

# NEIGHBORHOOD MEETING INVITATION

July 27<sup>th</sup>, 2023

RE: NEIGHBORHOOD MEETING

Special Use Permit

60 SE Thompson Dr

Lee's Summit, MO 64081

NW 1/4, SECTION S17, TOWNSHIP 47N, RANGE 31W

Dear Property Owner:

Capital Builders has submitted a Special Use Permit with the City of Lee's Summit in an effort to seek approval to operate our business at the aforementioned property. This is for 2 new 12,000 SF office/warehouse buildings located on the site in the attached drawing.

Capital Builders would like to invite you to a neighborhood meeting at which time we can answer any questions you may have about our business and proposed site. A proposed site plan has been attached for your reference in advance of this meeting.

Neighborhood Meeting Information:

- Date: Monday, August 7<sup>th</sup> 2023
- Time: 6:00PM-7:00PM
- Location: 60 SE Thompson Dr, Lee's Summit, MO 64081

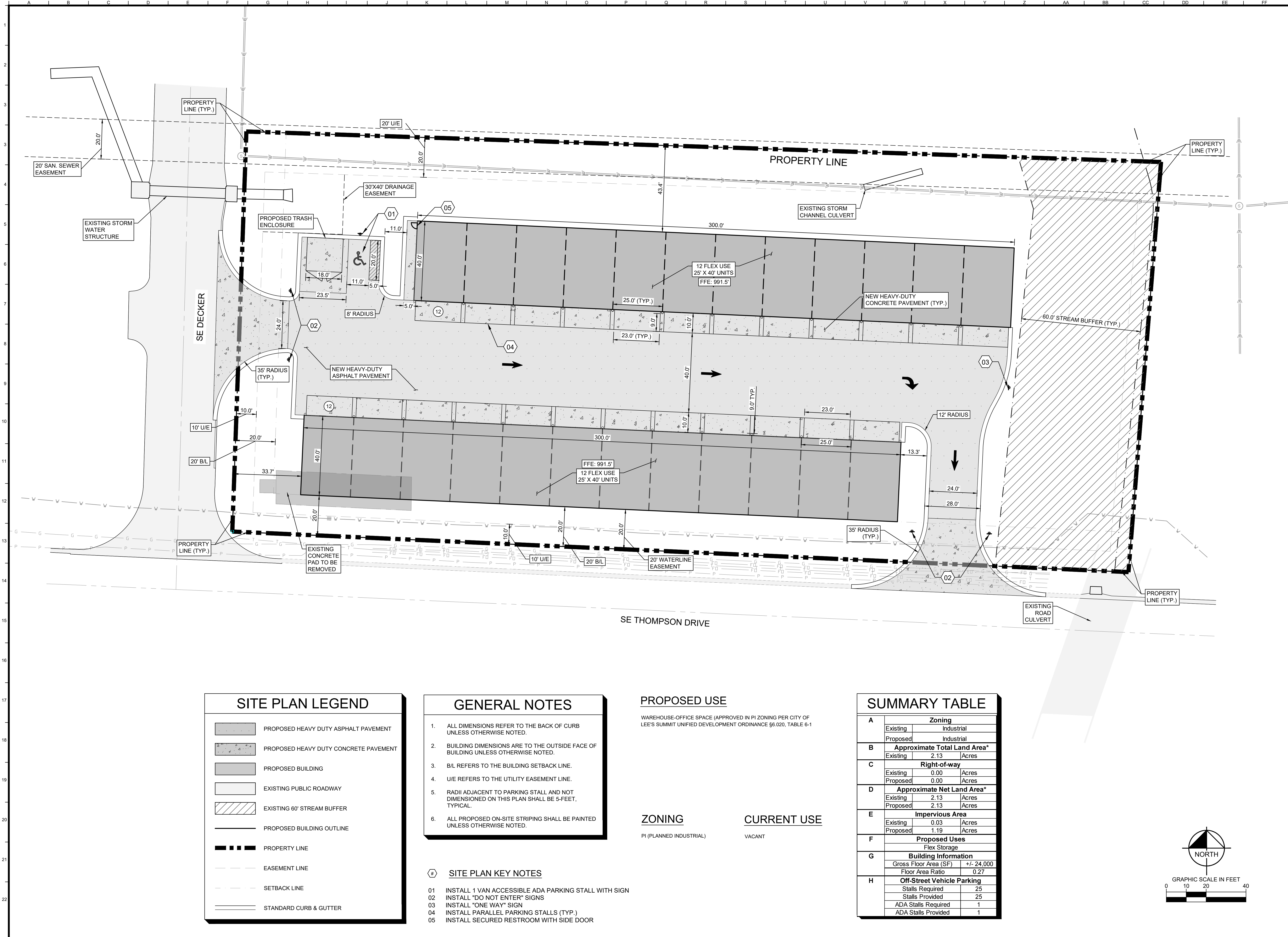
Sincerely,

Patrick J. Joyce, P.E.

Sr. Project Manager, Kimley-Horn & Associates

**Kimley»Horn**

Drawing name: K:\KAC\_LIE\208442000\_Capital Builders Lee's Summit\2023\_Lee's Summit Flex Space\2 Design\CAD\Plan\Sheet\003 - SITE PLAN.dwg    layout1    Jul 13, 2023, 3:11pm    by: logan.green  
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SITE PLAN LEGEND

PROPOSED HEAVY DUTY ASPHALT PAVEMENT

PROPOSED HEAVY DUTY CONCRETE PAVEMENT

PROPOSED BUILDING

EXISTING PUBLIC ROADWAY

EXISTING 60' STREAM BUFFER

PROPOSED BUILDING OUTLINE

PROPERTY LINE

EASEMENT LINE

SETBACK LINE

STANDARD CURB & GUTTER

GENERAL NOTES

1.

ALL DIMENSIONS REFER TO THE BACK OF CURB UNLESS OTHERWISE NOTED.

2.

BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.

3.

B/L REFERS TO THE BUILDING SETBACK LINE.

4.

U/E REFERS TO THE UTILITY EASEMENT LINE.

5.

RADII ADJACENT TO PARKING STALL AND NOT DIMENSIONED ON THIS PLAN SHALL BE 5-FEET, TYPICAL.

6.

ALL PROPOSED ON-SITE STRIPING SHALL BE PAINTED UNLESS OTHERWISE NOTED.

SITE PLAN KEY NOTES

01

INSTALL 1 VAN ACCESSIBLE ADA PARKING STALL WITH SIGN

02

INSTALL "DO NOT ENTER" SIGNS

03

INSTALL "ONE WAY" SIGN

04

INSTALL PARALLEL PARKING STALLS (TYP.)

05

INSTALL SECURED RESTROOM WITH SIDE DOOR

PROPOSED USE

WAREHOUSE-OFFICE SPACE (APPROVED IN P1 ZONING PER CITY OF LEE'S SUMMIT UNIFIED DEVELOPMENT ORDINANCE §6.020, TABLE 6-1)

ZONING

P1 (PLANNED INDUSTRIAL)

CURRENT USE

VACANT

SUMMARY TABLE			
A	Zoning		
	Existing	Industrial	
	Proposed	Industrial	
B	Approximate Total Land Area*		
	Existing	2.13	Acres
C	Right-of-way		
	Existing	0.00	Acres
	Proposed	0.00	Acres
D	Approximate Net Land Area*		
	Existing	2.13	Acres
	Proposed	2.13	Acres
E	Impervious Area		
	Existing	0.03	Acres
	Proposed	1.19	Acres
F	Proposed Uses		
	Flex Storage		
G	Building Information		
	Gross Floor Area (SF)		+/- 24,000
	Floor Area Ratio		0.27
H	Off-Street Vehicle Parking		
	Stalls Required		25
	Stalls Provided		25
	ADA Stalls Required		1
	ADA Stalls Provided		1

Kimley»Horn

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SCALE:

AS NOTED

DESIGNED BY: LLG

DRAWN BY: LLG

CHECKED BY: PUJ

SITE PLAN

LEE'S SUMMIT FLEX SPACE  
60 SE THOMPSON DR  
LEE'S SUMMIT, MISSOURI 64081

ORIGINAL ISSUE:

XXXX/2023

KHA PROJECT NO.

268442000

SHEET NUMBER

C003

REVISIONS

DATE

BY