



REZONING AND PRELIMINARY DEVELOPMENT PLANS

LEE'S SUMMIT SENIOR APARTMENTS 830-900 NE DOUGLAS STREET LEE'S SUMMIT, MO



LOCATION MAP



OWNER:
JIM AND LINDA TUCKER, AS TRUSTEES OF THE
TUCKER FAMILY AND PHILLIP T. AND LAAH M.
TUCKER, AS TRUSTEES OF THE TUCKER FAMILY

APPLICANT/DEVELOPER:
CLOVER COMMUNITIES LEE'S SUMMIT LLC
348 HARRIS HILL ROAD
WILLIAMSVILLE, NY 14221
CONTACT: RUSSELL CAPLIN, DEVELOPMENT DIRECTOR
PHONE: 314-210-2110

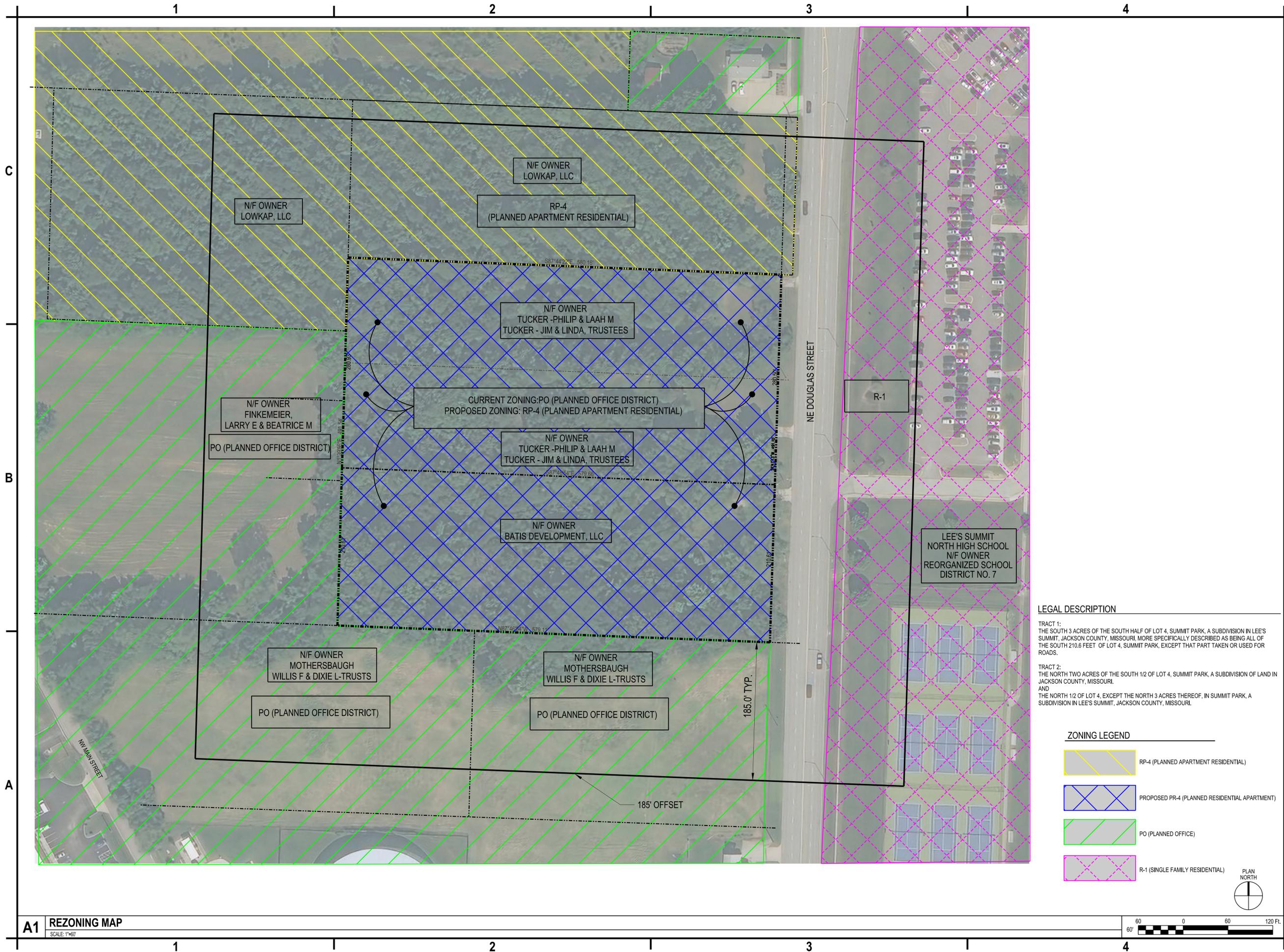
ENGINEER:
ERIC DANIEL, P.E.
C&S ENGINEERS, INC.
141 ELM STREET, SUITE 100
BUFFALO, NEW YORK 14203
716-847-1630

SURVEYOR:
PHELPS ENGINEERING, INC.
1270 N. WINCHESTER
OLATHE, KANSAS 66061
913-393-1155

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C&S PROJECT: F53.519.002

AUGUST 2023



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Eric J. Daniel, P.E.
 License No. PE-2023008829
 Date: 08/28/2023

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 LEE'S SUMMIT, MO**

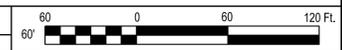
LEGAL DESCRIPTION

TRACT 1:
 THE SOUTH 3 ACRES OF THE SOUTH HALF OF LOT 4, SUMMIT PARK, A SUBDIVISION IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, MORE SPECIFICALLY DESCRIBED AS BEING ALL OF THE SOUTH 210.6 FEET OF LOT 4, SUMMIT PARK, EXCEPT THAT PART TAKEN OR USED FOR ROADS.

TRACT 2:
 THE NORTH TWO ACRES OF THE SOUTH 1/2 OF LOT 4, SUMMIT PARK, A SUBDIVISION OF LAND IN JACKSON COUNTY, MISSOURI,
 AND
 THE NORTH 1/2 OF LOT 4, EXCEPT THE NORTH 3 ACRES THEREOF, IN SUMMIT PARK, A SUBDIVISION IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI.

ZONING LEGEND

- RP-4 (PLANNED APARTMENT RESIDENTIAL)
- PROPOSED PR-4 (PLANNED RESIDENTIAL APARTMENT)
- PO (PLANNED OFFICE)
- R-1 (SINGLE FAMILY RESIDENTIAL)

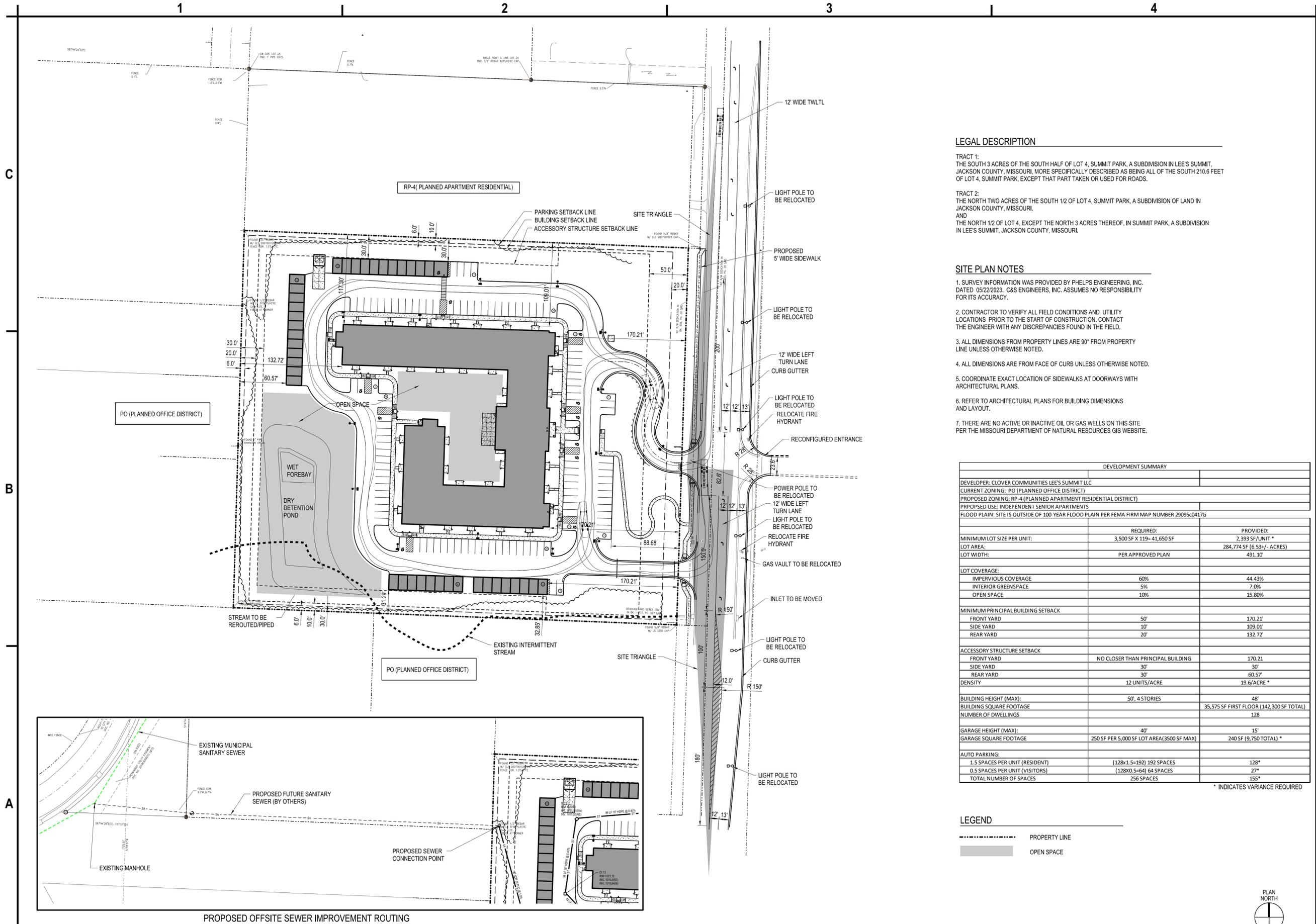


A1 REZONING MAP
 SCALE: 1"=60'

MARK	DATE	DESCRIPTION
REVISIONS		
		PROJECT NO: F53.519.002
		DATE: AUGUST 28, 2023
		DRAWN BY: S. SCHIENER
		DESIGNED BY: E. DANIEL
		CHECKED BY: E. DANIEL

**REZONING
 MAP**

G-100



LEGAL DESCRIPTION

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SITE PLAN NOTES

1. SURVEY INFORMATION WAS PROVIDED BY PHELPS ENGINEERING, INC. DATED 05/22/2023. C&S ENGINEERS, INC. ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.
2. CONTRACTOR TO VERIFY ALL FIELD CONDITIONS AND UTILITY LOCATIONS PRIOR TO THE START OF CONSTRUCTION. CONTACT THE ENGINEER WITH ANY DISCREPANCIES FOUND IN THE FIELD.
3. ALL DIMENSIONS FROM PROPERTY LINES ARE 90° FROM PROPERTY LINE UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS ARE FROM FACE OF CURB UNLESS OTHERWISE NOTED.
5. COORDINATE EXACT LOCATION OF SIDEWALKS AT DOORWAYS WITH ARCHITECTURAL PLANS.
6. REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS AND LAYOUT.
7. THERE ARE NO ACTIVE OR INACTIVE OIL OR GAS WELLS ON THIS SITE PER THE MISSOURI DEPARTMENT OF NATURAL RESOURCES GIS WEBSITE.

DEVELOPMENT SUMMARY		
DEVELOPER: CLOVER COMMUNITIES LEE'S SUMMIT LLC		
CURRENT ZONING: PO (PLANNED OFFICE DISTRICT)		
PROPOSED ZONING: RP-4 (PLANNED APARTMENT RESIDENTIAL DISTRICT)		
PROPOSED USE: INDEPENDENT SENIOR APARTMENTS		
FLOOD PLAIN: SITE IS OUTSIDE OF 100-YEAR FLOOD PLAIN PER FEMA FIRM MAP NUMBER 29095c0417G		
MINIMUM LOT SIZE PER UNIT:	REQUIRED: 3,500 SF X 119' = 41,650 SF	PROVIDED: 2,393 SF/UNIT *
LOT AREA:		284,774 SF (6.53+/- ACRES)
LOT WIDTH:	PER APPROVED PLAN	491.10'
LOT COVERAGE:		
IMPERVIOUS COVERAGE	60%	44.43%
INTERIOR GREENSPACE	5%	7.0%
OPEN SPACE	10%	15.80%
MINIMUM PRINCIPAL BUILDING SETBACK		
FRONT YARD	50'	170.21'
SIDE YARD	10'	109.01'
REAR YARD	20'	132.72'
ACCESSORY STRUCTURE SETBACK		
FRONT YARD	NO CLOSER THAN PRINCIPAL BUILDING	170.21'
SIDE YARD	30'	30'
REAR YARD	30'	60.57'
DENSITY	12 UNITS/ACRE	19.6/ACRE *
BUILDING HEIGHT (MAX): 50', 4 STORIES 48'		
BUILDING SQUARE FOOTAGE		35,575 SF FIRST FLOOR (142,300 SF TOTAL)
NUMBER OF DWELLINGS		128
GARAGE HEIGHT (MAX): 40' 15'		
GARAGE SQUARE FOOTAGE	250 SF PER 5,000 SF LOT AREA (3500 SF MAX)	240 SF (9,750 TOTAL) *
AUTO PARKING:		
1.5 SPACES PER UNIT (RESIDENT)	(128x1.5=192) 192 SPACES	128*
0.5 SPACES PER UNIT (VISITORS)	(128x0.5=64) 64 SPACES	27*
TOTAL NUMBER OF SPACES	256 SPACES	155*

* INDICATES VARIANCE REQUIRED

LEGEND

	PROPERTY LINE
	OPEN SPACE



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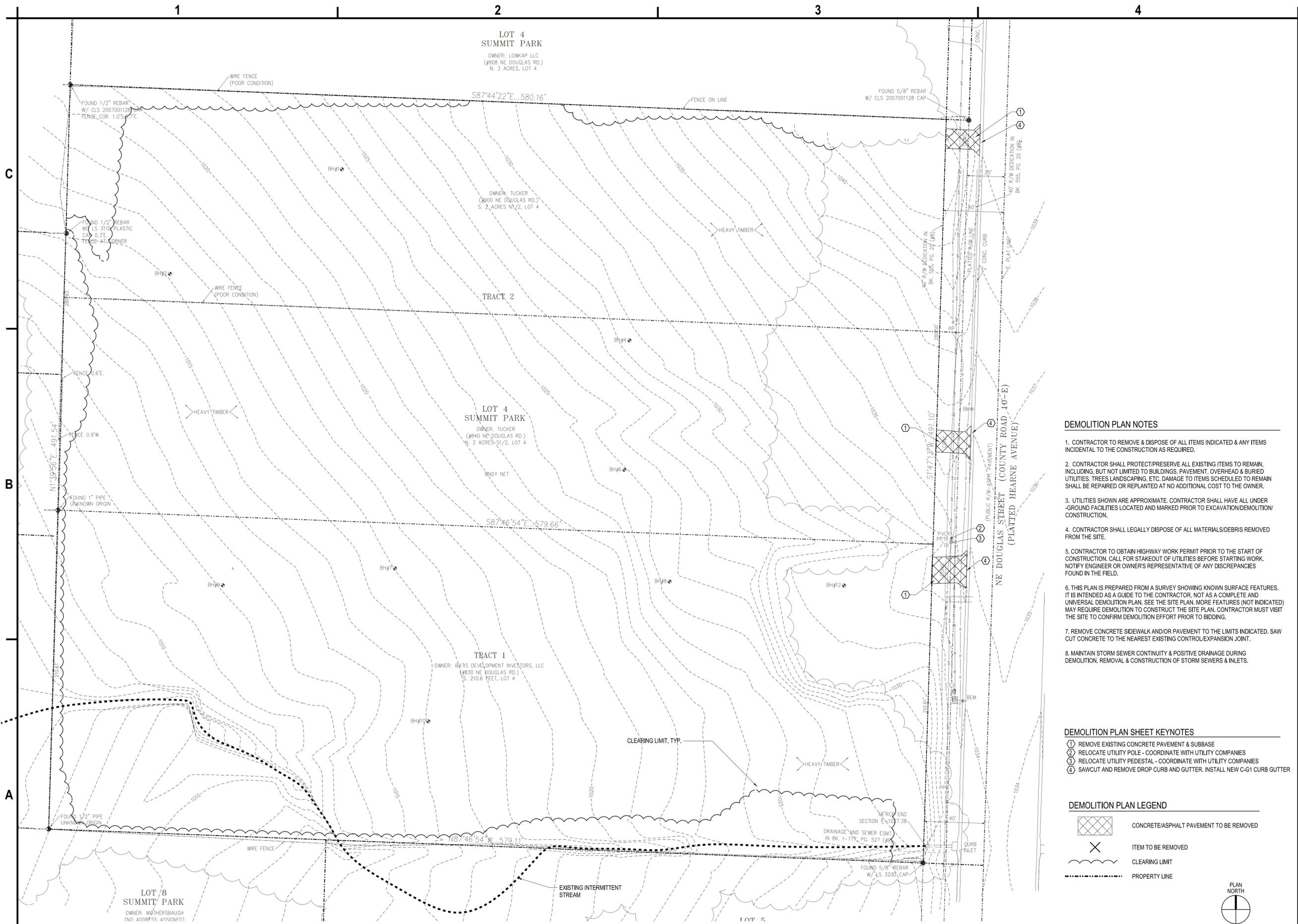
Eric J. Daniel, P.E.
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**LEE'S SUMMIT
SENIOR APARTMENTS
830-900 NE DOUGLAS STREET
LEE'S SUMMIT, MO**

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		DATE: AUGUST 28, 2023
		DRAWN BY: S. SCHIENER
		DESIGNED BY: E. DANIEL
		CHECKED BY: E. DANIEL

**OVERALL
SITE PLAN**

C-100



A1 EXISTING CONDITIONS AND DEMOLITION PLAN
SCALE: 1"=30'

DEMOLITION PLAN NOTES

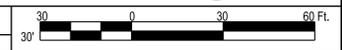
- CONTRACTOR TO REMOVE & DISPOSE OF ALL ITEMS INDICATED & ANY ITEMS INCIDENTAL TO THE CONSTRUCTION AS REQUIRED.
- CONTRACTOR SHALL PROTECT/PRESERVE ALL EXISTING ITEMS TO REMAIN, INCLUDING, BUT NOT LIMITED TO BUILDINGS, PAVEMENT, OVERHEAD & BURIED UTILITIES, TREES LANDSCAPING, ETC. DAMAGE TO ITEMS SCHEDULED TO REMAIN SHALL BE REPAIRED OR REPLANTED AT NO ADDITIONAL COST TO THE OWNER.
- UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL HAVE ALL UNDERGROUND FACILITIES LOCATED AND MARKED PRIOR TO EXCAVATION/DEMOLITION/CONSTRUCTION.
- CONTRACTOR SHALL LEGALLY DISPOSE OF ALL MATERIALS/DEBRIS REMOVED FROM THE SITE.
- CONTRACTOR TO OBTAIN HIGHWAY WORK PERMIT PRIOR TO THE START OF CONSTRUCTION. CALL FOR STAKEOUT OF UTILITIES BEFORE STARTING WORK. NOTIFY ENGINEER OR OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES FOUND IN THE FIELD.
- THIS PLAN IS PREPARED FROM A SURVEY SHOWING KNOWN SURFACE FEATURES. IT IS INTENDED AS A GUIDE TO THE CONTRACTOR, NOT AS A COMPLETE AND UNIVERSAL DEMOLITION PLAN. SEE THE SITE PLAN. MORE FEATURES (NOT INDICATED) MAY REQUIRE DEMOLITION TO CONSTRUCT THE SITE PLAN. CONTRACTOR MUST VISIT THE SITE TO CONFIRM DEMOLITION EFFORT PRIOR TO BIDDING.
- REMOVE CONCRETE SIDEWALK AND/OR PAVEMENT TO THE LIMITS INDICATED. SAW CUT CONCRETE TO THE NEAREST EXISTING CONTROL/EXPANSION JOINT.
- MAINTAIN STORM SEWER CONTINUITY & POSITIVE DRAINAGE DURING DEMOLITION, REMOVAL & CONSTRUCTION OF STORM SEWERS & INLETS.

DEMOLITION PLAN SHEET KEYNOTES

- REMOVE EXISTING CONCRETE PAVEMENT & SUBBASE
- RELOCATE UTILITY POLE - COORDINATE WITH UTILITY COMPANIES
- RELOCATE UTILITY PEDESTAL - COORDINATE WITH UTILITY COMPANIES
- SAWCUT AND REMOVE DROP CURB AND GUTTER. INSTALL NEW C-61 CURB GUTTER

DEMOLITION PLAN LEGEND

-  CONCRETE/ASPHALT PAVEMENT TO BE REMOVED
-  ITEM TO BE REMOVED
-  CLEARING LIMIT
-  PROPERTY LINE



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**EXISTING
CONDITIONS AND
DEMOLITION PLAN**

C-101



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SITE PLAN DETAIL LEGEND

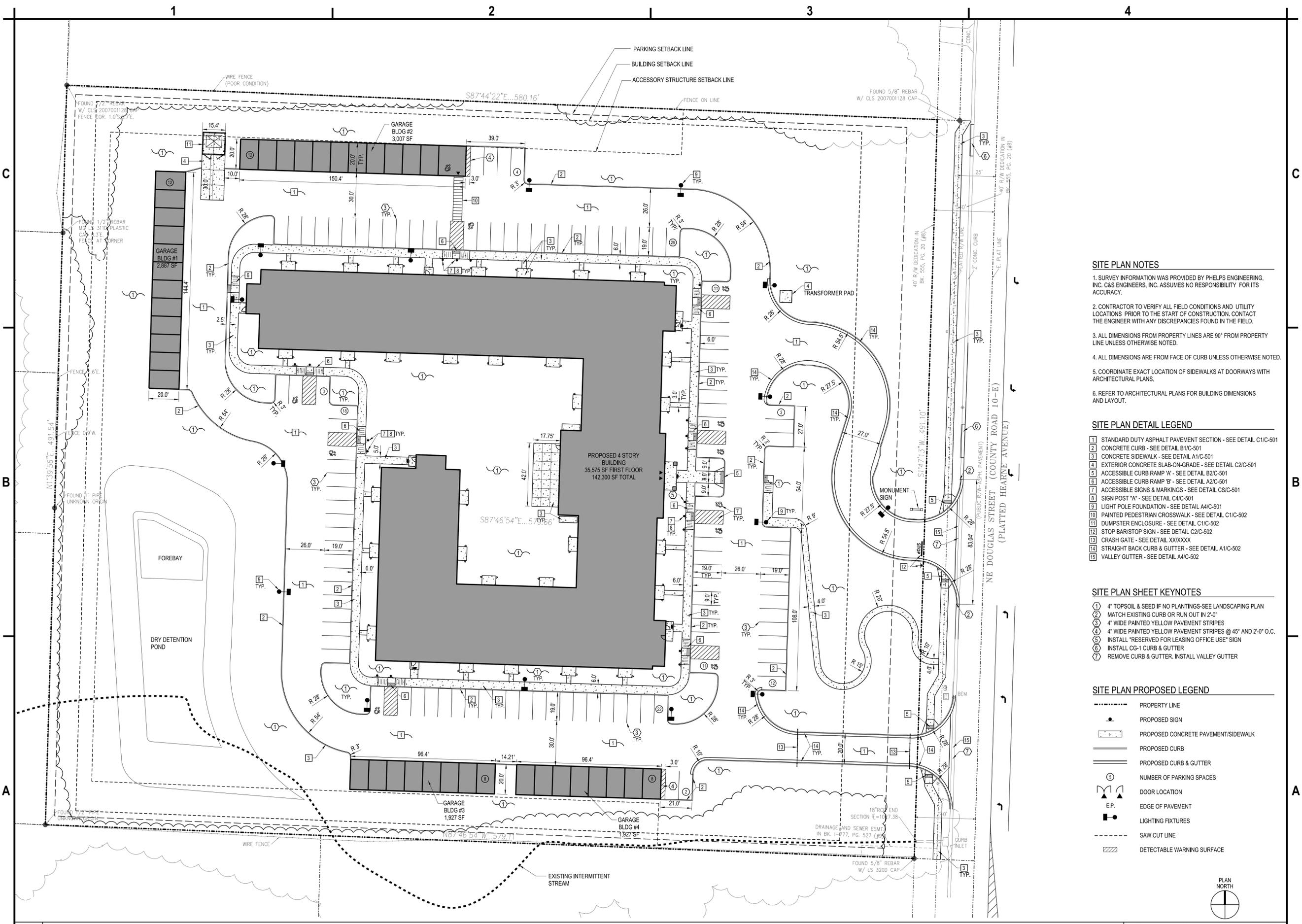
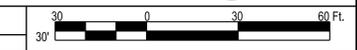
- 1 STANDARD DUTY ASPHALT PAVEMENT SECTION - SEE DETAIL C1/C-501
- 2 CONCRETE CURB - SEE DETAIL B1/C-501
- 3 CONCRETE SIDEWALK - SEE DETAIL A1/C-501
- 4 EXTERIOR CONCRETE SLAB-ON-GRADE - SEE DETAIL C2/C-501
- 5 ACCESSIBLE CURB RAMP 'A' - SEE DETAIL B2/C-501
- 6 ACCESSIBLE CURB RAMP 'B' - SEE DETAIL A2/C-501
- 7 ACCESSIBLE SIGNS & MARKINGS - SEE DETAIL CS/C-501
- 8 SIGN POST 'A' - SEE DETAIL C4/C-501
- 9 LIGHT POLE FOUNDATION - SEE DETAIL A4/C-501
- 10 PAINTED PEDESTRIAN CROSSWALK - SEE DETAIL C1/C-502
- 11 DUMPSTER ENCLOSURE - SEE DETAIL C1/C-502
- 12 STOP BAR/STOP SIGN - SEE DETAIL C2/C-502
- 13 CRASH GATE - SEE DETAIL XX/XXXX
- 14 STRAIGHT BACK CURB & GUTTER - SEE DETAIL A1/C-502
- 15 VALLEY GUTTER - SEE DETAIL A4/C-502

SITE PLAN SHEET KEYNOTES

- 1 4" TOPSOIL & SEED IF NO PLANTINGS-SEE LANDSCAPING PLAN
- 2 MATCH EXISTING CURB OR RUN OUT IN 2'-0"
- 3 4" WIDE PAINTED YELLOW PAVEMENT STRIPES
- 4 4" WIDE PAINTED YELLOW PAVEMENT STRIPES @ 45° AND 2'-0" O.C.
- 5 INSTALL "RESERVED FOR LEASING OFFICE USE" SIGN
- 6 INSTALL CG-1 CURB & GUTTER
- 7 REMOVE CURB & GUTTER. INSTALL VALLEY GUTTER

SITE PLAN PROPOSED LEGEND

- PROPERTY LINE
- PROPOSED SIGN
- ▭ PROPOSED CONCRETE PAVEMENT/SIDEWALK
- PROPOSED CURB
- PROPOSED CURB & GUTTER
- Ⓟ NUMBER OF PARKING SPACES
- ▲ DOOR LOCATION
- E.P. EDGE OF PAVEMENT
- LIGHTING FIXTURES
- - - SAW CUT LINE
- ▨ DETECTABLE WARNING SURFACE

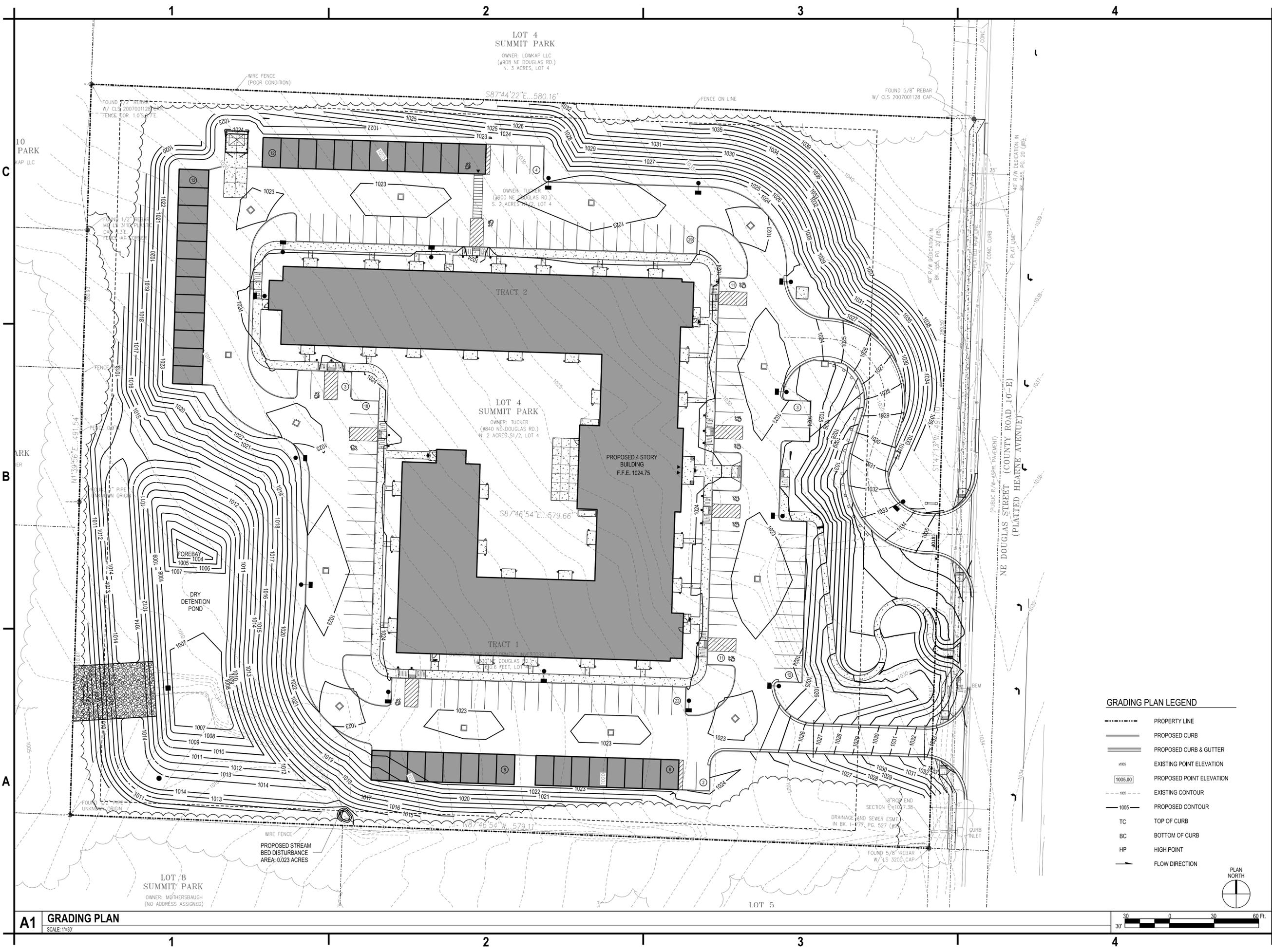


A1 SITE PLAN
 SCALE: 1"=30'

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SITE PLAN

C-102



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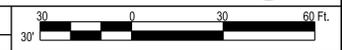
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GRADING PLAN LEGEND

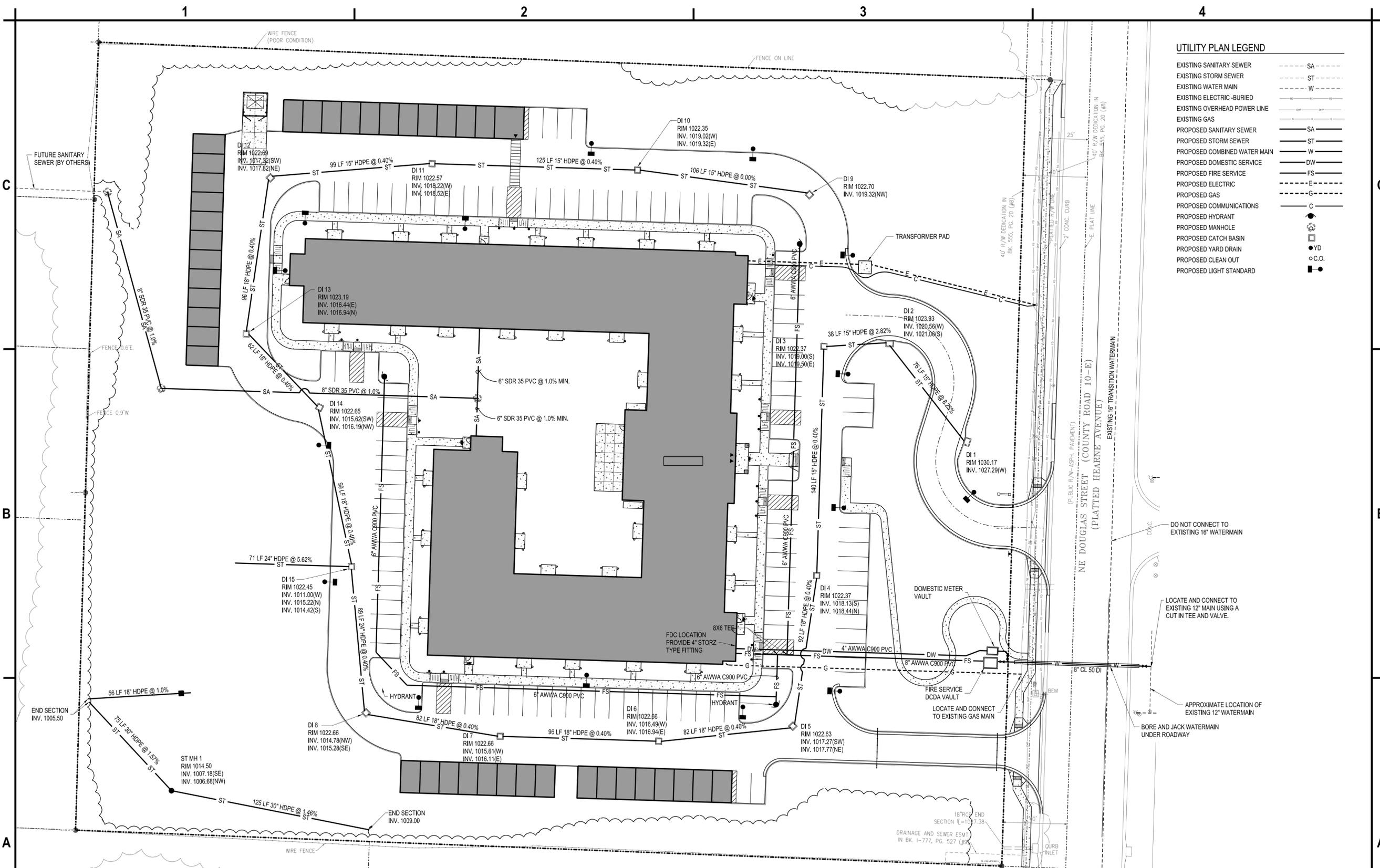
- PROPERTY LINE
- ===== PROPOSED CURB
- ===== PROPOSED CURB & GUTTER
- 1025 EXISTING POINT ELEVATION
- 1005.00 PROPOSED POINT ELEVATION
- EXISTING CONTOUR
- PROPOSED CONTOUR
- TC TOP OF CURB
- BC BOTTOM OF CURB
- HP HIGH POINT
- FLOW DIRECTION



A1 GRADING PLAN
 SCALE: 1"=30'

GRADING PLAN

C-103



UTILITY PLAN LEGEND

EXISTING SANITARY SEWER	---	SA
EXISTING STORM SEWER	---	ST
EXISTING WATER MAIN	---	W
EXISTING ELECTRIC -BURIED	---	E
EXISTING OVERHEAD POWER LINE	---	G
EXISTING GAS	---	G
PROPOSED SANITARY SEWER	---	SA
PROPOSED STORM SEWER	---	ST
PROPOSED COMBINED WATER MAIN	---	W
PROPOSED DOMESTIC SERVICE	---	DW
PROPOSED FIRE SERVICE	---	FS
PROPOSED ELECTRIC	---	E
PROPOSED GAS	---	G
PROPOSED COMMUNICATIONS	---	C
PROPOSED HYDRANT	●	YD
PROPOSED MANHOLE	□	YD
PROPOSED CATCH BASIN	○	C.O.
PROPOSED YARD DRAIN	○	C.O.
PROPOSED CLEAN OUT	○	C.O.
PROPOSED LIGHT STANDARD	■	

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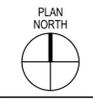
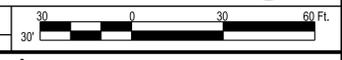
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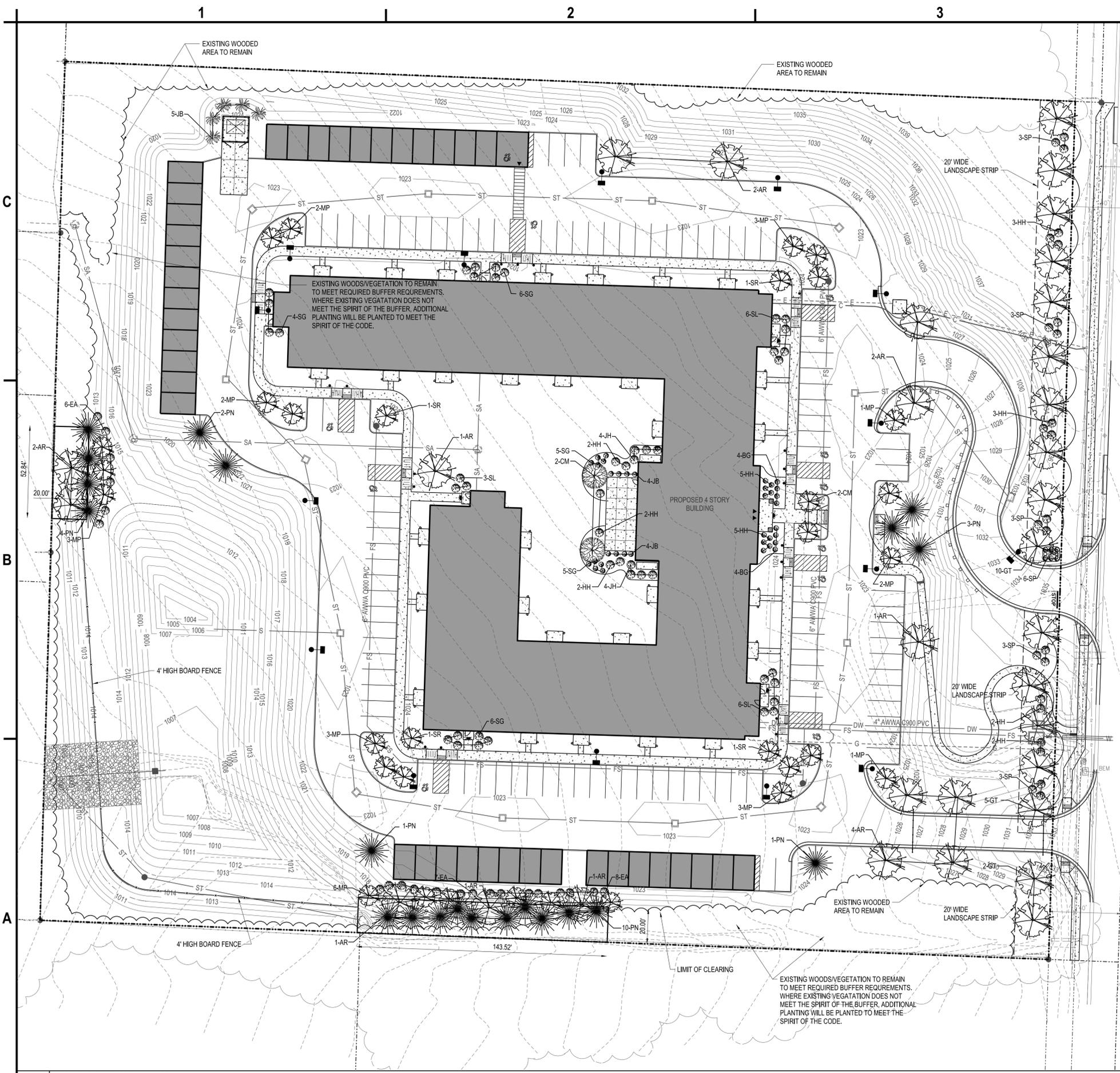
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CITY OF LEE'S SUMMIT Utility Contacts

Name	Company	Title	Email	Phone
Diana Johnson	City of Lee's Summit	Project Manager	Diana.Johnson@cityofls.net	(816) 969-1205
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Ryan McCormick	City of Lee's Summit	Operations Technician	Ryan.McCormick@cityofls.net	(816) 969-1900
Ron DeJarnette	Evergy (Electric)	General Design Technician	ron.dejarnette@evergy.com	(816) 810-5234
Bobbie Saulsberry	Spire Inc. (Gas)	Business Development	bobbie.saulsberry@spireenergy.com	(816) 969-2266
John Birkenmeyer	Charter Communications	Account Executive	john.birkenmeyer@charter.com	(314) 388-8715

A1 UTILITY PLAN
 SCALE: 1"=30'





KEY	QTY.	PLANT LIST BOTANICAL NAME	COMMON NAME	MINIMUM SIZE
AR	10	Acer Rubrum	Red Maple	3" Caliper
EA	21	Exonymus alatus "Compactus"	Dwarf Burning Bush	2 Gal. Container
MP	17	Malus "Prairifire"	Prairie Fire Crabapple	1 1/2 - 2" Caliper
PN	7	Pinus Nigra	Austrian Pine	8" Ht.

STREET FRONTAGE PLANTING TABLE				
KEY	QTY.	PLANT LIST BOTANICAL NAME	COMMON NAME	MINIMUM SIZE
GT	17	Gleditsia Tricanthos	Honeylocust	3" Caliper
HH	10	Hydrangea Macrophylla "Inne"	Little Lane Hydrangea	18-24" Ht. (2 Gal. Container)
SP	21	Spiraea Japonica "Little Princess"	Little Princess Spirea	18-24" Ht. (2 Gal. Container)

OPEN YARD AREA PLANTING TABLE				
KEY	QTY.	PLANT LIST BOTANICAL NAME	COMMON NAME	MINIMUM SIZE
AR	10	Acer Rubrum	Red Maple	3" Caliper
BG	16	Buxus "Green Velvet"	Green Velvet Boxwood	18-24" Ht. (2 Gal. Container)
CM	4	Cornus Florida	Flowering Dogwood	1 1/2 - 2" Caliper
HH	16	Hydrangea Macrophylla "Inne"	Little Lane Hydrangea	18-24" Ht. (2 Gal. Container)
JH	4	Juniperus Scopulorum "Blue Muffin"	Blue Muffin Juniper	5-6" Ht.
JH	8	Juniperus Chinesus "Hetzi Colmanus"	Hetz Colman Chinese Juniper	4" Ht.
MP	17	Malus "Prairifire"	Prairie Fire Crabapple	1 1/2 - 2" Caliper
PN	7	Pinus Nigra	Austrian Pine	8" Ht.
SG	26	Spiraea Bumalda "Gold Flame"	Gold Flame Spirea	18-24"
SR	4	Syringa Reticulata "Towry Silk"	Ivory Silk Tree Lilac	1 1/2" Caliper
SL	14	Spiraea Japonica "Lemon Princess"	Lemon e Princess Spirea	18-24" Ht. (2 Gal. Container)

LANDSCAPING CALCULATIONS:

STREET FRONTAGE: (1 TREE PER 30' & 1 SHRUB PER 20')
 491/30=17 TREES, 491/20=25 SHRUBS

OPEN YARD AREA: (1 TREE & 2 SHRUBS PER 5,000 SF)
 284,774 (ACREAGE) - 47,323 (BLDG) = 237,451 - 25,273 (WOODS TO REMAIN) = 212,178
 212,178/5000 = 42 TREES, 84 SHRUBS

INTERIOR GREEN SPACE = 5% REQUIRED, 7.0% PROVIDED

MEDIUM IMPACT SCREENING: (SHADE TREE 1/1000 SF, ORNAMENTAL 1/500 SF, EVERGREEN 1/300, SHRUB 1/200)
 3937/1000=4 SHADE TREES, 3937/500=8 ORNAMENTAL, 3937/300=14 EVERGREEN, 3937/200=20 SHRUBS

LANDSCAPING LEGEND:

- PROPOSED DECIDUOUS TREE
- PROPOSED EVERGREEN TREE
- PROPOSED SHRUB

PLAN NORTH

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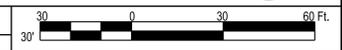
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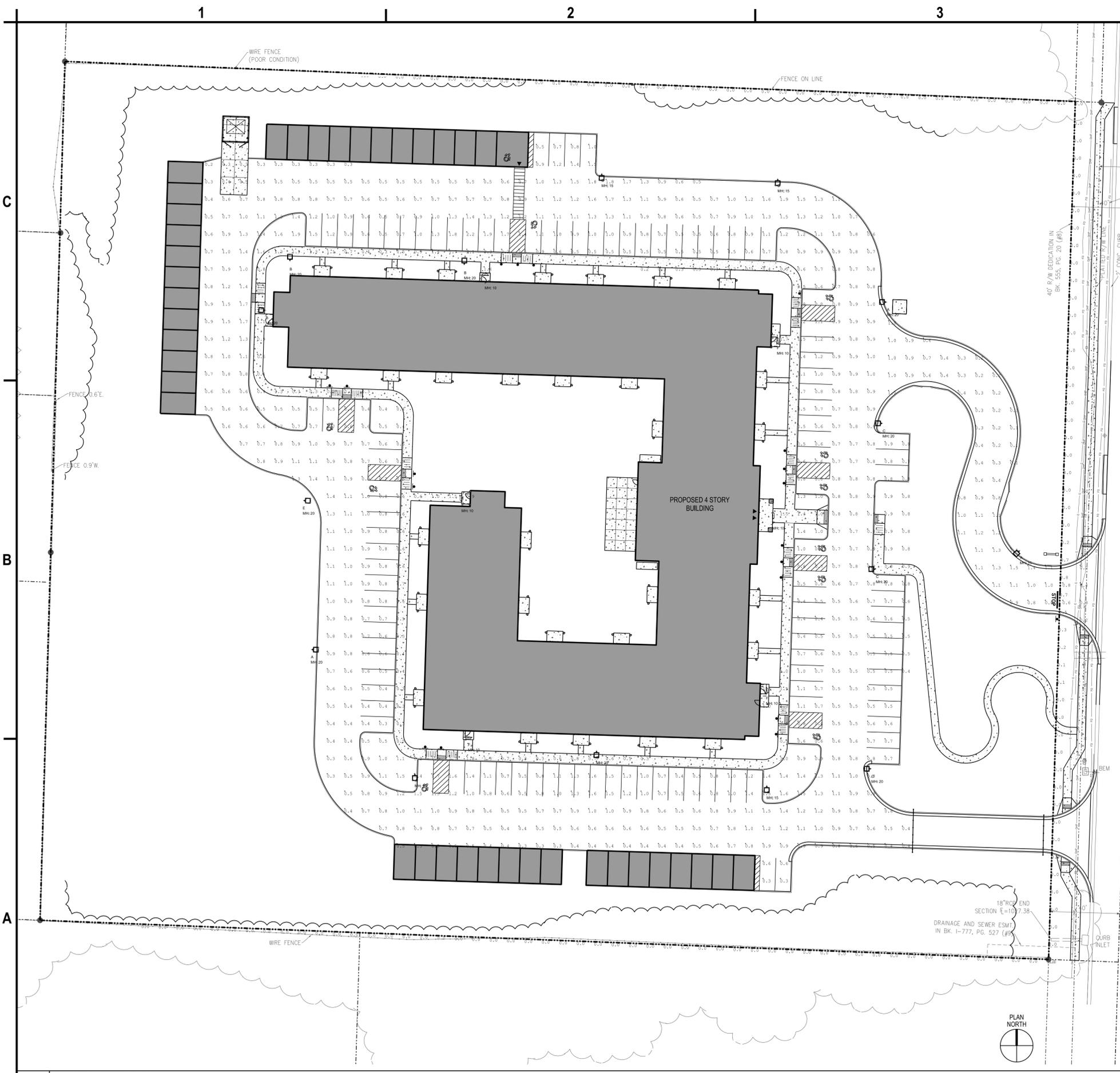
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REVISIONS		
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	DATE:	AUGUST 28, 2023
	DRAWN BY:	S. SCHIENER
	DESIGNED BY:	E. DANIEL
	CHECKED BY:	E. DANIEL

LANDSCAPING PLAN

C-105

A1 LANDSCAPING PLAN
 SCALE: 1"=30'





A1 PHOTOMETRIC PLAN
SCALE: 1"=30'

D-Series Size 1 LED Area Luminaire

Specifications

- EPA: 0.69 ft² (0.064)
- Length: 32.71" (836)
- Width: 14.26" (361)
- Height H1: 7.88" (200)
- Height H2: 2.73" (69)
- Weight: 34 lbs (15kg)

Introduction

The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Ordering Information EXAMPLE: DSX1 LED P7 40K 70CRI T3M MVOLT SPA NTAIR2 PIRHN DBXBD

Series	Options	Color Temperature	Color Rendering	Mounting	Shipping
DSX1 LED	Forward optics	(this section 70CR only)	(this section 70CR only)	AMB	AMB
P7	30K	3000K	90CRI	T3M	120V
P7	40K	4000K	90CRI	T3M	120V
P7	50K	5000K	90CRI	T3M	120V
P7	50K	5000K	90CRI	T3M	277V
P7	50K	5000K	90CRI	T3M	480V
P7	50K	5000K	90CRI	T3M	600V
P7	50K	5000K	90CRI	T3M	800V
P7	50K	5000K	90CRI	T3M	1000V
P7	50K	5000K	90CRI	T3M	1200V
P7	50K	5000K	90CRI	T3M	1500V
P7	50K	5000K	90CRI	T3M	2000V
P7	50K	5000K	90CRI	T3M	2500V
P7	50K	5000K	90CRI	T3M	3000V
P7	50K	5000K	90CRI	T3M	3500V
P7	50K	5000K	90CRI	T3M	4000V
P7	50K	5000K	90CRI	T3M	4500V
P7	50K	5000K	90CRI	T3M	5000V
P7	50K	5000K	90CRI	T3M	5500V
P7	50K	5000K	90CRI	T3M	6000V
P7	50K	5000K	90CRI	T3M	6500V
P7	50K	5000K	90CRI	T3M	7000V
P7	50K	5000K	90CRI	T3M	7500V
P7	50K	5000K	90CRI	T3M	8000V
P7	50K	5000K	90CRI	T3M	8500V
P7	50K	5000K	90CRI	T3M	9000V
P7	50K	5000K	90CRI	T3M	9500V
P7	50K	5000K	90CRI	T3M	10000V

Shipped installed

Series	Options	Color Temperature	Color Rendering	Mounting	Shipping
DSX1 LED	Forward optics	(this section 70CR only)	(this section 70CR only)	AMB	AMB
P7	30K	3000K	90CRI	T3M	120V
P7	40K	4000K	90CRI	T3M	120V
P7	50K	5000K	90CRI	T3M	120V
P7	50K	5000K	90CRI	T3M	277V
P7	50K	5000K	90CRI	T3M	480V
P7	50K	5000K	90CRI	T3M	600V
P7	50K	5000K	90CRI	T3M	800V
P7	50K	5000K	90CRI	T3M	1000V
P7	50K	5000K	90CRI	T3M	1200V
P7	50K	5000K	90CRI	T3M	1500V
P7	50K	5000K	90CRI	T3M	2000V
P7	50K	5000K	90CRI	T3M	2500V
P7	50K	5000K	90CRI	T3M	3000V
P7	50K	5000K	90CRI	T3M	3500V
P7	50K	5000K	90CRI	T3M	4000V
P7	50K	5000K	90CRI	T3M	4500V
P7	50K	5000K	90CRI	T3M	5000V
P7	50K	5000K	90CRI	T3M	5500V
P7	50K	5000K	90CRI	T3M	6000V
P7	50K	5000K	90CRI	T3M	6500V
P7	50K	5000K	90CRI	T3M	7000V
P7	50K	5000K	90CRI	T3M	7500V
P7	50K	5000K	90CRI	T3M	8000V
P7	50K	5000K	90CRI	T3M	8500V
P7	50K	5000K	90CRI	T3M	9000V
P7	50K	5000K	90CRI	T3M	9500V
P7	50K	5000K	90CRI	T3M	10000V

WEDGE2 LED Architectural Wall Sconce Precision Refractive Optic

Specifications

- Depth (D1): 7"
- Depth (D2): 1.5"
- Height: 9"
- Width: 11.5"
- Weight (without optional): 13.5 lbs

Introduction

The WEDGE2 family is designed to meet specifier's every well-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectangular design comes in four sizes with luminaire packages ranging from 1,200 to 25,000 lumens, providing a true site-wide solution. Embedded with rugged, all-weather controls, the WEDGE2 family provides additional energy savings and code compliance.

WEDGE2 with industry leading precision refractive optic provides great uniform distribution and optical control. When combined with multiple integrated emergency backup options, including an TBW cold temperature option, the WEDGE2 becomes the ideal wall-mounted lighting solution for pedestrian-scale applications in any environment.

WEDGE LED Family Overview

Luminaire	Series	Standard (10, 15, 20)	Color Temp. (°C)	Series	TL	TL	TL							
WEDGE2 LED	Wall Sconce	10W	15W	20W	30W	40W	50W	60W	70W	80W	90W	100W	120W	150W
WEDGE2 LED	Precision Refractive	10W	15W	20W	30W	40W	50W	60W	70W	80W	90W	100W	120W	150W
WEDGE2 LED	Precision Refractive	10W	15W	20W	30W	40W	50W	60W	70W	80W	90W	100W	120W	150W
WEDGE2 LED	Precision Refractive	10W	15W	20W	30W	40W	50W	60W	70W	80W	90W	100W	120W	150W

Ordering Information EXAMPLE: WEDGE2 LED P3 40K 80CRI VF MVOLT SRM DBXBD

Series	Options	Color Temperature	Color Rendering	Mounting	Shipping
WEDGE2 LED	Forward optics	(this section 70CR only)	(this section 70CR only)	AMB	AMB
P3	30K	3000K	90CRI	T3M	120V
P3	40K	4000K	90CRI	T3M	120V
P3	50K	5000K	90CRI	T3M	120V
P3	50K	5000K	90CRI	T3M	277V
P3	50K	5000K	90CRI	T3M	480V
P3	50K	5000K	90CRI	T3M	600V
P3	50K	5000K	90CRI	T3M	800V
P3	50K	5000K	90CRI	T3M	1000V
P3	50K	5000K	90CRI	T3M	1200V
P3	50K	5000K	90CRI	T3M	1500V
P3	50K	5000K	90CRI	T3M	2000V
P3	50K	5000K	90CRI	T3M	2500V
P3	50K	5000K	90CRI	T3M	3000V
P3	50K	5000K	90CRI	T3M	3500V
P3	50K	5000K	90CRI	T3M	4000V
P3	50K	5000K	90CRI	T3M	4500V
P3	50K	5000K	90CRI	T3M	5000V
P3	50K	5000K	90CRI	T3M	5500V
P3	50K	5000K	90CRI	T3M	6000V
P3	50K	5000K	90CRI	T3M	6500V
P3	50K	5000K	90CRI	T3M	7000V
P3	50K	5000K	90CRI	T3M	7500V
P3	50K	5000K	90CRI	T3M	8000V
P3	50K	5000K	90CRI	T3M	8500V
P3	50K	5000K	90CRI	T3M	9000V
P3	50K	5000K	90CRI	T3M	9500V
P3	50K	5000K	90CRI	T3M	10000V

Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Entrance Drive	Illuminance	Fc	0.69	1.5	0.1	6.90	15.00
Parking Area	Illuminance	Fc	0.82	2.3	0.2	4.10	11.50
Property Line	Illuminance	Fc	0.00	0.0	0.0	N.A.	N.A.
ROW Line	Illuminance	Fc	0.07	0.8	0.0	N.A.	N.A.

Luminaire Schedule

Symbol	Tag	Qty	Arrangement	LLF	Description	Lum. Lumens
F	6	SINGLE	1,000	WEDGE2 LED P1 40K 80CRI TFTM	1245	
A	5	SINGLE	0,900	DSX1 LED P1 40K 70CRI TSW HS	5473	
B	4	SINGLE	0,900	DSX1 LED P1 40K 70CRI BLC4	5704	
C	3	SINGLE	0,900	DSX1 LED P1 40K 70CRI TSW	8056	
D	2	SINGLE	0,900	DSX1 LED P2 40K 70CRI TSW HS	7036	
E	1	SINGLE	0,900	DSX1 LED P3 40K 70CRI TSW	14602	

LITHONIA LIGHTING COMMERCIAL OUTDOOR One Lithonia Way • Corvallis, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com WEDGE2 LED Rev 11/2022 © 2019-2022 All rights reserved.



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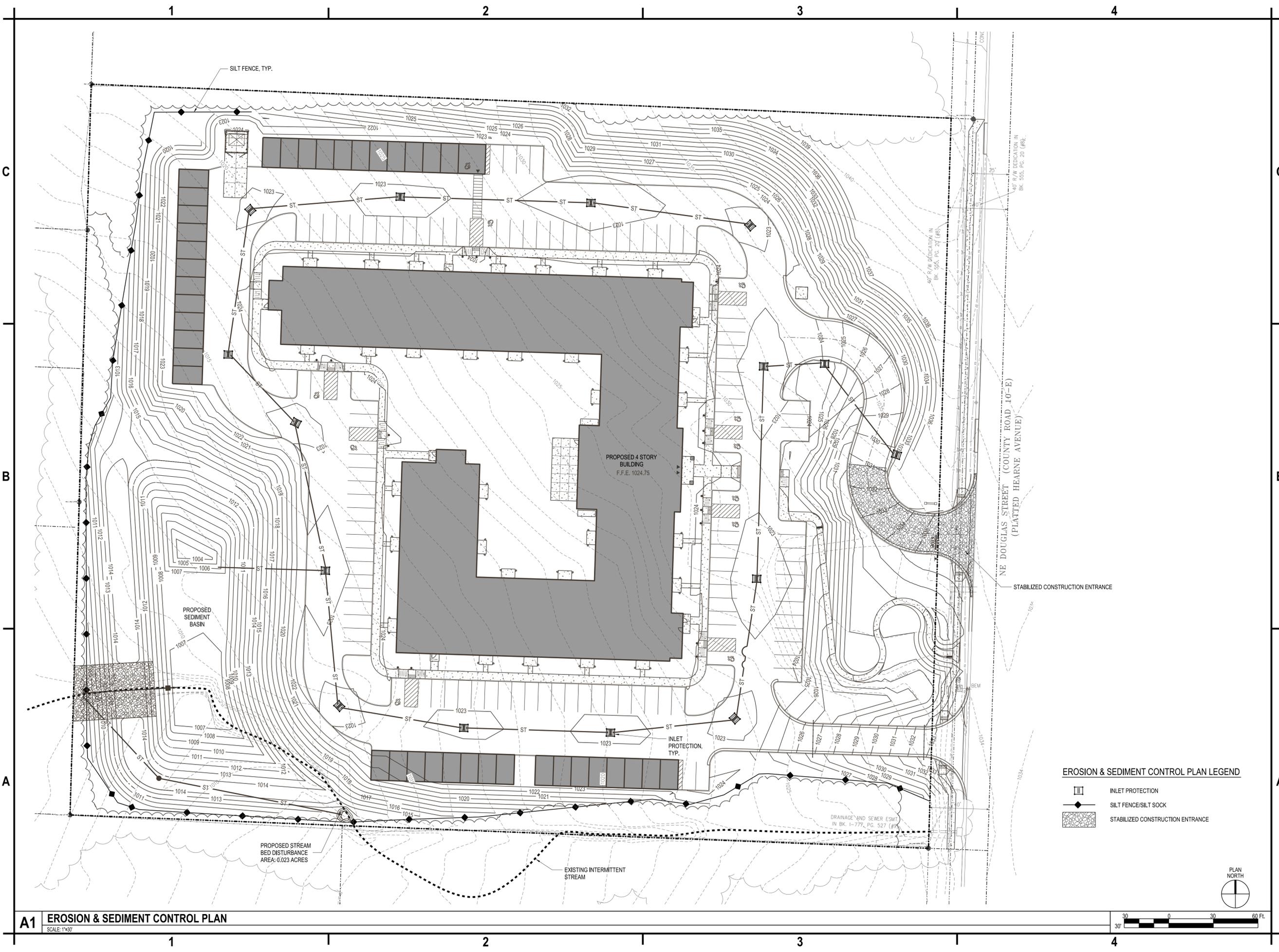
Eric J. Daniel, P.E.
License No. PE-2023008829
Date: 08/28/2023

**LEE'S SUMMIT
SENIOR APARTMENTS
830-900 NE DOUGLAS STREET
LEE'S SUMMIT, MO**

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REVISIONS		
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		CHECKED BY: E. DANIEL

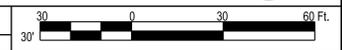
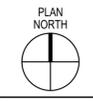
PHOTOMETRIC PLAN

C-106



EROSION & SEDIMENT CONTROL PLAN LEGEND

	INLET PROTECTION
	SILT FENCE/SILT SOCK
	STABILIZED CONSTRUCTION ENTRANCE



A1 EROSION & SEDIMENT CONTROL PLAN
SCALE: 1"=30'



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**EROSION &
SEDIMENT
CONTROL
PLAN**

C-107



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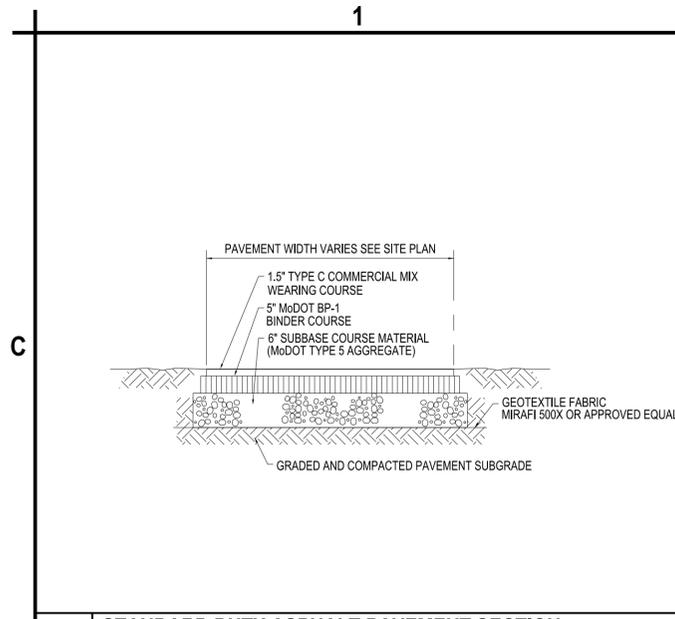
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HIGHWAY
WIDENING
PLAN

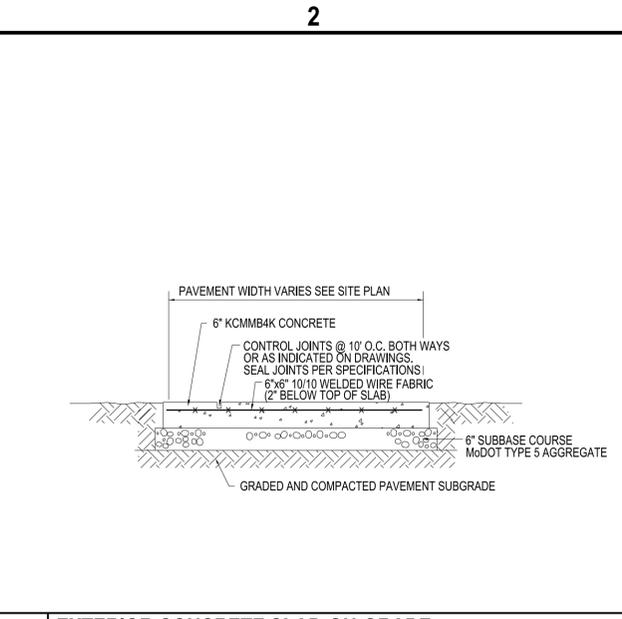
C-108

A1 HIGHWAY WIDENING PLAN
SCALE: 1"=40'

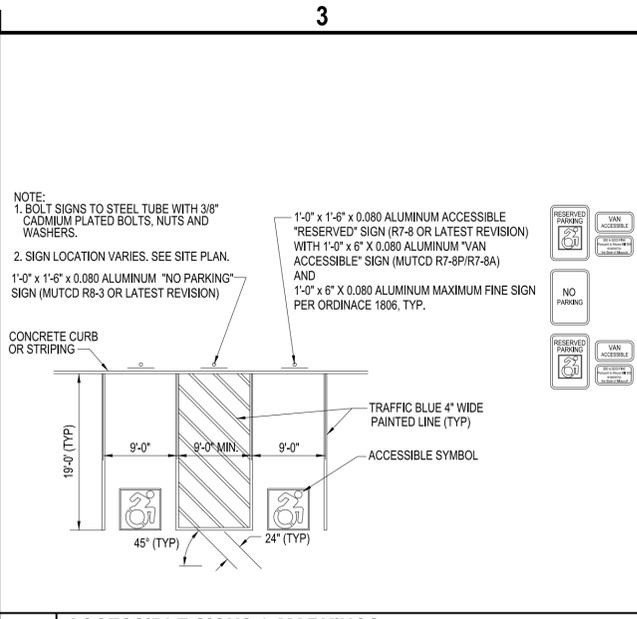




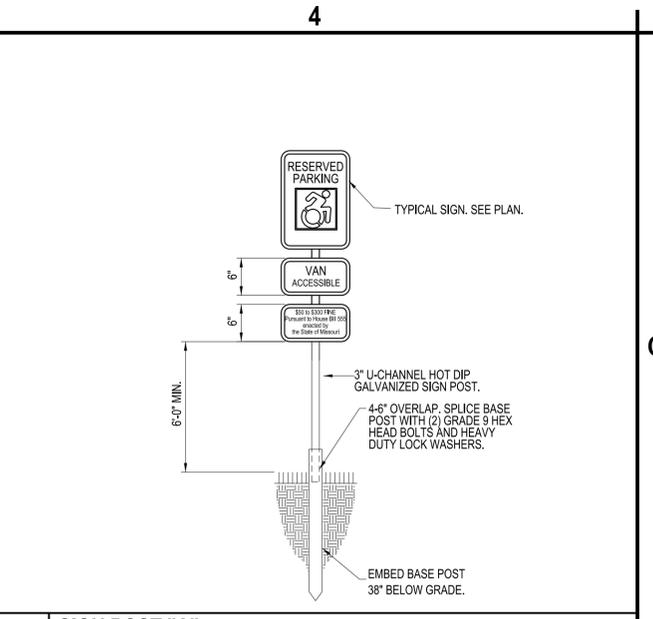
C1 STANDARD DUTY ASPHALT PAVEMENT SECTION
SCALE: NTS



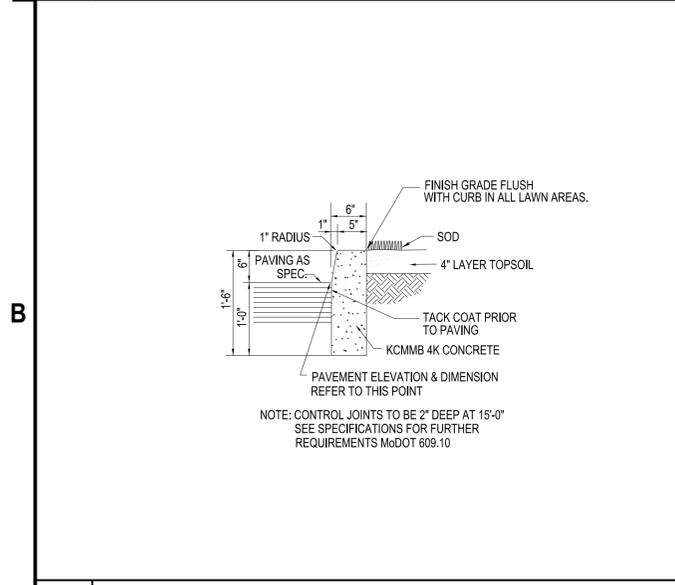
C2 EXTERIOR CONCRETE SLAB-ON-GRADE
SCALE: NTS



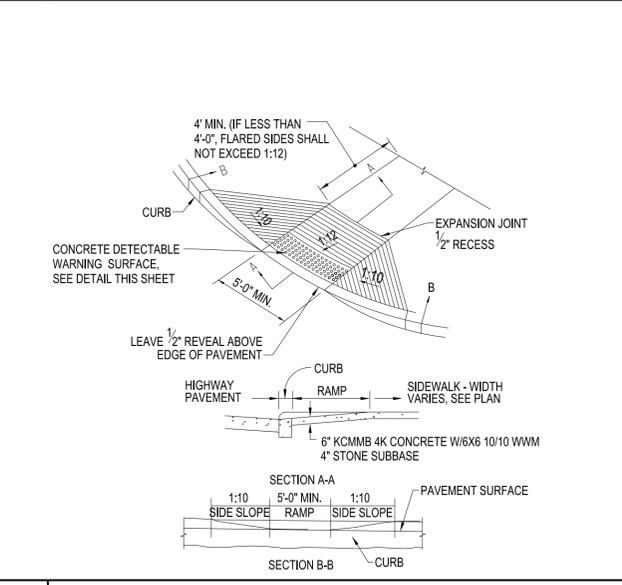
C3 ACCESSIBLE SIGNS & MARKINGS
SCALE: NTS



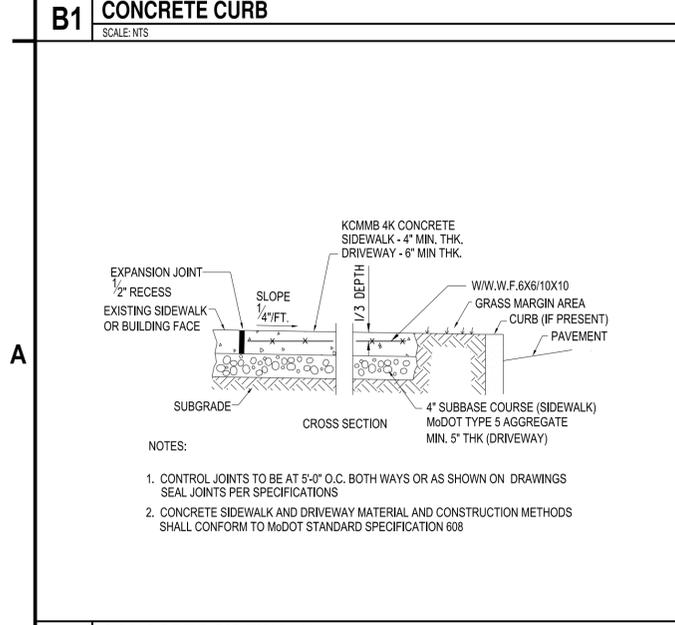
C4 SIGN POST "A"
SCALE: NTS



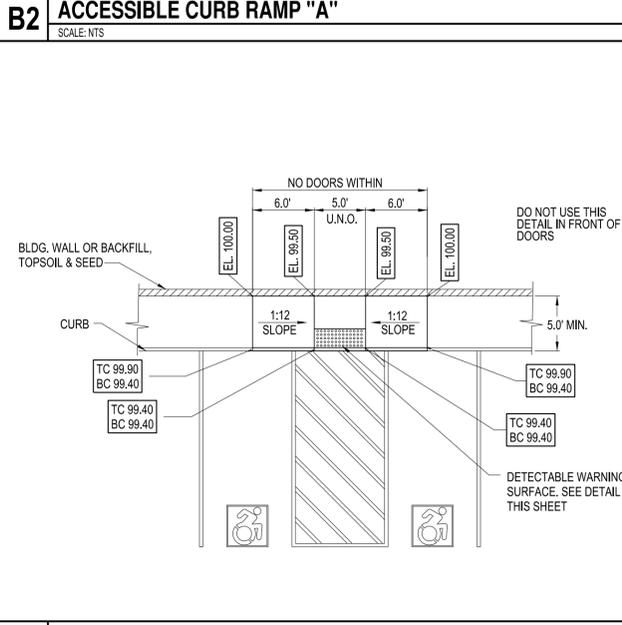
B1 CONCRETE CURB
SCALE: NTS



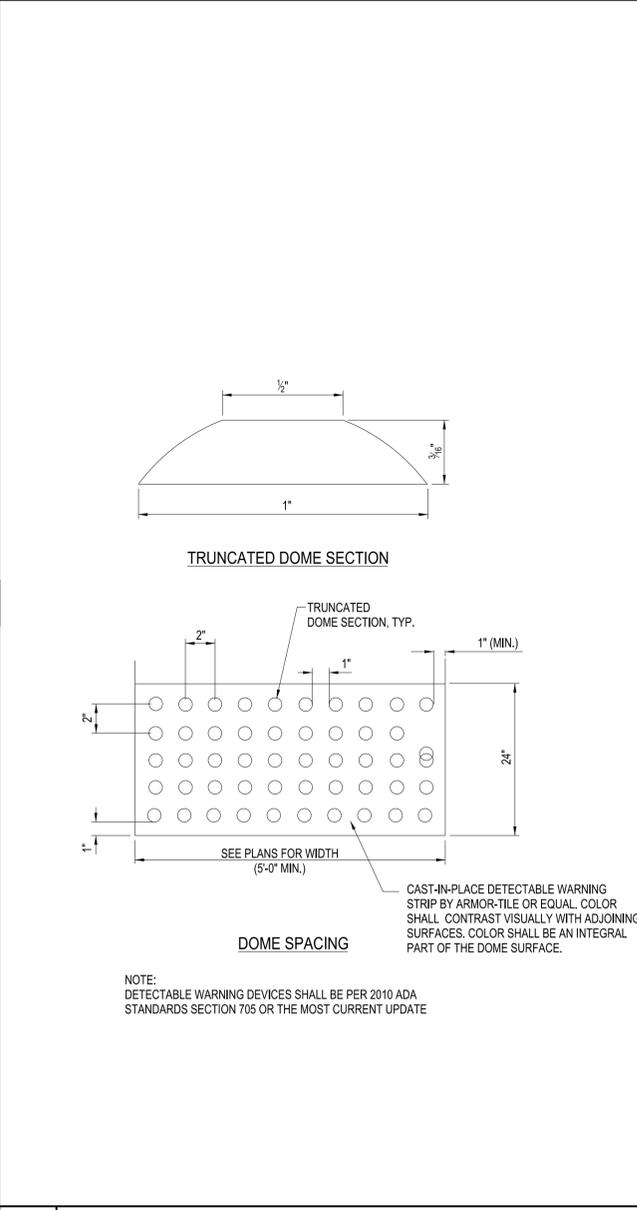
B2 ACCESSIBLE CURB RAMP "A"
SCALE: NTS



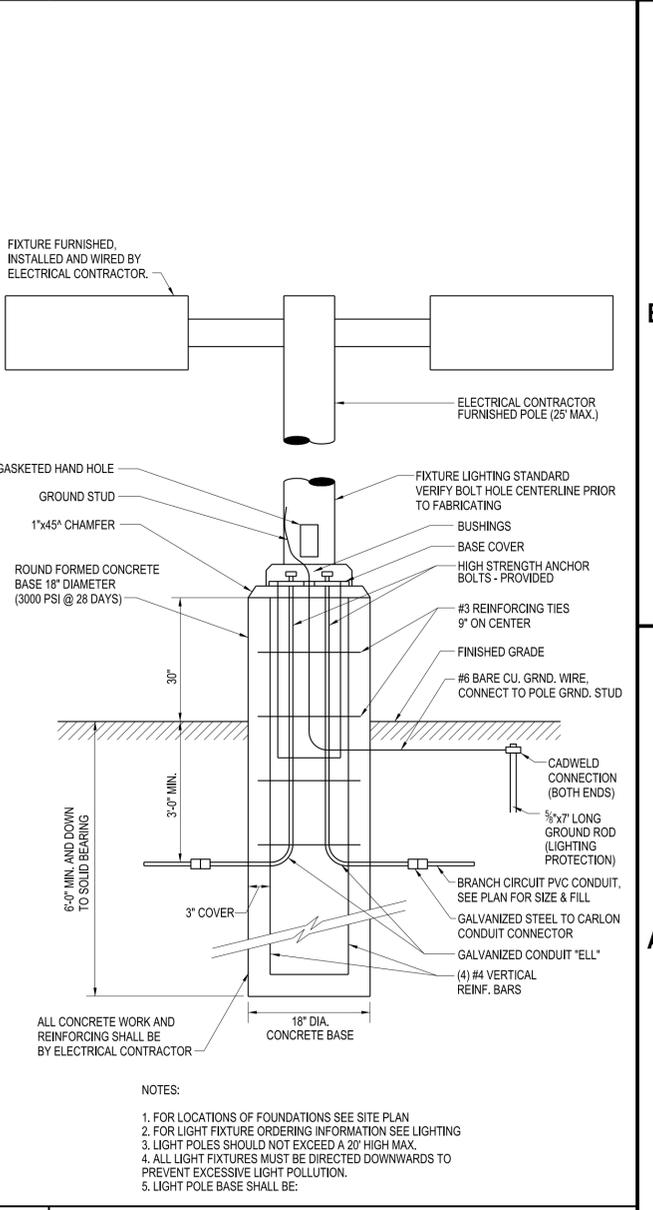
A1 CONCRETE SIDEWALK
SCALE: NTS



A2 ACCESSIBLE CURB RAMP "B"
SCALE: NTS



A3 DETECTABLE WARNING SURFACE
SCALE: NTS



A4 LIGHT POLE FOUNDATION
SCALE: NTS



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**SITE
DETAILS**

C-501



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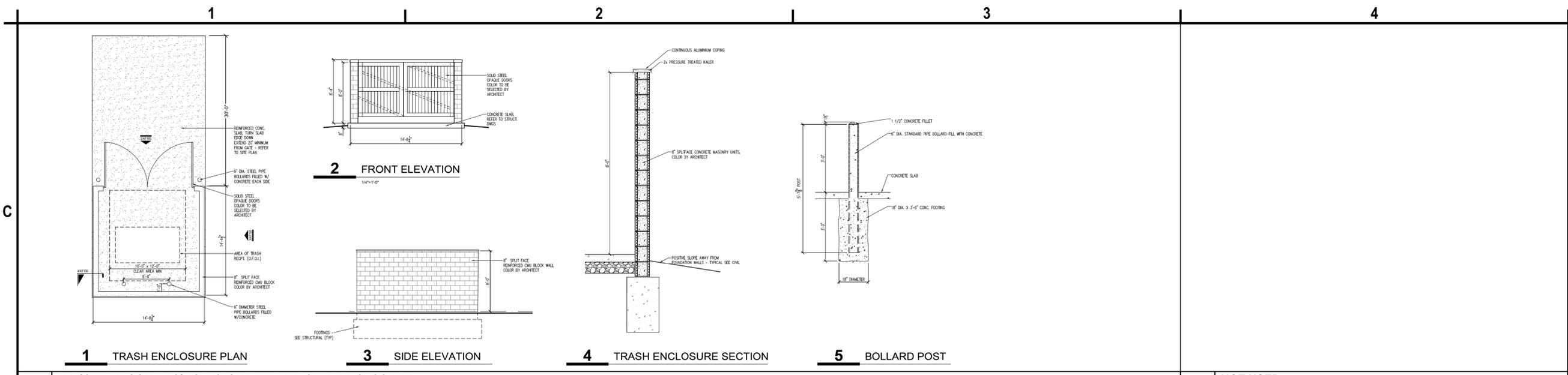
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 LEE'S SUMMIT, MO**

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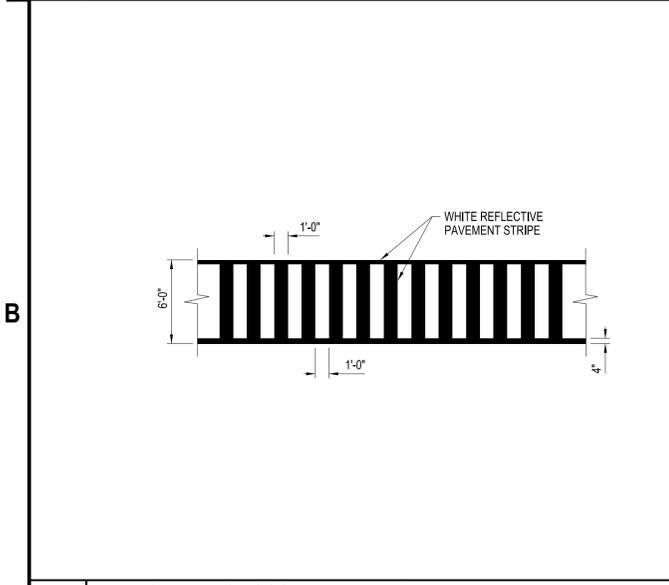
SITE DETAILS

C-502

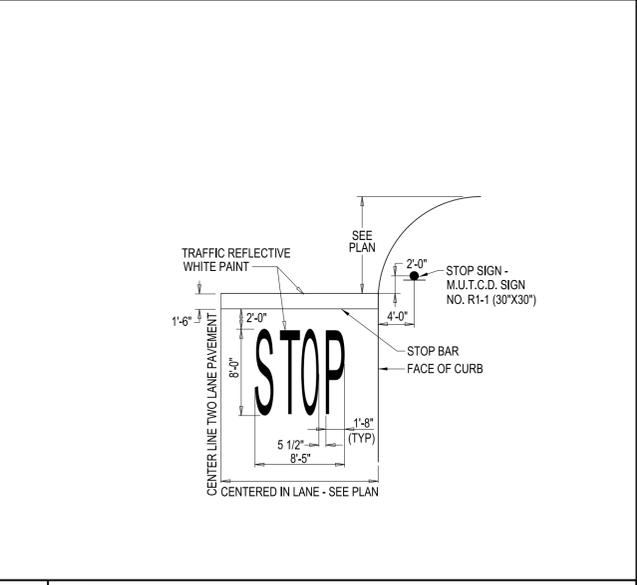


C1 TYPICAL MASONRY SINGLE/DOUBLE DUMPSTER ENCLOSURE
 SCALE: NTS

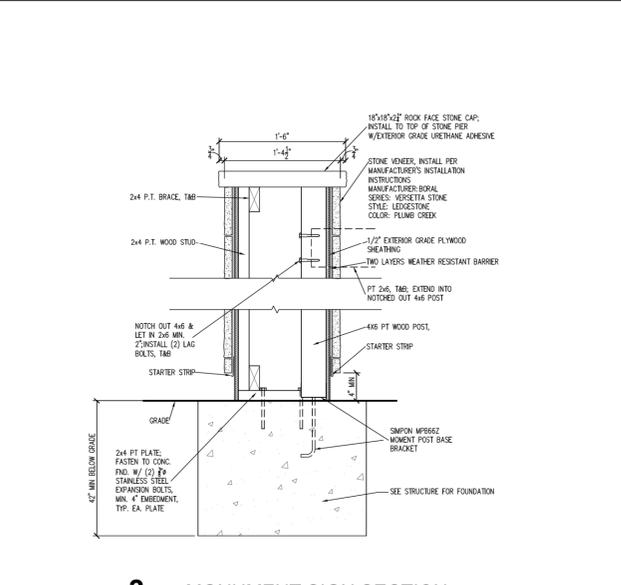
C4 NOT USED
 SCALE: NTS



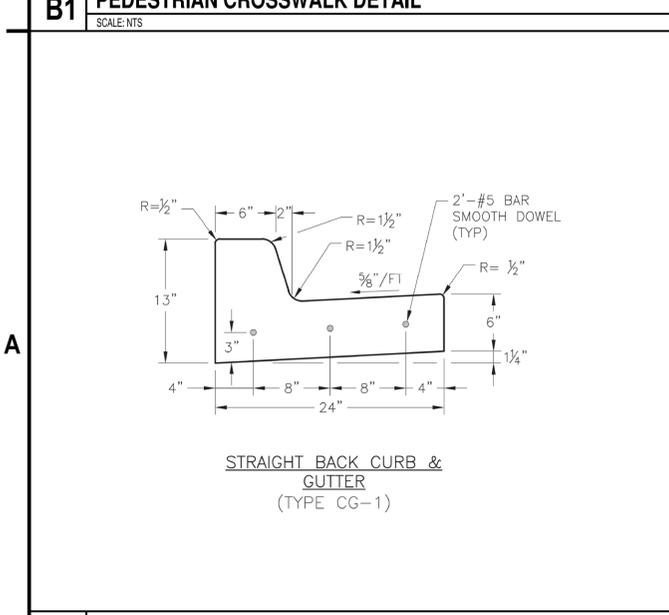
B1 PEDESTRIAN CROSSWALK DETAIL
 SCALE: NTS



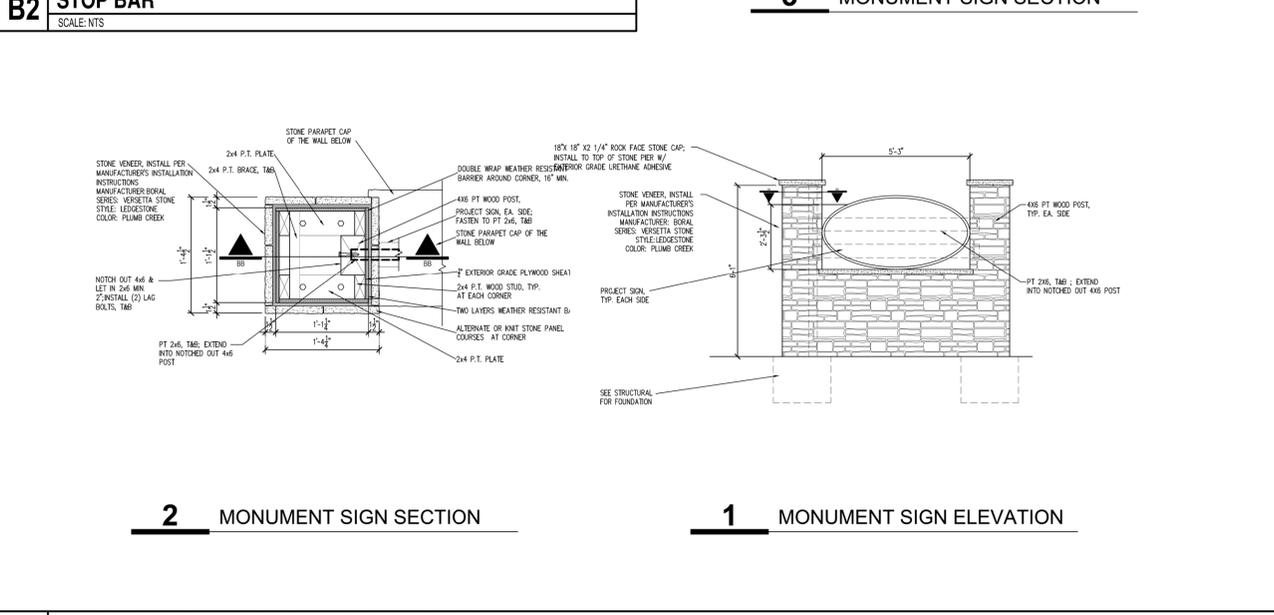
B2 STOP BAR
 SCALE: NTS



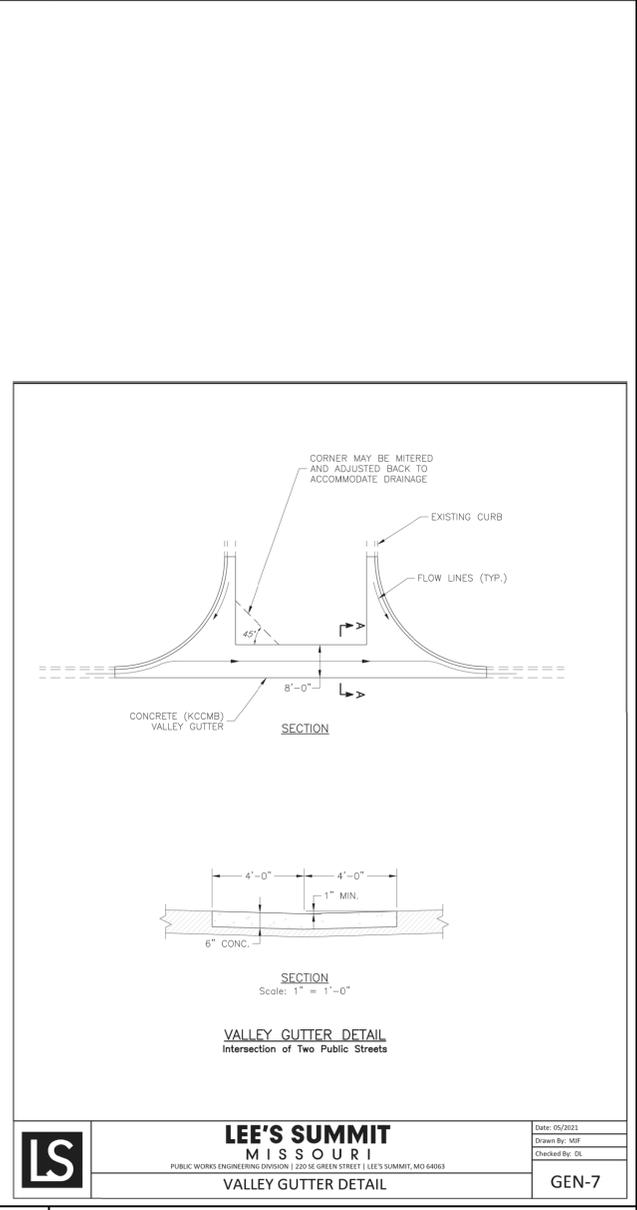
3 MONUMENT SIGN SECTION



A1 STRAIGHT BACK CURB & GUTTER
 SCALE: NTS



2 MONUMENT SIGN SECTION AND ELEVATIONS
 SCALE: NTS



A4 VALLEY GUTTER DETAIL
 SCALE: NTS

LS **LEE'S SUMMIT MISSOURI**
 PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64083
 Date: 05/2023
 Drawn By: MSF
 Checked By: DL
GEN-7

PLANTING SPECIFICATION

1. SCOPE OF WORK
 - A. THIS WORK SHALL CONSIST OF PERFORMING, CLEARING, AND GRUBBING, SOIL PREPARATION, FINISH GRADING, PLANTING, DRAINAGE, INCLUDING ALL LABOR MATERIALS, TOOLS, EQUIPMENT, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT.
2. MATERIALS
 - A. PLANTS - ALL PLANTS SHALL BE HEALTHY, OF NORMAL GROWTH, WELL ROOTED FREE FROM DISEASE AND INSECTS, QUALITY AND OF PLANT MATERIAL THAT SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1) AND BE OF NUMBER ONE GRADE.
 - B. VARIETIES AND SIZES OF PLANTS SHALL BE AS SHOWN ON DRAWINGS
3. FERTILIZER
 - A. FERTILIZER SHALL BE MILORGANITE (6-2-0) OR APPROVED EQUAL.
4. GENERAL WORK PROCEDURES
 - A. LANDSCAPE WORK SHALL BE ACCORDING TO THE WORKMANLIKE STANDARDS ESTABLISHED FOR LANDSCAPE CONSTRUCTION AND PLANTING.
5. WEEDING
 - A. BEFORE AND DURING PRELIMINARY GRADING AND FINISH GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF AT THE CONTRACTOR'S EXPENSE.
6. SOIL CONDITIONING
 - A. CULTIVATE ALL AREAS TO BE PLANTED TO A DEPTH OF 6". ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF AT THE CONTRACTOR'S EXPENSE.
7. PLANTING

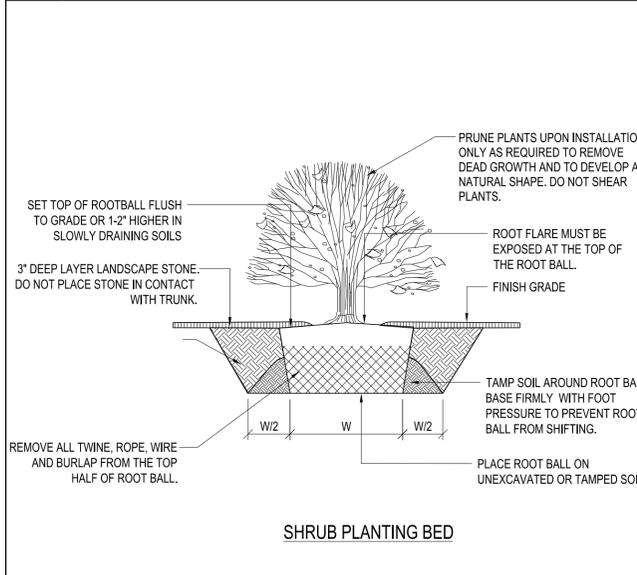
POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE EXCAVATING PITS, MAKING NECESSARY ADJUSTMENTS AS DIRECTED.

 - A. PLANTING PITS SHALL BE DUG WITH LEVEL BOTTOMS, AS SHOWN ON THE PLANTING DETAILS.
 - 3 PARTS TOPSOIL
 - 1 PART PEAT MOSS OR COMPOST
 - 1/3 PART MILORGANITE FERTILIZER
 - B. PREPARED SOIL SHALL BE TAMPED FIRMLY AT BOTTOM OF PIT. FILL PREPARED SOIL AROUND BALL OF PLAN 1/2 WAY, AND WATER. COMPLETE BACK-FILLING AND WATER THOROUGHLY.
 - C. ALL PLANTS SHALL BE SET SO THAT, WHEN SETTLED, THEY BEAR THE SAME RELATION TO THE REQUIRED GRADE AS THEY BORE TO THE NATURAL BEFORE BEING TRANSPLANTED.
 - D. IMMEDIATELY AFTER PLANTING, STAKE ALL TREES PER PLAN AND AS DIRECTED BY LANDSCAPE ARCHITECT
 - E. PREPARE RAISED EARTH SAUCER AS WIDE AS PLANTING HOLE OF EACH PLANT.
 - F. WATER IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACKFILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED.
 - G. AFTER SHRUB BEDS AND TREE SAUCERS ARE BACKFILLED AND FINE GRADED, MULCH WITH 3" DEPTH OF DARK, SHREDDED HARDWOOD BARK MULCH.
8. FINISH GRADING
 - A. PLUS/MINUS .1 FOOT OF FINISH GRADE.
 - B. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN, UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE. SOIL AREAS ADJACENT TO THE BUILDING SHALL SLOPE AWAY FROM THE BUILDING.
 - C. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER.
9. GUARANTEE
 - A. CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF ONE (1) YEAR.
10. CLEAN-UP
 - A. UPON THE COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT AND DEBRIS RESULTING FROM HIS WORK. ALL ACCEPTABLE CONDITIONS AS APPROVED BY THE OWNERS AUTHORIZED REPRESENTATIVE.
11. MAINTENANCE

MAINTENANCE PERIOD TO COMMENCE AFTER FINAL INSPECTION.

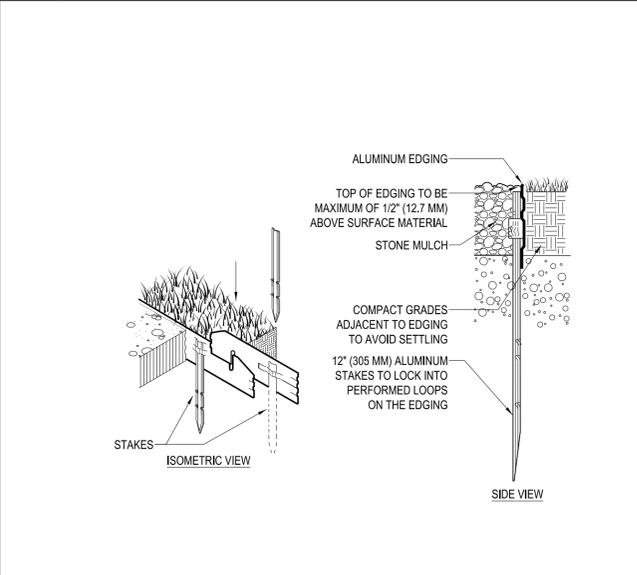
 - A. MAINTENANCE PERIOD FOR THIS CONTRACT SHALL BE 90 CALENDAR DAYS COMMENCING AFTER FINAL INSPECTION OF CONSTRUCTION. MAINTAIN TREES, SHRUBS AND OTHER PLANTS BY PRUNING, CULTIVATING AND WEEDING AS REQUIRED FOR HEALTHY GROWTH. RESTORE PLANTING SAUCERS, TIGHTEN AND REPAIR STAKE AND GUY SUPPORTS AND RESET TREES AND SHRUBS TO PROPER GRADES OR VERTICAL POSITION AS REQUIRED. SPRAY AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE. MAINTAIN LAWNS BY WATERING, FERTILIZING, WEEDING, MOVING, TRIMMING, AND OTHER OPERATIONS SUCH AS ROLLING, REGRADING, AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF ERODED OR BARE AREAS.

C2 NOT USED
SCALE: NTS

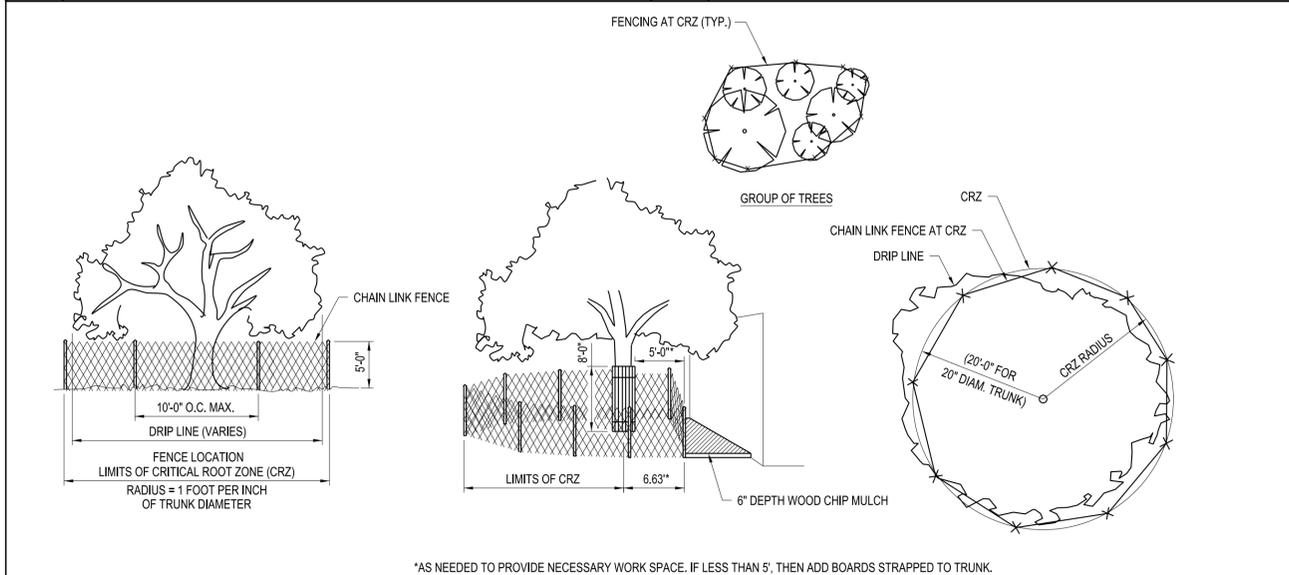


B2 SHRUB PLANTING DETAIL (LANDSCAPE STONE)
SCALE: NTS

C3 STONE MULCH DETAIL
SCALE: NTS



B3 LANDSCAPE EDGING DETAIL
SCALE: NTS

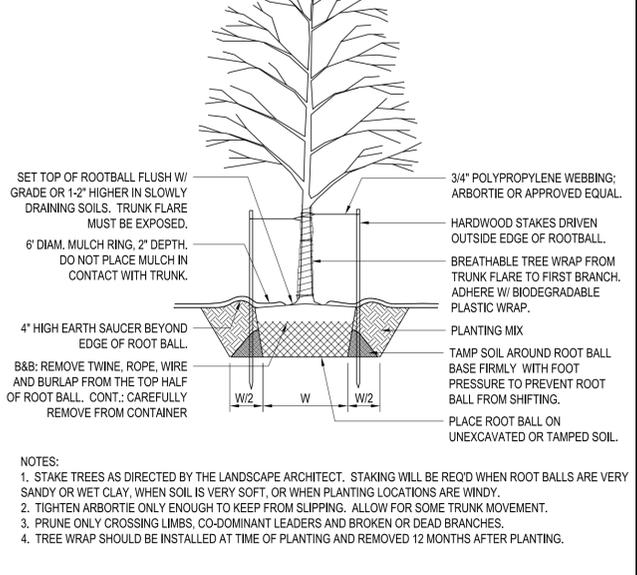


A2 TREE PROTECTION DETAIL
SCALE: NTS

C4 EVERGREEN TREE PLANTING DETAIL
SCALE: NTS



A4 DECIDUOUS TREE PLANTING DETAIL
SCALE: NTS



A4 DECIDUOUS TREE PLANTING DETAIL
SCALE: NTS

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PRELIMINARY
NO FOR CONSTRUCTION

Eric J. Daniel, P.E.
License No. PE-2023008829
Date: 08/28/2023

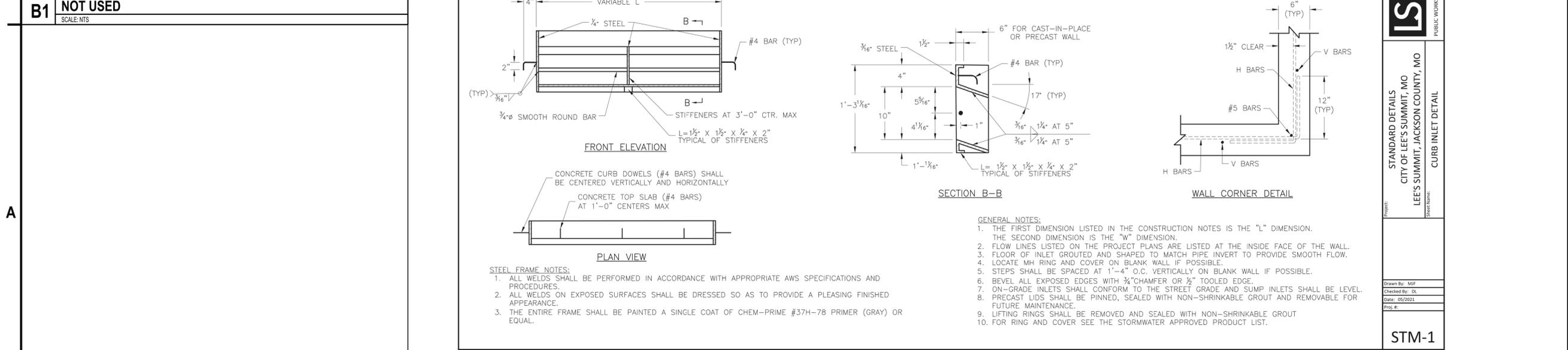
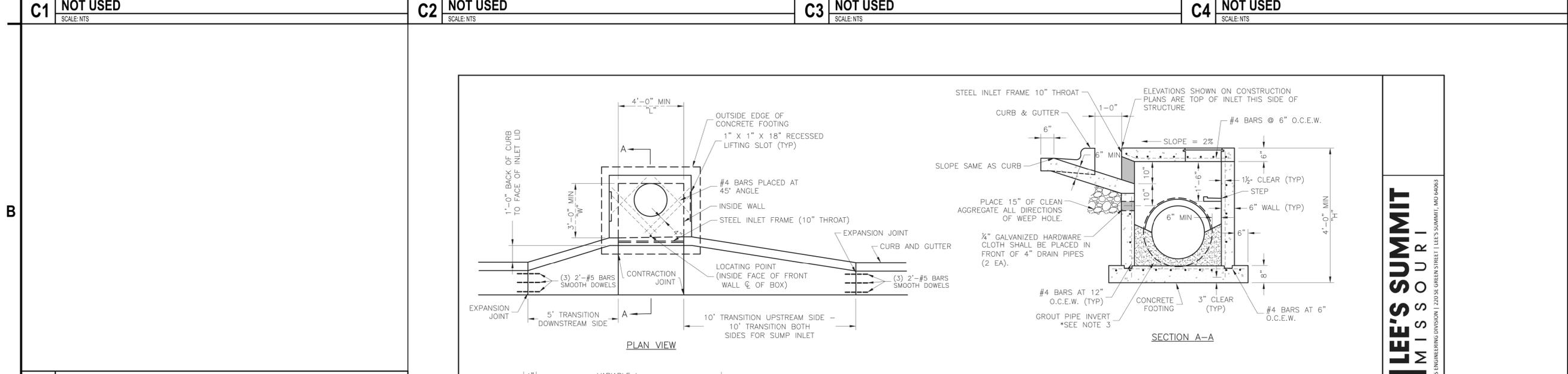
**LEE'S SUMMIT
SENIOR APARTMENTS
830-900 NE DOUGLAS STREET
LEE'S SUMMIT, MO**

MARK	DATE	DESCRIPTION
REVISIONS		
		PROJECT NO: F53.519.002
		DATE: AUGUST 28, 2023
		DRAWN BY: S. SCHIENER
		DESIGNED BY: E. DANIEL
		CHECKED BY: E. DANIEL

**SITE, LANDSCAPING
DETAILS AND NOTES**

C-503

C1 NOT USED SCALE: NTS	C2 NOT USED SCALE: NTS	C3 NOT USED SCALE: NTS	C4 NOT USED SCALE: NTS



- STEEL FRAME NOTES:**
- ALL WELDS SHALL BE PERFORMED IN ACCORDANCE WITH APPROPRIATE AWS SPECIFICATIONS AND PROCEDURES.
 - ALL WELDS ON EXPOSED SURFACES SHALL BE DRESSED SO AS TO PROVIDE A PLEASING FINISHED APPEARANCE.
 - THE ENTIRE FRAME SHALL BE PAINTED A SINGLE COAT OF CHEM-PRIME #37H-78 PRIMER (GRAY) OR EQUAL.
- GENERAL NOTES:**
- THE FIRST DIMENSION LISTED IN THE CONSTRUCTION NOTES IS THE "L" DIMENSION. THE SECOND DIMENSION IS THE "W" DIMENSION.
 - FLOW LINES LISTED ON THE PROJECT PLANS ARE LISTED AT THE INSIDE FACE OF THE WALL.
 - FLOOR OF INLET GROUDED AND SHAPED TO MATCH PIPE INVERT TO PROVIDE SMOOTH FLOW.
 - LOCATE MH RING AND COVER ON BLANK WALL IF POSSIBLE.
 - STEPS SHALL BE SPACED AT 1'-4" O.C. VERTICALLY ON BLANK WALL IF POSSIBLE.
 - BEVEL ALL EXPOSED EDGES WITH 3/4" CHAMFER OR 1/2" TOOLED EDGE.
 - ON-GRADE INLETS SHALL CONFORM TO THE STREET GRADE AND SUMP INLETS SHALL BE LEVEL.
 - PRECAST LIDS SHALL BE PINNED, SEALED WITH NON-SHRINKABLE GROUT AND REMOVABLE FOR FUTURE MAINTENANCE.
 - LIFTING RINGS SHALL BE REMOVED AND SEALED WITH NON-SHRINKABLE GROUT.
 - FOR RING AND COVER SEE THE STORMWATER APPROVED PRODUCT LIST.

A1 NOT USED SCALE: NTS	A2 CURB INLET DETAIL SCALE: NTS		



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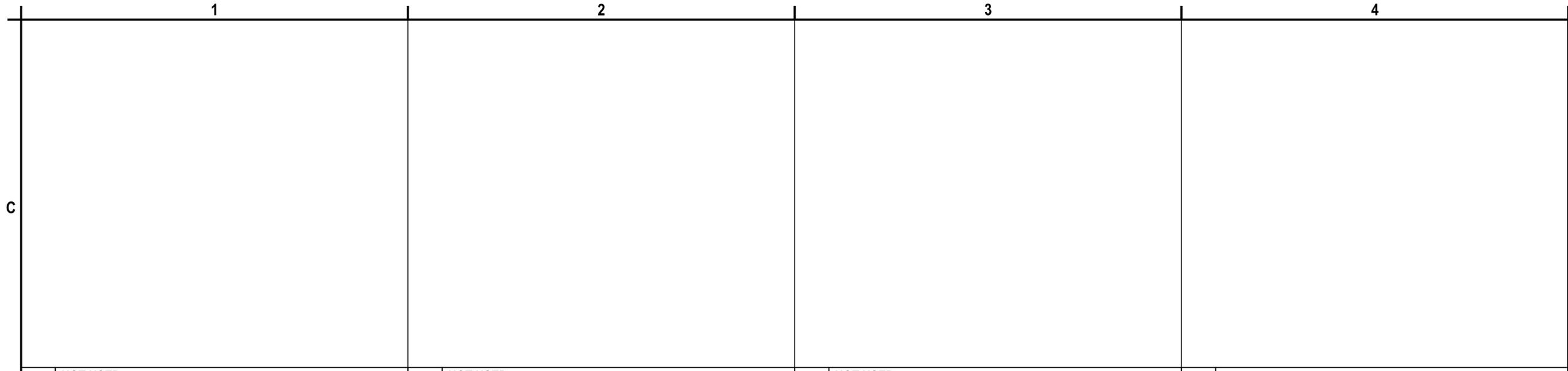
Eric J. Daniel, P.E.
 License No. PE-2023008829
 Date: 08/28/2023

LEE'S SUMMIT
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830-900 NE DOUGLAS STREET
LEE'S SUMMIT, MO

MARK	DATE	DESCRIPTION
REVISIONS		
PROJECT NO: F53.519.002		
DATE: AUGUST 28, 2023		
DRAWN BY: S. SCHIENER		
DESIGNED BY: E. DANIEL		
CHECKED BY: E. DANIEL		

**STORM
DETAILS**

C-504



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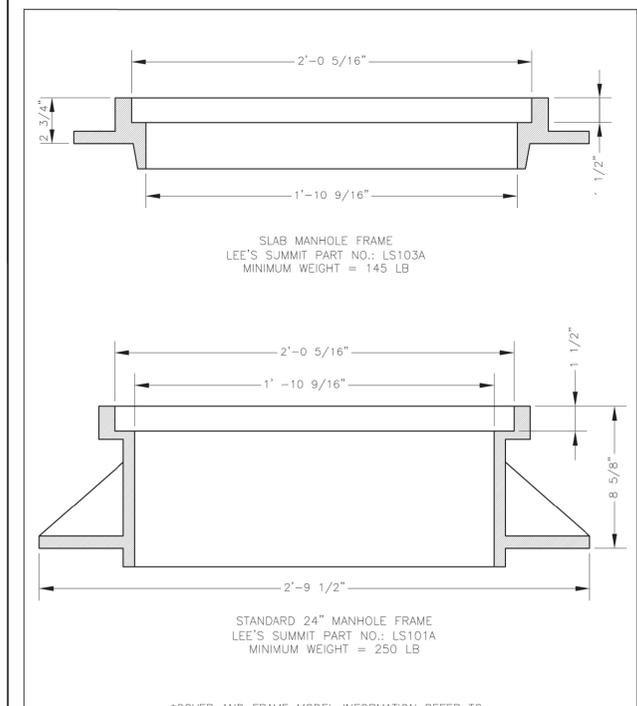
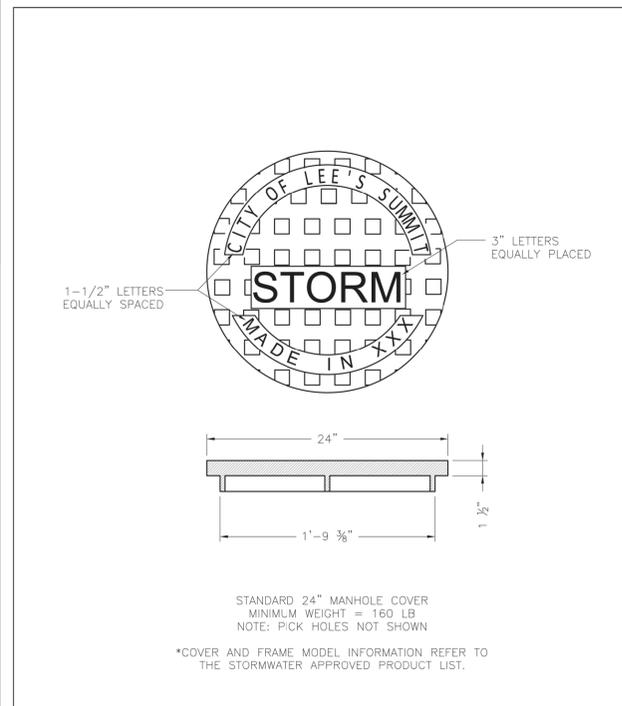
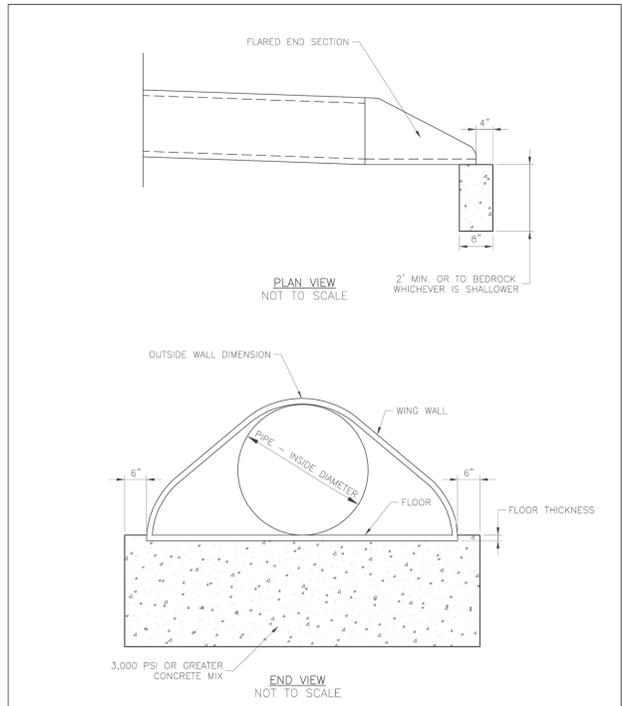
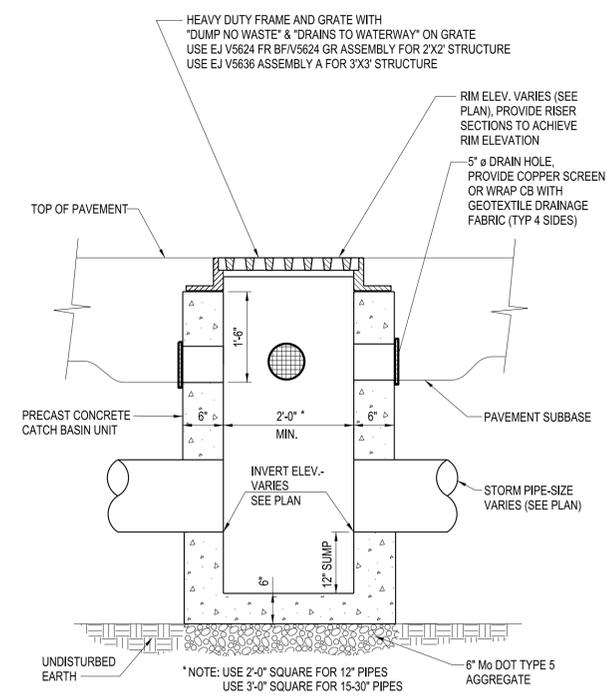
C1 NOT USED
SCALE: NTS

C2 NOT USED
SCALE: NTS

C3 NOT USED
SCALE: NTS

C4 SCALE: NTS

B



A1 PRECAST CATCH BASIN WITH RISER
SCALE: NTS

A2 FLARED END SECTION SUPPORT DETAIL
SCALE: NTS

A3 STORM MANHOLE COVER DETAIL
SCALE: NTS

A4 STORM MANHOLE FRAME DETAIL
SCALE: NTS

MARK	DATE	DESCRIPTION
REVISIONS		
PROJECT NO: F53.519.002		
DATE: AUGUST 28, 2023		
DRAWN BY: S. SCHIENER		
DESIGNED BY: E. DANIEL		
CHECKED BY: E. DANIEL		

STORM
DETAILS

C-505

1
C

2

3

4



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License No. PE-2023008829
Date: 08/28/2023

C1 NOT USED
SCALE: NTS

C2 NOT USED
SCALE: NTS

C3 NOT USED
SCALE: NTS

C4 NOT USED
SCALE: NTS

B

B

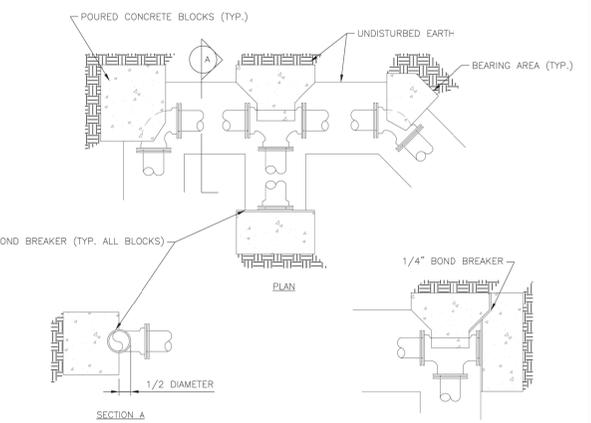
B

B

LEE'S SUMMIT
SENIOR APARTMENTS
830-900 NE DOUGLAS STREET
LEE'S SUMMIT, MO

REQUIRED CONCRETE BEARING AREA (SQUARE FEET - SF)

NOM. DIA. (INCHES)	180 TEE, PLUG	90 BEND	45 BEND	22.5 BEND	11.25 BEND
6	4.7	6.7	4.0	4.0	4.0
8	8.4	11.8	6.4	4.0	4.0
10	13.1	18.5	10.0	5.1	4.0
12	18.8	26.7	14.4	7.4	4.0
14	25.7	36.3	19.6	10.0	5.0
16	33.5	47.4	25.6	13.1	6.6
18	42.4	REST. JT.	32.5	16.5	8.3
20	REST. JT.	REST. JT.	40.1	20.4	10.3
24	REST. JT.	REST. JT.	REST. JT.	29.4	14.8



- NOTES:
1. ALL BENDS WITHOUT RESTRAINED JOINTS SHALL HAVE CONCRETE THRUST BLOCKS INSTALLED FOR RESTRAINT.
2. MEGA LUGS MAY BE USED ONLY IN CONJUNCTION WITH CONCRETE THRUST BLOCKING.
3. BEARING AREA MUST BE AGAINST UNDISTURBED SOIL.
4. DO NOT COVER JOINTS OR BOLTS (WHERE APPLICABLE) WITH CONCRETE.

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LS HORIZONTAL THRUST BLOCK

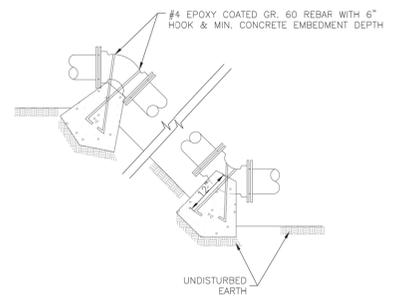
Date: 01/2016
Drawn By: JN
Checked By: DL

WAT-1

A1 HORIZONTAL THRUST BLOCK
SCALE: NTS

REQUIRED CONCRETE VOLUME (CUBIC FEET - CF)

NOM. DIA. (INCHES)	180 TEE, PLUG	90 BEND	45 BEND	22.5 BEND	11.25 BEND
6	50.5	71.4	38.6	19.7	9.9
8	89.8	126.9	68.7	35.0	17.6
10	140.2	198.3	107.3	54.7	27.5
12	202.0	REST. JT.	154.6	78.8	39.6
14	REST. JT.	REST. JT.	210.4	107.3	53.9
16	REST. JT.	REST. JT.	REST. JT.	140.1	70.4
18	REST. JT.	REST. JT.	REST. JT.	177.3	89.1
20	REST. JT.	REST. JT.	REST. JT.	REST. JT.	110.0
24	REST. JT.	REST. JT.	REST. JT.	REST. JT.	158.4



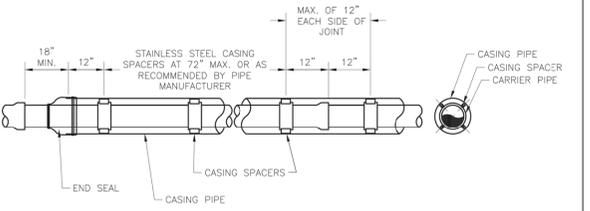
- NOTES:
1. ALL BENDS WITHOUT RESTRAINED JOINTS SHALL HAVE CONCRETE THRUST BLOCKS INSTALLED FOR RESTRAINT.
2. MEGA LUGS MAY BE USED ONLY IN CONJUNCTION WITH CONCRETE THRUST BLOCKING.
3. BEARING MUST BE AGAINST UNDISTURBED SOIL.
4. DO NOT COVER JOINTS OR BOLTS (WHERE APPLICABLE) WITH CONCRETE.

LEE'S SUMMIT MISSOURI
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

LS VERTICAL THRUST BLOCK

Date: WAT-2
Drawn By: JN
Checked By: DL

A2 VERTICAL THRUST BLOCK
SCALE: NTS



- NOTES:
1. REFER TO SPECIFICATION SECTION 3900 FOR ADDITIONAL INFORMATION.
2. LENGTH, DIAMETER, AND WALL THICKNESS TO BE SHOWN ON CONSTRUCTION PLANS.

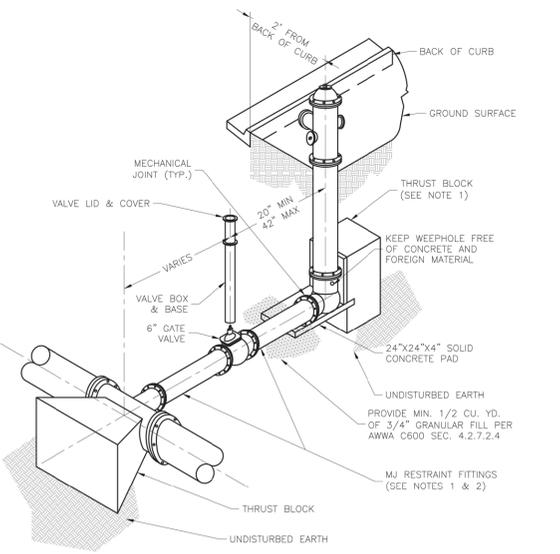
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PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

LS WATER CASING PIPE DETAIL

Date: 01/2016
Drawn By: JN
Checked By: DL

WAT-5

A3 WATER CASING PIPE DETAIL
SCALE: NTS



- NOTES:
1. WHEN RETAINER GLANDS ARE USED IN LIEU OF MECHANICAL JOINT (MJ) RESTRAINT FITTINGS, HORIZONTAL THRUST BLOCKS ARE REQUIRED.
2. GATE VALVE MAY BE BOLTED DIRECTLY TO MJ RESTRAINT TEE.
3. SEE APPROVED PRODUCTS LIST FOR WATER UTILITIES FOR FIRE HYDRANT, VALVES, VALVE BOX LID, AND COVER.
4. BOTTOM HYDRANT FLANGE SHALL BE 2" TO 6" ABOVE FINISHED GRADE.
5. FOR STREETS WITHOUT CURBS FIRE HYDRANTS SHALL BE PLACED WITHIN 1 FOOT OF THE R/W LINE, BUT NOT MORE THAN 10' FROM EDGE OF PAVEMENT. FIRE HYDRANT SHALL NOT BE PLACED IN BOTTOM OF DITCH.
6. HYDRANT SHALL BE ROTATED AS DIRECTED BY INSPECTOR.

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LS HYDRANT - STRAIGHT SET

Date: 01/2016
Drawn By: JN
Checked By: DL

WAT-7

A4 HYDRANT - STRAIGHT SET
SCALE: NTS

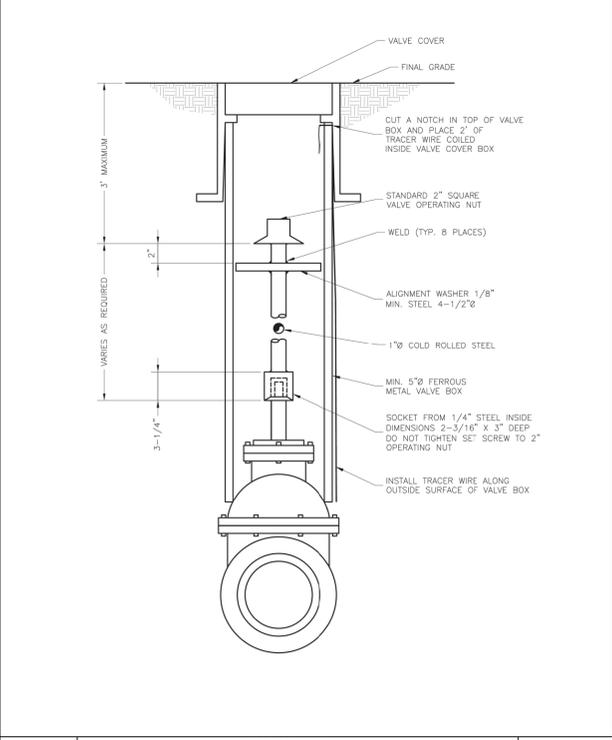
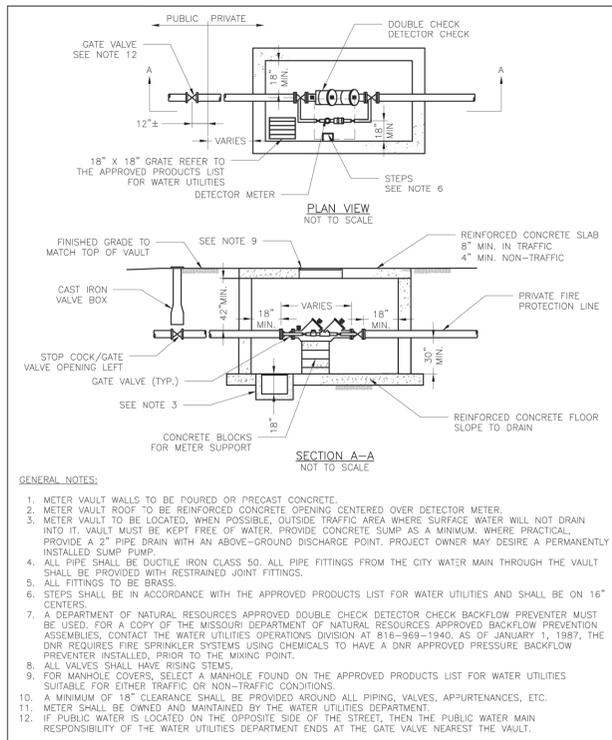
MARK	DATE	DESCRIPTION
REVISIONS		
PROJECT NO: F53.519.002		
DATE: AUGUST 28, 2023		
DRAWN BY: S. SCHIENER		
DESIGNED BY: E. DANIEL		
CHECKED BY: E. DANIEL		

WATER
DETAILS

C-506

	1	2	3	4	
C					
C1	NOT USED SCALE: NTS	C2	NOT USED SCALE: NTS	C3	NOT USED SCALE: NTS
C4	NOT USED SCALE: NTS				

B				

A	 <p>LEE'S SUMMIT MISSOURI PUBLIC WORKS ENGINEERING DIVISION 220 SE GREEN STREET LEE'S SUMMIT, MO 64063 VALVE STEM EXTENSION AND VALVE BOX</p> <p>WAT-9</p>	 <p>LEE'S SUMMIT MISSOURI PUBLIC WORKS ENGINEERING DIVISION 220 SE GREEN STREET LEE'S SUMMIT, MO 64063 VAULT FOR DOUBLE CHECK DETECTOR CHECK</p> <p>WAT-12</p>			
A1	VALVE STEM EXTENSION AND VALVE BOX SCALE: NTS	A2	VAULT FOR DOUBLE CHECK DETECTOR CHECK SCALE: NTS	A3	NOT USED SCALE: NTS
A4	NOT USED SCALE: NTS				

	1	2	3	4
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Date: 08/28/2023

**LEE'S SUMMIT
SENIOR APARTMENTS
830-900 NE DOUGLAS STREET
LEE'S SUMMIT, MO**

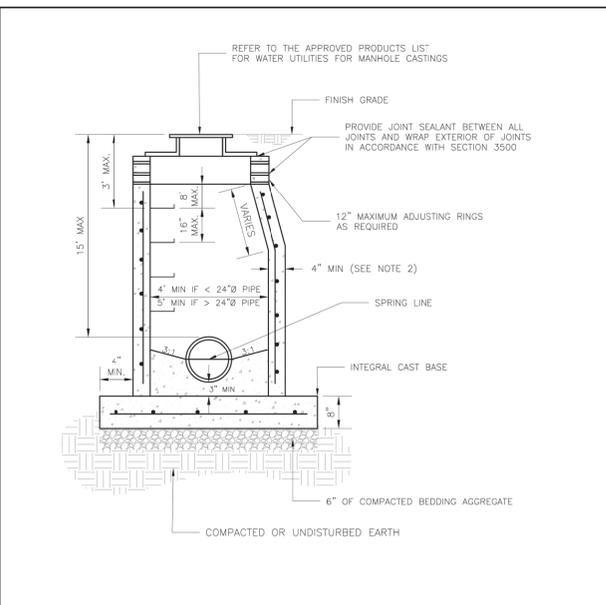
MARK	DATE	DESCRIPTION

REVISIONS	
PROJECT NO:	F53.519.002
DATE:	AUGUST 28, 2023
DRAWN BY:	S. SCHIENER
DESIGNED BY:	E. DANIEL
CHECKED BY:	E. DANIEL

**WATER
DETAILS**

C-507

	1	2	3	4
C				
	C1	C2	C3	C4
	NOT USED <small>SCALE: NTS</small>	NOT USED <small>SCALE: NTS</small>	NOT USED <small>SCALE: NTS</small>	NOT USED <small>SCALE: NTS</small>
B				
	B1	B2		
	NOT USED <small>SCALE: NTS</small>	NOT USED <small>SCALE: NTS</small>		
A				
	A1	A2	A3	A4
	NOT USED <small>SCALE: NTS</small>	NOT USED <small>SCALE: NTS</small>	STANDARD SANITARY PRECAST MANHOLE <small>SCALE: NTS</small>	MANHOLE WALL CONNECTION <small>SCALE: NTS</small>
	1	2	3	4

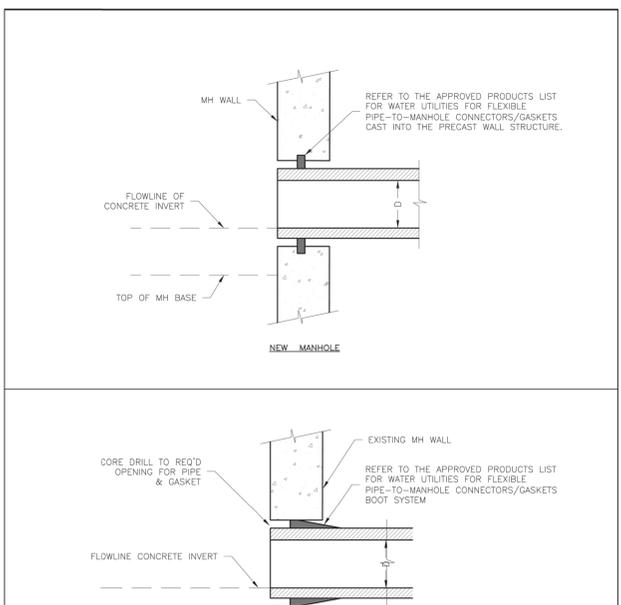


NOTES:

1. PRECAST CONCRETE MANHOLES SHALL CONFORM TO ASTM C478 EXCEPT AS MODIFIED BY THE SPECIFICATIONS.
2. A WALL THICKNESS NOT LESS THAN ONE-TWELFTH (1/12) OF THE INSIDE DIAMETER OR 4", WHICHEVER IS GREATER, SHALL BE USED WHEN THE MANHOLE DEPTH IS LESS THAN 15".
3. WATERPROOFING SHALL BE REQUIRED ON THE OUTSIDE OF MANHOLES. THE WATERPROOFING SHALL CONSIST OF A TOTAL DRY FILM THICKNESS OF NOT LESS THAN 14 MILS OF BITUMINOUS COATING.
4. ONLY ECCENTRIC MANHOLE CONES WILL BE ALLOWED UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.
5. THE FILL CONCRETE FLOW CHANNEL FOR SIDE BRANCHES SHALL BE PLACED TO PROVIDE A SMOOTH TRANSITION INTO THE FLOW LINE.
6. REFER TO THE APPROVED PRODUCTS LIST FOR WATER UTILITIES FOR APPROVED MANHOLE GASKET MODELS.
7. REFER TO THE APPROVED PRODUCTS LIST FOR APPROVED STEPS.

LS **LEE'S SUMMIT MISSOURI**
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STANDARD SANITARY PRECAST MANHOLE SAN-2

Date: 12/2015
Drawn By: JF
Checked By: DL



LS **LEE'S SUMMIT MISSOURI**
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063
MANHOLE WALL CONNECTION SAN-5

Date: 02/2013
Drawn By: MM
Checked By: DL



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**LEE'S SUMMIT
SENIOR APARTMENTS
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LEE'S SUMMIT, MO**

MARK	DATE	DESCRIPTION

REVISIONS	
PROJECT NO:	F53.519.002
DATE:	AUGUST 28, 2023
DRAWN BY:	S. SCHIENER
DESIGNED BY:	E. DANIEL
CHECKED BY:	E. DANIEL

**SANITARY SEWER
DETAILS**

C-508