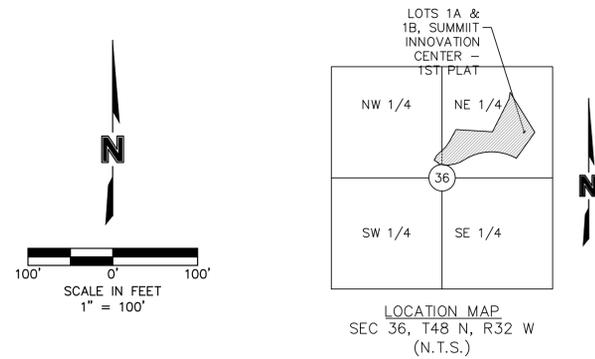


MINOR PLAT OF
LOTS 1A & 1B, SUMMIT INNOVATION CENTER - 1ST PLAT
REPLAT OF ALL OF LOT 1, SUMMIT INNOVATION CENTER - FIRST PLAT
& ALL OF LOT 12B SUMMIT FAIR LOT 12A & 12B SUMMIT FAIR SECOND PLAT
 N 1/2, SEC 36 - T48N. - R32W.
 LEE'S SUMMIT, JACKSON COUNTY, MISSOURI



FLOODPLAIN:

THE SUBJECT PROPERTY IS LOCATED IN "ZONE X" (AREAS OF MINIMAL FLOODING) ACCORDING TO "FLOOD INSURANCE RATE MAP" COMMUNITY PANEL NO. 29095C0417G, JACKSON COUNTY, MISSOURI FLOOD MAP REVISED JANUARY 20, 2017.

DRAINAGE NOTE:

INDIVIDUAL LOT OWNER(S) SHALL NOT CHANGE OR OBSTRUCT THE DRAINAGE FLOW PATHS ON THE LOTS AS SHOWN ON THE MASTER DRAINAGE PLAN, UNLESS SPECIFIC APPLICATION IS MADE AND APPROVED BY THE CITY ENGINEER.

OIL AND GAS WELLS:

NO OIL OR GAS WELLS AFFECT THIS PROPERTY AS LISTED IN 07-28-2022 OIL AND GAS WELLS DATABASE AS DISPLAYED ON MISSOURI DEPARTMENT OF NATURAL RESOURCES WEBSITE.

SURVEYORS NOTES:

1. PROPERTY INFORMATION REFERENCING THIS SURVEY WAS TAKEN FROM THE COMMITMENT FOR TITLE INSURANCE REPORT, ISSUED BY CHICAGO TITLE COMPANY, LLC. FILE NO. KCC230206, EFFECTIVE JANUARY 26, 2023 AT 8:00 A.M.

NOTE: THIS SURVEYOR HAS MADE NO SEARCH AT THE COUNTY REGISTER OF DEEDS OFFICE OR SEARCHED COURT DOCUMENTS FOR EASEMENTS, VACATIONS, RIGHT-OF-WAY ACQUISITIONS, CONDEMNATIONS, COURT DECREES OR ENCUMBRANCES THAT MAY AFFECT THIS PROPERTY. THE AFOREMENTIONED ITEMS SHOWN HEREON, IF ANY, ARE BASED ENTIRELY UPON THE TITLE REPORT, COMMITMENT, OR OWNERSHIP AND ENCUMBRANCE REPORT CITED ABOVE, BY DOCUMENTS FOUND IN THIS FIRMS POSSESSION, DOCUMENTS OBTAINED FROM OTHER SOURCES, OR OTHER INFORMATION THAT PROMPTED A SPECIFIC SEARCH FOR SUCH ITEMS. IF ANY OTHER EASEMENTS, VACATIONS, RIGHT-OF-WAY ACQUISITIONS, CONDEMNATIONS, COURT DECREES OR ENCUMBRANCES AFFECT THIS PROPERTY THEIR EXISTENCE IS UNKNOWN TO THIS SURVEYOR AND ARE THEREFORE NOT SHOWN.

2. BEARINGS USED HEREON ARE BASED ON THE MISSOURI STATE PLANE COORDINATE SYSTEM, NAD 1983, WEST ZONE.

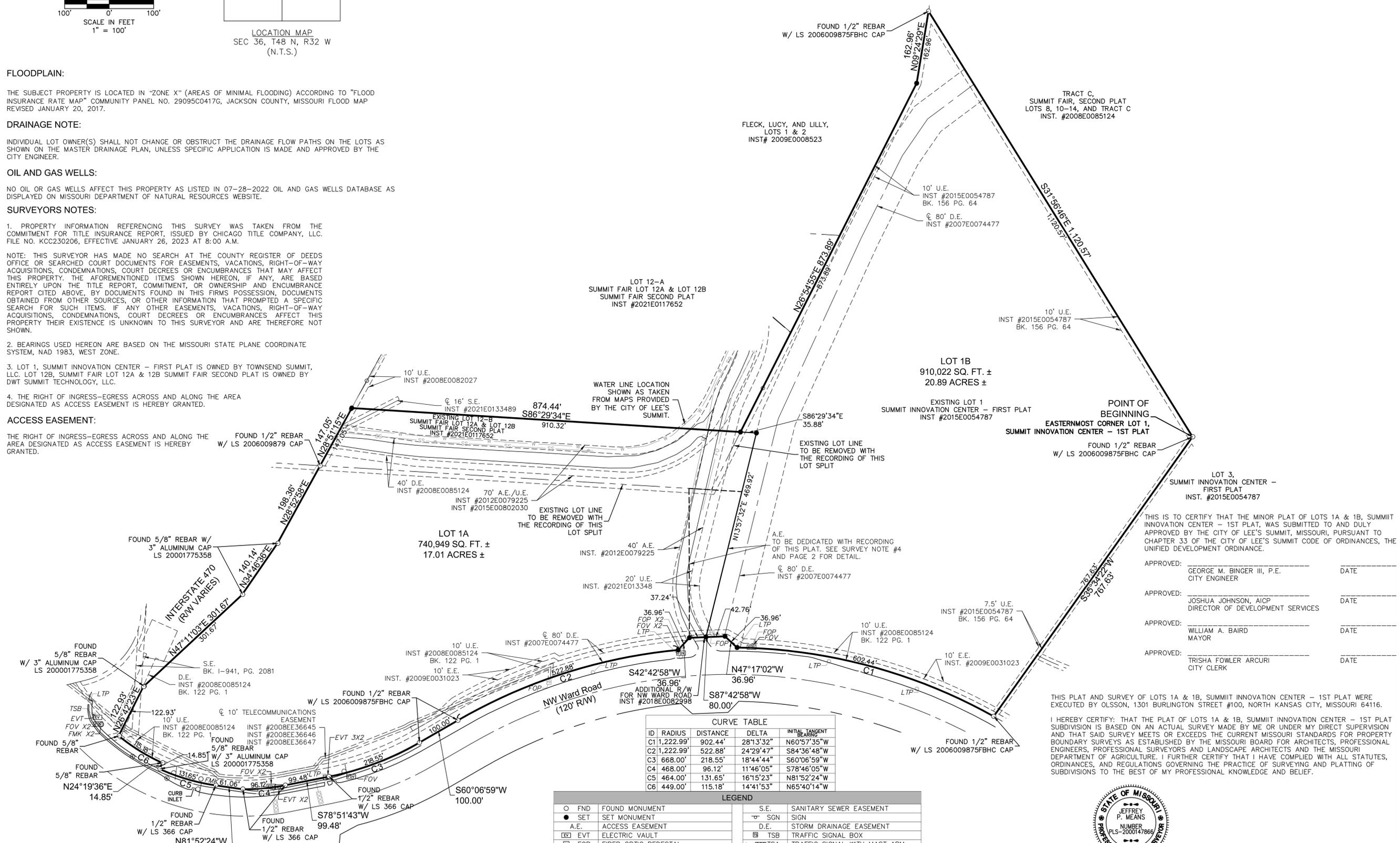
3. LOT 1, SUMMIT INNOVATION CENTER - FIRST PLAT IS OWNED BY TOWNSEND SUMMIT, LLC. LOT 12B, SUMMIT FAIR LOT 12A & 12B SUMMIT FAIR SECOND PLAT IS OWNED BY DWT SUMMIT TECHNOLOGY, LLC.

4. THE RIGHT OF INGRESS-EGRESS ACROSS AND ALONG THE AREA DESIGNATED AS ACCESS EASEMENT IS HEREBY GRANTED.

ACCESS EASEMENT:

THE RIGHT OF INGRESS-EGRESS ACROSS AND ALONG THE AREA DESIGNATED AS ACCESS EASEMENT IS HEREBY GRANTED.

USER: jholdcroft
 DATE: Jul 12, 2023 1:47PM
 DWG: F:\2023\09501-01000\023-00949\40-Design\Survey\SRVY\Sheets\Minor Sub V_FPT_023-00949.dwg



CURVE TABLE

ID	RADIUS	DISTANCE	DELTA	INITIAL TANGENT
C1	1,222.99'	902.44'	28°13'32"	N6°07'35"W
C2	1,222.99'	522.88'	24°29'47"	S84°36'48"W
C3	668.00'	218.55'	18°44'44"	S6°06'59"W
C4	468.00'	96.12'	11°46'05"	S78°46'05"W
C5	464.00'	131.65'	16°15'23"	N81°52'24"W
C6	449.00'	115.18'	14°41'53"	N65°40'14"W

LEGEND

○ FND	FOUND MONUMENT	S.E.	SANITARY SEWER EASEMENT
● SET	SET MONUMENT	SGN	SIGN
A.E.	ACCESS EASEMENT	D.E.	STORM DRAINAGE EASEMENT
EV	ELECTRIC VAULT	TSB	TRAFFIC SIGNAL BOX
FOP	FIBER OPTIC PEDESTAL	TSA	TRAFFIC SIGNAL WITH MAST ARM
FOV	FIBER OPTIC VAULT	FO	UNDERGROUND FIBER OPTIC LINE
LTP	LIGHT POLE	SS	UNDERGROUND SANITARY SEWER
P-OH	OVERHEAD POWER LINE	W	UNDERGROUND WATER LINE
E.E.	POWER EASEMENT	U.E.	UTILITY EASEMENT
SSMH	SANITARY MANHOLE		

PREPARED FOR:
 ANDERSON ENGINEERING
 C/O JOHN V. HUSS, P.E.
 4240 PHILIPS FARM ROAD, SUITE 101
 COLUMBIA, MO 65201

THIS IS TO CERTIFY THAT THE MINOR PLAT OF LOTS 1A & 1B, SUMMIT INNOVATION CENTER - 1ST PLAT, WAS SUBMITTED TO AND DULY APPROVED BY THE CITY OF LEE'S SUMMIT, MISSOURI, PURSUANT TO CHAPTER 33 OF THE CITY OF LEE'S SUMMIT CODE OF ORDINANCES, THE UNIFIED DEVELOPMENT ORDINANCE.

APPROVED:	DATE
GEORGE M. BINGER III, P.E. CITY ENGINEER	
JOSHUA JOHNSON, AICP DIRECTOR OF DEVELOPMENT SERVICES	
WILLIAM A. BAIRD MAYOR	
TRISHA FOWLER ARCURI CITY CLERK	

THIS PLAT AND SURVEY OF LOTS 1A & 1B, SUMMIT INNOVATION CENTER - 1ST PLAT WERE EXECUTED BY OLSSON, 1301 BURLINGTON STREET #100, NORTH KANSAS CITY, MISSOURI 64116.

I HEREBY CERTIFY: THAT THE PLAT OF LOTS 1A & 1B, SUMMIT INNOVATION CENTER - 1ST PLAT SUBDIVISION IS BASED ON AN ACTUAL SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION AND THAT SAID SURVEY MEETS OR EXCEEDS THE CURRENT MISSOURI STANDARDS FOR PROPERTY BOUNDARY SURVEYS AS ESTABLISHED BY THE MISSOURI BOARD FOR ARCHITECTS, PROFESSIONAL ENGINEERS, PROFESSIONAL SURVEYORS AND LANDSCAPE ARCHITECTS AND THE MISSOURI DEPARTMENT OF AGRICULTURE. I FURTHER CERTIFY THAT I HAVE COMPLIED WITH ALL STATUTES, ORDINANCES, AND REGULATIONS GOVERNING THE PRACTICE OF SURVEYING AND PLATTING OF SUBDIVISIONS TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF.



OLSSON, MO CLS 366
 JEFFREY P. MEANS, MO PLS 2000147866
 JULY 12, 2023
 JMEANS@OLSSON.COM

DATE OF SURVEY
2023-03-09 - 1ST SUBMITTAL

drawn by: JRH
 surveyed by: AH-CACT
 checked by: JSE
 approved by: JPM
 project no.: 023-00949
 file name: V_FPT_023-00949.DWG

olsson
 Olson - Land Surveying - MO 366, KS 114, MO Certificate of Authority-001692
 1301 Burlington Street, North Kansas City, MO 64116
 TEL 816.361.1177
 FAX 816.361.1888
 www.olson.com

