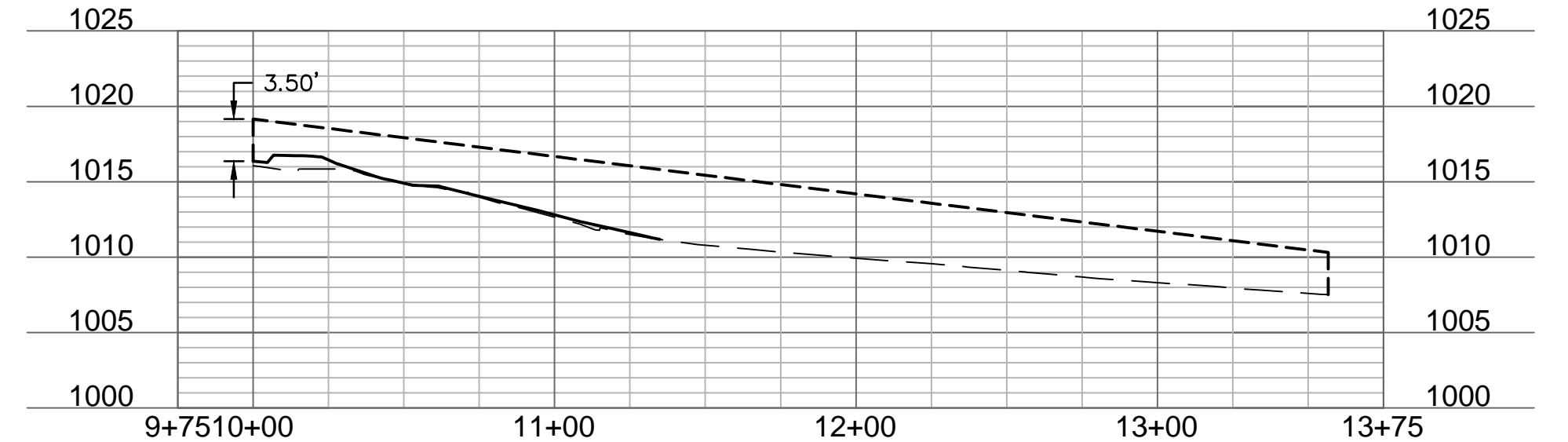
RIGHT TURN FROM SE GREEN ST. ONTO SE 2ND ST. (9+75 - 13+00)

CASE B2; $t_g=6.5$ s; $V_{major}=30$ mph



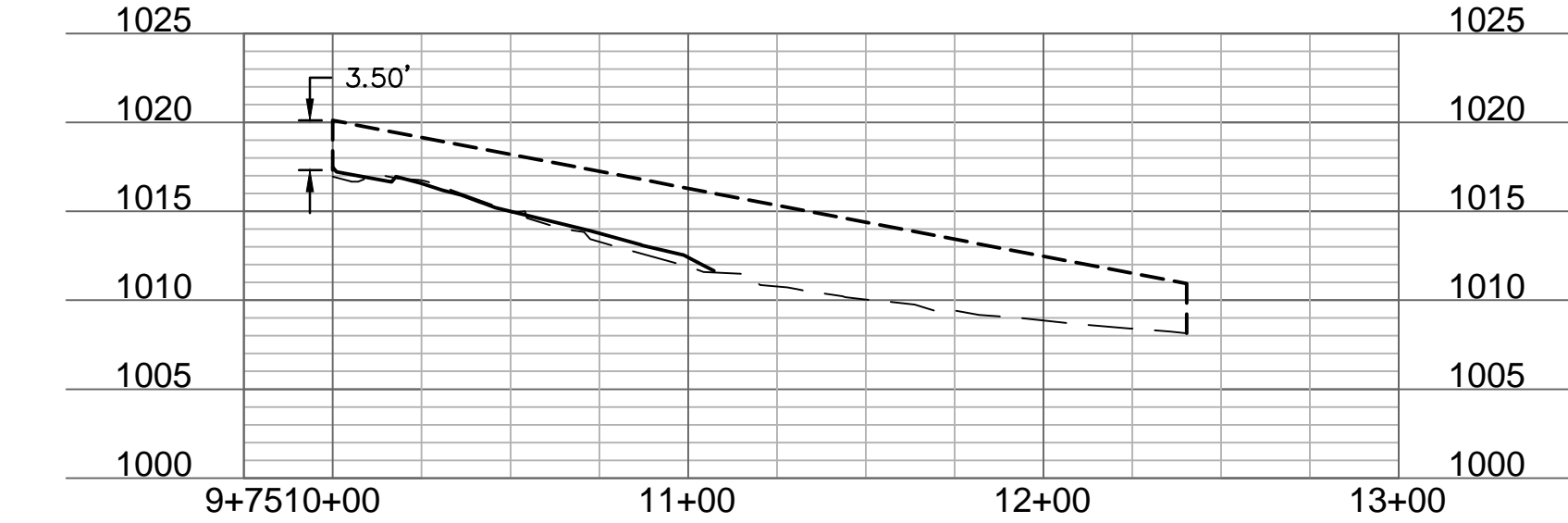
LEFT TURN FROM SE GREEN ST. ONTO SE 2ND ST. (9+75 - 13+75)

CASE B1; $t_g=8.0$ s; $V_{major}=30$ mph



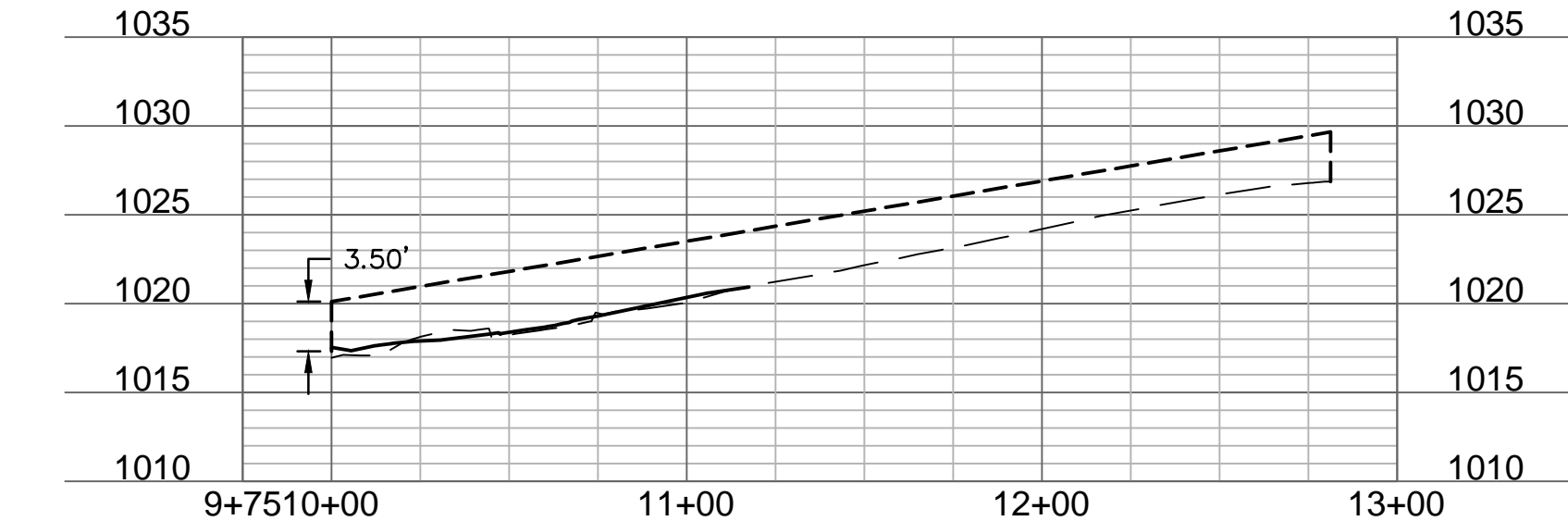
RIGHT TURN FROM ALLEY ONTO SE JOHNSON ST. (9+75 - 13+00)

CASE B2; $t_g=6.5$ s; $V_{major}=25$ mph



LEFT TURN FROM ALLEY ONTO SE JOHNSON ST. (9+75 - 13+00)

CASE B1; $t_g=7.5$ s; $V_{major}=25$ mph



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NOT FOR CONSTRUCTION

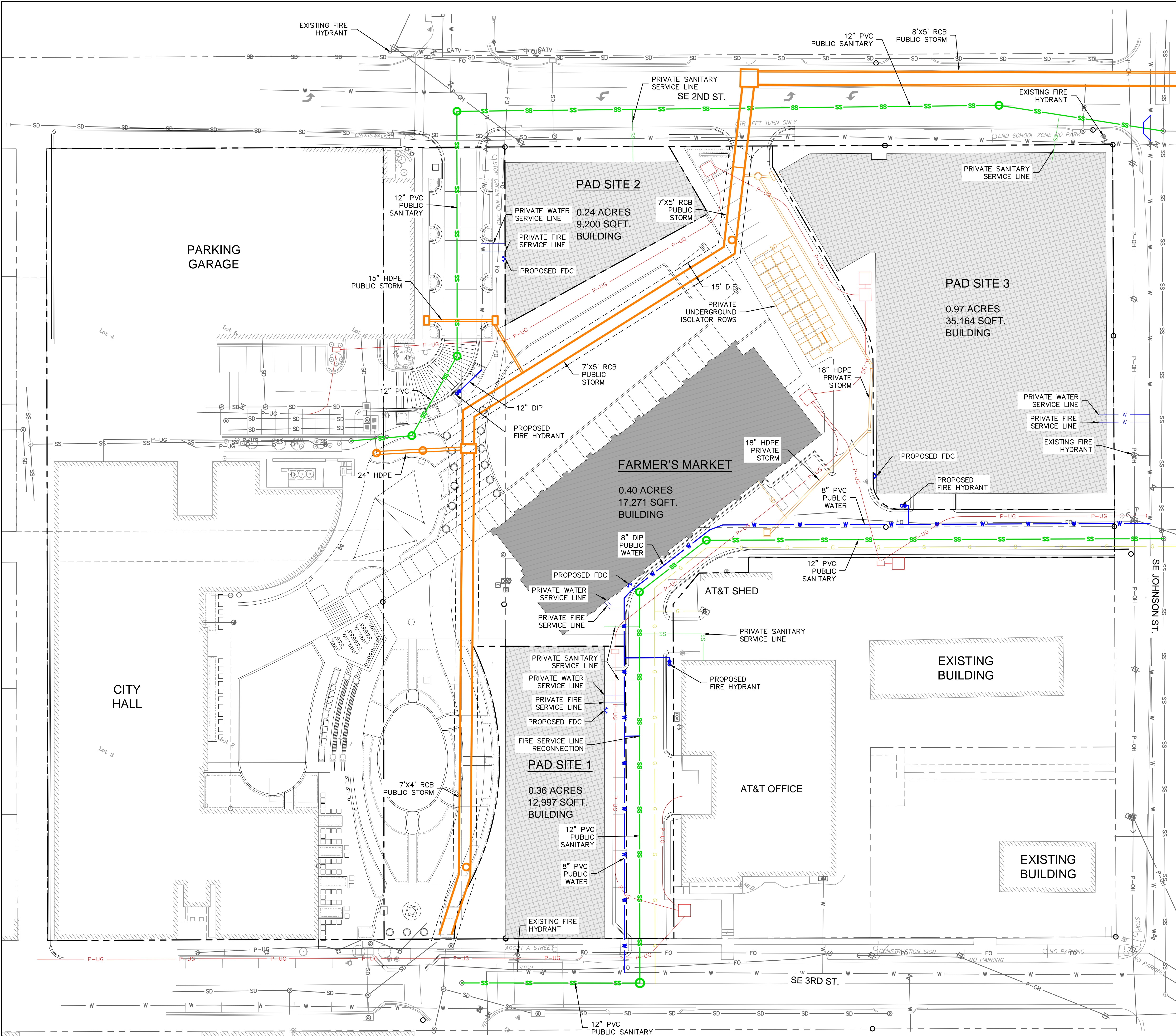
BY	REVISIONS DESCRIPTION	DATE	REV. NO.

INTERSECTION SIGHT TRIANGLES PLAN
 LEE'S SUMMIT DOWNTOWN MARKET
 GREEN STREET - 2ND STREET TO 3RD STREET
 LEE'S SUMMIT, MO
 2023

drawn by: DFG
 checked by: JUN
 approved by: DE
 QA/QC by: DE
 project no.: 022-00393
 drawing no.: C_GRD02_02200393
 date: 07/27/2023

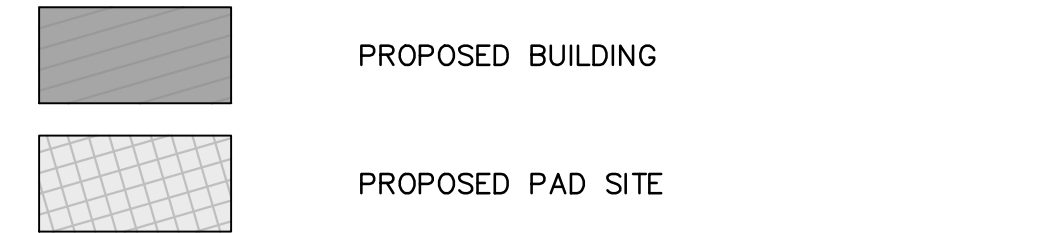
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UTILITY PLAN LEGEND

---	PROPOSED PROPERTY BOUNDARY/ R/W LINE
---	EXISTING PROPERTY BOUNDARY/ R/W LINE
SD	EXISTING STORM SEWER LINE
W	EXISTING WATER MAIN LINE
SS	EXISTING SANITARY SEWER LINE
G	EXISTING GAS LINE
P-UG	EXISTING UNDERGROUND POWER
P-OH	EXISTING OVERHEAD POWER
FO	EXISTING COMMUNICATION/FIBER OPTIC LINE
SS	PROPOSED PRIVATE SANITARY SERVICE LINE
SS	PROPOSED PUBLIC SANITARY SERVICE LINE
SS	PROPOSED PUBLIC STORM SEWER LINE
SS	BOX CULVERT RELOCATION
SD	PROPOSED PRIVATE STORM SEWER LINE
W	PROPOSED PUBLIC WATER LINE
W	PROPOSED PRIVATE WATER SERVICE LINE
G	PROPOSED GAS LINE
P-UG	PROPOSED UNDERGROUND POWER



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North Kansas City, MO 64116
TEL 816.361.1177
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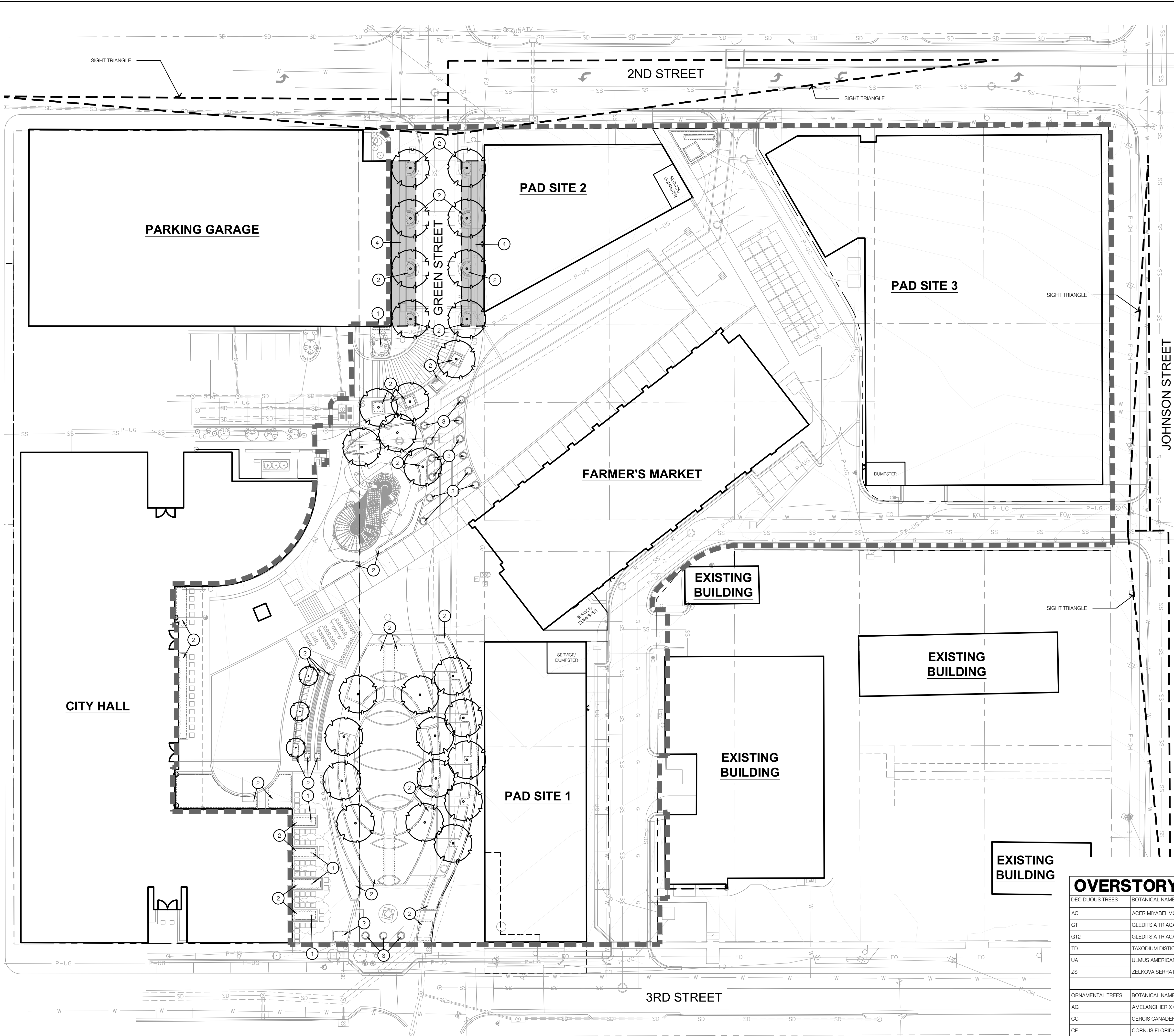
UTILITY PLAN
 LEE'S SUMMIT DOWNTOWN MARKET
 GREEN STREET - 2ND STREET TO 3RD STREET
 LEE'S SUMMIT, MO

2023
 REVISIONS

drawn by: DFG	checked by: JIN	approved by: DE	QA/QC by: DR	
project no.: 022-00393	drawing no.: C-UTL01_02200393	date: 08-15-2023		

SCALE IN FEET
 0' 15' 30' 60'

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LANDSCAPE LEGEND:

- LIMITS OF CONSTRUCTION
- SIGHT DISTANCE TRIANGLES
- RIGHT OF WAY / PROPERTY LINE
- EXISTING TREE
- OVERSTORY TREE
- ORNAMENTAL TREE
- PERENNIALS & GRASSES
- SILVA CELL BOUNDARY

LANDSCAPE OVERSTORY PLAN NOTES:

- 1 EXISTING TREE TO REMAIN (SELECTIVE PRUNING)
- 2 PLANTING BED; REF: LANDSCAPE GENERAL NOTES & DETAILS
- 3 INSTALL PLANTER/LIVING BOLLARDS; REF: 7/L490
- 4 INSTALL SILVA CELL; REF: 8/L490

PRELIMINARY PLANT SCHEDULE

STREET FRONTAGE TREE TOTAL: 11
 DECIDUOUS: B&B, 2.5' CAL
 DECIDUOUS: B&B, 2.5' CAL
 ORNAMENTAL: B&B, 2.5' CAL
 EVERGREEN: B&B, 8' HT.

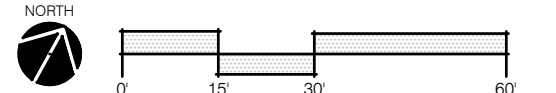
OPEN YARD AREA TREE TOTAL: 19
 DECIDUOUS: B&B, 2.5' CAL
 DECIDUOUS: B&B, 2.5' CAL
 ORNAMENTAL: B&B, 2.5' CAL
 EVERGREEN: B&B, 8' HT.

OVERSTORY PLANT SCHEDULE

DECIDUOUS TREES	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
AC	ACER MIYABEI 'MORTON'	STATE STREET™ MIYABEI MAPLE	2.5' CAL	B&B
GT	GLEDITSIA TRIACANTHOS INERMIS 'SKYCOLE'	SKYLINE HONEY LOCUST	2.5' CAL	B&B
GT2	GLEDITSIA TRIACANTHOS INERMIS 'SKYCOLE'	SKYLINE HONEY LOCUST	2.5' CAL	B&B
TD	TAXODIUM DISTICHUM 'MICKELSON'	SHAWNEE BRAVE™ BALD CYPRESS	2.5' CAL	B&B
UA	ULMUS AMERICANA 'NEW HARMONY'	NEW HARMONY AMERICAN ELM	2.5' CAL	B&B
ZS	ZELKOVA SERRATA 'GREEN VASE'	GREEN VASE JAPANESE ZELKOVA	2.5' CAL	B&B

ORNAMENTAL TREES	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
AG	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE APPLE SERVICEBERRY	2.5' CAL	B&B
CC	CERCIS CANADENSIS TEXENSIS 'OKLAHOMA'	OKLAHOMA TEXAS REDBUD	2.5' CAL	B&B
CF	CORNUS FLORIDA 'CHEROKEE CHIEF'	CHEROKEE CHIEF DOGWOOD	2.5' CAL	B&B
SR	SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK JAPANESE TREE LILAC	2.5' CAL	B&B

1 LANDSCAPE OVERSTORY PLAN



olsson studio

OLSSON - LANDSCAPE ARCHITECTURE
 MO CERTIFICATE OF AUTHORITY # 2005000285
 1814 Main St.
 Kansas City, MO 64108 TEL 816.842.8844 olsson-studio.com

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REV. NO.	DATE	REVISIONS DESCRIPTION

LANDSCAPE OVERSTORY PLAN

LEE'S SUMMIT DOWNTOWN MARKET
 GREEN STREET - 2ND STREET TO 3RD STREET

2023

drawn by: TS/TG/EW
 checked by: DV
 approved by: KPS
 QA/QC by: BM

project no.: 022-00393
 drawing no.: SC_OVER01_02200393
 date: 08/28/2023

SHEET L400

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LANDSCAPING AND SCREENING REQUIREMENTS			
	REQUIRED PLANTS	SHOWN PLANTS	
LEE'S SUMMIT, MISSOURI			
CODE OF ORDINANCES: DIVISION III - LANDSCAPING, BUFFERS AND TREE PROTECTION			
SITE ZONED: CBD, CP-2, & TNZ, PROPOSED: CBD			
TOTAL PROPERTY: 5.11 ACRES (222,505 SQ FT)			
STREET FRONTAGE TREES:			
SEC. 8.790	ONE TREE PER 30 FEET OF STREET FRONTAGE, PUBLIC OR PRIVATE		
	TREES MAY BE CLUSTERED OR ARRANGED WITHIN THE SETBACK. A MIN. 20' LANDSCAPE STRIP SHALL BE PROVIDED ALONG THE FULL LENGTH OF THE STREET FRONTAGE, EXCEPT WHERE THE BUILDING SETBACK IS LESS THAN 20'.		
	2ND STREET		
	TOTAL STREET FRONTAGE = N/A (N/A / 30 = 0)	N/A	N/A
	JOHNSON STREET		
	TOTAL STREET FRONTAGE = N/A LF (N/A / 30 = 0)	N/A	N/A
	3RD STREET		
	TOTAL STREET FRONTAGE = N/A LF (N/A / 30 = 0)	N/A	N/A
	GREEN STREET		
	TOTAL STREET FRONTAGE = 470 LF (470 / 30 = 15.67)	16 TREES	11 TREES
OPEN YARD TREES:			
SEC. 8.790	ONE TREE PER 5,000 SQUARE FEET OF TOTAL LOT AREA EXCLUDING BUILDING FOOTPRINT		
	TOTAL LOT AREA = 136,928.30 SQ FT		
	BUILDING FOOTPRINT = 36,591.36 SQ FT		
	136,928.30 - 36,591.36 SQ FT = 100,336.94 SQ FT		
	100,336.94 / 5,000 = 20.07 TREES	21 TREES	23 TREES
	LANDSCAPE TOTALS	37 TREES	34 TREES
STREET FRONTAGE SHRUBS:			
SEC. 8.790	ONE SHRUB PER 20 FEET OF STREET FRONTAGE		
	A MINIMUM 20 FEET WIDE LANDSCAPE STRIP SHALL BE PROVIDED ALONG THE FULL LENGTH OF ANY STREET FRONTAGE, EXCEPT WHERE THE BUILDING SETBACK IS LESS THAN 20 FEET.		
	2ND STREET		
	TOTAL STREET FRONTAGE = N/A LF (N/A / 20 = 0)	N/A	N/A
	JOHNSON STREET		
	TOTAL STREET FRONTAGE = N/A LF (N/A / 20 = 0)	N/A	N/A
	3RD STREET		
	TOTAL STREET FRONTAGE = N/A LF (N/A / 20 = 0)	N/A	N/A
	GREEN STREET		
	TOTAL STREET FRONTAGE = 470 LF (470 / 20 = 23.5)	24 SHRUBS	24 SHRUBS
OPEN YARD SHRUBS:			
SEC. 8.790	TWO SHRUBS PER 5,000 SQUARE FEET OF TOTAL LOT AREA EXCLUDING BUILDING FOOTPRINT		
	TOTAL LOT AREA = 136,928.30 SQ FT		
	BUILDING FOOTPRINT = 36,591.36 SQ FT		
	136,928.30 - 36,591.36 SQ FT = 100,336.94 SQ FT		
	100,336.94 / 5,000 = 20.07 x 2 = 40.13 SHRUBS	41 SHRUBS	41 SHRUBS
	LANDSCAPE TOTALS	65 SHRUBS	65 SHRUBS
PARKING LOT LANDSCAPING:			
SEC. 8.810	LANDSCAPE ISLANDS, STRIPS, OR OTHER PLANTING AREA SHALL BE AT LEAST FIVE PERCENT OF THE ENTIRE PARKING AREA		
	TOTAL PARKING LOT AREA: N/A SQ FT		
	TOTAL LANDSCAPE ISLAND AREA: N/A SQ FT		
	N/A / N/A = 0	N/A	N/A
	OPEN AREAS NOT COVERED WITH OTHER MATERIALS SHALL BE COVERED WITH SOD.		

MASTER PLANT SCHEDULE

DECIDUOUS TREES	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	
AC	ACER MIYABEI 'MORTON'	STATE STREET™ MIYABEI MAPLE	2.5' CAL	B&B	
GT	GLEDITSIA TRIACANTHOS 'INERMIS 'SKYCOLE'	SKYLINE HONEY LOCUST	2.5' CAL	B&B	
GT2	GLEDITSIA TRIACANTHOS 'INERMIS 'SKYCOLE'	SKYLINE HONEY LOCUST	2.5' CAL	B&B	
TD	TAXODIUM DISTICHUM 'MICKELSON'	SHAWNEE BRAVE™ BALD CYPRESS	2.5' CAL	B&B	
UA	ULMUS AMERICANA 'NEW HARMONY'	NEW HARMONY AMERICAN ELM	2.5' CAL	B&B	
ZS	ZELKOVA SERRATA 'GREEN VASE'	GREEN VASE JAPANESE ZELKOVA	2.5' CAL	B&B	
ORNAMENTAL TREES	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	
AG	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE APPLE SERVICEBERRY	2.5' CAL	B&B	
CC	CERCIS CANADENSIS 'TEKENSIS 'OKLAHOMA'	OKLAHOMA TEXAS REDBUD	2.5' CAL	B&B	
CF	CORNUS FLORIDA 'CHEROKEE CHIEF'	CHEROKEE CHIEF DOGWOOD	2.5' CAL	B&B	
SR	SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK JAPANESE TREE LILAC	2.5' CAL	B&B	
DECIDUOUS SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	
AA	ARONIA MELANOCARPA 'AUTUMN MAGIC'	AUTUMN MAGIC BLACK CHOKEBERRY	5 GAL	CONT.	
AL	ARONIA MELANOCARPA 'UCONNAMI65'	LOW SCAPE MOUND® BLACK CHOKEBERRY	5 GAL	CONT.	
CB	CARYOPTERIS X CLANDONENSIS 'CT-9-12' TM	BEYOND MIDNIGHT BLUEBEARD	5 GAL	CONT.	
CD	CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT'	DARK KNIGHT BLUEBEARD	5 GAL	CONT.	
CS	CORNUS SERICEA 'FARROW'	ARCTIC FIRE® RED TWIG DOGWOOD	5 GAL	CONT.	
FK	FORSYTHIA X INTERMEDIA 'KOLGOLD'	MAGICAL® GOLD FORSYTHIA	5 GAL	CONT.	
HT	HYPERICUM KALMIANUM 'SMHKBP'	BLUES FESTIVAL® ST. JOHNSWORT	5 GAL	CONT.	
IV	ITEA VIRGINICA 'HENRY'S GARNET'	HENRY'S GARNET SWEETSPIRE	5 GAL	CONT.	
IT	ITEA VIRGINICA 'SPRICH'	LITTLE HENRY® SWEETSPIRE	5 GAL	CONT.	
SD	SPIRAEA X NCSX2'	DOUBLE PLAY DOOZIE® SPIREA	5 GAL	CONT.	
EVERGREEN SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	
IS	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY HOLLY	5 GAL	CONT.	
ORNAMENTAL GRASSES	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	
PN	PANICUM VIRGATUM 'NORTHWIND'	NORTHWIND SWITCH GRASS	3 GAL	CONT.	
SE	SESLERIA AUTUMNALIS	AUTUMN MOOR GRASS	3 GAL	CONT.	
ST	SPOROBOLUS HETEROLEPIS 'TARA'	TARA PRAIRIE DROPSSEED	3 GAL	CONT.	
GROUNDCOVER	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	SPACING
AJ	AJUGA REPTANS 'CHOCOLATE CHIP'	CHOCOLATE CHIP CARPET BUGLE	1 GAL	CONT.	18" o.c.
CI	CAREX MORROWII 'ICE DANCE'	ICE DANCE JAPANESE SEDGE	1 GAL	CONT.	18" o.c.
LB	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LILYTURF	1 GAL	CONT.	
PERENNIALS	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	SPACING
AM	ALCHEMILLA MOLLIS	LADY'S MANTLE	1 GAL	CONT.	24" o.c.
AS	ALLIUM X 'SUMMER BEAUTY'	SUMMER BEAUTY ORNAMENTAL ONION	1 GAL	CONT.	18" o.c.
AB	ASTILBE X ARENDSI 'BRIDAL VEIL'	BRIDAL VEIL ASTILBE	1 GAL	CONT.	30" o.c.
AR	ASTILBE X ARENDSI 'RHEINLAND'	RHEINLAND ASTILBE	1 GAL	CONT.	18" o.c.
CW	CALAMINTHA NEPETA 'WHITE CLOUD'	WHITE CLOUD LESSER CALAMINT	1 GAL	CONT.	24" o.c.
DI	DICENTRA X 'PINK DIAMONDS'	PINK DIAMONDS BLEEDING HEARTS	1 GAL	CONT.	18" o.c.
EU	ECHINACEA X 'PAST702918'	POWWOW® WHITE CONEFLOWER	1 GAL	CONT.	12" o.c.
GR	GERANIUM X 'ROZANNE'	ROZANNE CRANESBILL	1 GAL	CONT.	18" o.c.
HM	HOSTA X 'AUGUST MOON'	AUGUST MOON HOSTA	1 GAL	CONT.	36" o.c.
HG	HOSTA X 'GUACAMOLE'	GUACAMOLE HOSTA	1 GAL	CONT.	24" o.c.
HH	HOSTA X 'HALCYON'	HALCYON HOSTA	1 GAL	CONT.	36" o.c.
LF	LYTHRUM VIRGATUM 'MORDEN'S GLEAM'	MORDEN'S GLEAM LOOSESTRIFE	1 GAL	CONT.	24" o.c.
OC	OSMUNDA CINNAMOMEA	CINNAMON FERN	1 GAL	CONT.	30" o.c.
RS	RUDBECKIA FULGIDA 'LITTLE GOLDSTAR'	LITTLE GOLDSTAR CONEFLOWER	1 GAL	CONT.	12" o.c.
SC	SALVIA MEMOROSA 'CARADONNA'	CARADONNA MEADOW SAGE	1 GAL	CONT.	24" o.c.
SA	SEDUM X 'AUTUMN FIRE'	AUTUMN FIRE SEDUM	1 GAL	CONT.	18" o.c.
TA	TIARELLA X 'CUTTING EDGE'	CUTTING EDGE FOAMFLOWER	1 GAL	CONT.	18" o.c.
VB	VERONICA X 'BLUE SKYWALKER'	BLUE SKYWALKER SPEEDWELL	1 GAL	CONT.	18" o.c.
VM	VERONICA X 'WHITE WANDS'	MAGIC SHOW® WHITE WANDS SPEEDWELL	1 GAL	CONT.	18" o.c.

REV. NO.	DATE	REVISIONS DESCRIPTION

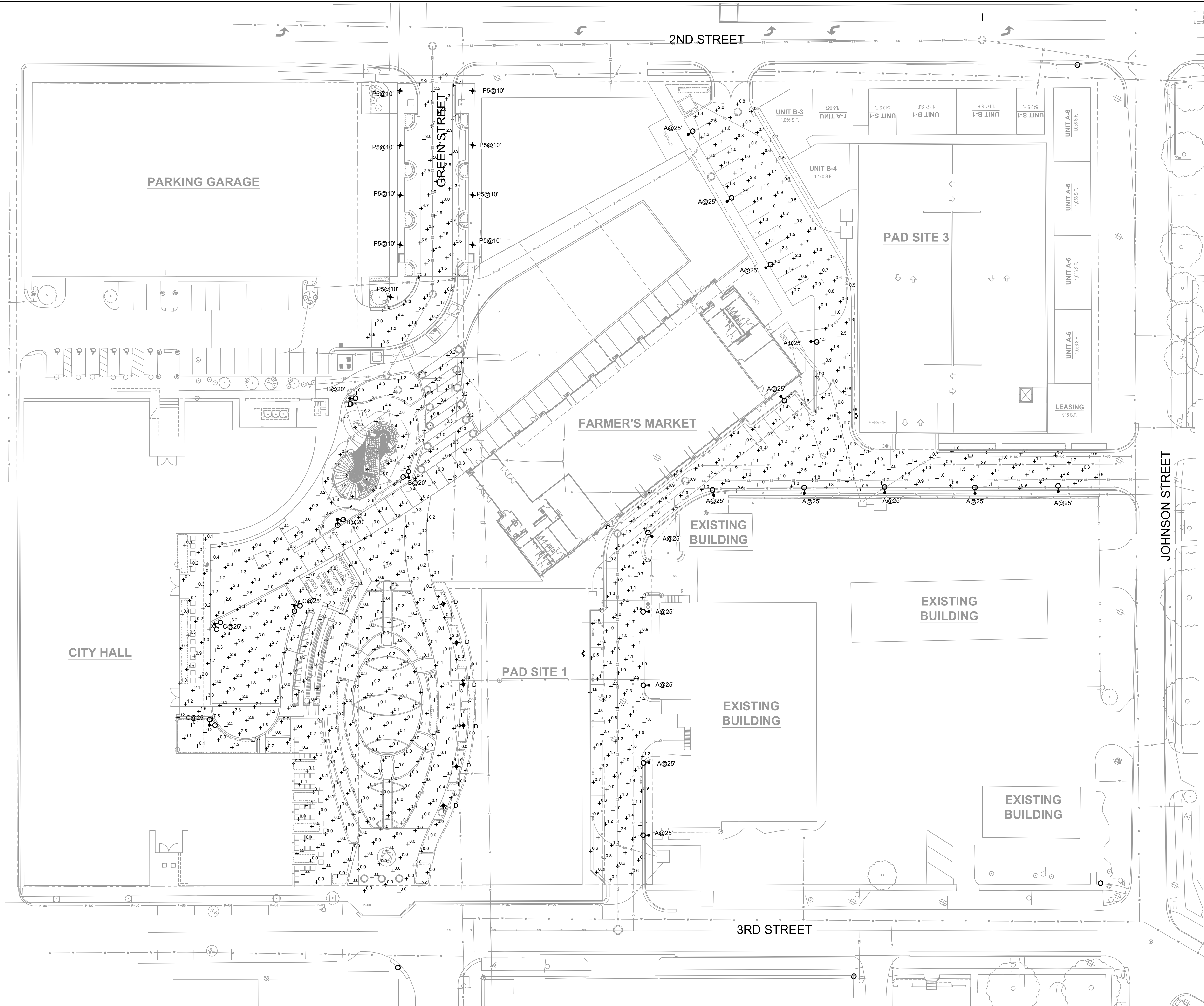
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 OLSSON - LANDSCAPE ARCHITECTURE
 MO CERTIFICATE OF AUTHORITY # 2005000285
 1814 Main St.
 Kansas City, MO 64108 TEL 816.842.8844
 olsson-studio.com

LANDSCAPE & SCREENING REQUIREMENTS DATA
 LEE'S SUMMIT DOWNTOWN MARKET
 GREEN STREET - 2ND STREET TO 3RD STREET
 LEE'S SUMMIT, MISSOURI

drawn by: TS/TGEW
 checked by: DV
 approved by: KPS
 QA/QC by: BM
 project no.: 022-00393
 drawing no.: L_LSC01_02200393
 date: 08/28/2023

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SITE LIGHTING PHOTOMETRICS
SCALE: 1" = 30'-0"

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
ALLEY	+	1.2 fc	2.9 fc	0.3 fc	9.7:1	4.0:1
GREEN STREET	+	3.0 fc	8.2 fc	0.4 fc	20.5:1	7.5:1
WALK AREA	+	1.4 fc	11.1 fc	0.0 fc	N/A	N/A

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Missouri Certification of Authority #4601692
1301 Burlington Street
North Kansas City, MO 64116
TEL 816.361.1177
www.ollson.com

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REV. NO.	DATE	REVISIONS DESCRIPTION

SITE LIGHTING PHOTOMETRICS	
LEE'S SUMMIT DOWNTOWN MARKET GREEN STREET - 2ND STREET TO 3RD STREET	
LEE'S SUMMIT, MO	
2023	

drawn by: SH
checked by: TB
approved by: TB
QA/QC by: TB

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drawing no.: E_NSIT_02200393
date: 07.29.2023

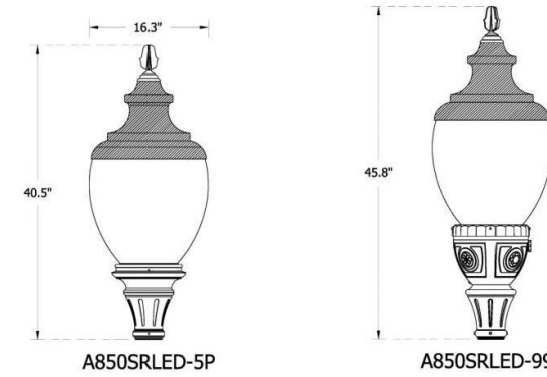
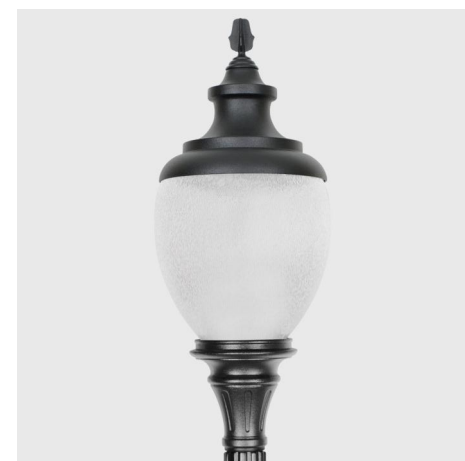
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Specification Sheet

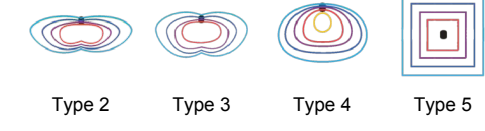
old town
A850SRLED

Project Name **CITY OF LEE'S SUMMIT, MISSOURI - PEDESTRIAN POST TOP LED**
 Type Catalog / Part Number **PT-A850LED-5P-24L-X-T5-MDL14-A-BKT**

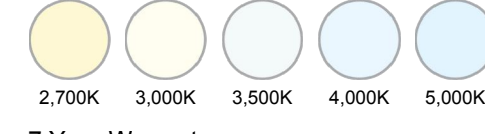
Qty



Distribution Type



CCT - Color Temp (K)



7 Year Warranty



IP Rating



Certifications

Description

The A850SRLED Old Town luminaire blends form and function into a classic shape. It is supplied with a cast aluminum finish and a solid, cast aluminum roof which includes optimized heat sinks to provide maximum life and performance for the LED light sources. The acorn is sealed to the cast aluminum roof to provide a moisture free and bug-free optics chamber for the LED light source.
 EPA: 1.21 (#)
 WEIGHT: 43 LBS

Features

Mounting Configuration

1W: Wall Mount
 1A: 1 Arm Mount
 2A: 2 Arm Mount @ 180°
 2APT: 2 Arm @ 180° & Post Top
 3A: 3 Arms @ 90°
 3APT: 3 Arm @ 120° & Post Top
 4A: 4 Arms @ 90°
 4APT: 4 Arm @ 90° & Post Top
 1AM: 1 Arm Mid-Mount
 2AM: 2 Arm Mid-Mount @ 180°
 450PB: Pier Base

Optional Control Receptacle

RT: 7-Pin control receptacle only
 SPR7: Roof Mounted 7-Pin Control Receptacle Only

Optional Control

PE: Twist-Lock Photocontrol (120V-277V)
 PE4: Twist-Lock Photocontrol (347V-480V)
 SC: Shorting Cap
 PEC: Electronic Button Photocontrol (120V-277V)
 PEC4: Electronic Button Photocontrol (480V)

Optional Fuse

FHD: Double Fuse and Holder

Optional House Side Shield

HSS: 120° House Side Shield
 BLOC: Back Light Optical Control

Optional Fixed Dimming Resistor Board

FDRB: Fixed Dimming Resistor Board

Sternberg Lighting 555 Lawrence Ave, Roselle, IL 60172, US 1-815-598-3630
 contact@sternberglighting.com sternberglighting.com www.sternberglighting.com/products/411
 2023.04.25 copyright © 2023 Sternberg Lighting 1 / 11

Date: _____ Customer: _____
 Project: _____
 Type: _____ Qty: _____



Olivo Medio LED
Universal Mount



Order Code:

Series	Series	Height	Finish	Options
OLML	Olivo Medio LED			
Optics	S09 Spot, 90° S20 Spot, 20° F40 Flood, Medium, 4to F80 Flood, 7to		ASM Asymmetric (no SLH or SLV option)	
Mounting	U Universal T1 Single Pole Top			
Light Engine	2G350 15W / 132lm 2GS25 22W / 191lm 2G700 31W / 263lm 2G105 40W / 344lm			* Based on F80 distribution and 3000K CCT.
CCT	27° 2700K 301 3000K 35° 3500K 40 4000K 50° 5000K			1 Dimk Sky approved with (ds) option only. 2 Consult factory
Finish	WH White BK Black BL Semi-Matte Black BZ Bronze SV Silver SP Specify Premium Color			
Voltage	UNV 120-277V 120V 208 208V 240 240V 277 277V			
Options	DS2 Dim Sky On TB Option DM Dimming, 0-10V SLH Spread Lens Horizontal (fixed) SLV Spread Lens Vertical (fixed) HL503.5 High - low switching, low output 50% HX4 Micro Hexcell Honey Comb Louver CF Color Filter (consult factory)			2 IDA approved with (DS) option only and 3000K CCT. 3 Oils available with 120V, 240V or 277V. 4 Cannot be combined with SLH, SLV, or ASM options. 5 Cannot be combined with DM option.

Product Modifications
Please list modification requirements for review by factory.

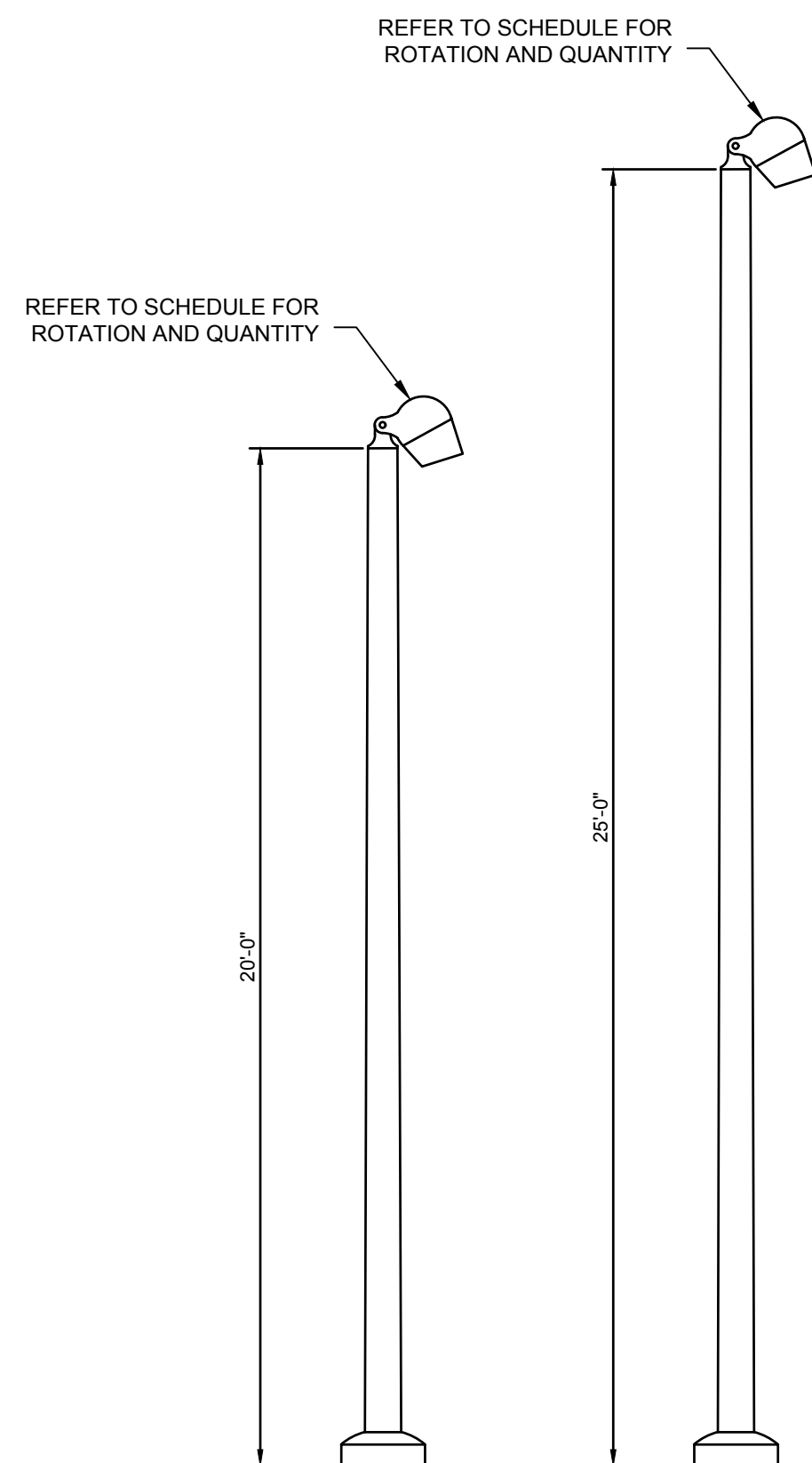
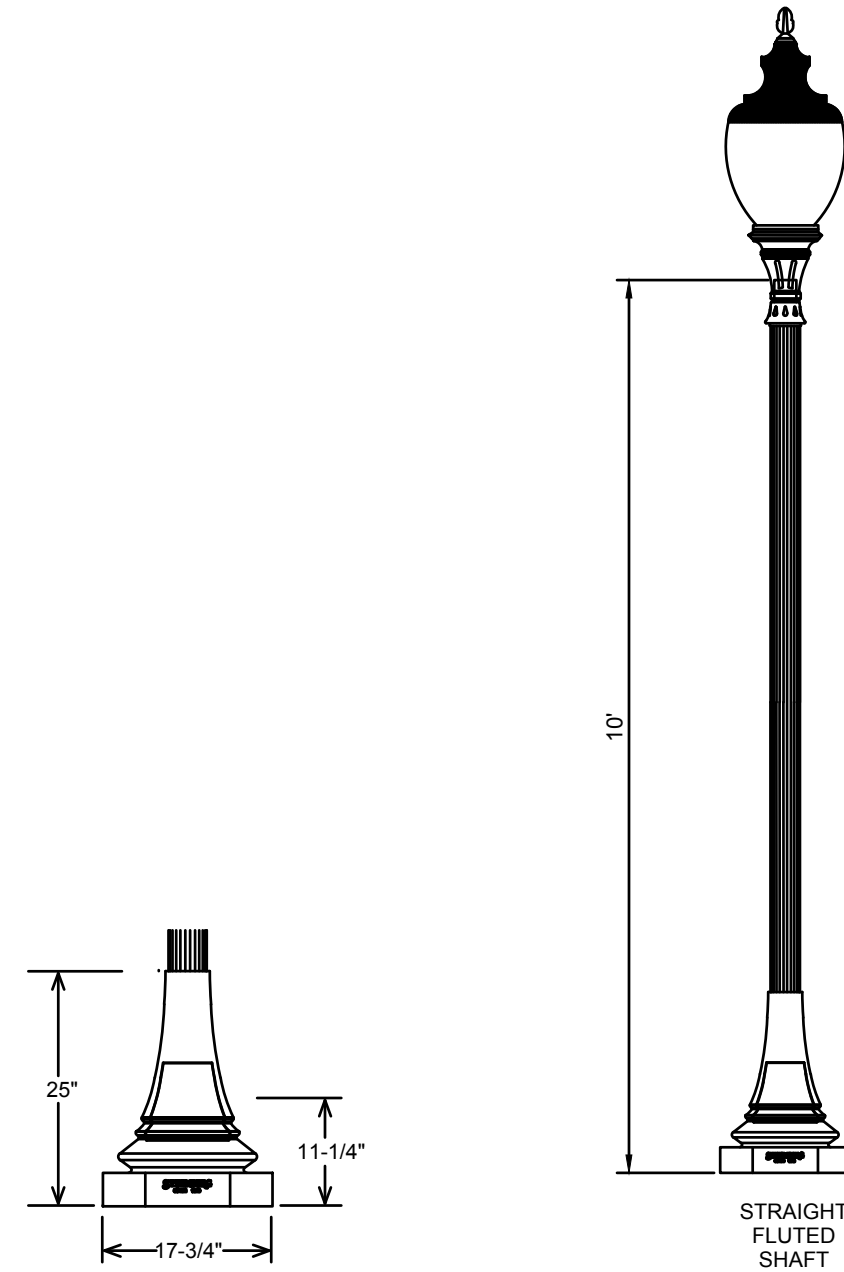
Approvals



Date: _____

Selux Corporation © 2023, 7 845-834-1400, 800-735-8927, F 845-834-1401, www.selux.us
 In a continuing effort to offer the best product possible, we reserve the right to change, without notice, specifications or materials that in our opinion will not affect the function of the product. Specification sheets found at www.selux.us are the most recent versions and supersede all other printed or electronic versions.

LIGHT POLE/FIXTURE DETAILS
 SCALE: NOT TO SCALE



LIGHTING FIXTURE SCHEDULE

SYMBOL	TYPE	DESCRIPTION	MANUFACTURER AND MODEL	LAMPS	LUMENS	COLOR TEMP / CRI	DRIVER / BALLAST	VOLTAGE / WATTAGE	LOCATION
◆	P5	LED PEDESTRIAN POST TOP ON 10'-0" POLE AND CONCRETE BASE. SEE NOTE A, B, AND C BELOW.	STERNBERG LIGHTING# PT-A850LED-5P-24L-35-T5-MDL14-A-BKT	LED	10248	3500K / 80	0-10V DIMMING	MVOLT 87W	PEDESTRIAN WALKWAY
○	A	LED FLOOD LIGHT ASYMMETRIC DISTRIBUTION WITH 40 DEGREE TILT ON 25'-0" POLE AND CONCRETE BASE. SEE NOTE A AND B BELOW.	SELUX# OLM-L-ASM-T1-2G105-35-BK-U-DM-SLH POLE: O-AT535-25-BK	LED	3671	3500K / 80	0-10V DIMMING	MVOLT 46W	STREET
○	B	LED DOUBLE HEAD FLOOD LIGHT WITH 40 DEGREE TILT ON 20'-0" POLE AND CONCRETE BASE. SEE NOTE A AND B BELOW.	SELUX# OLM-L-F40-U-2G105-35-BK-U-DM-SLH POLE: O-AT535-20-BK	LED	3794	3500K / 80	0-10V DIMMING	MVOLT 92W	PEDESTRIAN WALKWAY
○	C	LED DOUBLE HEAD FLOOD LIGHT WITH 40 DEGREE TILT ON 25'-0" POLE AND CONCRETE BASE. SEE NOTE A AND B BELOW.	SELUX# OLM-L-F40-U-2G105-35-BK-U-DM-SLH POLE: O-AT535-25-BK	LED	3794	3500K / 80	0-10V DIMMING	MVOLT 92W	PEDESTRIAN WALKWAY
---	F	LED MESH LIGHTING WITH ACRYLIC CYLINDER.	CARL STAHL# X-LED CUSTOM: X-LED-DOT-B-RGB-	LED		3500K / 80	0-10V DIMMING	MVOLT	PEDESTRIAN WALKWAY
---	G	LED ROPE LIGHT WITH FROSTED LENS MOUNTED IN FLEXIBLE ALUMINUM CHANNEL.	KELVIX# TX3RGBW-WR-24 CHANNEL-CH-604-2-FR-CP-EC	LED	212LM/FT	4000K / 80	0-10V DIMMING	24VOLT 6W/FT	PEDESTRIAN WALKWAY
◆	D	4.5" DIA. x 31.5" LED BOLLARD WITH ALUMINUM FINISH. SEE NOTE A AND B BELOW.	LOUIS POULSEN# FLINDT#10000162762	LED	784	4000K / 80	0-10V DIMMING	MVOLT 15W	PEDESTRIAN WALKWAY

NOTES:
 A. PROVIDE ALL COMPONENTS TO MAKE A COMPLETE ASSEMBLY. THIS WOULD INCLUDE, BUT NOT BE LIMITED TO, ARM, MOUNTING BRACKETS, POLE BASE COVER, ANCHOR BOLTS, TEMPLATE, BASE, HAND HOLE, SEPARATE CIRCUIT OUTLET, ETC.
 B. PROVIDE CONCRETE BASE, PER DETAIL.
 C. NO EQUALS SHALL BE ALLOWED FOR THIS FIXTURE, UNLESS APPROVED BY OWNER.

Specification sheet

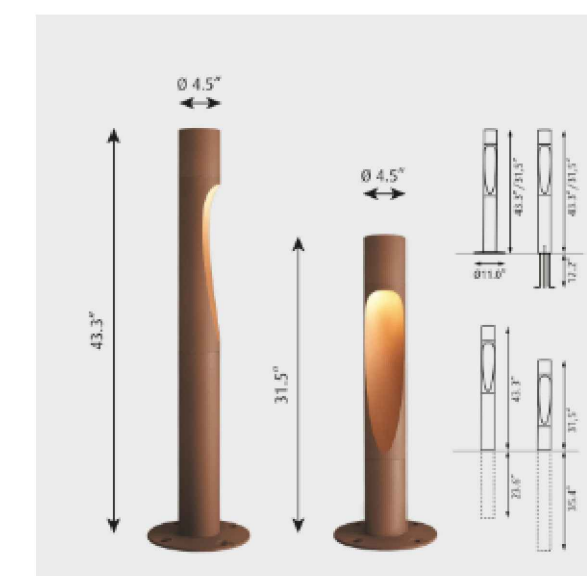
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FLINDT BOLLARD

Project name:

Project type:

Notes:

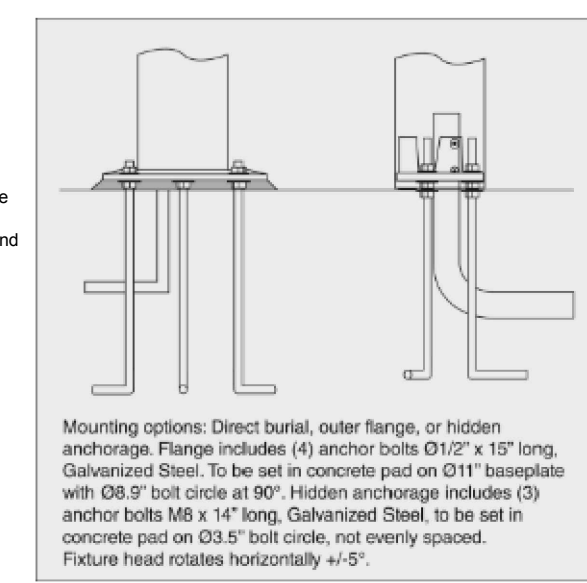


Design

Christian Flindt

Product description

Beautifully crafted slender post with a curved surface that is gently illuminated. Top section conceals downward facing LEDs that are positioned for wide distribution. Two horizontal connection lines underline the three parts of the bollard. A facet increases the visibility of the connection lines. Available in two heights, 43.3 IN and 31.5 IN. Available in three different mounting methods, with an 11 inch base plate and visible anchor bolts, with internally hidden anchor bolts, or direct burial in soil or gravel. Part of a family.



Variant options

Dimension	Color	Mounting	Light source	Lumen	Voltage frequency
31.5 IN	Corlen color	Post winchorage unit	LED 3000K	707	120-277V/60HZ
43.3 IN	Natural paint aluminum	Post w/base plate	LED 4000K	757	
		Post w/direct burial		762	
				784	

Specification notes

a. Direct burial mounting only available with 43.3" size.

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SITE LIGHTING DETAILS

LEE'S SUMMIT DOWNTOWN MARKET
 GREEN STREET - 2ND STREET TO 3RD STREET

LEE'S SUMMIT, MO

2023

REV. NO.	DATE	REVISIONS DESCRIPTION

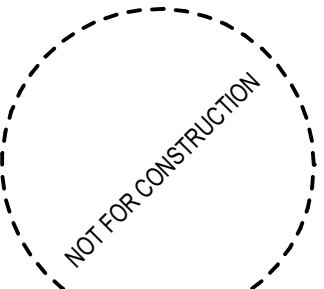
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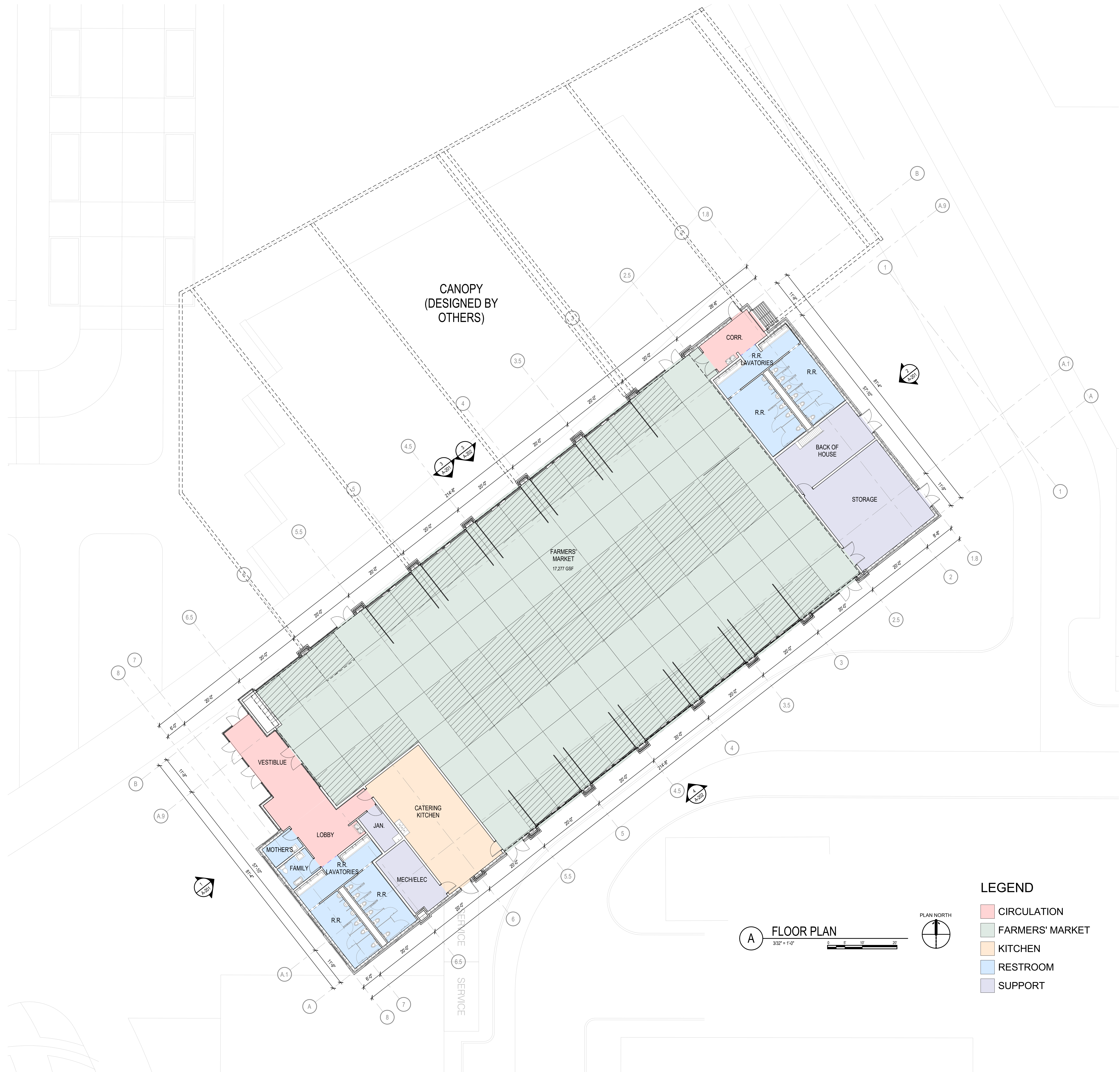
Olsson - Civil Engineering
 Missouri Certificate of Authority #001892
 1301 Burlington Street
 North Kansas City, MO 64116
 TEL 816.361.1177
 www.ollson.com

SHEET
E101

drawn by: SH
 checked by: TB
 approved by: TB
 QA/QC by: TB
 project no.: 022-00393
 drawing no.: E_NDET_02200393
 date: 07.28.2023



PROGRESS PRINT



- LEGEND**
- CIRCULATION
 - FARMERS' MARKET
 - KITCHEN
 - RESTROOM
 - SUPPORT

A FLOOR PLAN
3/32" = 1'-0"



CITY OF LEE'S SUMMIT
LEE'S SUMMIT - MARKET PLAZA
 Lee's Summit, MO 64063

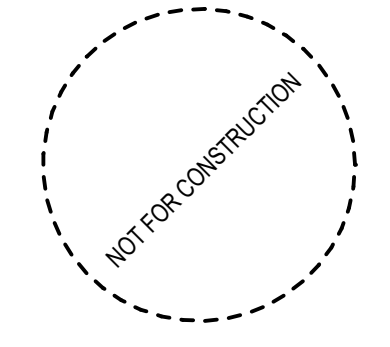
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STATUS:	DESIGN DEVELOPMENT
DATE:	08/29/2023
DRAWN BY:	Author
CHECKED BY:	Checker

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CONTEXTUAL FLOOR PLAN

PLOT DATE: 7/27/2023 9:17:10 PM
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ROOF LEGEND	
	AREA NOT IN SCOPE OF WORK U.N.O.
	ROOF CRICKET
	EXPANSION JOINT LOCATION
	INDICATES DIRECTION OF FLOW / ROOF SLOPE
	TPO ROOF
	STANDING SEAM METAL ROOF



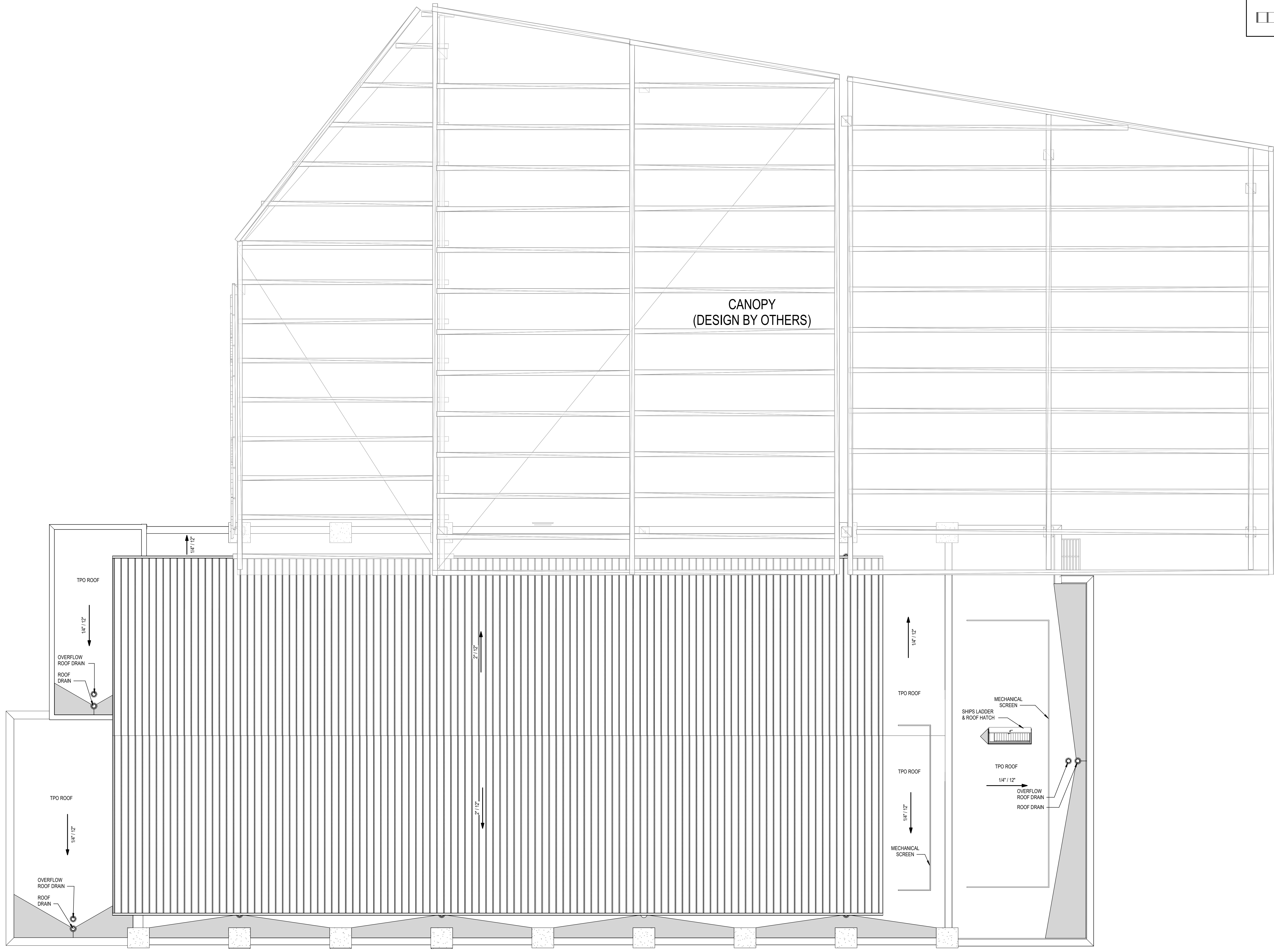
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CITY OF LEE'S SUMMIT
LEE'S SUMMIT - MARKET PLAZA
 Lee's Summit, MO 64063

DESCRIPTION	DATE
PROJECT NO:	18229R21006
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ROOF PLAN



A ROOF PLAN
 1/8" = 1'-0"

PLOT DATE: 7/27/2023 9:17:14 PM
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GLMVArchitecture



PROGRESS PRINT



1 **SOUTHWEST ELEVATION**
1/8" = 1'-0"



2 **NORTHEAST ELEVATION**
1/8" = 1'-0"



3 **NORTHWEST ELEVATION**
1/8" = 1'-0"

- 1. BRICK - MODULAR BERWICK BLEND
- 2. GLASS
- 3. STOREFRONT - DARK BRONZE
- 4. CAST STONE
- 5. OVERHEAD GARAGE DOOR
- 6. FIBER CEMENT PANEL
- 7. STANDING SEAM METAL ROOF
- 8. ARCHITECTURAL PERFORATED BACK LIT RAINSCREEN
- 9. PAINTED STEEL - DARK BRONZE
- 10. EXTRUDED ALUMINUM - LIGHT CHERRY WOOD GRAIN
- 11. CHANGEABLE ART INSTALLATION
- 12. SIGNAGE
- 13. MECHANICAL SCREEN

CITY OF LEE'S SUMMIT
LEE'S SUMMIT - MARKET PLAZA
Lee's Summit, MO 64063

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EXTERIOR ELEVATIONS

A-201

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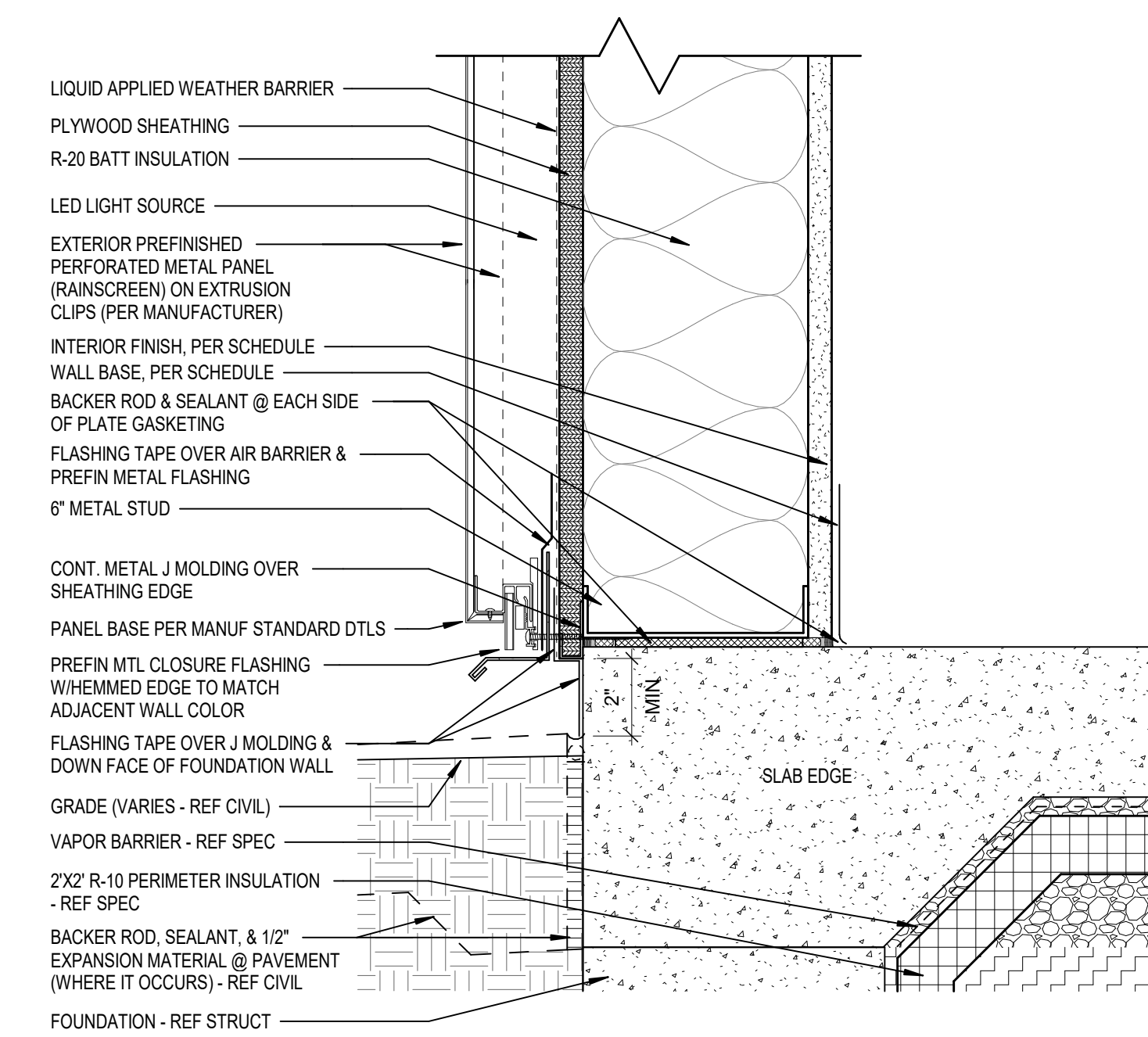


3 NORTHWEST ELEVATION W/O CANOPY
1/8" = 1'-0"



4 SOUTHEAST ELEVATION W/O CANOPY
1/8" = 1'-0"

- | | | |
|---|--|--|
| 1. BRICK - MODULAR BERWICK BLEND | 5. OVERHEAD GARAGE DOOR | 9. PAINTED STEEL - DARK BRONZE |
| 2. GLASS | 6. FIBER CEMENT PANEL | 10. EXTRUDED ALUMINUM - LIGHT CHERRY WOOD GRAIN |
| 3. STOREFRONT - DARK BRONZE | 7. STANDING SEAM METAL ROOF | 11. CHANGEABLE ART INSTALLATION |
| 4. CAST STONE | 8. ARCHITECTURAL PERFORATED BACK LIT RAINSCREEN | 12. SIGNAGE |
| | | 13. MECHANICAL SCREEN |



5 PERFORATED METAL RAINSCREEN DETAIL
3" = 1'-0"

EXTRUDED ALUMINUM DETAILS

