

# NEIGHBORHOOD MEETING INVITATION

July 27<sup>th</sup>, 2023

RE: NEIGHBORHOOD MEETING  
Special Use Permit  
60 SE Thompson Dr  
Lee's Summit, MO 64081  
NW 1/4, SECTION S17, TOWNSHIP 47N, RANGE 31W

Dear Property Owner:

Capital Builders has submitted a Special Use Permit with the City of Lee's Summit in an effort to seek approval to operate our business at the aforementioned property. This is for 2 new 12,000 SF office/warehouse buildings located on the site in the attached drawing.

Capital Builders would like to invite you to a neighborhood meeting at which time we can answer any questions you may have about our business and proposed site. A proposed site plan has been attached for your reference in advance of this meeting.

#### Neighborhood Meeting Information:

- Date: Monday, August 7<sup>th</sup> 2023
- Time: 6:00PM-7:00PM
- Location: 60 SE Thompson Dr, Lee's Summit, MO 64081

Sincerely,

Patrick J. Joyce, P.E.

Sr. Project Manager, Kimley-Horn & Associates

**Kimley»Horn**

