

G:\Shared drives\Hg Projects (Yr 2010-2018)\2018\18.007.01 Douglas Corners (Thompson Properties)\Civil\DWG\23-033-FDP.dwg, 8/22/2023 10:56:32 AM, _AutoCAD PDF (General Documente

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CIVIL SUBMITTAL

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DOUGLAS CORNER - LOT 1C
LEE’S SUMMIT, JACKSON COUNTY, MISSOURI
RETAIL BUILDING



Know what's below.
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UTILITIES

City of Lee’s Summit
Department of Public Works
220 SE Green
Lee’s Summit, Mo.
816-969-1800

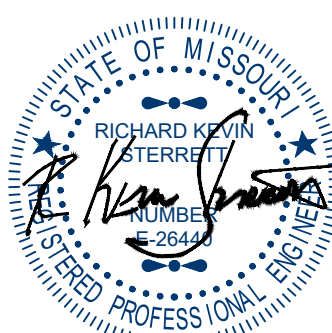
EVERGY
130 SE Hamblen Road
Lee’s Summit, Mo.
816-347-4320

Spire
(Administrative Offices)
3025 SE Clover Road
Lee’s Summit, MO
816-537-4681

AT&T
Craig Perkins
500 E. 8th Street
Kansas City, MO 64106
816-275-2721

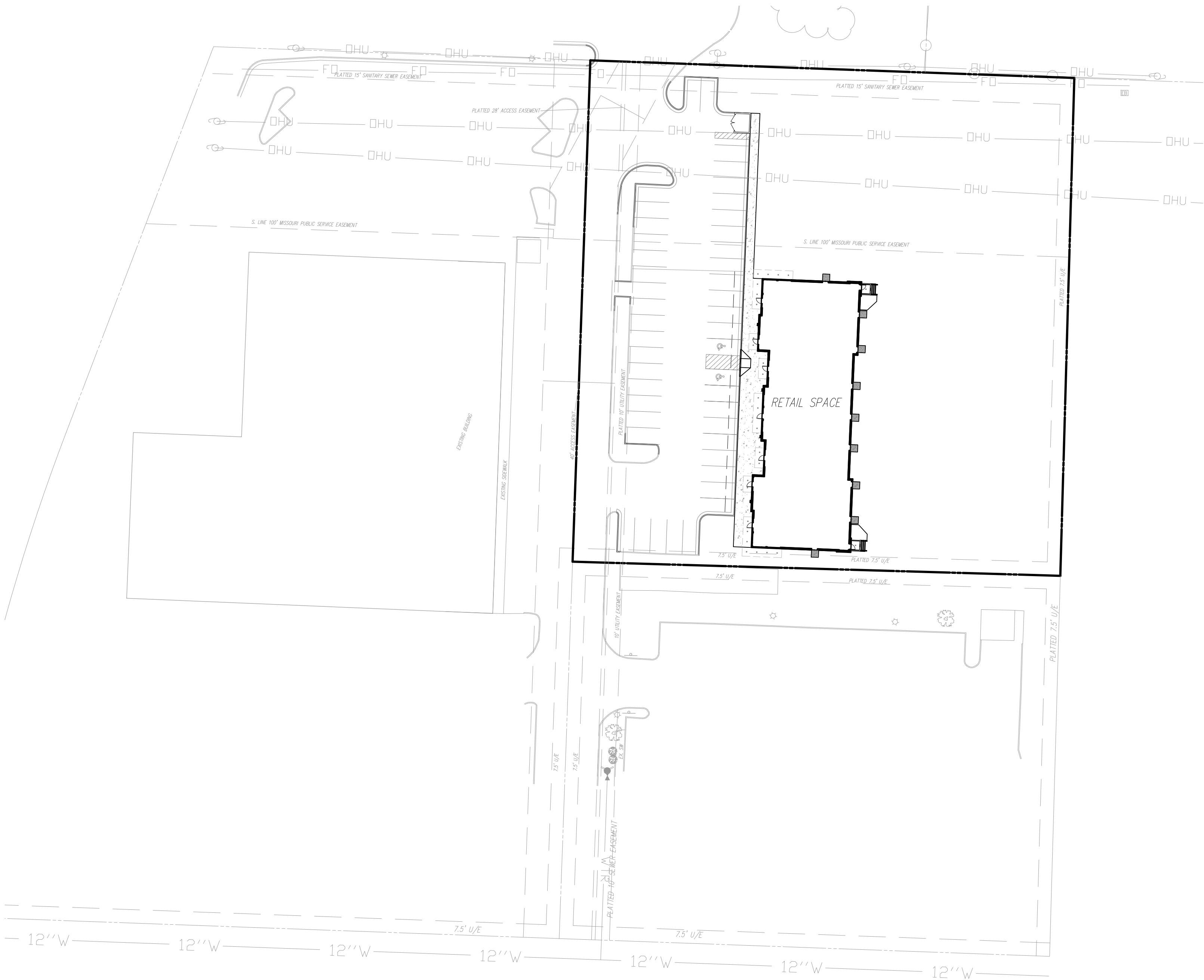
Comcast
New Construction Hotline
866-771-2281

Missouri One Call
1-800-344-7483

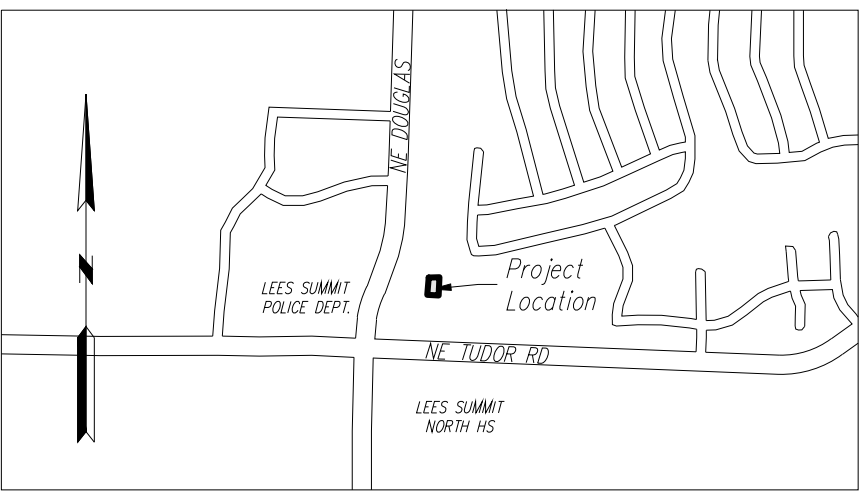


August 15, 2023

Consult Inc
engineers planners
1533 Locust Street, Kansas City, Missouri 64108
CORPORATE LICENSE No. E201000573 (MO.) / E-1736 (KS.) / LS 2019005467



VICINITY MAP



Contractor to verify all invert elevations for existing sewer connections. Contact civil engineer if conflict arises.

PROJECT BENCHMARK:

- #1 Iron bar at north west corner of property.
N 1006947.3760
E 2823375.6230
TOP ELEV. 1021.42
- #2 Top of curb at corner of parking lot in Schlotsky's parking.
N: 1006628.2690
E: 2823585.0320
TOP ELEV. 1019.80

GENERAL NOTES:

- 1. The underground utilities shown herein have been plotted from available information and do not necessarily reflect the actual existence, or nonexistence, size, type, number, or locations of these or other utilities. The contractor shall be responsible for verifying the actual locations of all underground utilities, shown or not shown, and said utilities shall be located in the field prior to any grading, excavation, or construction of improvements. These provisions shall in now way absolve any party from complying with the "UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT", Chapter 319, RSMO.
- 2. Gas, Water, and other Utilities shall not conflict with the depth or horizontal location of existing and proposed sanitary and storm sewers, including building laterals.
- 3. Prior to submittal of construction bids, the Contractor shall be required to visit the site to verify existing conditions and proposed improvements.
- 4. The Contractor shall be responsible for notification and coordination with all Utility Companies.
- 5. The Contractor shall notify the Engineer immediately of any discrepancies in the plans.
- 6. All sidewalk shall be ADA compliant.
- 7. There are no oil or gas wells located on the subject property as of May 9, 2023 as shown by the Missouri Geological Survey GEOSTRAT (Geosciences Technical Resource Assessment Tool).

ENGINEER
Hg CONSULT, INC.
15 Locust St.
Kansas City, MO 64108
(816) 703-7098
Contact - Kevin Sterrett

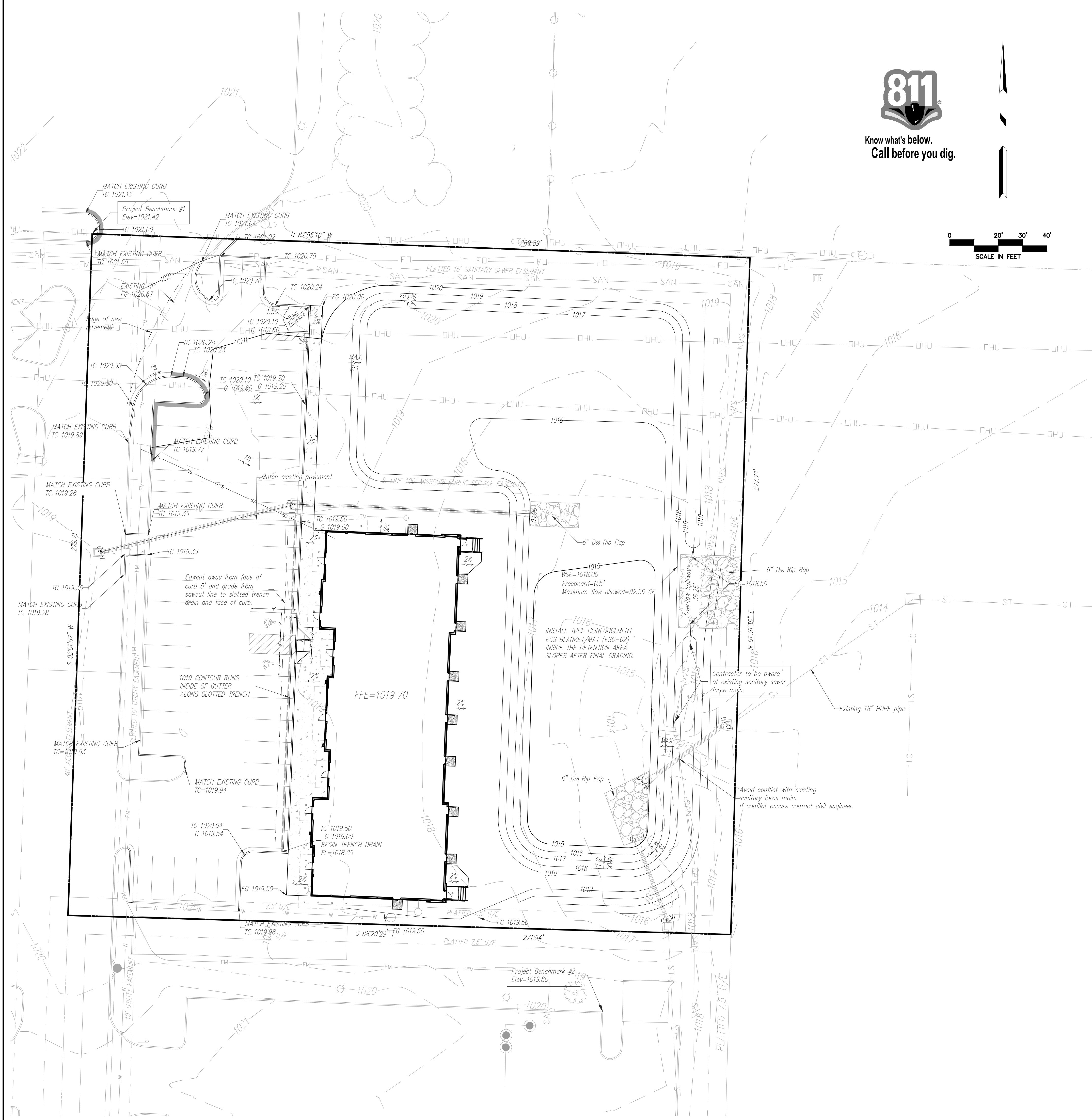
PLANS PREPARED FOR:
Capital Builders, LLC
1507 NE Wall St.
Lee's Summit, MO 64086
(816) 609-8633
Contact - Matt Hendrickson

COVER SHEET

DOUGLAS CORNER BUILDING
LEE'S SUMMIT - JACKSON COUNTY - MISSOURI

X-REF NO. 18109B
DRAWING NO. 23-033FDP
DATE MAY 10, 2023
JOB NO. 23-033
SHEET OF

[illegible]



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GRADING AND DRAINAGE NOTES:

Information pertaining to under ground utilities was obtained from available records and field locations when possible, but the contractor must determine the exact location and elevation of all existing utilities by digging test pits by hand at all utility crossings in advance of machine trenching. If clearances are less than specified on these plans or 24", which ever is less, contact the Engineer and the Owner/ Developer prior to proceeding with construction. All structures located within Right of Way or otherwise noted on these plans shall be constructed per City standards. If structure(s) are not prototypical or construction cannot be achieved contractor shall submit shop drawing to HG Consult, for review and approval. Contractor shall be responsible for relocation or removal of existing underground utilities shown or not shown at no additional cost to the owner. Contractor shall coordinate with utility companies on adjusting existing utility line as required by cut and fill at no additional cost to the owner. Contractor shall be held responsible for the design and implementation of sheeting, shoring, bracing and special excavation measures required to meet OSHA, Federal, State and Local regulations pursuant to the installation of the work indicated on these drawings. All disturbed areas and slopes shall be graded smooth and (4") of top soil applied. The area shall be seeded and watered until hardy grass growth has been established. Storm drain pipe bedding shall be installed per APWA, section 2100. See Erosion Control Plan for rip rap pad sizes. Elevations are called out to top of curb, top of pavement, or top of structure, unless otherwise noted. Parking lot grading shall be performed to route storm water as directed to the storm collection system. All curb shall be CG-1. Clear and grub areas to be filled, remove trees, vegetation, roots, or other debris, and other materials that would affect the stability of the fill. Ensure that fill material is free of brush, rubbish, rocks, logs, stumps, building debris, and other materials inappropriate for constructing stable fill. Do not incorporate frozen material or soft, muck, or highly compressible materials into fill slopes. Permanently stabilize all graded areas after final grading is completed on each area of the grading plan, apply temporary stabilization measures on all graded areas when work is to be interrupted or delayed (see Erosion Control Plan(s)). Contractor shall match top of proposed drainage structures with proposed grades. If a discrepancy occurs between proposed grades and proposed structure tops, the grading shall govern. If the discrepancy is more than 4 inches the contractor shall contact the Engineer of Record. All utilities, including storm sewer, shown within public easements or right of way shall be constructed to the governing agency's specifications. All other utilities shall be constructed to the client's or the governing agency's specifications, whichever is more stringent, if there is a question as to which specifications should apply the contractor shall contact the Engineer of Record. All existing structures, unless otherwise noted to remain, all fencing, trees, & etc., within construction area shall be removed & disposed of off site, unless otherwise noted. any burning on site shall be subject to local ordinances and/or the owner/developers standards and specifications. All drainage structures shall be pre-cast. All drainage structures and storm sewer pipes shall meet heavy duty traffic (H20) loading and be installed accordingly. Contractor shall notify all utility companies having underground utilities on site or in right-of-way prior to excavation. Contractor shall contact utility locating company (STATE ONE CALL system) and locate all utilities prior to grading start. Site grading shall not proceed until Erosion Control measures have been installed. After permits have been obtained and Erosion Control measures installed, the contractor shall grade building pad & aprons to 0" to - 1/2" of subgrade.

TC Top of Curb
FG Finish Grade
G Gutter Elevation
HP High Point
LP Low Point
FFE Finish Floor Elevation

KEY

PROPOSED

- Tip out curb and gutter
- 1' Finish Grade Contours
- 5' Finish Grade Contours
- Finish Grade slope

EXISTING

Contractor to verify all invert elevations for existing sewer connections. Contact civil engineer if conflict arises.

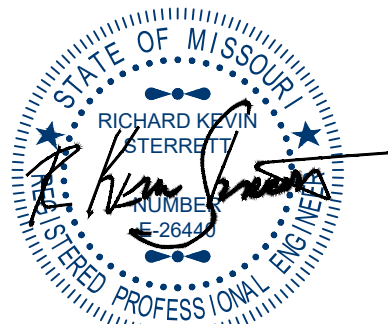
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E 2823375.6230
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GRADING PLAN

DOUGLAS CORNER BUILDING
LEE'S SUMMIT - JACKSON COUNTY - MISSOURI

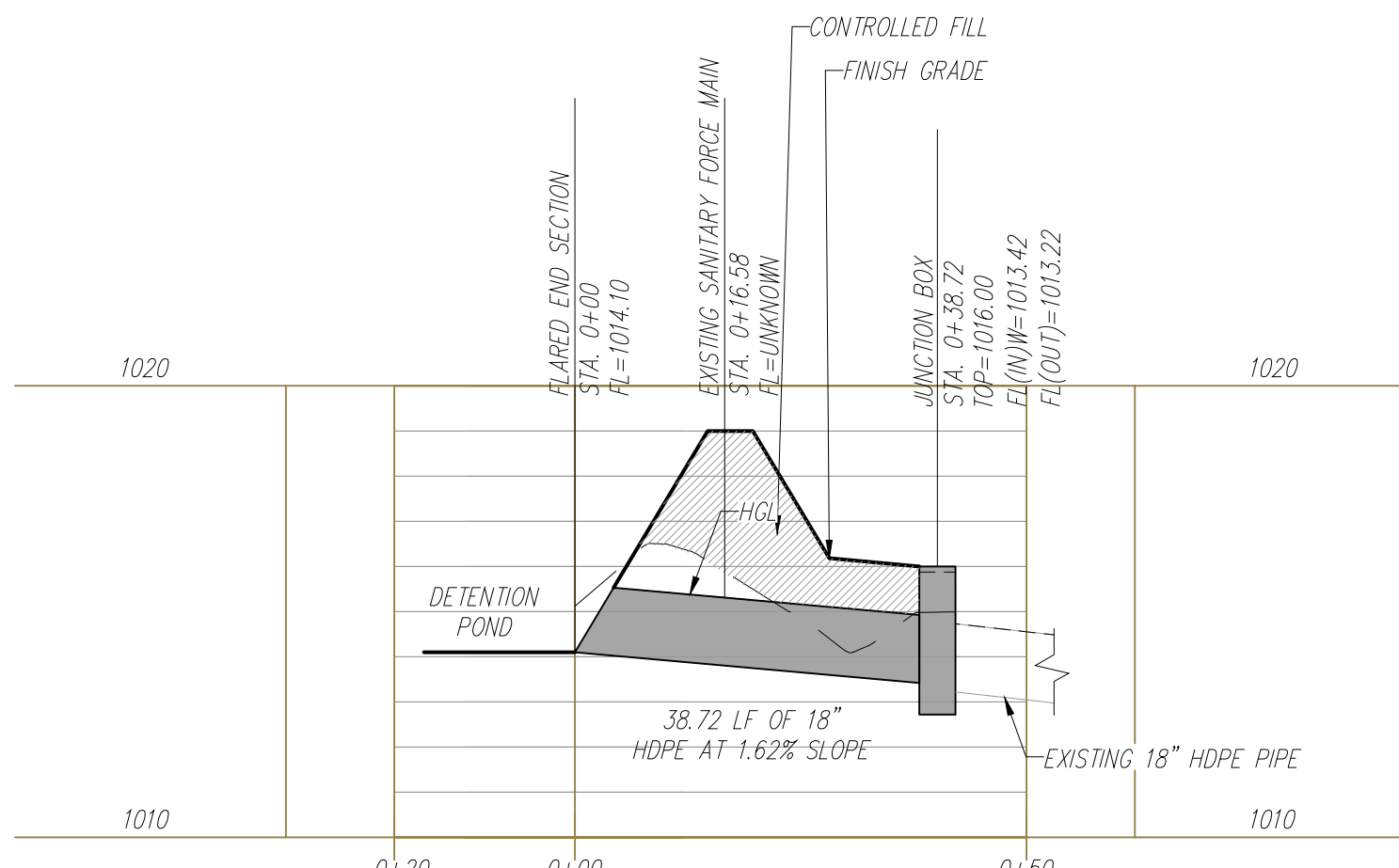
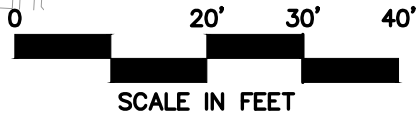
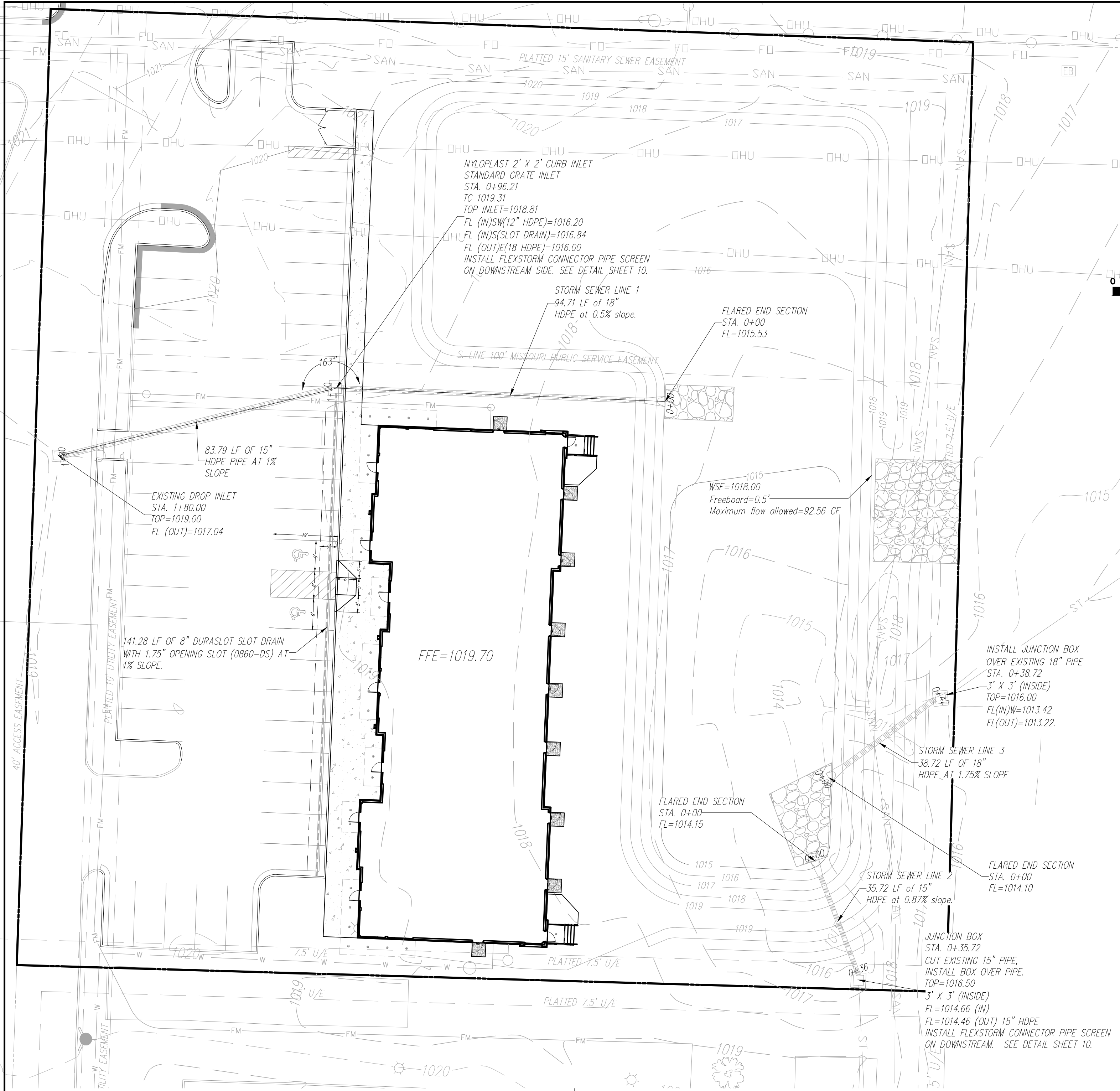


August 15, 2023

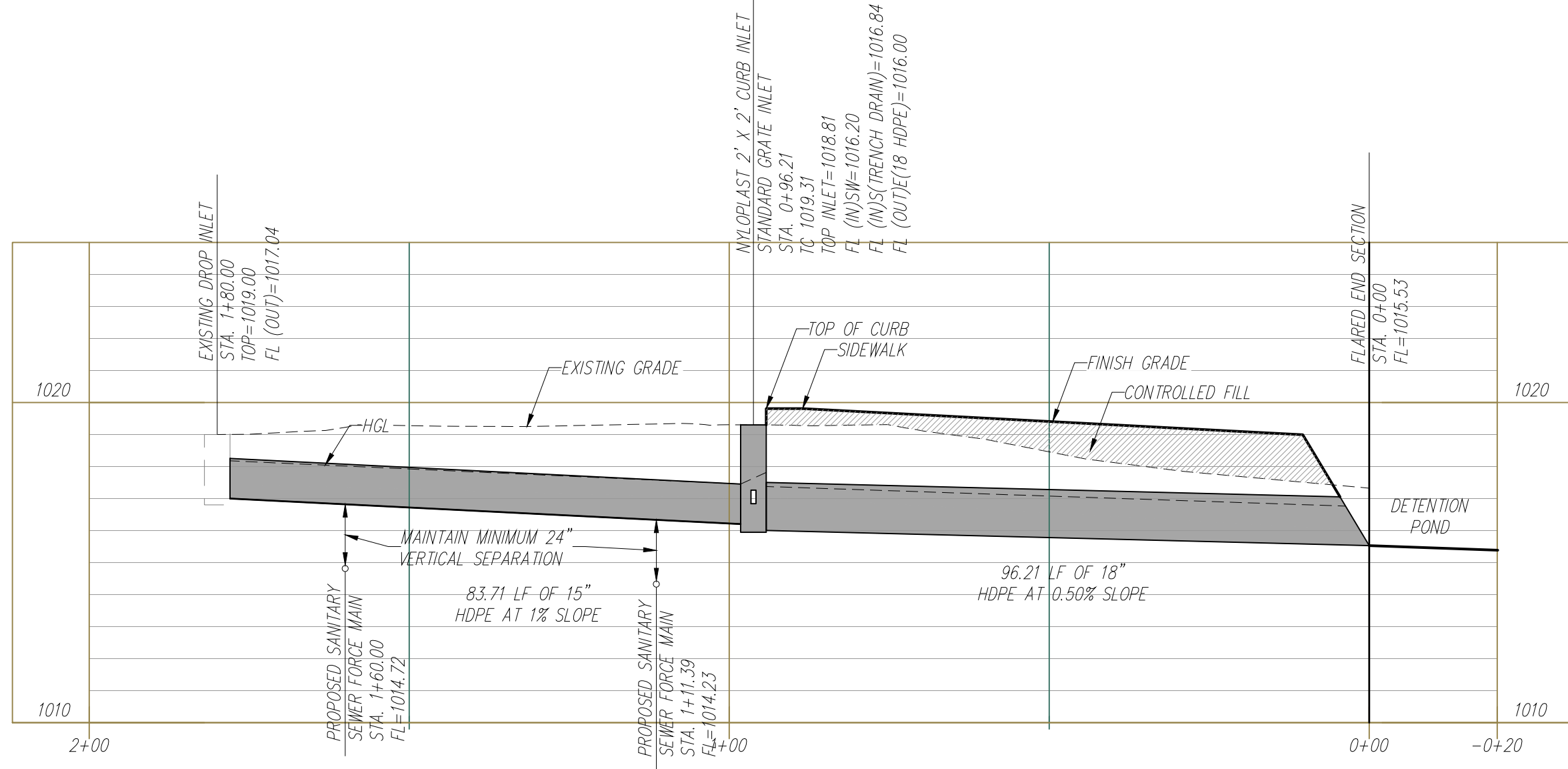
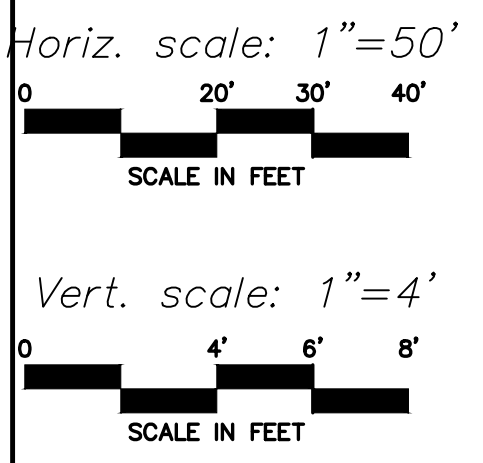
hg consult
Inc
engineers
planners
1533 Locust Street, Kansas City, Missouri 64108
CORPORATE LICENSE NO. E201000572 (NO.) / E-1736 (KS.) / LS 2019005467

X-REF NO.
181098
DRAWING NO.
23-033PDP
DATE
MAY 10, 2023
JOB NO.
23-033

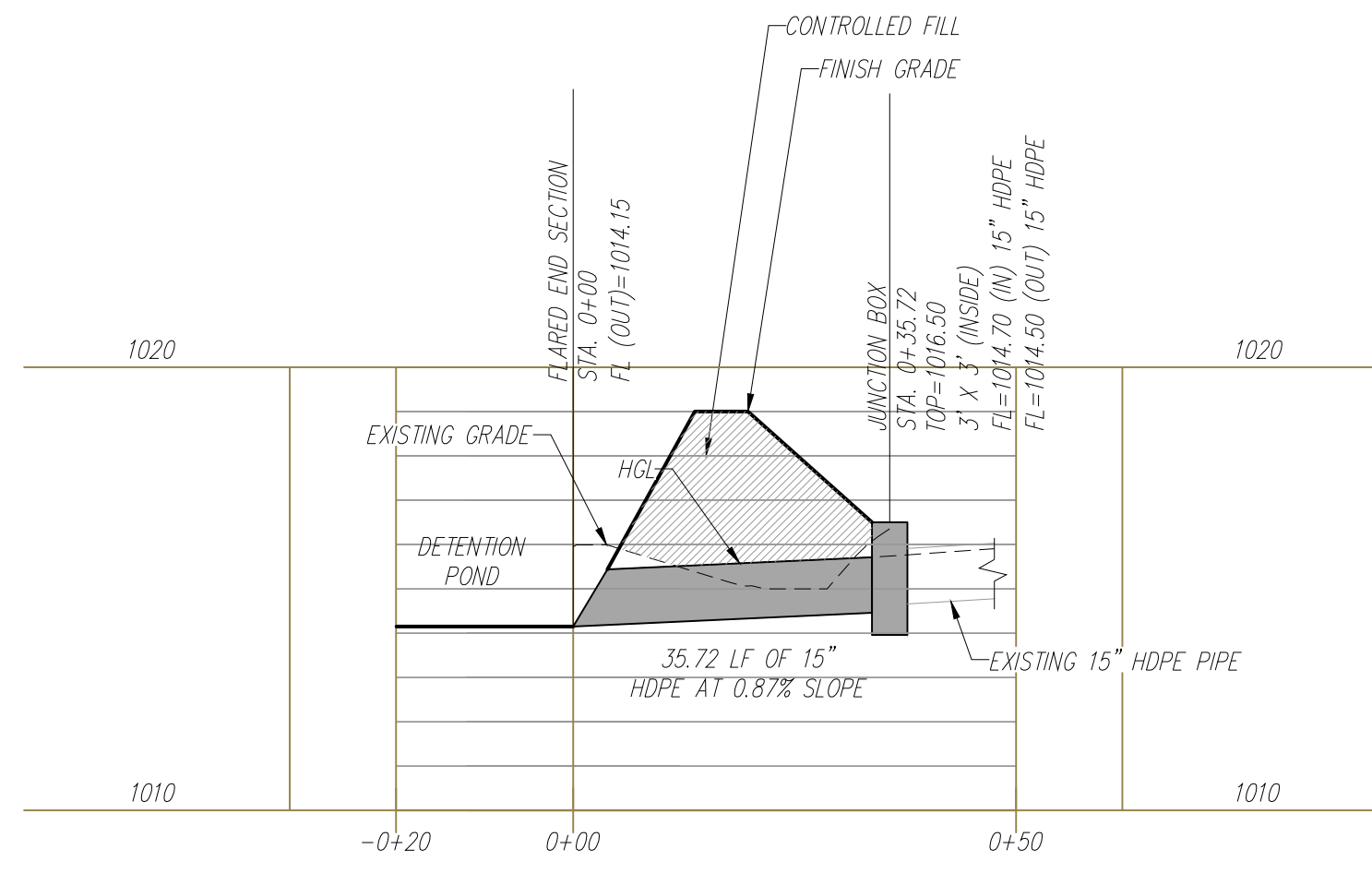
4A SHEET OF 13



STORM SEWER LINE 3



STORM SEWER LINE 1



STORM SEWER LINE 2

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NO.

BY

IC/APP

DATE

REVISION

August 15, 2023

consult
Inc
engineers
planners

1533 Locust Street, Kansas City, Missouri 64108

CORPORATE LICENSE NO. E201000572 (NO.) / E-1736 (KS.) / LS 2019005467

R. KEVIN STERRETT, MO E-26440

STORM SEWER LINE 1, 2 AND 3
PLAN AND PROFILE

DOUGLAS CORNER BUILDING
LEE'S SUMMIT - JACKSON COUNTY - MISSOURI

X-REF NO.
18109B

DRAWING NO.
23-033PDP

DATE
MAY 10, 2023

JOB NO.
23-033

4B

13

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The contractor shall inspect, report and add stone to the stone construction entrance when it becomes saturated with mud to insure it functions as it was intended.

Temporary sediment control measures shall be installed at all construction entrances.

All erosion and sediment control devices shall be inspected, cleaned regularly in accordance with the Storm Water Pollution Prevention Plan.

Temporary sediment control measures (all fence, construction entrance, etc.) shall be maintained at all construction entrances and stormwater exits.

Dust control on site shall be minimized by spraying water on dry areas of the site, the use of all tires and other petroleum based or toxic liquids for dust suppression is strictly prohibited.

When the project construction is completed, the contractor shall install established vehicle wash areas at construction traffic exit points and vehicle operation shall be interrupted and immediately before wash water is allowed to be discharged off-site. Rise-off mud traps shall be installed to prevent the project construction from tracking mud and debris off-site.

Riprap eroded areas immediately, regardless as necessary to maintain good vegetative cover, more vegetative cover to maintain a maximum height of six inches, and remove trash as necessary.

Inspect and repair the collection system (i.e. catch basins, pipes, swales, rip rap, etc.) after significant rainfall to maintain proper functioning.

All existing structures, fences, trees, etc. within the construction area shall be removed and replaced with the same or better site and local resources, any burning of site shall be subject to local ordinances.

All wash water (concrete truck, vehicle cleaning, equipment cleaning, etc.) shall be removed off-site to a nearby area's collection system between those materials and storm water that is discharged from the site.

All materials spilled, dropped, washed, or tracked from vehicles onto roadways or into storm water shall be removed off-site to a nearby area's collection system.

Contractor shall remove all temporary erosion control devices/ditches and dispose of par load codes once the site has been stabilized. Contractor shall refer to the grading plan for final grades.

Construction activities shall not commence until approval to do so has been received by governing authorities.

No land clearing or grading shall begin until all erosion control measures have been installed.

All exposed areas shall be seeded as specified within 14 days of final grading.

Should construction stop for longer than 14 days, the site shall be seeded as specified. After every significant runoff producing rainfall event of 1/2" or greater and at least once

DOUGLAS CORNER BUILDING
LEE'S SUMMIT - JACKSON COUNTY - MISSOURI

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CORPORATE LICENSE No. E201000573 (MO.) / E-1736 (KS.) / LS 2019005467

August 15, 2023

R. KEVIN STERRETT, MO E-26440

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MAJOR CONSTRUCTION ACTIVITIES:

1. Pull all necessary city permits.
2. Construct temporary construction entrance at location shown on this sheet.
3. Install perimeter silt fences in the locations shown on this sheet.
4. Locate and disconnect all existing utilities
5. Begin clearing and grubbing. Clearing and grubbing shall be done only in areas where earthwork will be performed and only in areas where building is planned to commence within 14 days after clearing and grubbing.
6. Commence site grading.
7. Disturbed areas of the site where construction activity has ceased for more than 14 days shall be temporarily seeded and watered.
8. Relocate existing utilities.
9. Install remaining erosion control measures and structures.
10. Prepare temporary parking and storage area.
11. Grade remainder of site.
12. Start construction of building pad and structures.
13. Install utilities, storm sewers, curbs and gutters.
14. Finalize pavement sub grade preparation.
15. Install base material as required for pavement.
16. Pave site.
17. Remove inlet protection around inlets and manholes no more than 48 hours prior to placing stabilized base course.
18. Remove temporary construction exits only prior to pavement construction in these areas (these areas are to be paved last).
19. Disturbed areas of the site where construction activity has ceased for more than 14 days shall be temporarily seeded and watered.
20. Complete final grading and final seeding and planting. The grade and install permanent seeding and plantings.
21. Submit notice of termination for permit termination.
22. Remove all temporary erosion and sediment control devices (only if site is stabilized and notice of termination has been filed).

PROJECT BENCHMARK:

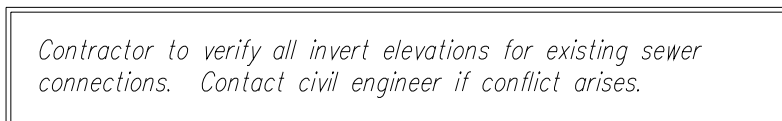
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TOP ELEV. 1019.80



<i>X-REF NO.</i> 18109B
<i>DRAWING NO.</i> 23-033PDP
<i>DATE</i> MAY 10, 2023
<i>JOB NO.</i> 23-033

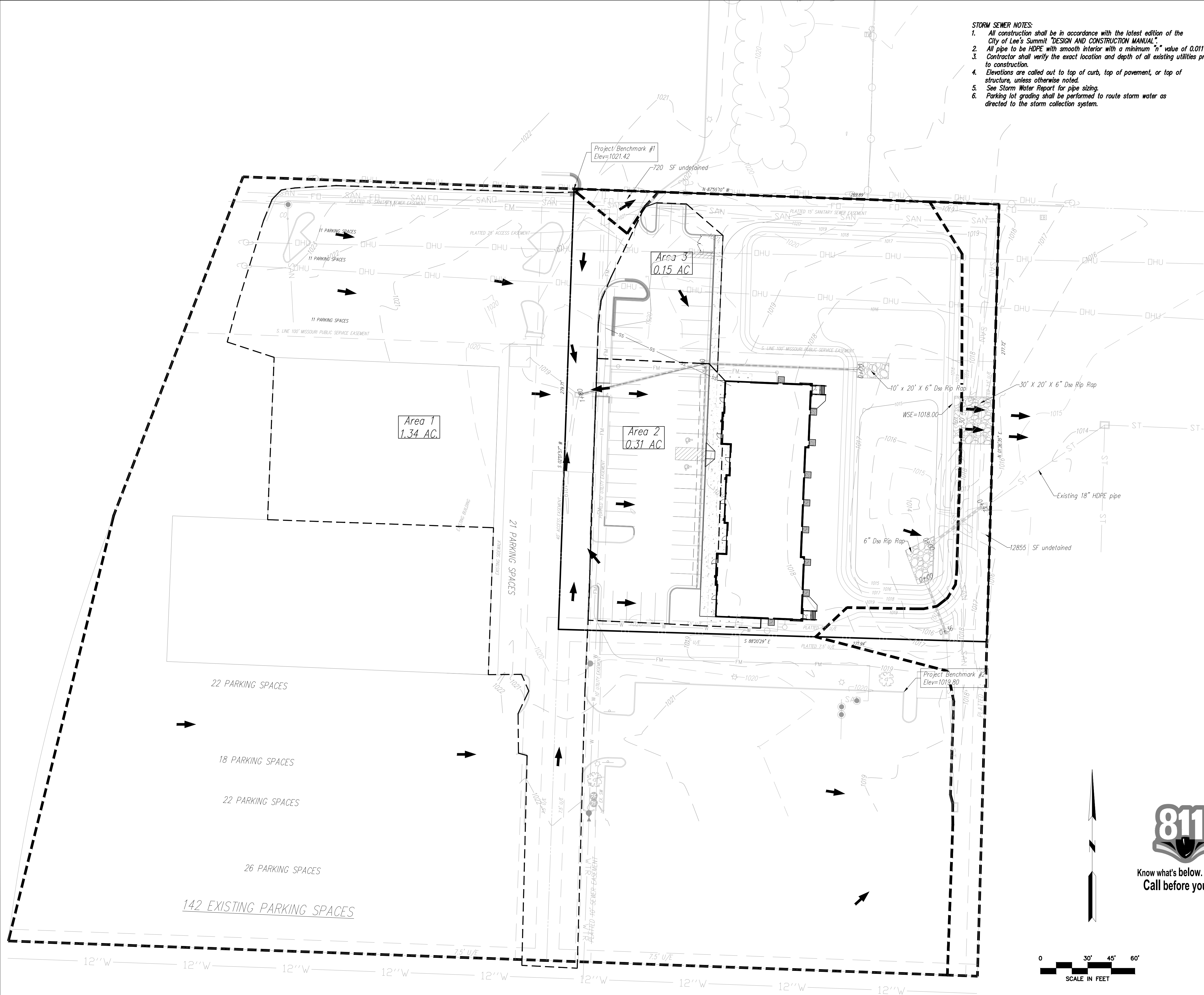
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6	SHEET OF	13	PRELIMINARY DEVELOPMENT DRAINAGE AREA MAP	DOUGLAS CORNER BUILDING LEE'S SUMMIT - JACKSON COUNTY - MISSOURI	 Consult Inc engineers planners	1533 Locust Street, Kansas City, Missouri 64108 CORPORATE LICENSE NO. E201000573 (MO.) / E-1736 (KS.) / LS 2019005467	August 15, 2023		IF THIS IS NOT A BLUE INK SEAL AND THE SIGNATURE IN BLUE INK, THE PLAN IS A COPY AND MAY CONTAIN UNAUTHORIZED ALTERATIONS. CERTIFICATION CONTAINED ON THIS DOCUMENT SHALL NOT APPLY TO ANY COPIES.	R. KEVIN STERRETT, NO E-26440	NO.	BY
											DATE	REVISION



- STORM SEWER NOTES:
1. All construction shall be in accordance with the latest edition of the City of Lee's Summit "DESIGN AND CONSTRUCTION MANUAL".
 2. All pipe to be HDPE with smooth interior with a minimum "n" value of 0.011
 3. Contractor shall verify the exact location and depth of all existing utilities prior to construction.
 4. Elevations are called out to top of curb, top of pavement, or top of structure, unless otherwise noted.
 5. See Storm Water Report for pipe sizing.
 6. Parking lot grading shall be performed to route storm water as directed to the storm collection system.

Detention Pond Details:

Elevation (feet)	Surf.Area (sq-ft)	Cum.Store (cubic-feet)
1014.10	52	0
1015	5,623	2,553
1016	10,269	10,499
1017	17,998	24,633
1018	20,048	43,657

Detention release was sized by Bentley PondPACK V8i and is sized to release the 100-year storm event over the proposed rip rap lined channel.

*Areas shown are impervious areas to drainage structures.

Contractor to verify all invert elevations for existing sewer connections. Contact civil engineer if conflict arises.

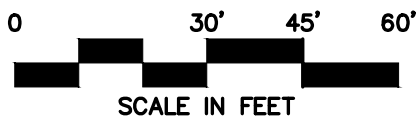
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KEY

PROPOSED	Grades	EXISTING
—979—	—960—	
➔	100 Year Overflow	
- - - - -	Drainage Area	

Contractor to verify all invert elevations for existing sewer connections. Contact civil engineer if conflict arises.



POST DEVELOPMENT DRAINAGE AREA MAP

DOUGLAS CORNER BUILDING
LEE'S SUMMIT - JACKSON COUNTY - MISSOURI

STATE OF MISSOURI
REGISTERED PROFESSIONAL ENGINEER
RICHARD K. STERRETT
No. 201905467

August 15, 2023

Consult Inc
engineers planners

1533 Locust Street, Kansas City, Missouri 64108
CORPORATE LICENSE NO. E20100573 (MO.) / E-1736 (KS.) / LS 201905467

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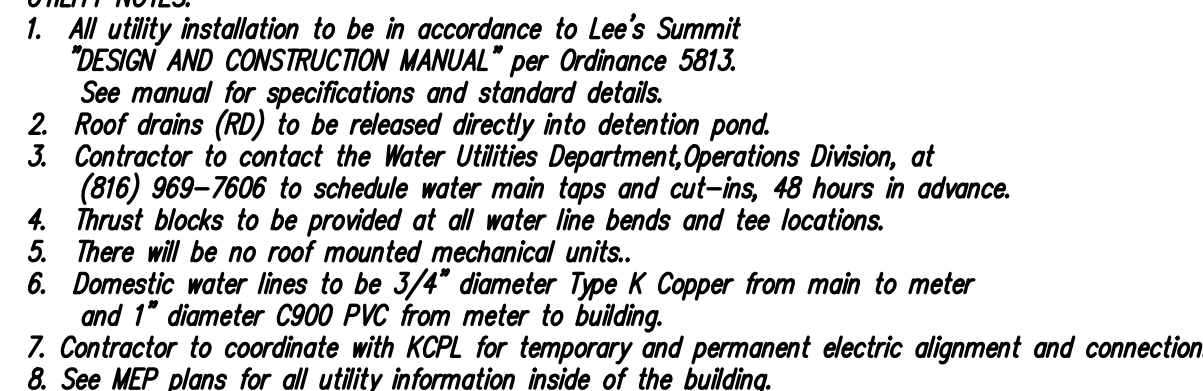
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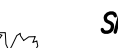


TOTAL 1392 SF

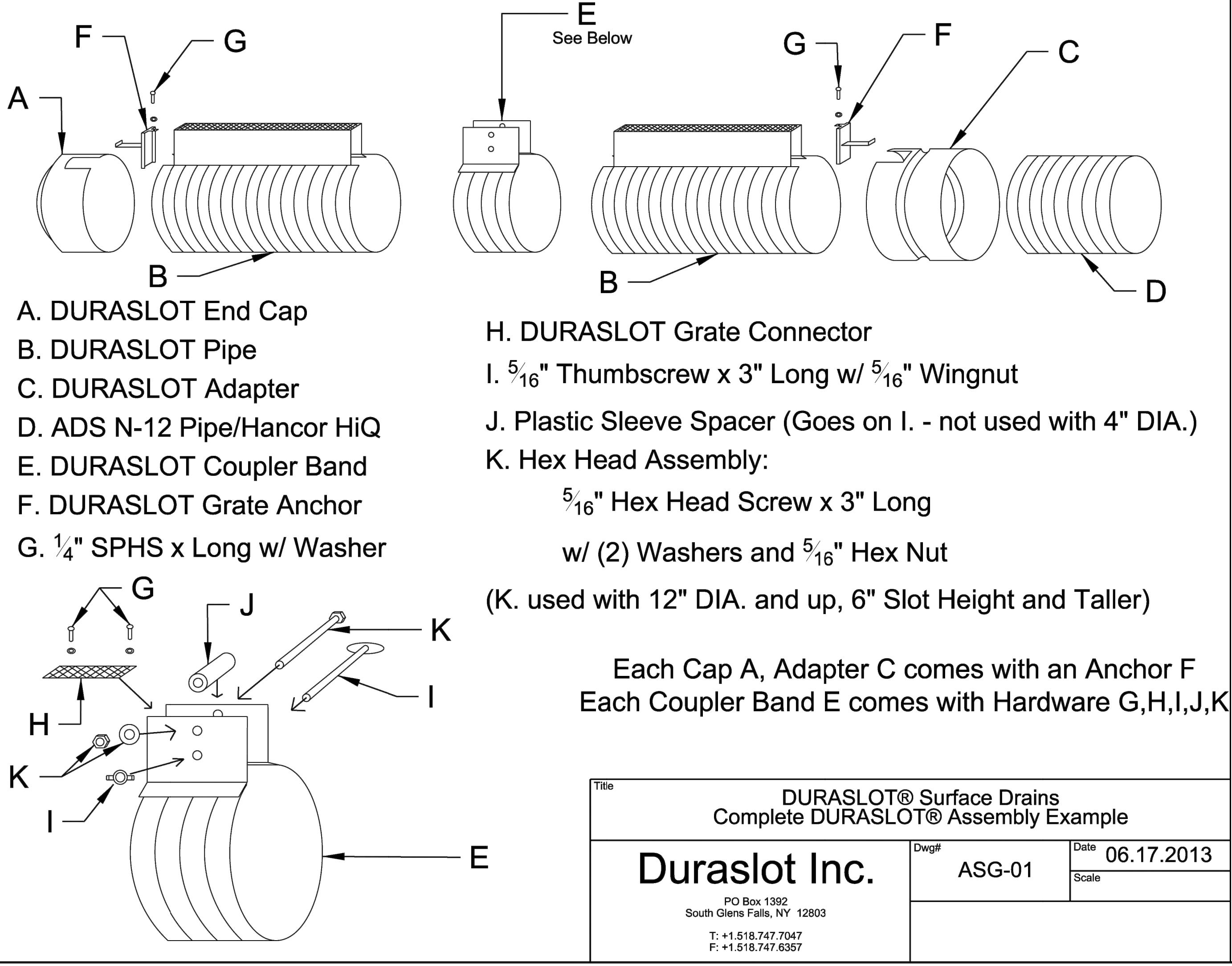
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1. Open areas not covered with other landscaping materials shall be covered with sod.
2. All trees/shrubs are shown graphically, not numerically.
3. A 3 foot tall berm may be substituted for screening shrubs.
4. Trees shall be located a minimum distance of 5 feet from the sanitary and water lines as measured from the outside of the mature tree trunk to the outside of the pipe.
5. The trees and shrubs shown are for graphical purposes and does not represent the actual count required per the worksheet.
6. Evergreen shrubs used to screen mechanical equipment shall be equal height as the mechanical units at the time of planting.
7. Detention pond and slopes into pond to use TRM with seed and all other disturbed ground to be sodded.

A	Size of development site	= 75,500 SF
B	Length of street frontage of development site	= 0 LF
C	Trees required on street frontage = 1/30 LF	= 0 Trees
D	Trees provided	= 0 Trees
E	Parking lot area	= 14,178 SF
F	Green space required in parking lot (E x 5%)	= 709 SF
G	Green space provided	= 1392 SF
H	Shrubs required along frontage = 1/20 LF	= 0 Shrubs
	Shrubs required along frontage (Parking lot screen)	
	270 LF at 12/40 LF	= 81 Shrubs
I	Shrubs Provided	
	Shrubs Provided (Parking lot screen)	= 81 Shrubs
	Shrubs Provided (Total frontage)	= 0 Shrubs
J	Quantity of additional trees required	
	1 tree per 5000 SF of open area (63,040/5,000)	= 13 Trees
K	Additional Trees Provided	= 15 Trees
L	Quantity of additional shrubs required	
	2 shrubs per 5000 SF of open area (63,040/5,000)	= 25 Shrubs
M	Additional Shrubs Provided	= 25 Shrubs

LANDSCAPE SCHEDULE:			
	SPECIES	CALIPER/HEIGHT	QUANTITY
	"October Glory" Maple	3" caliper measured 6" from the ground	12
	Acer Rubrum		
	Eastern White Pine (or equal) 8' (at time of planting)		1
	Pinus Strobus		
	Evergreen Shrub (or equal)	24" Minimum height at time of planting	76



	<div> <div>Complete DURASLOT I® Assembly Example</div> <div> <div>Duraslot Inc.</div> <div>PO Box 1392 South Glens Falls, NY 12803 T: +1.518.747.7047 F: +1.518.747.6357</div> </div> <div> <div>Dwg#</div> <div>ASG-01</div> </div> <div> <div>Date</div> <div>06.17.2013</div> </div> <div> <div>Scale</div> <div></div> </div> </div>
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	<i>X-REF NO.</i> 18109B
	<i>DRAWING NO.</i> 23-03SPDP
	<i>DATE</i> MAY 10, 2023
	<i>JOB NO.</i> 23-033
10	13 SHEET OF

REQUIRED CONCRETE BEARING AREA (SQUARE FEET - SF)						
NOM. DIA. (INCHES)	180	90	45	22.5	11.25	
	TEE, PLUG	BEND	BEND	BEND	BEND	BEND
6	4.7	6.7	4.0	4.0	4.0	4.0
8	8.4	11.8	6.4	4.0	4.0	4.0
10	13.1	18.5	10.0	5.1	4.0	4.0
12	18.6	26.7	14.4	7.4	4.0	4.0
14	25.7	36.3	19.6	10.0	5.0	5.0
16	33.5	47.4	25.6	13.1	6.6	6.6
18	42.4	REST. JT.	32.5	16.5	8.3	8.3
20	REST. JT.	REST. JT.	40.1	20.4	10.3	10.3
24	REST. JT.	REST. JT.	REST. JT.	29.4	14.8	14.8

NOTES:

1. ALL BENDS WITHOUT RESTRAINED JOINTS SHALL HAVE CONCRETE THRUST BLOCKS INSTALLED FOR RESTRAINT.
2. MEGA LUGS MAY BE USED ONLY IN CONJUNCTION WITH CONCRETE THRUST BLOCKING.
3. BEARING AREA MUST BE AGAINST UNDISTURBED SOIL.
4. DO NOT COVER JOINTS OR BOLTS (WHERE APPLICABLE) WITH CONCRETE.

POURED CONCRETE BLOCKS (TYP.)

UNDISTURBED EARTH

BEARING AREA (TYP.)

BOND BREAKER (TYP. ALL BLOCKS)

PLAN

SECTION A

1/2" DIAMETER

1/4" BOND BREAKER

LS

LEE'S SUMMIT

MISSOURI

PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

HORIZONTAL THRUST BLOCKS

Date: 02/13

Drawn By: JN

Checked By: DL

DLE: WAT-1

Rev: 1/14

Rev:

REQUIRED CONCRETE VOLUME (CUBIC FEET - CF)					
NOM. DIA. (INCHES)	180	90	45	22.5	11.25
	TEE, PLUG	BEND	BEND	BEND	BEND
6	50.5	71.4	38.6	19.7	9.9
8	89.8	126.9	68.7	35.0	17.6
10	140.2	198.3	107.3	54.7	27.5
12	205.0	REST. JT.	154.6	78.8	39.6
14	REST. JT.	REST. JT.	210.4	107.3	53.9
16	REST. JT.	REST. JT.	REST. JT.	140.1	70.4
18	REST. JT.	REST. JT.	REST. JT.	172.3	89.1
20	REST. JT.	REST. JT.	REST. JT.	REST. JT.	110.0
24	REST. JT.	REST. JT.	REST. JT.	REST. JT.	158.4

NOTES:

1. ALL BENDS WITHOUT RESTRAINED JOINTS SHALL HAVE CONCRETE THRUST BLOCKS INSTALLED FOR RESTRAINT.
2. MEGA LUGS MAY BE USED ONLY IN CONJUNCTION WITH CONCRETE THRUST BLOCKING.
3. BEARING MUST BE AGAINST UNDISTURBED SOIL.
4. DO NOT COVER JOINTS OR BOLTS (WHERE APPLICABLE) WITH CONCRETE.

SIDEWALK/SHARED-USE PATH WITHOUT BUFFER
NOT TO SCALE

SIDEWALK/SHARED-USE PATH WITH BUFFER
NOT TO SCALE

GENERAL NOTES:

1. SUBGRADE MUST BE OF STABLE, COMPACTED EARTH AND SHALL BE OVERLAYED WITH 4" COMPACTED DENSE GRADED AGGREGATE BASE.
2. 1.5% CROSS SLOPE MUST BE MAINTAINED THROUGH DRIVEWAYS.
3. KCMMB 4K CONCRETE MIX SHALL BE REQUIRED FOR ALL SIDEWALKS AND SHARED-USE PATHS OR AS APPROVED BY THE CITY INSPECTOR.
4. ALL SIDEWALKS SHALL MEET CURRENT PUBLIC RIGHT OF WAY ACCESSIBILITY GUIDELINES (PROWAG).
5. AN EXPANSION JOINT SHALL BE PLACED AT A MAXIMUM OF 150 FT. CONSTRUCTION JOINTS SHALL BE PLACED THE SAME WIDTH OF SIDEWALK, BUT NO GREATER THAN 10 FT.
6. SHARED-USE PATH WIDTH SHALL BE 10 FT. WIDE.
7. SIDEWALK FINISHING (NO PICTURE FRAMING) AS DIRECTED BY CITY INSPECTOR.
8. WHITE CURING COMPOUND MUST BE APPLIED UNIFORMLY TO THE CONCRETE SURFACE IMMEDIATELY AFTER FINAL FINISHING.

LEE'S SUMMIT
MISSOURI
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

Date: 04/17
Drawn By: MIF
Checked By: DL

GEN-2

TYPICAL METER INSTALLATION — 2" AND SMALLER
NOT TO SCALE

NOTES:

- METER INSTALLATION SHALL NOT BE LOCATED IN AREAS SUBJECT TO VEHICULAR TRAFFIC OR IN CONCRETE PAVEMENT WITHOUT CITY APPROVAL.
- IF METER IS TO BE LOCATED OTHER THAN IN FRONT OF PROPERTY LINE, CITY APPROVAL SHALL BE OBTAINED.
- CITY TO FURNISH ITEMS A-K.
- NO OTHER EQUIPMENT SHALL BE INSTALLED IN THIS PIT.
- 42" MINIMUM BURY DEPTH FOR ALL SERVICE LINES.
- EXCAVATION FOR TAP TO EXPOSE 4 LINEAR FEET OF MAIN.
- NO SPICES ALLOWED BETWEEN METER AND MAIN.
- SERVICE CONNECTION TAP AT APPROXIMATELY 45 DEGREES.
- 9 LID AND RISER RING SHALL BE SET SO THAT GROUND WATER WILL DRAIN AWAY FROM THE WELL.
- CONTACT WATER UTILITIES, 816-989-1900, FOR REQUIREMENTS OF A METER LARGER THAN 2"

LEE'S SUMMIT
MISSOURI

PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

SERVICE CONNECTION/METER WELL

Date: 02/13

Drawn By: JN

Checked By: DL

FILE: WAT-11

Rev: 1/14

Rev:

PLAN VIEW

4'-0" MIN "L"

1'-0" BACK OF CURB TO FACE OF INLET LID

3'-0" MIN "W"

OUTSIDE EDGE OF CONCRETE FOOTING

1" X 1" X 18" RECESSED LIFTING SLOT (TYP)

#4 BARS PLACED AT 45° ANGLE

INSIDE WALL

STEEL INLET FRAME (10" THROAT)

EXPANSION JOINT

CURB AND GUTTER

LOCATING POINT (INSIDE FACE OF FRONT WALL 1/2 OF BOX)

(3) 2'-#5 BARS SMOOTH DOWELS

CONTRACTION JOINT

5' TRANSITION DOWNSTREAM SIDE

10' TRANSITION UPSTREAM SIDE - 10' TRANSITION BOTH SIDES FOR SUMP INLET

SECTION A-A

STEEL INLET FRAME 10" THROAT

CURB & GUTTER

1'-0"

6"

SLOPE SAME AS CURB

15" CLEAN AGGREGATE ALL DIRECTIONS OF WEEP HOLE

1/2" GALVANIZED HARDWARE CLOTH SHALL BE PLACED IN FRONT OF 4" DRAIN PIPES (2 EA.)

#4 BARS AT 12" O.C.E.W. (TYP)

GROUT PIPE INVERT *SEE NOTE 3

CONCRETE FOOTING

3" CLEAR (TYP)

#4 BARS AT 6" O.C.E.W.

ELEVATIONS SHOWN ON CONSTRUCTION PLANS ARE TOP OF INLET THIS SIDE OF STRUCTURE

SLOPE = 2%

6" MIN

10"

10"

1/2" CLEAR (TYP)

6" WALL (TYP)

4'-0" MIN

FRONT ELEVATION

4"

VARIABLE L

1/4" STEEL

B

#4 BAR (TYP)

2"

1/8" SMOOTH ROUND BAR

STIFFENERS AT 3'-0" CTR, MAX

L = 1 1/2" X 1 1/2" X 1/2" X 2" TYPICAL OF STIFFENERS

SECTION B-B

1/8" STEEL

1 1/2"

6" FOR CAST-IN-PLACE OR PRECAST WALL

#4 BAR (TYP)

17" (TYP)

1/8"

1/4" X 5"

1/4" X 5"

L = 1 1/2" X 1 1/2" X 1/2" X 2" TYPICAL OF STIFFENERS

1'-1 1/2"

1'-3 1/2"

10"

5 1/2"

4 1/2"

1"

WALL CORNER DETAIL

6" (TYP)

1/2" CLEAR

H BARS

V BARS

#5 BARS

12" (TYP)

H BARS

V BARS

GENERAL NOTES:

- THE FIRST DIMENSION LISTED IN THE CONSTRUCTION NOTES IS THE "L" DIMENSION.
- THE SECOND DIMENSION IS THE "W" DIMENSION.
- FLOW LINES LISTED ON THE PROJECT PLANS ARE LISTED AT THE INSIDE FACE OF THE WALL.
- FLOOR OF INLET GROUTED AND SHAPED TO MATCH PIPE INVERT TO PROVIDE SMOOTH FLOW.
- LOCATE MH RING AND COVER ON BLANK WALL IF POSSIBLE.
- STEPS SHALL BE SPACED AT 1'-4" O.C. VERTICALLY ON BLANK WALL IF POSSIBLE.
- BEVEL ALL EXPOSED EDGES WITH 3/4" CHAMFER OR 1/2" TOOLED EDGE.
- ON-GRADE INLETS SHALL CONFORM TO THE STREET GRADE AND SUMP INLETS SHALL BE LEVEL.
- PRECAST LIDS SHALL BE PINNED, SEALED WITH NON-SHRINKABLE GROUT AND REMOVABLE FOR FUTURE MAINTENANCE.
- LIFTING RINGS SHALL BE REMOVED AND SEALED WITH NON-SHRINKABLE GROUT FOR RING AND COVER SEE THE STORMWATER APPROVED PRODUCT LIST.

STEELE FRAME NOTES:

- ALL WELDS SHALL BE PERFORMED IN ACCORDANCE WITH APPROPRIATE AWS SPECIFICATIONS AND PROCEDURES.
- ALL WELDS ON EXPOSED SURFACES SHALL BE DRESSED SO AS TO PROVIDE A PLEASING FINISHED APPEARANCE.
- THE ENTIRE FRAME SHALL BE PAINTED A SINGLE COAT OF CHEM-PRIME #37H-78 PRIMER (GRAY) OR EQUAL.

CONCRETE CURB DOWELS (#4 BARS) SHALL BE CENTERED VERTICALLY AND HORIZONTALLY

CONCRETE TOP SLAB (#4 BARS) AT 1'-0" CENTERS MAX

PLAN VIEW

PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64083

CURB INLET DETAIL

1

SILT FENCE DETAILS

Not to Scale

*** POSTS**

- MIN. LENGTH 4'
- HARDWOOD 1 3/4" x 1 3/4"
- NO.2 SOUTHERN PINE 2 1/2" x 2 1/2"
- STEEL 1.33 LB/YT

(*) - Geotextile Fabric shall meet the requirements of AASHTO M288

Notes:

- In order to contain water, the ends of the silt fence must be turned uphill (Figure A).
- Long perimeter runs of silt fence must be limited to 100'. Runs should be broken up into several smaller segments to minimize water concentrations (Figure A).
- Long slopes should be broken up with intermediate rows of silt fence to slow runoff velocities.
- Attach fabric to upstream side of post.
- Install posts at minimum of 2' into the ground.
- Trenching will only be allowed for small difficult installation, where slicing machine cannot be reasonably used.

Maintenance:

- Remove and dispose of sediment deposits when the deposit approaches 1/2 the height of silt fence.
- Repair as necessary to maintain function and structure.

JOINING FENCE SECTIONS

Not to Scale

AMERICAN PUBLIC WORKS ASSOCIATION

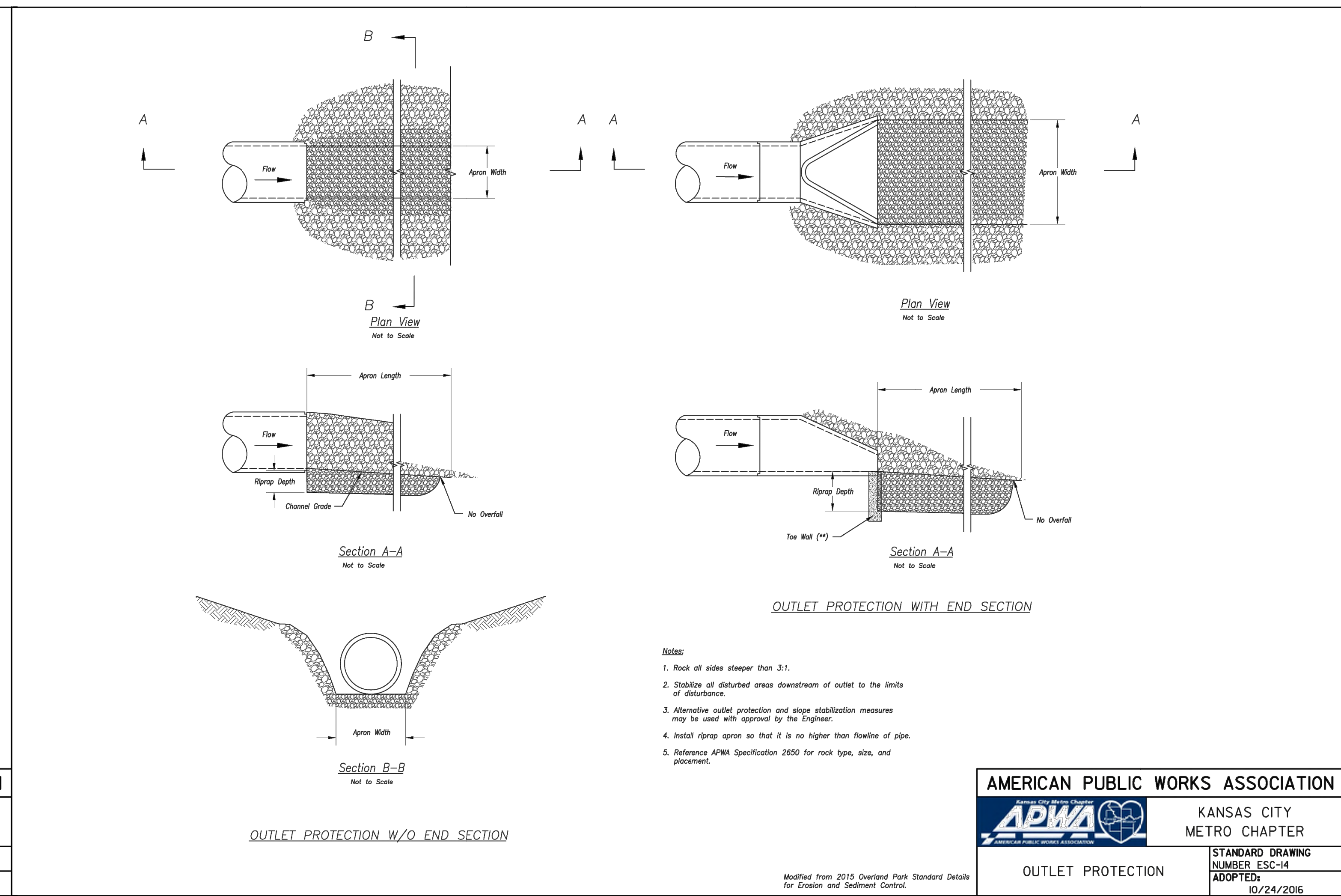
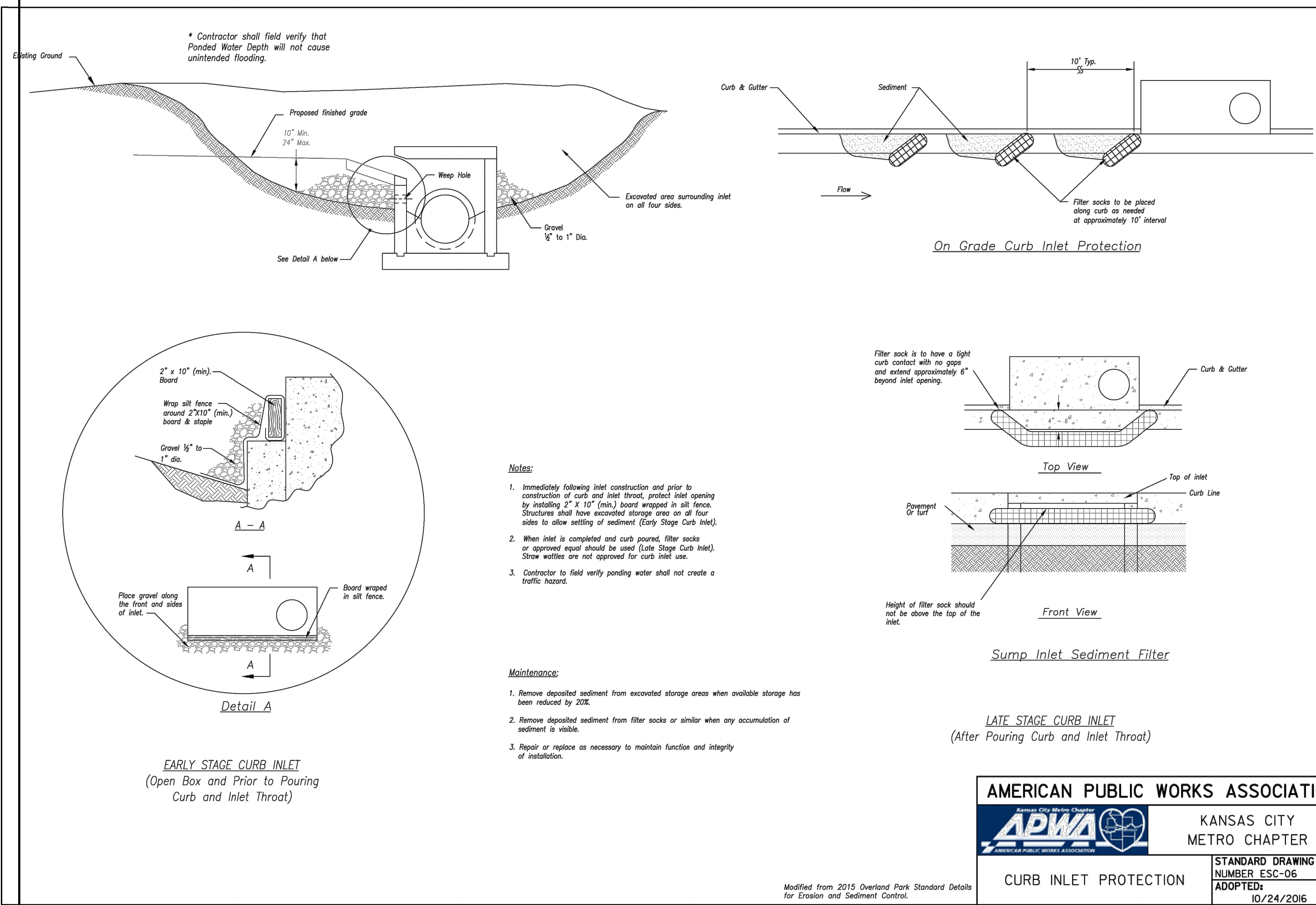
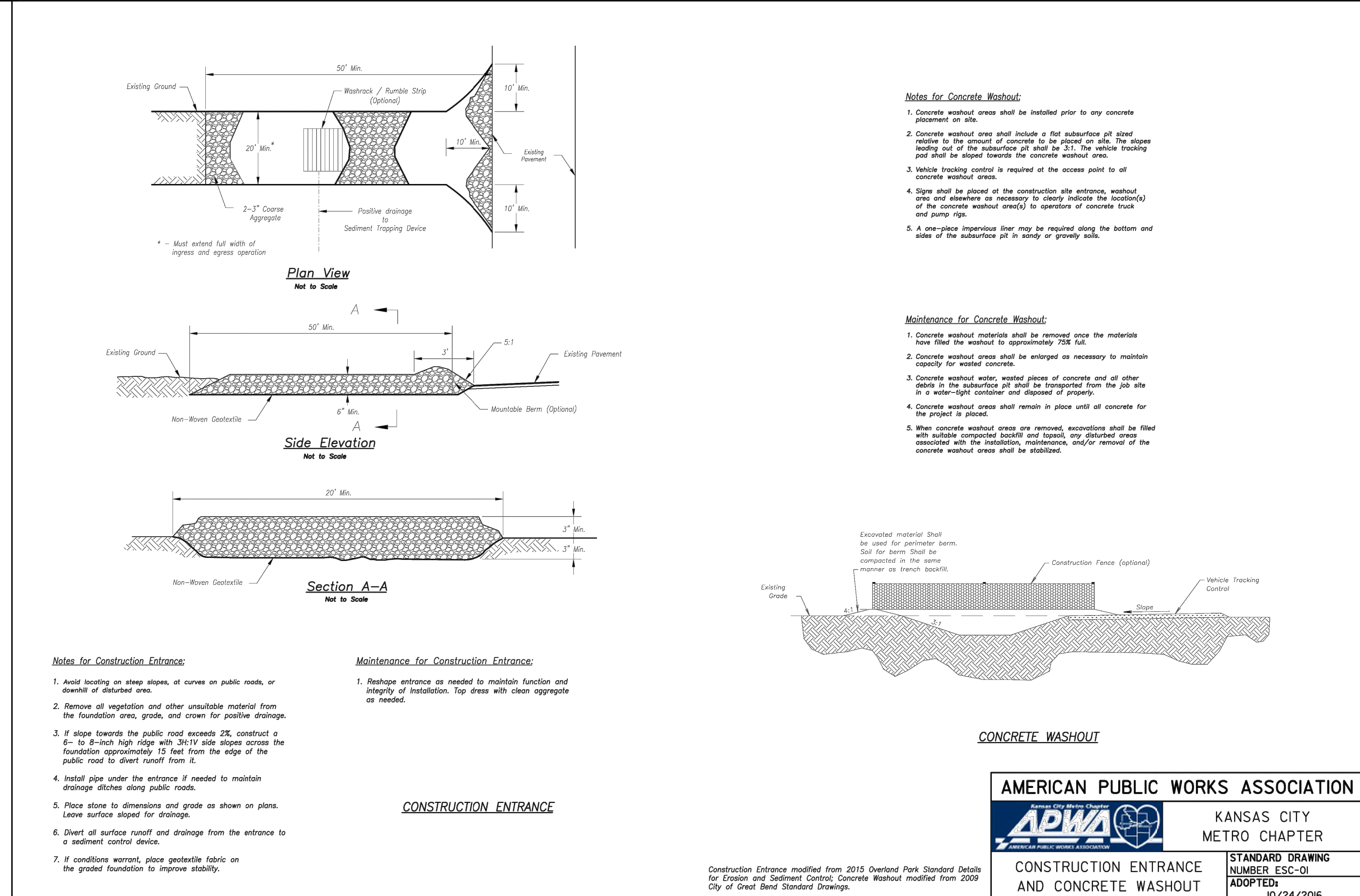
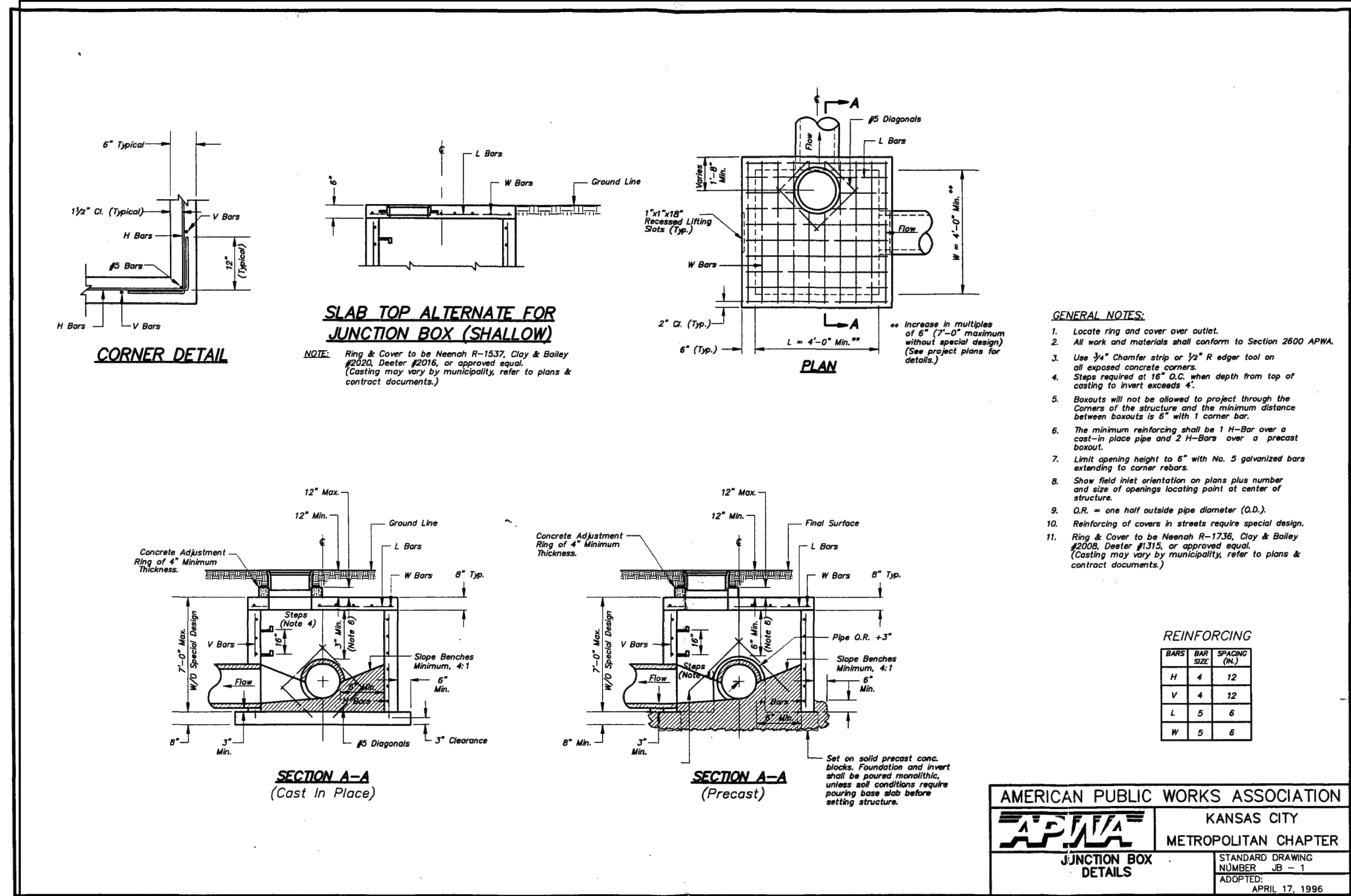
KANSAS CITY METRO CHAPTER

STANDARD DRAWING NUMBER ESC-03

ADOPTED: 10/24/2016

SILT FENCE

Modified from 2015 Overland Park Standard Details for Erosion and Sediment Control.



G:\Shared drives\Hg Projects (Yr 2023-2024)\2023\23.033 Douglas Corner (Capital Builders)\Civil\Base_Files\23-033 Minor Plat.dwg, 7/12/2023 9:24:05 AM, DWG To PDF.pc3

PLAT PREPARED FOR:
Capital Builders, LLC
1507 NE Wall St.
Lee's Summit, MO 64086
(816) 609-8633
Contact - matt@capitalbuilderskc.com

PROPERTY DESCRIPTION:
All of Lot 1B of the plat, Douglas Corner, Lots 1A and 1B and part of Tract A, Douglas Corner 2nd Plat, Lots 3 - 14 and Tract A and B, subdivisions in the City of Lee's Summit, Jackson County, Missouri. Containing 1.73 acres.

DEDICATION:
The undersigned owner(s) of the property described herein has/have caused the same to be subdivided in the manner shown on this plat and the property shall hereafter be known as "Douglas Corner, Lot 1C".

EASEMENTS:
An easement or license is hereby granted to the City of Lee's Summit, Missouri, to locate, construct and maintain, or to authorize the location, construction and maintain of poles, wires, anchors, conduits and/or structures for water, gas, sanitary sewer, storm sewer, electricity, telephone, cable television, or any other necessary public services, any or all of them, upon, over, or under those areas outlined or designated up this plat as utility easements (U.E.), or within any street or thoroughfare dedicated to public use on this plat.

Grantor, on behalf of himself, his heirs, his assigns and successors in interest, hereby waives, to the fullest extent allowed by law, including, without limitation, section 527.188, RSMO (2006), any right to the request restoration of the rights previously transferred and vacation of the easements herein granted.

DRAINAGE PLAN:
Individual lot owners shall not change or obstruct the flow on lots, unless specific application is made and approved by the city engineer.

BUILDING LINES:
Building lines or setback lines are hereby established as shown on the accompanying plat and no building or portion thereof shall be constructed between this line and the street right of way line.

In testimony whereof, the undersigned owners have hereunto set their hands this _____ day of _____, 20____.

Robert Thompson, Member – Thompson Properties, LLC

State of _____

County of _____

On this _____ Day of _____, 20_____. Before me personally appeared _____
above person(s), to me known to be the person(s) described in and who executed the foregoing instrument and
acknowledged that they executed the same as their free act and deed. In witness whereof, I have hereunto set my hand
and affixed my notarial seal at my office in said county and the state the date and year last written above.

Notary Public _____ My commission expires: _____

APPROVED:

This is to certify that the minor plat of "Douglas Corner, Lot 1B" was submitted to and duly approved by the City of Summit, Missouri, pursuant to chapter 33, The Unified Development Ordinance, of the code of ordinances.

Trisha Fowler Arcuri - City Clerk Date

George M. Binger III, P.E. - City Engineer Date

Joshua Johnson, AICP - Director of Development Services Date

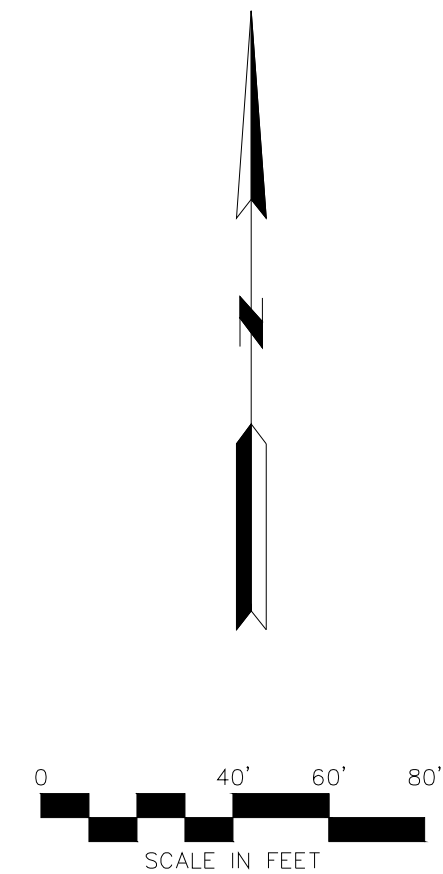
APPROVED BY JACKSON COUNTY ASSESSMENT DEPARTMENT:

By _____



Date _____

I hereby certify that the within the replat of DOUGLAS CORNER, LOT 1A and 1B is based on an actual survey made by me or under my direct supervision and that said survey meets or exceeds the current MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS as adopted by the Missouri Board for Architects, Professional Engineers, and Land Surveyors and the Missouri Department of Natural Resources. I further certify that the Section and Sectional Subdivision corner monuments and survey boundary corner monuments were either found or set as indicated on this plat; that I have complied with all State and City of Lee's Summit statutes, ordinances and regulations governing the practice of surveying and platting of subdivisions to the best of my knowledge and belief.

R. Kevin Sterrett, MO LS-2469 Date:



MISSOURI STATE PLANE COORDINATES:
Missouri State Plane Coordinates, were obtained using
KC Metro Control Monument, JA-43
Monument Coordinates = N 307,528.309 m
E 860,514.793 m
Grid Factor 0.9998981

- NOTES:
1.  Denotes found monumentation as noted.
 2.  Denotes 1/2" Iron Bar with Plastic Cap LS-2019005467 set this plat.
 3. All monumentation to be set within 3 months of the recording of this plat.
 4. This Survey meets or exceeds the accuracy standards of an "Urban Property" survey.
 5. The Record Source of the Parent Tract is recorded in Book 1-92, Page 82, Ins.#E0006973, and Book 1-96, Page 1, Instrument No. E0063342.
 6. According to FIRM Plan 417 of 625, Map No. 29095C0417G, dated Jan. 20, 2017. This lot is not in a floodplain and determined to be outside of the 0.2% annual chance.
 8. There are no oil or gas wells located on the subject property as of May 9, 2023 as shown by the Missouri Geological Survey GEOSTRAT (Geosciences Technical Resource Assessment Tool).

NOT TO SCALE

