

FINAL DEVELOPMENT PLAN FOR LOT 7 OF "I-470 BUSINESS AND TECHNOLOGY CENTER, LOTS 1 THRU 22 AND TRACTS A AND B" SECTION 20, TOWNSHIP 48, RANGE 31 LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

DEVELOPER:
BLUE SPRINGS SAFETY STORAGE LLC
1120 NW EAGLE RIDGE BLVD.
GRAIN VALLEY, MISSOURI 64029
Ph.# 816-229-8115

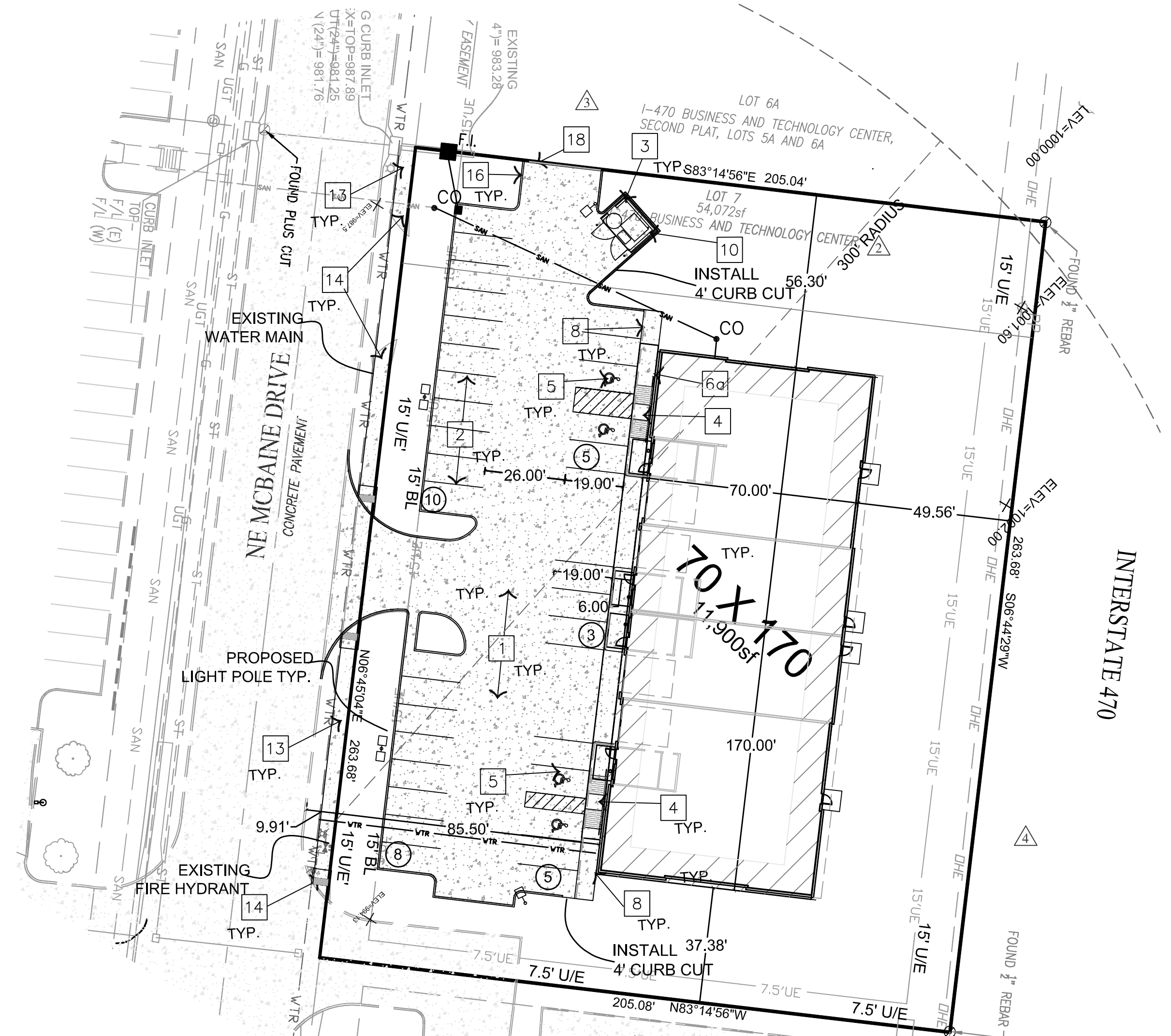
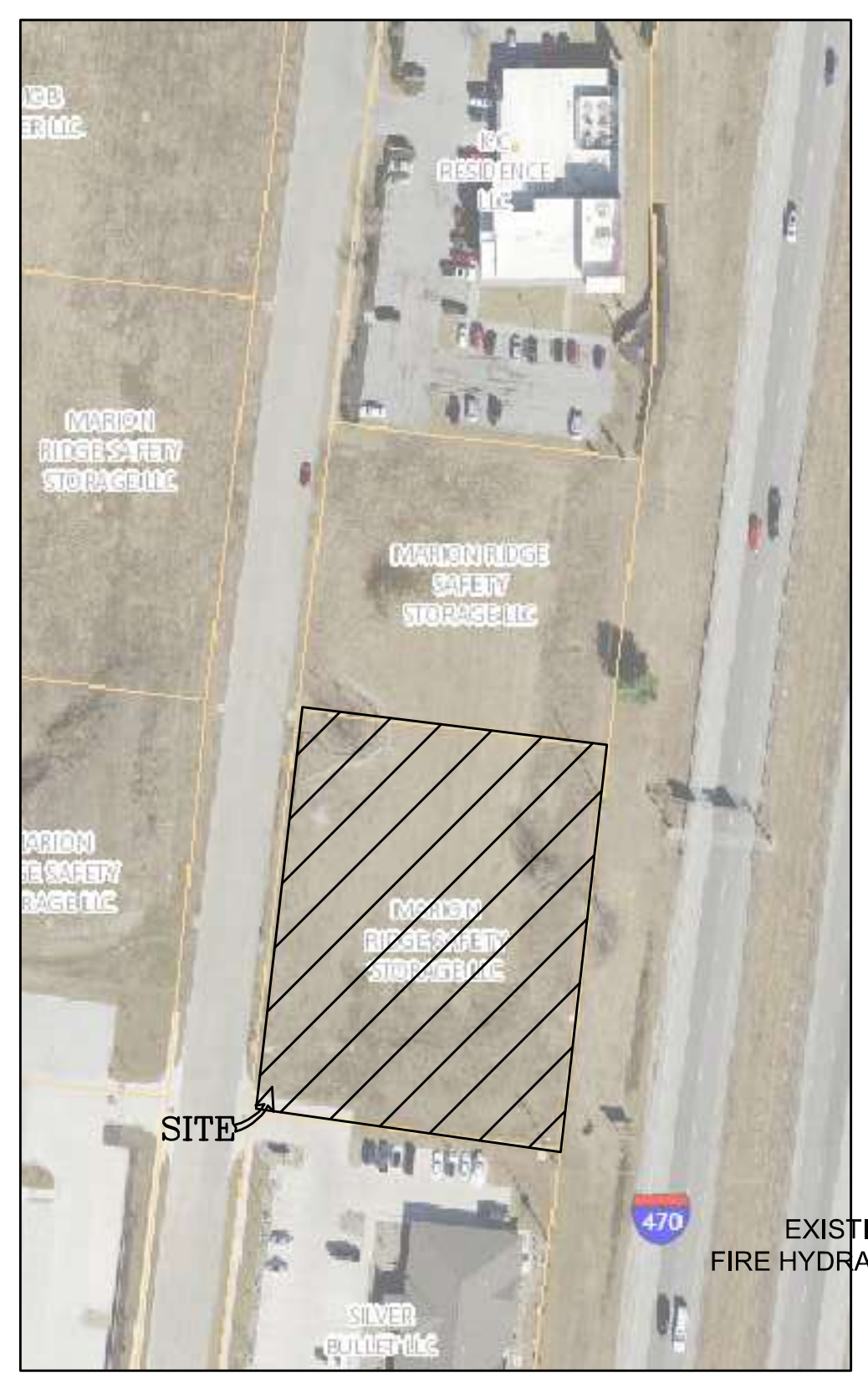
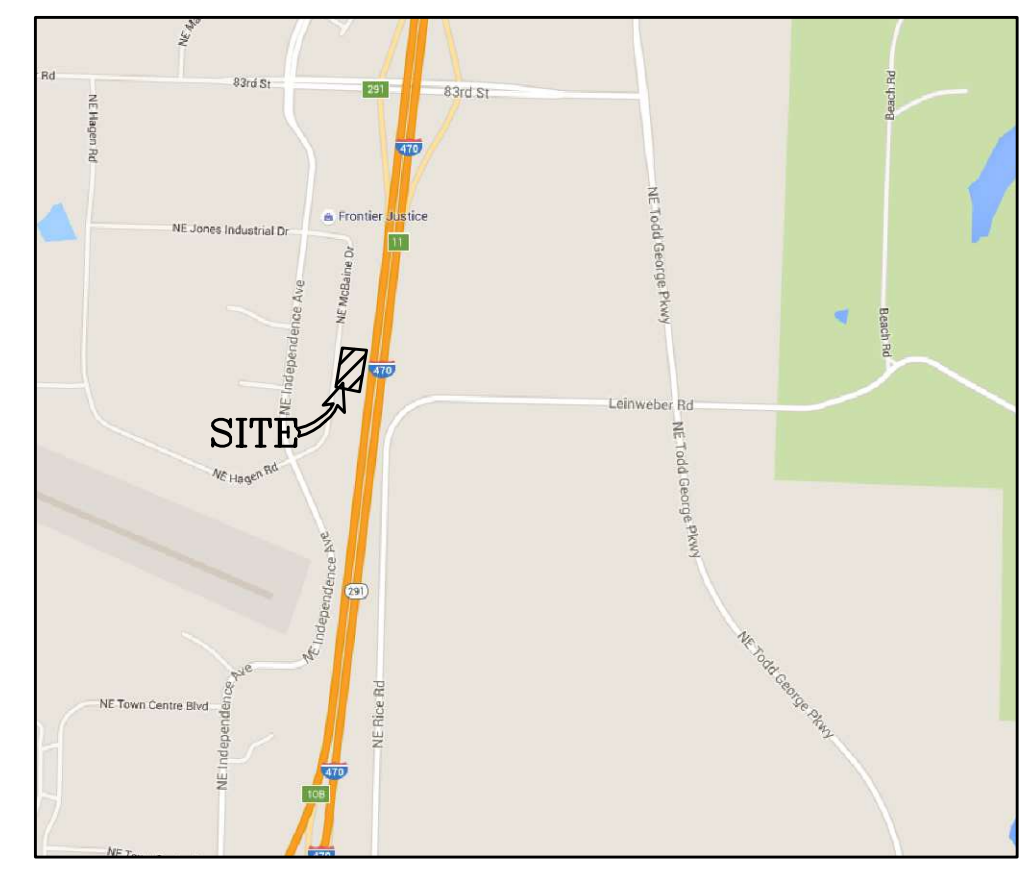
LEGAL DESCRIPTION:
LOT 7 OF "I-470 BUSINESS AND TECHNOLOGY CENTER,
LOTS 1 THRU 22 AND TRACTS A AND B", A SUBDIVISION
IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

LINE LEGEND

PROPOSED	EXISTING		
ST	Storm Line	ST	Storm Line
SAN	Sanitary Line	SAN	Sanitary Line
VTR	Water Line	VTR	Water Line
BL	Building Line	BL	Building Line
7.5' U/E	Easement Line	7.5' U/E	Easement Line
4'	4' Sidewalk	4'	4' Sidewalk
2'	2' Curb	2'	2' Curb
840	Contour	840	Contour
X	Tree Line	X	Tree Line
X	Fence Line	X	Fence Line
G	Gas Line	G	Gas Line
	Overhead Telephone Line	DHT	Overhead Telephone Line
	Underground Telephone Line	UGT	Underground Telephone Line
	Overhead Electrical Line	DHE	Overhead Electrical Line
	Underground Electrical Line	UGE	Underground Electrical Line

SYMBOL LEGEND

PROPOSED	EXISTING		
MH ●	Manhole	MHO	Manhole
C.I.	Curb Inlet	C.I.	Curb Inlet
J.B.	Junction Box	J.B.	Junction Box
F.I.	Field Inlet	F.I.	Field Inlet
F.E.S. ▲	Flared End Section	F.E.S. ▲	Flared End Section
F.H. ●	Fire Hydrant	F.H. ●	Fire Hydrant
B.O. ●	Blow Off	B.O. ●	Blow Off
W.V. ●	Water Valve	W.V. ●	Water Valve
W.M. ●	Water Meter	W.M. ●	Water Meter
	Straddle		Straddle
	Utility Pole		Utility Pole
	Guy Wire		Guy Wire
	Electric Transformer		Electric Transformer
	Telephone Pedestal		Telephone Pedestal
	Cable Pedestal		Cable Pedestal
CO	Clean Out	CO	Clean Out



- ### PLAN NOTES:
- HEAVY CONCRETE PAVEMENT RE: SEE SHEET C210
 - LIGHT CONCRETE PAVEMENT RE: SEE SHEET C210
 - 30' LIGHT POLE RE: SEE MEP SHEETS
 - ACCESSIBILITY RAMP RE: SEE SHEET C210
 - PAINT ACCESSIBLE PARKING SYMBOLS ACCORDING TO APWA PAVEMENT MARKING STANDARDS. RE: SEE SHEET C210
 - INSTALL ACCESSIBLE PARKING SIGN "TYPE B" RE: SEE SHEET C210
 - INSTALL VAN ACCESSIBLE PARKING SIGN RE: SEE SHEET C210
 - STRIPE PAVING WITH 4" WIDE STRIPE & PAINT ACCORDING TO APWA PAVEMENT MARKING STANDARDS.
 - CURB WALK RE: SEE SHEET C210
 - SITE SIDEWALK RE: SEE SHEET C210
 - TRASH ENCLOSURE RE: SEE ARCHITECTURAL PLANS
 - MODULAR RETAINING WALL RE: SEE SHEET C210
 - SITE MONUMENT SIGN RE: SEE ARCHITECTURAL PLANS
 - 5' CITY SIDEWALK RE: SEE CITY DETAILS
 - CITY ADA RAMP RE: SEE CITY DETAILS
 - STRAIGHT BACK CURB (CG-1) DRY RE: SEE CITY DETAIL
 - STRAIGHT BACK CURB (CG-1) WET RE: SEE CITY DETAIL
 - CONCRETE FLUME RE: SEE SHEET C210
 - TEMPORARY ASPHALT CURB RE: SEE SHEET C210

- ### GENERAL NOTES:
- CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.
 - PERFORM TEMPORARY EROSION CONTROL MEASURES IN ACCORDANCE WITH ALL STATE & LOCAL REQUIREMENTS. TEMPORARY EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL PERMANENT IMPROVEMENTS ARE IN PLACE.
 - ALL PARKING STALLS SHALL BE MARKED W/ A 4" WIDE STRIPE. PARKING STRIPES TO BE PAINTED ACCORDING TO SPECIFICATIONS.
 - CONSTRUCT ALL SIDEWALKS WITH 2% MAX. CROSS SLOPE AWAY FROM BUILDING UNLESS OTHERWISE SHOWN ON PLANS.
 - PLACE EXPANSION JOINTS, IN SIDEWALKS AT 50' MAX. SPACING, AT ALL DIRECTION CHANGES AND WHEN ADJACENT TO BUILDINGS.
 - ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.

- ### UTILITY NOTES:
- SANITARY SEWER
CONTRACTOR SHALL USE EXISTING SEWER STUB ALL EXISTING SEWER STUBS SHALL BE LOCATED AND CAPED PER CITY REQUIREMENTS
 - STORM SYSTEM
ALL STORM SEWER WILL BE GATHERED IN A PRIVATE SYSTEM AND THEN CONNECTED TO A PUBLIC SYSTEM AT AN EXISTING INLET.

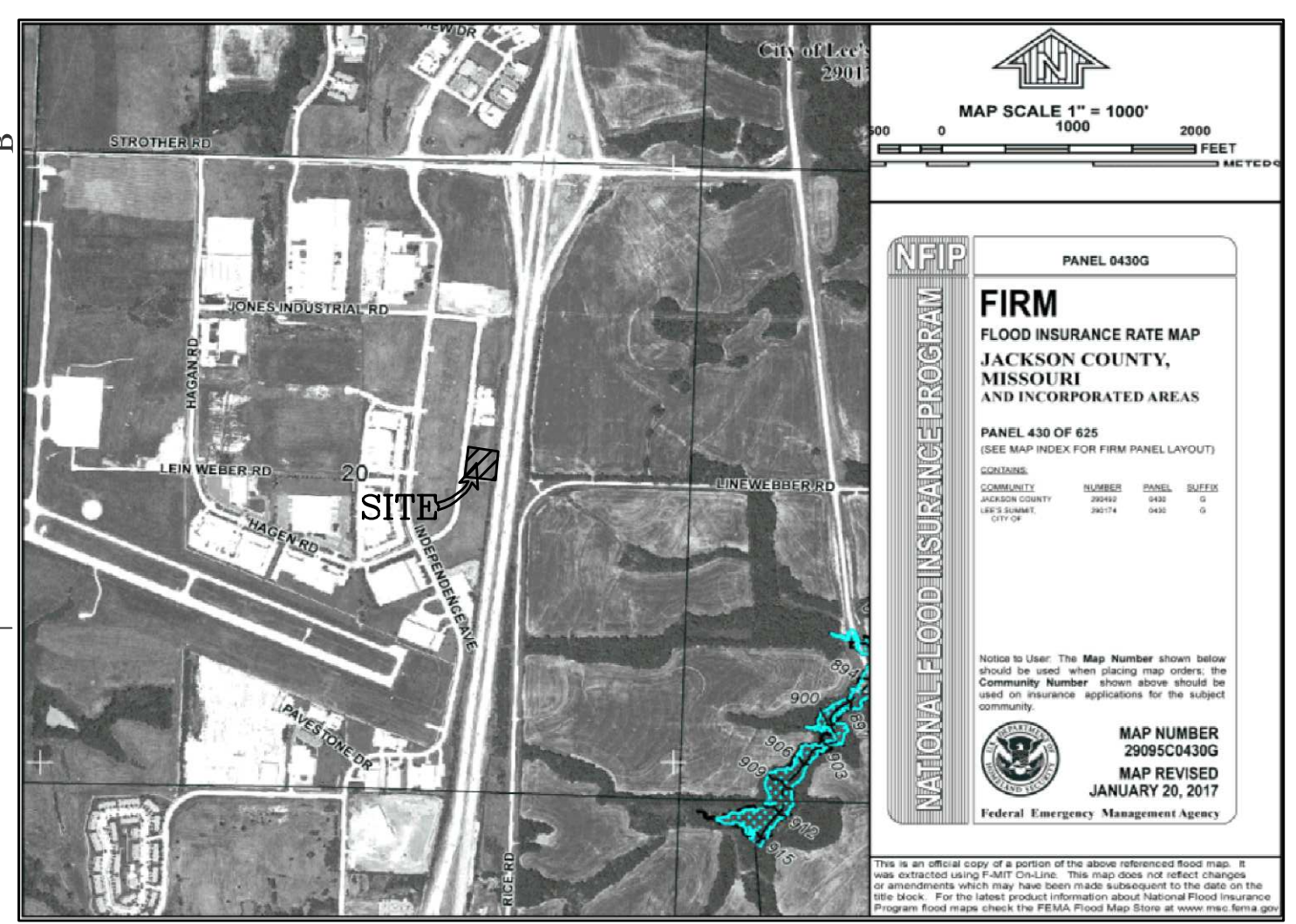
- ### DEVELOPMENT NOTES:
- TOTAL LOT AREA = 54,072sf = 1.24ac
 - TOTAL BUILDING FOOTAGE = 11,900sf
 - ESTIMATED 15% OFFICE = 1,785sf
 - PARKING STALLS
REQUIRED STALL = 4 PER 1,000sf OFFICE (1,785 / 1,000) X 4 = 8 STALLS
1 PER 1,000sf WAREHOUSE (10,115 / 1,000) X 1 = 11 STALLS
TOTAL REQUIRED = 19
PROPOSED STALLS
STANDARD 19'X9' STALLS @ 27' ADA 19'X9' STALL WITH H/L = 4 TOTAL = 33 31 STALLS
 - TOTAL GREENS SPACE 19,922sf = 37% 46%
 - FLOOR AREA RATIO (FAR) = 11,900sf / 54,072sf = 0.22 = 22% COVERAGE

PERVIOUS VS IMPERVIOUS CALCULATIONS

LOT SIZE	54,072 SF
IMPERVIOUS SURFACES	
BUILDINGS, PORCHES, DRIVES, PARKING, WALKS/MISC.	34,150SF 29,166 sf
TOTAL	34,150SF 29,166 sf
CALCULATIONS	
-/+ = 63% 54% IMPERVIOUS	
37% 46% PERVIOUS (GREEN)	

- ### PUBLIC IMPROVEMENTS
- CITY SANITARY MAIN "NONE"
 - WATER MAIN "NONE"
 - CITY SIDEWALK = "NONE"
 - CITY ADA RAMPS = 3

PROJECT CONTACTS: ROBERT WALQUIST, P.E.
821 NE COLUMBUS ST
LEE'S SUMMIT, MISSOURI 64063
Phone: (816) 550-5675

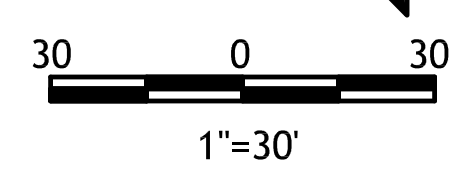


OIL AND GAS WELL NOTE:
1. NO OIL OR GAS WELL WHERE ON RECORD OR OBSERVED ON THE PROPERTY

REVISD LAYOUT
REVISD ENTRANCE LOCATION
COMBINE ENTRANCES INTO ON ENTRANCE
ROTATED TRASH ENCLOSURE

NONE THIS SHEET 11-17-22

REVISD LAYOUT
REMOVED REAR ACCESS ROAD
REVISD PARKING LAYOUT
MOVED TRASH ENCLOSURE



FINAL DEVELOPMENT PLAN

LOT 7 OF I-470 B & T CENTER
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

Quist Engineering, Inc
Civil Engineering for Residential & Commercial Site Development
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Lee's Summit, Missouri 64063
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1ST ISSUE
8-2-22

REVISIONS

1	1-10-23
2	6-22-23
3	7-18-23

SHEET NO.
C200

JOB NO.
E21-318