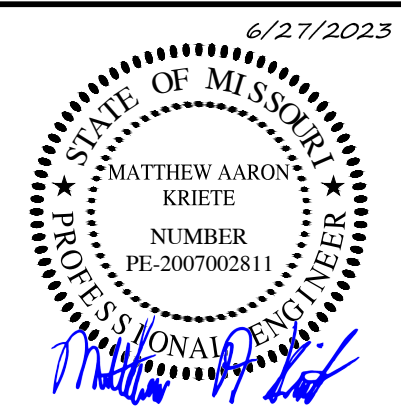


PUBLIC IMPROVEMENTS FOR  
WILSHIRE HILLS PHASE III

LEE'S SUMMIT, JACKSON COUNTY, MISSOURI  
SITE PLAN  
JUNE 27, 2023

PUBLIC IMPROVEMENTS FOR  
WILSHIRE HILLS PHASE III  
ADDRESS  
LEE'S SUMMIT, JACKSON COUNTY, MO



MATTHEW A. KRIETE  
PROFESSIONAL ENGINEER  
PE-2007002811

IF ORIGINAL SIGNATURE OR DIGITAL  
AUTHENTICATION IS NOT PRESENT THIS  
MEDIA SHOULD NOT BE CONSIDERED A  
CERTIFIED DOCUMENT.

Date  
JUNE 27, 2023

Revised

Design: ST Drawn: MJS

COVER

Sheet

C0.01

ES&S PROJECT NO. 15925

CONSTRUCTION DOCUMENTS

MDNR PERMIT

MDNR PERMIT NO. XXXX XXXXX

PROPERTY DESCRIPTION

BENCH MARK

BM - MISSOURI DEPARTMENT OF TRANSPORTATION VRS NETWORK.

PROPERTY OWNER

JEFFREY E. SMITH INVESTMENT CO, LLC  
206 PEACH WAY  
COLUMBIA, MISSOURI 65203

ZONING NOTE

THIS PROPERTY IS ZONED "P-MIX" PLANNED MIXED USE DISTRICT

FLOODPLAIN NOTE

THIS PROPERTY IS LOCATED IN ZONE X "AREAS DETERMINED TO BE  
OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD" AS SHOWN BY FIRM  
COMMUNITY PANEL NUMBER 29095C0430G, DATED JANUARY 20, 2017.

NOTE

IT IS IMPORTANT TO NOTE THAT THIS PLAN IS A PART OF A LARGER PUBLIC IMPROVEMENT  
PLAN CONSTRUCTION DOCUMENT. ALL EROSION AND SEDIMENT CONTROL REQUIREMENTS ARE  
STILL APPLICABLE FOR ANY ONSITE CONSTRUCTION. PLEASE REFERENCE:

- ROAD & STORM SEWER PLAN COVER
- UTILITY EXTENSION PLAN COVER
- SANITARY SEWER EXTENSION PLAN COVER
- MASS GRADING & EROSION CONTROL PLAN COVER

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PUBLIC IMPROVEMENTS FOR  
WILSHIRE HILLS PHASE III

UTILITY NOTES

THE LOCATIONS, SIZES, AND MATERIAL TYPES OF UNDERGROUND UTILITIES  
INDICATED ON THE PLAT, NOT VISIBLE OR APPARENT FROM THE SURFACE, ARE  
SHOWN IN THEIR APPROXIMATE LOCATIONS FROM A MISSOURI ONE CALL SYSTEM  
LOCATE, OR UTILITY COMPANY RECORDS AND WERE NOT VERIFIED IN THE FIELD.

WATER

JACKSON COUNTY PWS #14  
CITY OF LEE'S SUMMIT  
220 SE GREEN STREET  
LEE'S SUMMIT, MISSOURI 64063  
CONTACT: PUBLIC WORKS DEPARTMENT 816-969-1800  
12" DI ALONG THE NORTH SIDE OF MEADOWVIEW DRIVE.  
30" PCP ALONG THE WEST PROPERTY LINE.

SANITARY SEWER

CITY OF LEE'S SUMMIT  
220 SE GREEN STREET  
LEE'S SUMMIT, MISSOURI 64063  
CONTACT: WES OWEN 816-969-1955  
AS SHOWN

STORM SEWER

CITY OF LEE'S SUMMIT  
220 SE GREEN STREET  
LEE'S SUMMIT, MISSOURI 64063  
CONTACT: SHAWN GRAFF 816-969-1800  
AS SHOWN

ELECTRIC

EVERGY  
1300 SE HAMBLIN ROAD  
LEE'S SUMMIT, MISSOURI 64081  
CONTACT: 888-471-5275

FIBER OPTIC

GOOGLE FIBER  
2812 WEST 47TH STREET  
KANSAS CITY, KS 66103  
CONTACT: CRAIG YOUNG 870-219-5630

GAS

MISSOURI GAS ENERGY  
3025 SE CLOVER ROAD  
LEE'S SUMMIT, MISSOURI 64081  
CONTACT: BECCA ORR 816-969-2230

TELECOM

AT&T  
215 N. SPRING STREET, 2nd FLOOR  
INDEPENDENCE, MO 64050  
CONTACT: MARK MANION 816-275-2341  
AS SHOWN

TIME WARNER CABLE

CONTACT: ROY BELLIS 913-643-1914  
AS SHOWN

COMCAST CABLE COMMUNICATIONS

3400 NW DUNCAN ROAD  
BLUE SPRINGS, MO 64015  
CONTACT: BARBARA BROWN 816-795-2255  
AS SHOWN



IMPERVIOUS AREA

PRE PROJECT

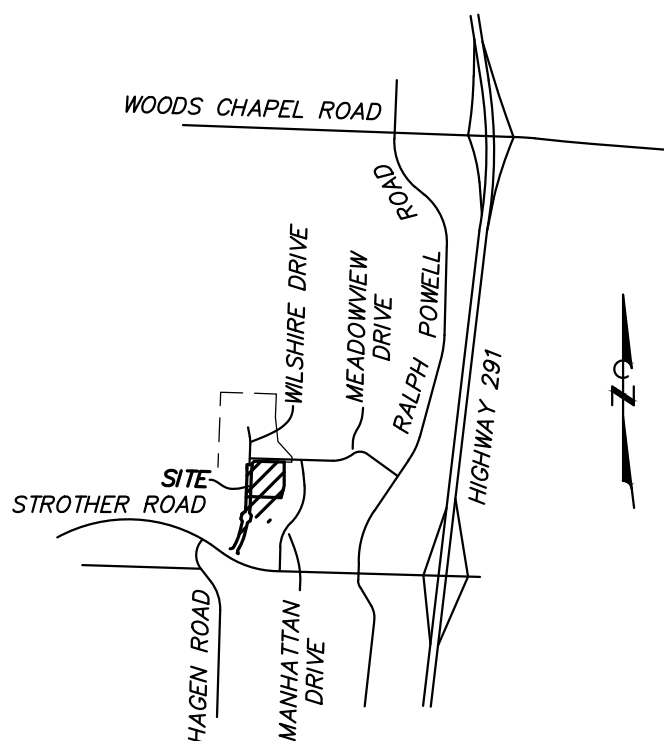
PERVIOUS = 8.65 ACRE  
IMPERVIOUS = 0.00 ACRE  
TOTAL = 8.65 ACRE

POST PROJECT

PERVIOUS = 7.87 ACRE  
IMPERVIOUS = 0.78 ACRE  
TOTAL = 8.65 ACRE

DESIGN REQUIREMENTS

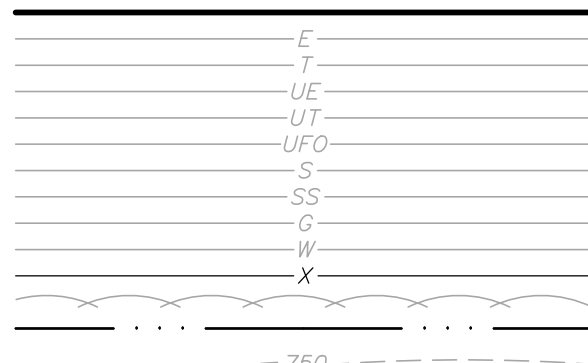
WILSHIRE DRIVE  
FUNCTIONAL CLASSIFICATION  
COMMERCIAL LOCAL = STA. 4+62.67 - 8+57.76  
RESIDENTIAL LOCAL = STA. 8+57.75 - 15+18.90  
DESIGN SPEED = 25 MPH



VICINITY MAP

NOT TO SCALE

LEGEND



PROPERTY LINE  
ELECTRIC LINE  
TELECOMMUNICATIONS LINE  
UNDERGROUND ELECTRIC LINE  
UNDERGROUND TELECOMMUNICATIONS LINE  
UNDERGROUND FIBER OPTIC LINE  
SANITARY SEWER LINE  
STORM SEWER LINE  
GAS LINE  
WATER LINE  
FENCE  
TREE & BRUSH LINE  
DRAINAGE SWALE  
EXISTING CONTOUR  
ANCHOR  
TEST BORING  
IRON  
CONTROL POINT  
ELECTRIC METER  
FLARED END SECTION  
FIRE HYDRANT  
FLOW LINE  
HIGH DENSITY POLYETHYLENE PIPE  
PRESTRESSED CONCRETE CYLINDER PIPE  
POLYVINYL CHLORIDE PIPE  
TOP OF WALL  
UTILITY POLE  
WATER METER  
WATER VALVE  
YARD LIGHT  
SILT FENCE  
TEMPORARY DIVERSION DIKE  
TREE PRESERVATION BARRIER  
FINISH CONTOUR

TOP OF CURB ELEVATION  
TOP OF PAVEMENT ELEVATION

FINISH GRADE ELEVATION

PROPOSED SANITARY SEWER LINE  
PROPOSED WATER LINE  
PROPOSED UNDERGROUND ELECTRIC  
PROPOSED UNDERGROUND TELECOMMUNICATIONS  
PROPOSED STORM SEWER  
PROPOSED WATER VALVE  
PROPOSED FIRE HYDRANT & VALVE

THRUST BLOCK

THRUST COLLAR

STANDARD DUTY CONCRETE

HEAVY DUTY CONCRETE



P:\GENERAL PROJECTS\159250-ES-WILSHIRE-HILLS-3-ENV\CAD\15925 COVER & DETAILS.DWG 6/27/2023

SEQUENCE OF EVENTS

PHASE 1:

- PRE-CONSTRUCTION MEETING FOR SWPPP TRAINING PRIOR TO ANY CONSTRUCTION.
- CONSTRUCT TEMPORARY CONSTRUCTION EXIT AT LOCATION SHOWN ON PLANS.
- INSTALL PERIMETER EROSION CONTROL BARRIER AS SHOWN.
- INSTALL 30,000 SQUARE FOOT STONE LAYDOWN AREA WITH 25' WIDE ACCESS DRIVE FROM LAYDOWN AREA TO CONSTRUCTION ENTRANCE AS SOON AS PRACTICAL.
- CONSTRUCT SIDE OPEN INLET, DISCHARGE PIPE, F.E.S., AND RIP RAP AS SHOWN. INSTALL INLET PROTECTION.
- STRIP TOPSOIL IN THE AREA AND STOCKPILE IN DESIGNATED LOCATION. DIG DETENTION BASIN TO GIVEN DEPTH ALONG WITH SWALES DIRECTING WATER INTO BASIN.
- BEGIN CLEARING AND GRUBBING OPERATIONS. CLEARING AND GRUBBING SHALL BE DONE ONLY IN AREAS WHERE EARTHWORK WILL BE PERFORMED AND ONLY IN AREAS WHERE BUILDING IS PLANNED TO COMMENCE WITHIN 14 DAYS (OR 7 DAYS IF THE SLOPE OF THE AREA IS GREATER THAN 3:1 (3 FEET HORIZONTAL TO 1 FOOT VERTICAL) OR IF THE SLOPE IS GREATER THAN 3% AND GREATER THAN 150 FEET IN LENGTH) AFTER CLEARING AND GRUBBING.
- COMMENCE SITE GRADING.
- DISTURBED AREAS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS CEASED FOR MORE THAN 14 DAYS (7 DAYS IF THE SLOPE OF THE AREA IS GREATER THAN 3:1 (3 FEET HORIZONTAL TO 1 FOOT VERTICAL) OR IF THE SLOPE IS GREATER THAN 3% AND GREATER THAN 150 FEET IN LENGTH) SHALL BE TEMPORARILY SEEDED AND WATERED.
- SOIL STOCKPILES SHALL BE WATERED AS NEEDED TO PREVENT WIND EROSION.

PHASE 2:

- INSTALL STORM SEWER.
- INSTALL WATERLINE.
- INSTALL SANITARY SEWER.
- BUILD STREET, INCLUDING CURB & GUTTER.
- STABILIZE THE ENTIRE SITE.
- DISTURBED AREAS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS CEASED FOR MORE THAN 14 DAYS (7 DAYS IF THE SLOPE OF THE AREA IS GREATER THAN 3:1 (3 FEET HORIZONTAL TO 1 FOOT VERTICAL) OR IF THE SLOPE IS GREATER THAN 3% AND GREATER THAN 150 FEET IN LENGTH) SHALL BE TEMPORARILY SEEDED AND WATERED.
- SOIL STOCKPILES SHALL BE WATERED AS NEEDED TO PREVENT WIND EROSION.
- ENSURE THE DETENTION BASIN EXCESSIVE SEDIMENT IS REMOVED AFTER COMPLETION OF CONSTRUCTION BACK TO SHOWN GRADING.

CONSTRUCTION NOTES

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL IDENTIFIED PROPERTY CORNERS, LAND SURVEY CORNERS, AND ACCESSORIES. THE CONTRACTOR SHALL CAUSE THE CORNERS AND ACCESSORIES TO BE REFERENCED BY A LICENSED LAND SURVEYOR, AND ANY SUCH CORNER OR ACCESSORIES DISTURBED OR DESTROYED DURING CONSTRUCTION SHALL BE RESET BY THE SURVEYOR AT THE ORIGINAL LOCATION, AND FILE THE RESTORATIONS AND MONUMENT DOCUMENTS AS THE LAW REQUIRES.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO ENGINEERING SURVEYS AND SERVICES FOR REVIEW AND APPROVAL FOR ALL MATERIALS BEFORE ORDERING.
- ALL DIMENSIONS ARE TO BACK OF CURB, FACE OF SIDEWALK, OR EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED.
- CONCRETE DRIVEWAY APRONS SHALL BE CONSTRUCTED AS PER CITY OF LEE'S SUMMIT SPECIFICATIONS. CONTRACTOR SHALL OBTAIN PERMIT FROM CITY TO WORK WITHIN STREET RIGHT-OF-WAY.
- CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- STANDARD DUTY AND HEAVY DUTY PAVEMENT MAY BE CONCRETE OR ASPHALT UNLESS OTHERWISE NOTED. INTEGRAL CURB MAY BE USED FOR CONCRETE PAVEMENT.
- ALL TRAFFIC CONTROL SHALL BE PER CURRENT MUTCD REQUIREMENTS AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. A TRAFFIC CONTROL PLAN WILL BE REQUIRED FOR ANY WORK WITHIN THE RIGHT-OF-WAY.
- CONTRACTOR SHALL NOTIFY ADJACENT PROPERTY OWNERS IN WRITING 30 DAYS PRIOR TO CONSTRUCTION.
- IF A CONFLICT EXISTS BETWEEN THE CIVIL PLANS AND CIVIL SPECIFICATIONS, THE CIVIL PLANS SHALL GOVERN.
- CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE BUILDING AND SITE DEVELOPMENT RIGHT-OF-WAY TECHNICIAN (874-7474) IMMEDIATELY PRIOR TO CLOSURE OF STREET, DURING CONSTRUCTION FOR INSPECTIONS AND AGAIN WHEN WORK IS COMPLETE AND STREET IS REOPENED.
- ALL INCIDENTAL ITEMS INCLUDING BUT NOT LIMITED TO SIGNS, PAVEMENT MARKING, PAVEMENT, CURBS, TRUNCATED DOMES, FENCING, LANDSCAPING, IRRIGATION, ETC. EITHER DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE RETURNED TO ORIGINAL CONDITIONS BY THE CONTRACTOR.

GRADING AND STORM SEWER CONSTRUCTION NOTES

- ALL STORM SEWER PIPES AND INLETS SHALL MEET HEAVY DUTY TRAFFIC (HS20) LOADING AND BE INSTALLED ACCORDINGLY.
- CONCRETE STORM SEWER INLETS & JUNCTION BOXES SHALL BE INSTALLED PER THE CITY OF LEE'S SUMMIT SPECIFICATIONS AND AS DETAILED IN THESE PLANS.
- REINFORCED CONCRETE PIPE (RCP) SHALL BE INSTALLED PER THE "EMBEDMENT OF RCP STORM SEWER PIPE" DETAIL. PIPE CLASS SHALL BE APPROPRIATE TO DEPTH AND BEDDING MATERIAL AS SHOWN IN SCHEDULE.
- ALL RCP PIPE JOINTS SHALL BE SOIL TIGHT PER CURRENT MODOT SPECIFICATIONS SECTION 726.3.1.
- ALL HDPE PIPE SHALL BE ADS N-12 ST SOIL TIGHT, SMOOTH INTERIOR PIPE OR APPROVED EQUAL. INSTALLATION SHALL FOLLOW THE "EMBEDMENT OF PLASTIC STORM SEWER PIPE" DETAIL.
- CONTRACTOR SHALL ADJUST ALL GRATES, MANHOLES, VALVE BOXES, ETC. TO MATCH FINISH GRADES, AS REQUIRED.
- ALL STRUCTURE CONNECTIONS SHALL BE WATERTIGHT.
- ALL CONCRETE STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED CONCRETE INVERT FROM INVERT IN TO INVERT OUT.
- ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE FLUSH WITH FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER". TOP OF BOXES SHALL BE SLOPED TO MATCH PAVEMENT GRADE.
- PIPE LENGTHS ARE GIVEN FROM CENTER OF STRUCTURE OR DOWNSTREAM END OF FLARED END SECTIONS.
- ALL FLARED END SECTIONS FOR CONCRETE PIPE SHALL BE REINFORCED PRECAST CONCRETE. ALL FLARED END SECTIONS FOR PLASTIC PIPE SHALL BE GALVANIZED METAL UNLESS OTHERWISE NOTED.
- ALL SITES USED FOR IMPORTING OR EXPORTING OF FILL MATERIAL SHALL HAVE AN ACTIVE MISSOURI DEPARTMENT OF NATURAL RESOURCES LAND DISTURBANCE PERMIT, AS REQUIRED.
- CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS, TREES AND BRUSH, AND OTHER MATERIAL CREATED AS A RESULT OF CONSTRUCTION. MATERIAL SHALL BE DISPOSED OF IN COMPLIANCE WITH ALL APPLICABLE LAWS AND REGULATIONS. BURNING ON SITE SHALL BE ALLOWED BY PERMIT ONLY.
- CONTRACTOR SHALL REMOVE ALL STUMPS BY EXCAVATING TO INCLUDE REMOVAL OF ASSOCIATED ROOT SYSTEM.
- CONTRACTOR SHALL NOT ADVANCE TRENCH EXCAVATION BEYOND AMOUNT THAT CAN ACCOMMODATE PIPE INSTALLATION AND BACKFILLING AT THE END OF EACH DAY.
- ENGINEERED FILL SHOULD BE FREE OF FROZEN SOIL, ORGANICS, RUBBISH, LARGE ROCKS, WOOD, OR OTHER DELETERIOUS MATERIAL. COHESIVE FILLS SHOULD BE UNIFORMLY COMPACTED TO AT LEAST 95 PERCENT OF THE "STANDARD" MAXIMUM DRY DENSITY AND BE WITHIN -2 TO +4 PERCENT OF OPTIMUM MOISTURE CONTENT AS DESCRIBED BY ASTM D698. GRANULAR FILLS SHOULD BE UNIFORMLY COMPACTED TO AT LEAST 95 PERCENT OF THE "STANDARD" MAXIMUM DRY DENSITY. THE MOISTURE CONTENT SHOULD BE HIGH ENOUGH TO PROVIDE FOR PROPER COMPACTION, BUT LOW ENOUGH TO PREVENT UNDUE PUMPING. PLACE FILL MATERIAL IN LOOSE LIFTS NOT TO EXCEED 8 INCHES IN THICKNESS.
- ROCKS AND STONES THAT EXCEED THE THICKNESS OF THE LOOSE LIFT FILL LAYER SHOULD BE REMOVED AND DISPOSED OF OFF THE IMMEDIATE CONSTRUCTION AREA.
- IMPORTED SOILS PROPOSED FOR USE AS FILL OR BACKFILL SHOULD BE REVIEWED AND ANALYZED BY THE GEOTECHNICAL ENGINEER PRIOR TO USE ON SITE. SOIL CLASSIFIED AS MH, OH, OL, OR PT (HIGH PLASTICITY SOILS AND ORGANIC SOILS) BY THE UNIFIED SOIL CLASSIFICATION SYSTEM (ASTM D2487) SHOULD NOT BE IMPORTED FOR USE AS ENGINEERED FILL. SUITABLE IMPORTED MATERIALS FOR GENERAL SITE FILL ARE THOSE THAT CLASSIFY AS GW, GM, GC, SC, AND CL IN ACCORDANCE WITH ASTM D 2487. MATERIALS CLASSIFIED AS OH SHOULD BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO THEIR IMPORTATION AND ONLY USED OUTSIDE THE BUILDING PAD AT DEPTHS BELOW THE UPPER 2 FEET OF SUBGRADE. SUBJECT TO FINAL DESIGN REQUIREMENTS FOR WALL BACKFILL, SUITABLE IMPORTED MATERIALS FOR WALL AND TRENCH BACKFILL ARE THOSE THAT CLASSIFY AS GW, GP, GM, GC, SM, SW, SP, SC, AND CL IN ACCORDANCE WITH ASTM D2487.
- FILLS PLACED IN AREAS WHERE THE NATURAL SLOPE IS GREATER THAN 5H:1V (HORIZONTAL TO VERTICAL) SHOULD BE BENCHED INTO THE EXISTING GRADE TO REDUCE THE POTENTIAL FOR SLIPPAGE BETWEEN EXISTING SLOPES AND ENGINEERED FILL. BENCHES SHOULD BE LEVEL AND WIDE ENOUGH TO ACCOMMODATE COMPACTION AND EARTH MOVING EQUIPMENT.
- FILL AND SUBGRADE CONSTRUCTION SHOULD NOT BE STARTED ON FOUNDATION SOIL, PARTIALLY COMPLETED FILL, OR SUBGRADES THAT CONTAIN FROST OR ICE. FILL SHOULD NOT BE CONSTRUCTED USING FROZEN SOIL. FROZEN SOIL SHOULD BE REMOVED PRIOR TO PLACING FILL MATERIAL.
- AFTER STRIPPING AND GRUBBING OPERATIONS ARE COMPLETED AND PRIOR TO FILL PLACEMENT, AREAS TO BE FILLED SHALL BE PROOF ROLLED USING A LOADED TANDEM AXLE DUMP TRUCK TO IDENTIFY SOFT AND UNSUITABLE AREAS. SOFT MATERIAL MAY BE MOISTURE CONDITIONED AND REUSED AS ENGINEERED FILL. UNSUITABLE AND DELETERIOUS MATERIAL SHALL BE REMOVED FROM SITE.
- ALL NEW UTILITY TRENCHES SHOULD BE BACKFILLED IN ACCORDANCE WITH APPROPRIATE CONTROLLED ENGINEERED FILL SPECIFICATIONS.
- FIELD DENSITY TESTS SHOULD BE CONDUCTED IN ACCORDANCE WITH ASTM D6938 (NUCLEAR METHODS) OR ASTM D 1556 (SAND CONE METHOD). FIELD DENSITY TESTS SHOULD BE PERFORMED AT THE RATE OF ONE TEST PER 2,500 SQUARE FEET PER LIFT WITHIN THE BUILDING AND 10,000 SQUARE FEET PER LIFT BENEATH PAVEMENTS, SIDEWALKS, AND OTHER POTENTIAL STRUCTURAL AREAS WITH A MINIMUM OF 3 TESTS PER LIFT AND ONE TEST PER 150 LINEAL FEET PER LIFT FOR FOUNDATION, TRENCH AND WALL BACKFILL.
- BUILDING PAD AND PARKING AREAS SHALL BE PROOF-ROLLED WITH A FULLY LOADED TANDEM AXLE DUMP TRUCK TO IDENTIFY ANY SOFT OR UNSUITABLE AREAS, PRIOR TO BASE ROCK PLACEMENT. THE PROOF-ROLL SHALL BE OBSERVED BY THE PROJECT GEOTECHNICAL ENGINEER. AREAS IDENTIFIED AS UNSUITABLE SHALL BE OVER EXCAVATED AND RECONSTRUCTED WITH ENGINEERED FILL.
- CONTRACTOR SHALL PLACE STOCKPILED TOPSOIL FROM SITE IN ALL LANDSCAPE AREAS TO A MINIMUM DEPTH OF 6" UNLESS NOTED OTHERWISE IN PROJECT SPECIFICATIONS. ANY EXCESS TOPSOIL SHALL BE DISPOSED OF ONSITE PER OWNER.

HAZARDOUS SUBSTANCE NOTE

- SUBSTANCES REGULATED BY FEDERAL LAW UNDER THE RESOURCE CONSERVATION AND RECOVERY ACT (RCRA) OR THE COMPREHENSIVE ENVIRONMENTAL RESPONSE COMPENSATION AND LIABILITY ACT (CERCLA) WHICH ARE TRANSPORTED, STORED OR USED FOR MAINTENANCE, CLEANING OR REPAIRS SHALL BE MANAGED ACCORDING TO THE PROVISIONS OF RCRA AND CERCLA.
- ALL PAINTS, SOLVENTS, PETROLEUM PRODUCTS AND PETROLEUM WASTE PRODUCTS (EXCEPT FUELS) AND STORAGE CONTAINERS (SUCH AS DRUMS, CANS OR CARTONS) SHALL BE STORED SUCH THAT THESE MATERIALS ARE NOT EXPOSED TO STORM WATER. SUFFICIENT PRACTICES OF SPILL PREVENTION, CONTROL AND/OR MANAGEMENT SHALL BE PROVIDED TO PREVENT ANY SPILLS OF THESE POLLUTANTS FROM ENTERING A WATER OF THE STATE. ANY CONTAINMENT SYSTEM USED TO IMPLEMENT THIS REQUIREMENT SHALL BE CONSTRUCTED OF MATERIALS COMPATIBLE WITH THE SUBSTANCES CONTAINED AND SHALL ALSO PREVENT THE CONTAMINATION OF GROUNDWATER.
- THE APPLICANT SHALL NOTIFY BY TELEPHONE AND IN WRITING THE DEPARTMENT OF NATURAL RESOURCES, WATER POLLUTION CONTROL PROGRAM, POST OFFICE BOX 176, JEFFERSON CITY, MO 65102, 1-800-361-4827, OF ANY OIL SPILLS OR IF HAZARDOUS SUBSTANCES ARE FOUND DURING THE PROSECUTION OF WORK UNDER THIS PERMIT.

STORM WATER POLLUTION PREVENTION PLAN NOTES

- CONTRACTOR SHALL FOLLOW THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES. A COPY OF THIS PLAN, SWPPP, AND ALL PERMITS SHALL REMAIN ON SITE THROUGHOUT CONSTRUCTION.
- CONTRACTORS ARE REQUIRED TO SUBMIT TO CITY INSPECTION STAFF COPIES OF THEIR INSPECTION REPORTS REQUIRED BY THE SWPPP ON A MONTHLY BASIS.
- NO LAND CLEARING OR GRADING SHALL BEGIN UNTIL ALL EROSION CONTROL MEASURES HAVE BEEN INSTALLED AND APPROVAL HAS BEEN RECEIVED FROM ALL GOVERNING AUTHORITIES.
- IMMEDIATELY UPON COMPLETION OF FINISH GRADING IN EACH AREA, ALL LANDSCAPING AREAS SHALL BE STABILIZED PER PLANS AND/OR SPECIFICATIONS.
- SHOULD CONSTRUCTION STOP FOR LONGER THAN 14 DAYS, THE SITE SHALL BE SEEDED AS SPECIFIED IN THE SWPPP.
- SITE INSPECTION SHOULD OCCUR ON A REGULAR SCHEDULE AND WITHIN 24 HOURS OF A STORM EVENT OF 0.25 INCHES OR GREATER. REGULARLY SCHEDULED INSPECTION SHALL BE A MINIMUM OF ONCE EVERY 7 CALENDAR DAYS. ANY DEFICIENCIES SHALL BE NOTED IN A WEEKLY REPORT OF THE INSPECTION AND CORRECTED WITHIN SEVEN CALENDAR DAYS OF THE REPORT.
- THIS PLAN SHALL NOT BE CONSIDERED ALL INCLUSIVE AS THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SOIL SEDIMENT FROM LEAVING THE SITE.
- CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL ORDINANCES THAT APPLY.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON SITE INSPECTION.
- CONTRACTOR SHALL BE RESPONSIBLE TO TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION.
- ALL SLOPES GREATER THAN 3:1 SHALL BE REINFORCED BY NORTH AMERICAN GREEN P300 PERMANENT TURF REINFORCEMENT MAT OR APPROVED EQUAL.
- ALL ROLLED EROSION CONTROL MATS, BIONETS, BLANKETS, ETC. SHALL BE INSTALLED PER MANUFACTURER'S REQUIREMENTS. INSTALLATION SHALL RESULT IN A PRODUCT THAT IS TIGHTLY SECURED TO THE GROUND THAT FORCES RUNOFF TO DRAIN OVER, NOT UNDER, THE PRODUCT. GRASS SHALL BE PLANTED PRIOR TO PRODUCT PLACEMENT SO IT WILL GROW THRU THE BLANKET. ALL ASPECTS OF THE PRODUCT SHALL BE FIRMLY SECURED TO THE GROUND SO IT CAN BE MOVED OVER WITHOUT GETTING TANGLED IN THE MOWER.
- CONTRACTOR SHALL REMOVE ALL TRASH, DEBRIS, TREES & BRUSH AND OTHER MATERIAL CREATED AS A RESULT OF THE CONSTRUCTION WORK AND THE SITE SHALL BE RETURNED TO ITS ORIGINAL CONDITION.
- ALL PERIMETER LANDSCAPED AREAS SHALL BE GRASS COVERED.
- IN ORDER TO TERMINATE A MISSOURI DEPARTMENT OF NATURAL RESOURCES (MDNR) STATE OPERATING PERMIT, THE CONTRACTOR SHALL SUBMIT A REQUEST FOR TERMINATION OF OPERATING PERMIT FORM TO MDNR. A PERMIT IS ELIGIBLE FOR TERMINATION WHEN EITHER PERENNIAL VEGETATION, PAVEMENT, BUILDINGS, OR STRUCTURES USING PERMANENT MATERIALS COVER ALL AREAS THAT HAVE BEEN DISTURBED. VEGETATIVE COVER SHOULD BE AT LEAST 70% OF FULLY ESTABLISHED PLANT DENSITY OVER 100% OF THE DISTURBED AREA. A COPY OF THE REQUEST FOR TERMINATION OF OPERATING PERMIT FORM SHALL BE SUBMITTED TO THE CITY OF LEE'S SUMMIT AT WHICH TIME THE CITY WILL REMOVE THE PROJECT FROM ITS INSPECTION SCHEDULE.
- THE SITE CONTRACTOR SHALL INCLUDE MAINTENANCE OF ALL BMP'S AS PART OF THEIR CONTRACT AND SHALL BE RESPONSIBLE FOR THE PROJECT UNTIL THE NPDES PERMIT IS TERMINATED.
- SOIL STOCKPILES SHALL COMPLY WITH THE CITY OF LEE'S SUMMIT ORDINANCE.

UTILITY CONSTRUCTION NOTES

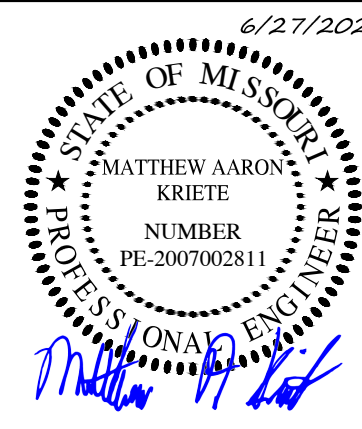
- LOCATION OF SITE UTILITIES SHALL BE VERIFIED BY CONTRACTOR AND THE PROPER UTILITY COMPANY PROVIDING SERVICE PRIOR TO THE START OF CONSTRUCTION.
- EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
- UTILITY TIE-INS ARE SHOWN IN APPROXIMATE LOCATIONS. REFER TO MEP PLANS FOR EXACT TIE-IN OF ALL UTILITIES.
- SITE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH THE SPECIFICATIONS OF LEE'S SUMMIT WATER AND LIGHT DEPARTMENT AND CITY OF LEE'S SUMMIT PUBLIC WORKS WITH REGARDS TO MATERIALS AND INSTALLATION OF THE WATER AND SEWER LINES, RESPECTIVELY.
- ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS, BACKFILL OF TRENCHES THROUGH ANY IMPROVED AREAS, SUCH AS STREET, DRIVES OR PARKING LOTS SHALL BE COMPACTED TO MINIMUM 95% STANDARD PROCTOR DENSITY (ASTM D-698).
- ALL UNDERGROUND UTILITY CONDUITS SHALL BE PLACED 48" BELOW FINISH GRADE UNLESS NOTED OTHERWISE.
- ALL UNDERGROUND LINES SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
- TOPS OF EXISTING ELECTRIC, SANITARY, STORM, WATER, TELECOMMUNICATION, GAS, IRRIGATION, CHILLED WATER, AND STEAM STRUCTURES SHALL BE RAISED AS NECESSARY TO BE FLUSH WITH PROPOSED FINISHED ELEVATIONS.
- ALL CONCRETE FOR ENCASEMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH OF 3000 P.S.I.
- STUBS FOR FUTURE UTILITIES SHOULD BE CLEARLY MARKED AND ES&S CONTACTED FOR DATA COLLECTION.



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973-449-2646  
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1775 West Main Street, Sedalia, MO 65201  
660-826-8618  
www.ess-inc.com  
MO Engineering Corp. # 2004005018

WILSHIRE HILLS PHASE III  
ADDRESS  
LEE'S SUMMIT, JACKSON COUNTYMO



MATTHEW A. KRIETE  
PROFESSIONAL ENGINEER  
PE-2007002811

IF ORIGINAL SIGNATURE OR DIGITAL  
AUTHENTICATION IS NOT PRESENT THIS  
MEDIA SHOULD NOT BE CONSIDERED A  
CERTIFIED DOCUMENT

Date

JUNE 27, 2023

Revised

Design: ST Drawn: MJS

GENERAL NOTES

Sheet

C0.02

ES&S PROJECT NO. 15925

CONSTRUCTION DOCUMENTS



ADDRESS  
LEE'S SUMMIT, JACKSON COUNTYMO

MATTHEW A. KRIETE  
PROFESSIONAL ENGINEER  
PE-2007002811

Date  
**JUNE 27, 2023**

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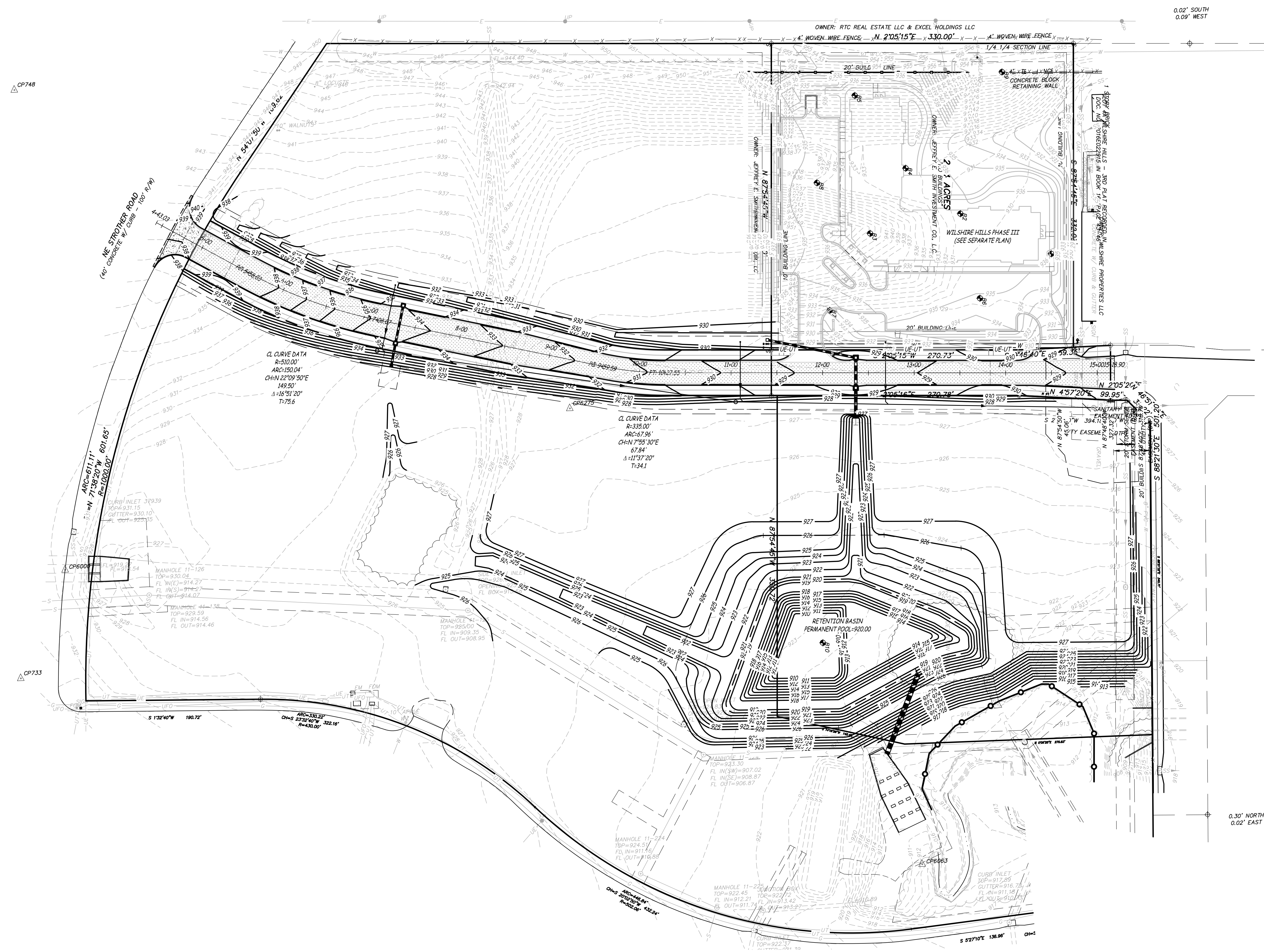
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Design: ST Drawn: MJS

C1.01

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| ES&S PROJECT NO. 15925 |
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# MASS GRADING & EROSION CONTROL PLAN

## WILSHIRE HILLS PHASE III

### LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

#### SITE PLAN

JUNE 27, 2023

#### MDNR PERMIT

MDNR PERMIT NO. XXXX XXXXX

#### PROPERTY DESCRIPTION

#### BENCH MARK

BM - MISSOURI DEPARTMENT OF TRANSPORTATION VRS NETWORK.

#### PROPERTY OWNER

JEFFREY E. SMITH INVESTMENT CO, LLC  
206 PEACH WAY  
COLUMBIA, MISSOURI 65203

#### UTILITY NOTES

THE LOCATIONS, SIZES, AND MATERIAL TYPES OF UNDERGROUND UTILITIES INDICATED ON THE PLAN, NOT VISIBLE OR APPARENT FROM THE SURFACE, ARE SHOWN IN THEIR APPROXIMATE LOCATIONS FROM A MISSOURI ONE CALL SYSTEM LOCATE, OR UTILITY COMPANY RECORDS AND WERE NOT VERIFIED IN THE FIELD.

#### WATER

JACKSON COUNTY PWSD #14  
CITY OF LEE'S SUMMIT  
220 SE GREEN STREET  
LEE'S SUMMIT, MISSOURI 64063  
CONTACT: PUBLIC WORKS DEPARTMENT 816-969-1800  
12" DI ALONG THE NORTH SIDE OF MEADOWVIEW DRIVE.  
30" PCOP ALONG THE WEST PROPERTY LINE.

#### SANITARY SEWER

CITY OF LEE'S SUMMIT  
220 SE GREEN STREET  
LEE'S SUMMIT, MISSOURI 64063  
CONTACT: WES OWEN 816-969-1955  
AS SHOWN

#### STORM SEWER

CITY OF LEE'S SUMMIT  
220 SE GREEN STREET  
LEE'S SUMMIT, MISSOURI 64063  
CONTACT: SHAWN GRAFF 816-969-1800  
AS SHOWN

#### ELECTRIC

EVERGY  
1300 SE HAMLEN ROAD  
LEE'S SUMMIT, MISSOURI 64081  
CONTACT: 888-471-5275

#### FIBER OPTIC

GOOGLE FIBER  
2812 WEST 47TH STREET  
KANSAS CITY, KS 66103  
CONTACT: CRAIG YOUNG 870-219-5630

#### GAS

MISSOURI GAS ENERGY  
3026 SE CLOVER ROAD  
LEE'S SUMMIT, MISSOURI 64081  
CONTACT: BECCA ORR 816-969-2230

#### TELECOM

AT&T  
215 N. SPRING STREET, 2nd FLOOR  
INDEPENDENCE, MO 64050  
CONTACT: MARK MANION 816-275-2341  
AS SHOWN

#### TIME WARNER CABLE

CONTACT: ROY BELLIS 913-643-1914  
AS SHOWN

#### COMCAST CABLE COMMUNICATIONS

3400 NW DUNCAN ROAD  
BLUE SPRINGS, MO 64015  
CONTACT: BARBARA BROWN 816-795-2255  
AS SHOWN



Call BEFORE you DIG  
TOLL FREE  
1-800-DIG-RITE  
MISSOURI ONE-CALL SYSTEM, INC.

#### NOTE

IT IS IMPORTANT TO NOTE THAT THIS PLAN IS A PART OF A LARGER PUBLIC IMPROVEMENT PLAN CONSTRUCTION DOCUMENT. ALL EROSION AND SEDIMENT CONTROL REQUIREMENTS ARE STILL APPLICABLE FOR ANY ONSITE CONSTRUCTION. PLEASE REFERENCE:

- ROAD & STORM SEWER PLAN COVER
- UTILITY EXTENSION PLAN COVER
- SANITARY SEWER EXTENSION PLAN COVER
- MASS GRADING & EROSION CONTROL PLAN COVER

#### SHEET INDEX

|             |   |
|-------------|---|
| C5.01       | MASS GRADING & EROSION CONTROL PLAN COVER |
| C5.02-C5.04 | GRADING PLAN                              |
| C5.05       | EROSION CONTROL PLAN                      |
| C5.06-C5.08 | EROSION CONTROL DETAILS                   |

#### MASS GRADING & EROSION CONTROL PLAN WILSHIRE HILLS PHASE III

#### GRADING AND STORM SEWER CONSTRUCTION NOTES

- ALL STORM SEWER PIPES AND INLETS SHALL MEET HEAVY DUTY TRAFFIC (HS20) LOADING AND BE INSTALLED ACCORDINGLY.
- CONCRETE STORM SEWER INLETS & JUNCTION BOXES SHALL BE INSTALLED PER THE CITY OF LEE'S SUMMIT SPECIFICATIONS AND AS DETAILED IN THESE PLANS.
- REINFORCED CONCRETE PIPE (RCP) SHALL BE INSTALLED PER THE "EMBEDMENT OF RCP STORM SEWER PIPE" DETAIL. PIPE CLASS SHALL BE APPROPRIATE TO DEPTH AND BEDDING MATERIAL AS SHOWN IN SCHEDULE.
- ALL RCP PIPE JOINTS SHALL BE SOIL TIGHT PER CURRENT MODOT SPECIFICATIONS SECTION 726.3.1.
- ALL HDPE PIPE SHALL BE ADS N-12 ST SOIL TIGHT, SMOOTH INTERIOR PIPE OR APPROVED EQUAL. INSTALLATION SHALL FOLLOW THE "EMBEDMENT OF PLASTIC STORM SEWER PIPE" DETAIL.
- CONTRACTOR SHALL ADJUST ALL GRATES, MANHOLES, VALVE BOXES, ETC. TO MATCH FINISH GRADES, AS REQUIRED.
- ALL STRUCTURE CONNECTIONS SHALL BE WATERTIGHT.
- ALL CONCRETE STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED CONCRETE INVERT FROM INVERT IN TO INVERT OUT.
- ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE FLUSH WITH FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER". TOP OF BOXES SHALL BE SLOPED TO MATCH PAVEMENT GRADE.
- PIPE LENGTHS ARE GIVEN FROM CENTER OF STRUCTURE OR DOWNSTREAM END OF FLARED END SECTIONS.
- ALL FLARED END SECTIONS FOR CONCRETE PIPE SHALL BE REINFORCED PRECAST CONCRETE. ALL FLARED END SECTIONS FOR PLASTIC PIPE SHALL BE GALVANIZED METAL UNLESS OTHERWISE NOTED.
- ALL SITES USED FOR IMPORTING OR EXPORTING OF FILL MATERIAL SHALL HAVE AN ACTIVE MISSOURI DEPARTMENT OF NATURAL RESOURCES LAND DISTURBANCE PERMIT, AS REQUIRED.
- CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS, TREES AND BRUSH, AND OTHER MATERIAL CREATED AS A RESULT OF CONSTRUCTION. MATERIAL SHALL BE DISPOSED OF IN COMPLIANCE WITH ALL APPLICABLE LAWS AND REGULATIONS. BURNING ON SITE SHALL BE ALLOWED BY PERMIT ONLY.
- CONTRACTOR SHALL REMOVE ALL STUMPS BY EXCAVATING TO INCLUDE REMOVAL OF ASSOCIATED ROOT SYSTEM.
- CONTRACTOR SHALL NOT ADVANCE TRENCH EXCAVATION BEYOND AMOUNT THAT CAN ACCOMMODATE PIPE INSTALLATION AND BACKFILL AT THE END OF EACH DAY.
- ENGINEERED FILL SHOULD BE FREE OF FROZEN SOIL, ORGANICS, RUBBISH, LARGE ROCKS, WOOD, OR OTHER DELETERIOUS MATERIAL. COHESIVE FILLS SHOULD BE UNIFORMLY COMPACTED TO AT LEAST 95 PERCENT OF THE "STANDARD" MAXIMUM DRY DENSITY AND BE WITHIN -2 TO +4 PERCENT OF OPTIMUM MOISTURE CONTENT AS DESCRIBED BY ASTM D698. GRANULAR FILLS SHOULD BE UNIFORMLY COMPACTED TO AT LEAST 95 PERCENT OF THE "STANDARD" MAXIMUM DRY DENSITY. THE MOISTURE CONTENT SHOULD BE HIGH ENOUGH TO PROVIDE FOR PROPER COMPACTION BUT LOW ENOUGH TO PREVENT UNDUE PUMPING. PLACE FILL MATERIAL IN LOOSE LIFTS NOT TO EXCEED 6 INCHES IN THICKNESS.
- ROCKS AND STONES THAT EXCEED THE THICKNESS OF THE LOOSE LIFT FILL LAYER SHOULD BE REMOVED AND DISPOSED OF OFF THE IMMEDIATE CONSTRUCTION AREA.
- IMPORTED SOILS PROPOSED FOR USE AS FILL OR BACKFILL SHOULD BE REVIEWED AND ANALYZED BY THE GEOTECHNICAL ENGINEER PRIOR TO USE ON SITE. SOIL CLASSIFIED AS MH, OH, CL, OR PT (HIGH PLASTICITY SOILS AND ORGANIC SOILS) BY THE UNIFIED SOIL CLASSIFICATION SYSTEM (ASTM D2487) SHOULD NOT BE IMPORTED FOR USE AS ENGINEERED FILL. SUITABLE IMPORTED MATERIALS FOR GENERAL SITE FILL ARE THOSE THAT CLASSIFY AS GW, GM, GC, SC, AND CL IN ACCORDANCE WITH ASTM D 2487. MATERIALS CLASSIFIED AS CH SHOULD BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO THEIR IMPORTATION AND ONLY USED OUTSIDE THE BUILDING PAD AT DEPTHS BELOW THE UPPER 2 FEET OF SUBGRADE. SUBJECT TO FINAL DESIGN REQUIREMENTS FOR WALL BACKFILL, SUITABLE IMPORTED MATERIALS FOR WALL AND TRENCH BACKFILL ARE THOSE THAT CLASSIFY AS GW, GP, GM, GC, SM, SW, SP, SC, AND CL IN ACCORDANCE WITH ASTM D2487.
- FILLS PLACED IN AREAS WHERE THE NATURAL SLOPE IS GREATER THAN 5H:1V (HORIZONTAL TO VERTICAL) SHOULD BE BENCHED INTO THE EXISTING GRADE TO REDUCE THE POTENTIAL FOR SURFACE BETWEEN FILL BENCHES SHOULD BE LEVEL AND WIDE ENOUGH TO ACCOMMODATE COMPACTION AND EARTH MOVING EQUIPMENT.
- FILL AND SUBGRADE CONSTRUCTION SHOULD NOT BE STARTED ON FOUNDATION SOIL, PARTIALLY COMPLETED FILL, OR SUBGRADES THAT CONTAIN FROST OR ICE. FILL SHOULD NOT BE CONSTRUCTED USING FROZEN SOIL. FROZEN SOIL SHOULD BE REMOVED PRIOR TO PLACING FILL MATERIAL.
- AFTER STRIPPING AND GRUBBING OPERATIONS ARE COMPLETED AND PRIOR TO FILL PLACEMENT, AREAS TO BE FILLED SHALL BE PROOF ROLLED USING A LOADED TANDEM AXLE DUMP TRUCK TO IDENTIFY SOFT AND UNSUITABLE AREAS. SOFT MATERIAL MAY BE MOISTURE CONDITIONED AND REUSED AS ENGINEERED FILL. UNSUITABLE AND DELETERIOUS MATERIAL SHALL BE REMOVED FROM SITE.
- ALL NEW UTILITY TRENCHES SHOULD BE BACKFILLED IN ACCORDANCE WITH APPROPRIATE CONTROLLED ENGINEERED FILL SPECIFICATIONS.
- FIELD DENSITY TESTS SHOULD BE CONDUCTED IN ACCORDANCE WITH ASTM D6938 (NUCLEAR METHODS) OR ASTM D 1556 (SAND CONE METHOD). FIELD DENSITY TESTS SHOULD BE PERFORMED AT THE RATE OF ONE TEST PER 2,500 SQUARE FEET PER LIFT WITHIN THE BUILDING AND 10,000 SQUARE FEET PER LIFT BENEATH PAVEMENTS, SIDEWALKS, AND OTHER POTENTIAL STRUCTURAL AREAS WITH A MINIMUM OF 3 TESTS PER LIFT AND ONE TEST PER 150 LINEAL FEET PER LIFT FOR FOUNDATION, TRENCH AND WALL BACKFILL.
- BUILDING PAD AND PARKING AREAS SHALL BE PROOF-ROLLED WITH A FULLY LOADED TANDEM AXLE DUMP TRUCK TO IDENTIFY ANY SOFT OR UNSUITABLE AREAS. PRIOR TO BASE ROCK PLACEMENT, THE PROOF-ROLL SHALL BE OBSERVED BY THE PROJECT GEOTECHNICAL ENGINEER. AREAS IDENTIFIED AS UNSUITABLE SHALL BE OVER EXCAVATED AND RECONSTRUCTED WITH ENGINEERED FILL.
- CONTRACTOR SHALL PLACE STOCKPILED TOPSOIL FROM SITE IN ALL LANDSCAPE AREAS TO A MINIMUM DEPTH OF 6" UNLESS NOTED OTHERWISE IN PROJECT SPECIFICATIONS. ANY EXCESS TOPSOIL SHALL BE DISPOSED OF ONSITE PER OWNER.

#### HAZARDOUS SUBSTANCE NOTE

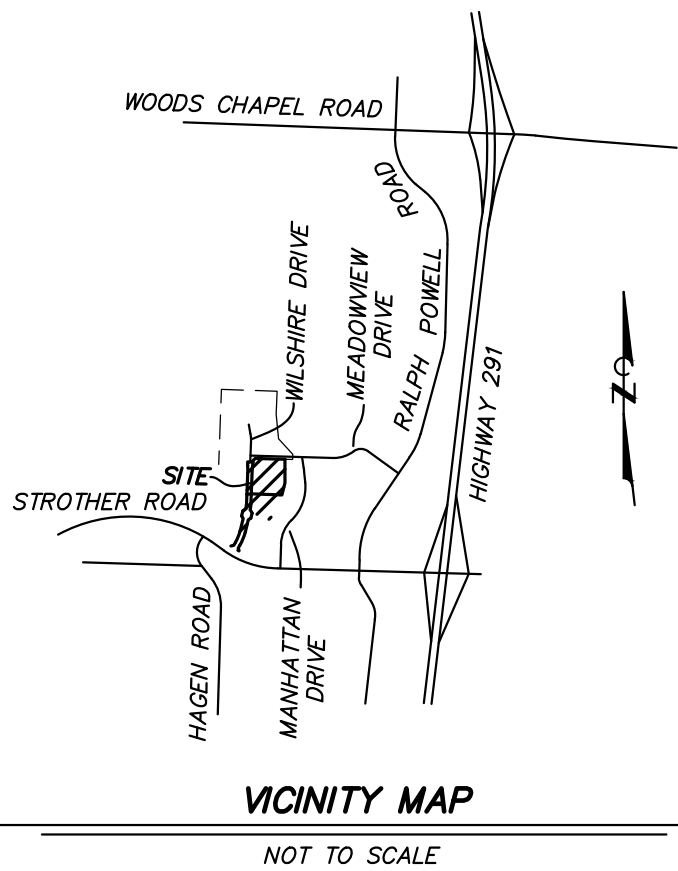
- SUBSTANCES REGULATED BY FEDERAL LAW UNDER THE RESOURCE CONSERVATION AND RECOVERY ACT (RCRA) OR THE COMPREHENSIVE ENVIRONMENTAL RESPONSE COMPENSATION AND LIABILITY ACT (CERCLA) WHICH ARE TRANSPORTED, STORED OR USED FOR MAINTENANCE, CLEANING OR REPAIRS SHALL BE MANAGED ACCORDING TO THE PROVISIONS OF RCRA AND CERCLA.
- ALL PAINTS, SOLVENTS, PETROLEUM PRODUCTS AND PETROLEUM WASTE PRODUCTS (EXCEPT FUELS) AND STORAGE CONTAINERS (SUCH AS DRUMS, CANS OR CARTONS) SHALL BE STORED SUCH THAT THESE MATERIALS ARE NOT EXPOSED TO STORM WATER. SUFFICIENT PRACTICES OF SPILL PREVENTION, CONTROL AND/OR MANAGEMENT SHALL BE PROVIDED TO PREVENT ANY SPILLS OF THESE POLLUTANTS FROM ENTERING A WATER OF THE STATE. ANY CONTAINMENT SYSTEM USED TO IMPLEMENT THIS REQUIREMENT SHALL BE CONSTRUCTED OF MATERIALS COMPATIBLE WITH THE SUBSTANCES CONTAINED AND SHALL ALSO PREVENT THE CONTAMINATION OF GROUNDWATER.
- THE APPLICANT SHALL NOTIFY BY TELEPHONE AND IN WRITING THE DEPARTMENT OF NATURAL RESOURCES, WATER POLLUTION CONTROL PROGRAM, POST OFFICE BOX 176, JEFFERSON CITY, MO 65102, 1-800-361-4827, OF ANY OIL SPILLS OR IF HAZARDOUS SUBSTANCES ARE FOUND DURING THE PROSECUTION OF WORK UNDER THIS PERMIT.

#### STORM WATER POLLUTION PREVENTION PLAN NOTES

- CONTRACTOR SHALL FOLLOW THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES. A COPY OF THIS PLAN, SWPPP, AND ALL PERMITS SHALL REMAIN ON SITE THROUGHOUT CONSTRUCTION.
- CONTRACTORS ARE REQUIRED TO SUBMIT TO CITY INSPECTION STAFF COPIES OF THEIR INSPECTION REPORTS REQUIRED BY THE SWPPP ON A MONTHLY BASIS.
- NO LAND CLEARING OR GRADING SHALL BEGIN UNTIL ALL EROSION CONTROL MEASURES HAVE BEEN INSTALLED AND APPROVAL HAS BEEN RECEIVED FROM ALL GOVERNING AUTHORITIES.
- IMMEDIATELY UPON COMPLETION OF FINISH GRADING IN EACH AREA, ALL LANDSCAPING AREAS SHALL BE STABILIZED PER PLANS AND/OR SPECIFICATIONS.
- SHOULD CONSTRUCTION STOP FOR LONGER THAN 14 DAYS, THE SITE SHALL BE SEEDED AS SPECIFIED IN THE SWPPP.
- SITE INSPECTION SHOULD OCCUR ON A REGULAR SCHEDULE AND WITHIN 24 HOURS OF A STORM EVENT OF 0.25 INCHES OR GREATER. REGULARLY SCHEDULED INSPECTION SHALL BE A MINIMUM OF ONCE EVERY 7 CALENDAR DAYS. ANY DEFICIENCIES SHALL BE NOTED IN A WEEKLY REPORT OF THE INSPECTION AND CORRECTED WITHIN SEVEN CALENDAR DAYS OF THE REPORT.
- THIS PLAN SHALL NOT BE CONSIDERED ALL INCLUSIVE AS THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SOIL SEDIMENT FROM LEAVING THE SITE.
- CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL ORDINANCES THAT APPLY.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON SITE INSPECTION.
- CONTRACTOR SHALL BE RESPONSIBLE TO TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION.
- ALL SLOPES GREATER THAN 3:1 SHALL BE REINFORCED BY NORTH AMERICAN GREEN P300 PERMANENT TURF REINFORCEMENT MAT OR APPROVED EQUAL.
- ALL ROLLED EROSION CONTROL MATS, BIOMATS, BLANKETS, ETC. SHALL BE INSTALLED PER MANUFACTURER'S REQUIREMENTS. INSTALLATION SHALL RESULT IN A PRODUCT THAT IS TIGHTLY SECURED TO THE GROUND THAT FORCES RUNOFF TO DRAIN OVER, NOT UNDER, THE PRODUCT. GRASS SHALL BE PLANTED PRIOR TO PRODUCT PLACEMENT SO IT WILL GROW THRU THE BLANKET. ALL ASPECTS OF THE PRODUCT SHALL BE FIRMLY SECURED TO THE GROUND SO IT CAN BE MOWED OVER WITHOUT GETTING TANGLED IN THE MOWER.
- CONTRACTOR SHALL REMOVE ALL TRASH, DEBRIS, TREES & BRUSH AND OTHER MATERIAL CREATED AS A RESULT OF THE CONSTRUCTION WORK AND THE SITE SHALL BE RETURNED TO ITS ORIGINAL CONDITION.
- ALL PERIMETER LANDSCAPED AREAS SHALL BE GRASS COVERED.
- IN ORDER TO TERMINATE A MISSOURI DEPARTMENT OF NATURAL RESOURCES (MDNR) STATE OPERATING PERMIT, THE CONTRACTOR SHALL SUBMIT A REQUEST FOR TERMINATION OF OPERATING PERMIT FORM TO MDNR. A PERMIT IS ELIGIBLE FOR TERMINATION WHEN EITHER PERENNIAL VEGETATION, PAVEMENT, BUILDINGS, OR STRUCTURES USING PERMANENT MATERIALS COVER ALL AREAS THAT HAVE BEEN DISTURBED. VEGETATIVE COVER SHOULD BE AT LEAST 70% OF FULLY ESTABLISHED PLANT DENSITY OVER 100% OF THE DISTURBED AREA. A COPY OF THE REQUEST FOR TERMINATION OF OPERATING PERMIT FORM SHALL BE SUBMITTED TO THE CITY OF LEE'S SUMMIT AT WHICH TIME THE CITY WILL REMOVE THE PROJECT FROM ITS INSPECTION SCHEDULE.
- THE SITE CONTRACTOR SHALL INCLUDE MAINTENANCE OF ALL BMP'S AS PART OF THEIR CONTRACT AND SHALL BE RESPONSIBLE FOR THE PROJECT UNTIL THE NPDES PERMIT IS TERMINATED.
- SOIL STOCKPILES SHALL COMPLY WITH THE CITY OF LEE'S SUMMIT ORDINANCE.

#### CONSTRUCTION NOTES

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL IDENTIFIED PROPERTY CORNERS, LAND SURVEY CORNERS, AND ACCESSORIES. THE CONTRACTOR SHALL CAUSE THE CORNERS AND ACCESSORIES TO BE REFERENCED BY A LICENSED LAND SURVEYOR, AND ANY SUCH CORNER OR ACCESSORIES DISTURBED OR DESTROYED DURING CONSTRUCTION SHALL BE RESET BY THE SURVEYOR AT THE ORIGINAL LOCATION, AND FILE THE RESTORATIONS AND MONUMENT DOCUMENTS AS THE LAW REQUIRES.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO ENGINEERING SURVEYS AND SERVICES FOR REVIEW AND APPROVAL FOR ALL MATERIALS BEFORE ORDERING.
- ALL DIMENSIONS ARE TO BACK OF CURB, FACE OF SIDEWALK, OR EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED.
- CONCRETE DRIVEWAY APRONS SHALL BE CONSTRUCTED AS PER CITY OF LEE'S SUMMIT SPECIFICATIONS. CONTRACTOR SHALL OBTAIN PERMIT FROM CITY TO WORK WITHIN STREET RIGHT-OF-WAY.
- CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- STANDARD DUTY AND HEAVY DUTY PAVEMENT MAY BE CONCRETE OR ASPHALT UNLESS OTHERWISE NOTED. INTEGRAL CURB MAY BE USED FOR CONCRETE PAVEMENT.
- ALL TRAFFIC CONTROL SHALL BE PER CURRENT MUTCD REQUIREMENTS AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. A TRAFFIC CONTROL PLAN WILL BE REQUIRED FOR ANY WORK WITHIN THE RIGHT-OF-WAY.
- CONTRACTOR SHALL NOTIFY ADJACENT PROPERTY OWNERS IN WRITING 30 DAYS PRIOR TO CONSTRUCTION.
- IF A CONFLICT EXISTS BETWEEN THE CIVIL PLANS AND CIVIL SPECIFICATIONS, THE CIVIL PLANS SHALL GOVERN.
- CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE BUILDING AND SITE DEVELOPMENT RIGHT-OF-WAY TECHNICIAN (874-7474) IMMEDIATELY PRIOR TO CLOSURE OF STREET, DURING CONSTRUCTION FOR INSPECTIONS AND AGAIN WHEN WORK IS COMPLETE AND STREET IS REOPENED.
- ALL INCIDENTAL ITEMS INCLUDING BUT NOT LIMITED TO SIGNS, PAVEMENT MARKING, PAVEMENT, CURBS, TRUNCATED DOMES, FENCING, LANDSCAPING, IRRIGATION, ETC. EITHER DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE RETURNED TO ORIGINAL CONDITIONS BY THE CONTRACTOR.



VICINITY MAP

NOT TO SCALE

#### LEGEND

|                  |   |
|------------------|---|
| E                | PROPERTY LINE                           |
| T                | ELECTRIC LINE                           |
| TE               | TELECOMMUNICATIONS LINE                 |
| UE               | UNDERGROUND ELECTRIC LINE               |
| UT               | UNDERGROUND TELECOMMUNICATIONS LINE     |
| UFO              | UNDERGROUND FIBER OPTIC LINE            |
| SS               | SANITARY SEWER LINE                     |
| SS               | STORM SEWER LINE                        |
| G                | GAS LINE                                |
| W                | WATER LINE                              |
| X                | FENCE                                   |
| Tree & Brush     | TREE & BRUSH LINE                       |
| Drainage Swale   | DRAINAGE SWALE                          |
| Existing Contour | EXISTING CONTOUR                        |
| Anchor           | ANCHOR                                  |
| Test Boring      | TEST BORING                             |
| Iron             | IRON                                    |
| CP#              | CONTROL POINT                           |
| EM               | ELECTRIC METER                          |
| ES               | FLARED END SECTION                      |
| FH               | FIRE HYDRANT                            |
| FL               | FLOW LINE                               |
| HDPE             | HIGH DENSITY POLYETHYLENE PIPE          |
| PCOP             | PRESTRESSED CONCRETE CYLINDER PIPE      |
| PVC              | POLYVINYL CHLORIDE PIPE                 |
| TW               | TOP OF WALL                             |
| UP               | UTILITY POLE                            |
| WM               | WATER METER                             |
| WV               | WATER VALVE                             |
| YL               | YARD LIGHT                              |
|                  | SILT FENCE                              |
|                  | TEMPORARY DIVERSION DIKE                |
|                  | TREE PRESERVATION BARRIER               |
|                  | FINISH CONTOUR                          |
| 50.0             | TOP OF CURB ELEVATION                   |
| 49.5             | TOP OF PAVEMENT ELEVATION               |
|                  | FINISH GRADE ELEVATION                  |
| S                | PROPOSED SANITARY SEWER LINE            |
| W                | PROPOSED WATER LINE                     |
| UE               | PROPOSED UNDERGROUND ELECTRIC           |
| UT               | PROPOSED UNDERGROUND TELECOMMUNICATIONS |
|                  | PROPOSED STORM SEWER                    |
|                  | PROPOSED WATER VALVE                    |
|                  | PROPOSED FIRE HYDRANT & VALVE           |
|                  | THRUST BLOCK                            |
|                  | THRUST COLLAR                           |
|                  | STANDARD DUTY CONCRETE                  |
|                  | HEAVY DUTY CONCRETE                     |

#### IMPERVIOUS AREA

|             |             |
|-------------|-------------|
| PRE PROJECT |             |
| PERVIOUS    | = 8.65 ACRE |
| IMPERVIOUS  | = 0.00 ACRE |
| TOTAL       | = 8.65 ACRE |

|              |             |
|--------------|-------------|
| POST PROJECT |             |
| PERVIOUS     | = 7.87 ACRE |
| IMPERVIOUS   | = 0.78 ACRE |
| TOTAL        | = 8.65 ACRE |

#### DESIGN REQUIREMENTS

WILSHIRE DRIVE  
FUNCTIONAL CLASSIFICATION  
COMMERCIAL LOCAL = STA. 4+62.67 - 8+57.76  
RESIDENTIAL LOCAL = STA. 8+57.75 - 15+18.90  
DESIGN SPEED = 25 MPH

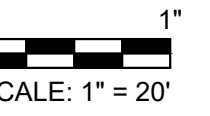
#### FLOODPLAIN NOTE

THIS PROPERTY IS LOCATED IN ZONE X "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD" IS SHOWN BY FIRM COMMUNITY PANEL NUMBER 29095C0430G, DATED JANUARY 20, 2017.

#### ZONING NOTE

THIS PROPERTY IS ZONED "P-MIX" PLANNED MIXED USE DISTRICT



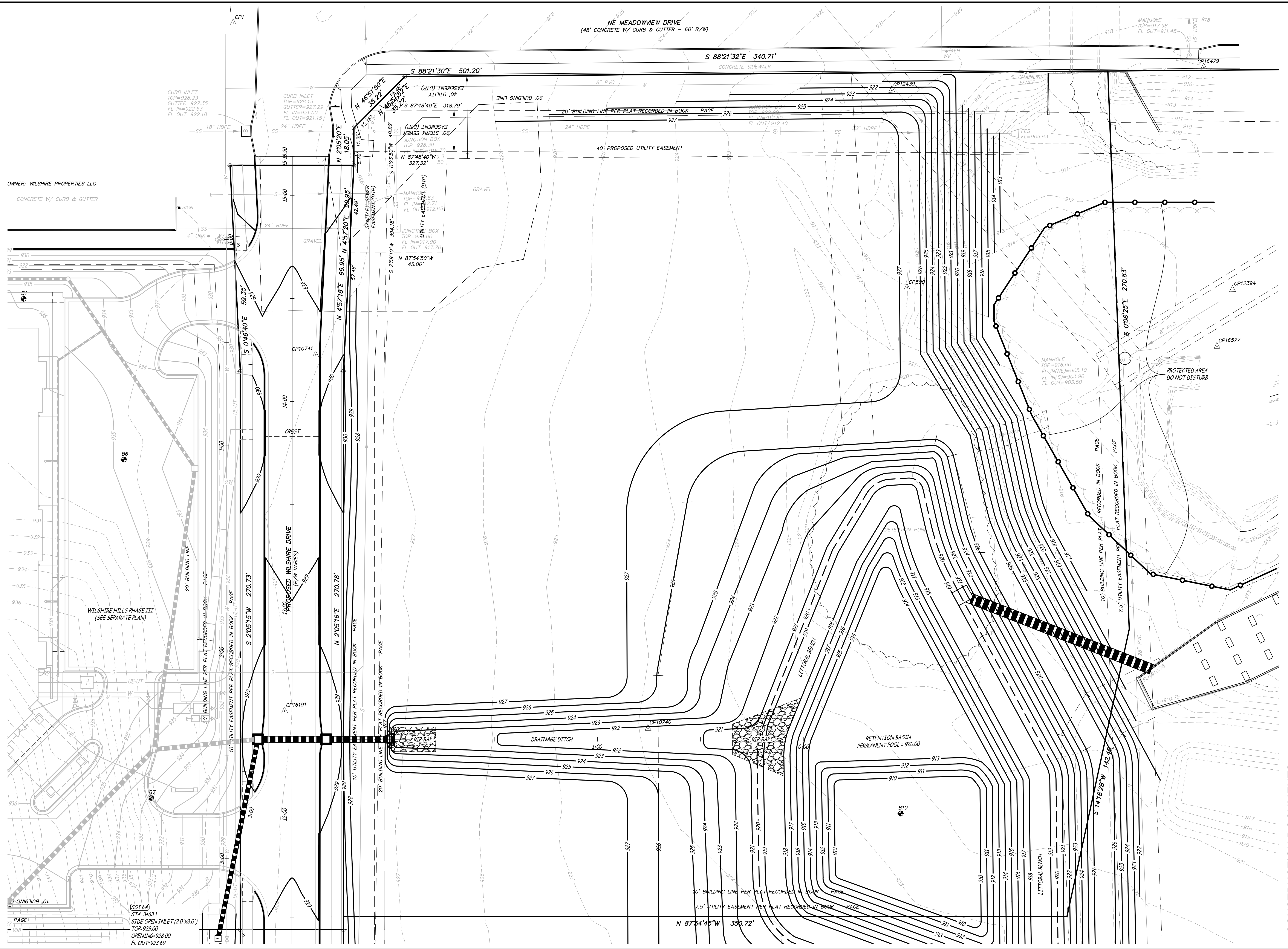


**PUBLIC IMPROVEMENTS FOR  
WILSHIRE HILLS PHASE III**

LEE'S SUMMIT, JACKSON COUNTY MO

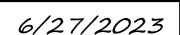


## CONSTRUCTION DOCUMENTS





## LEE'S SUMMIT, JACKSON COUNTY MO



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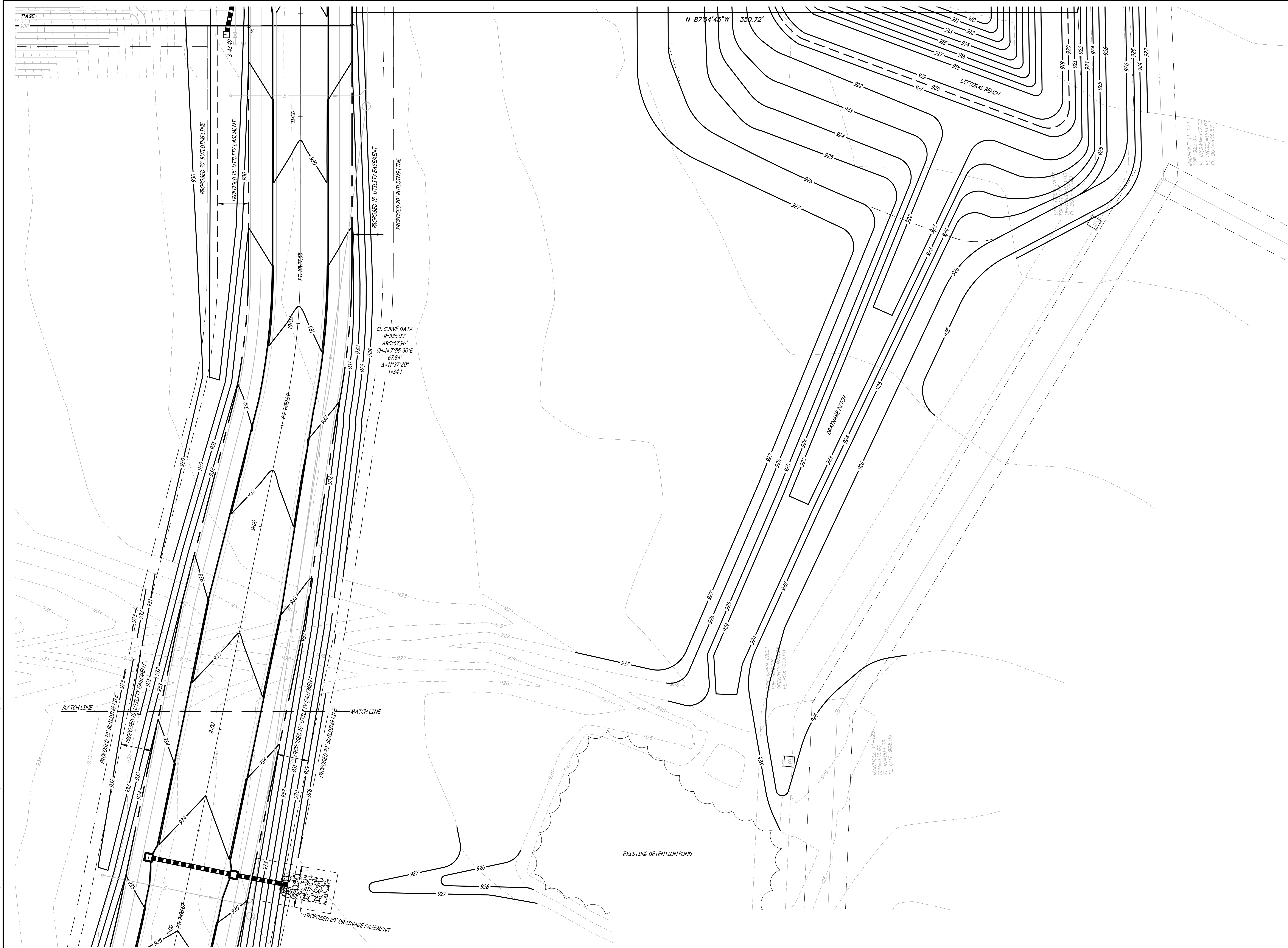
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Design: ST Drawn: MJS

## GRADING PLAN

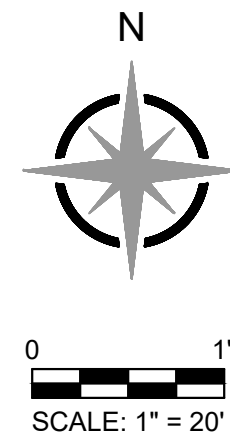
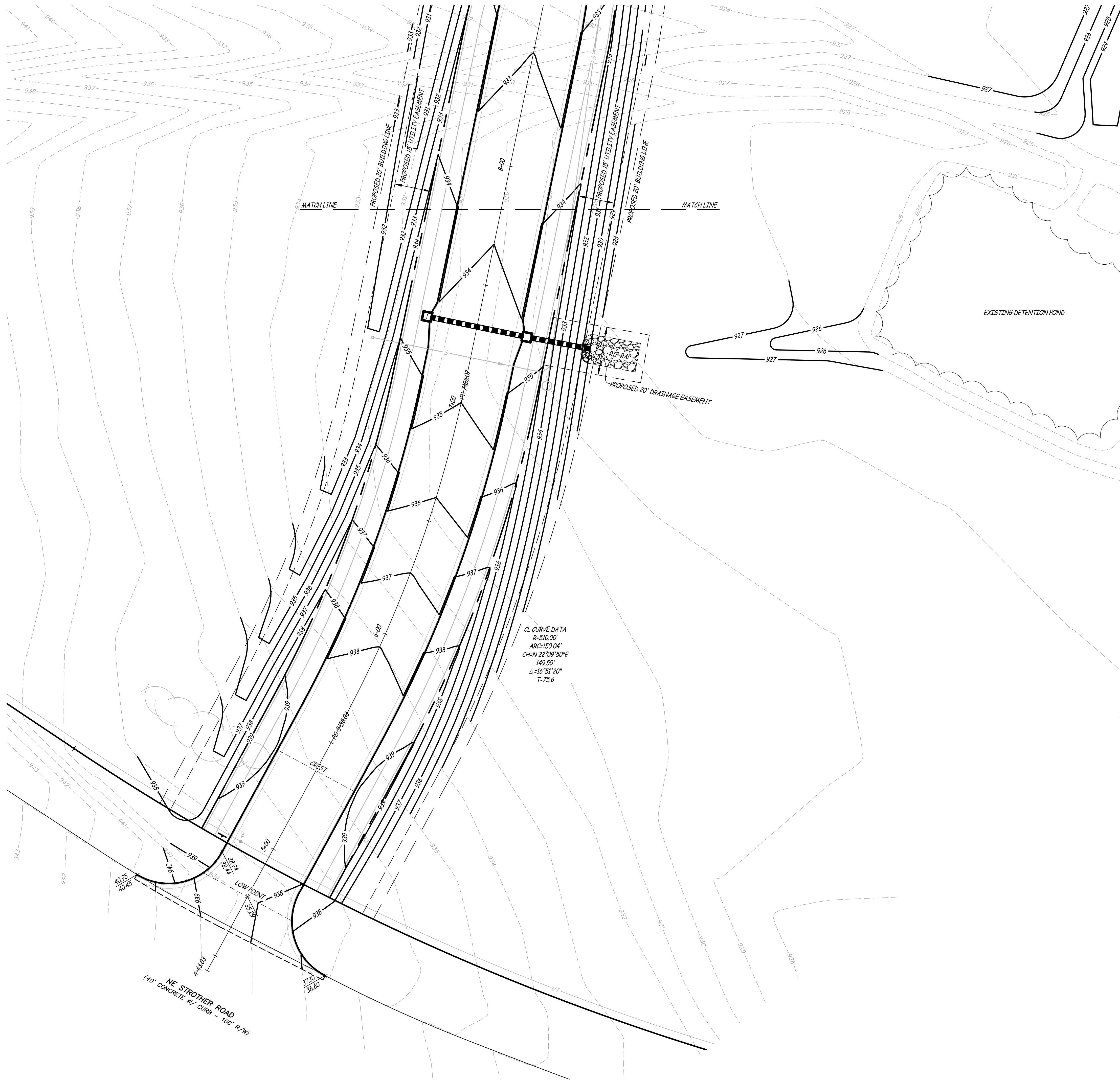
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ES&amp;S PROJECT NO. 15925

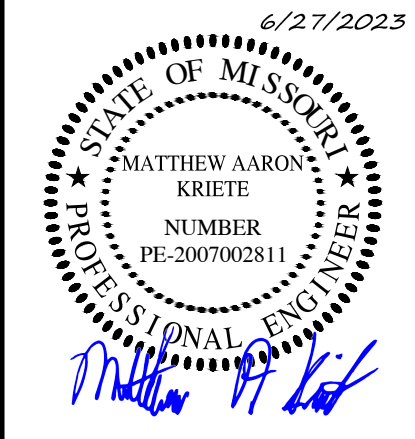




P:\GENERAL PROJECTS\15925E-ES-WILSHIRE-HILLS-3-ENG\CAD\15925 SITE PLAN.DWG 6/27/2023



**PUBLIC IMPROVEMENTS FOR  
WILSHIRE HILLS PHASE III**  
ADDRESS  
LEE'S SUMMIT, JACKSON COUNTYMO



MATTHEW A. KRIETE  
PROFESSIONAL ENGINEER  
PE-2007002811

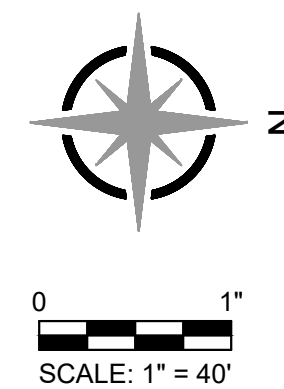
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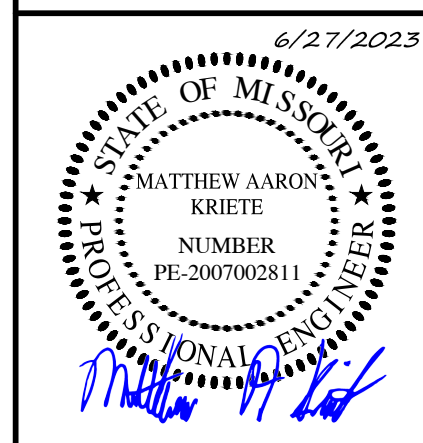
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EROSION CONTROL PLAN

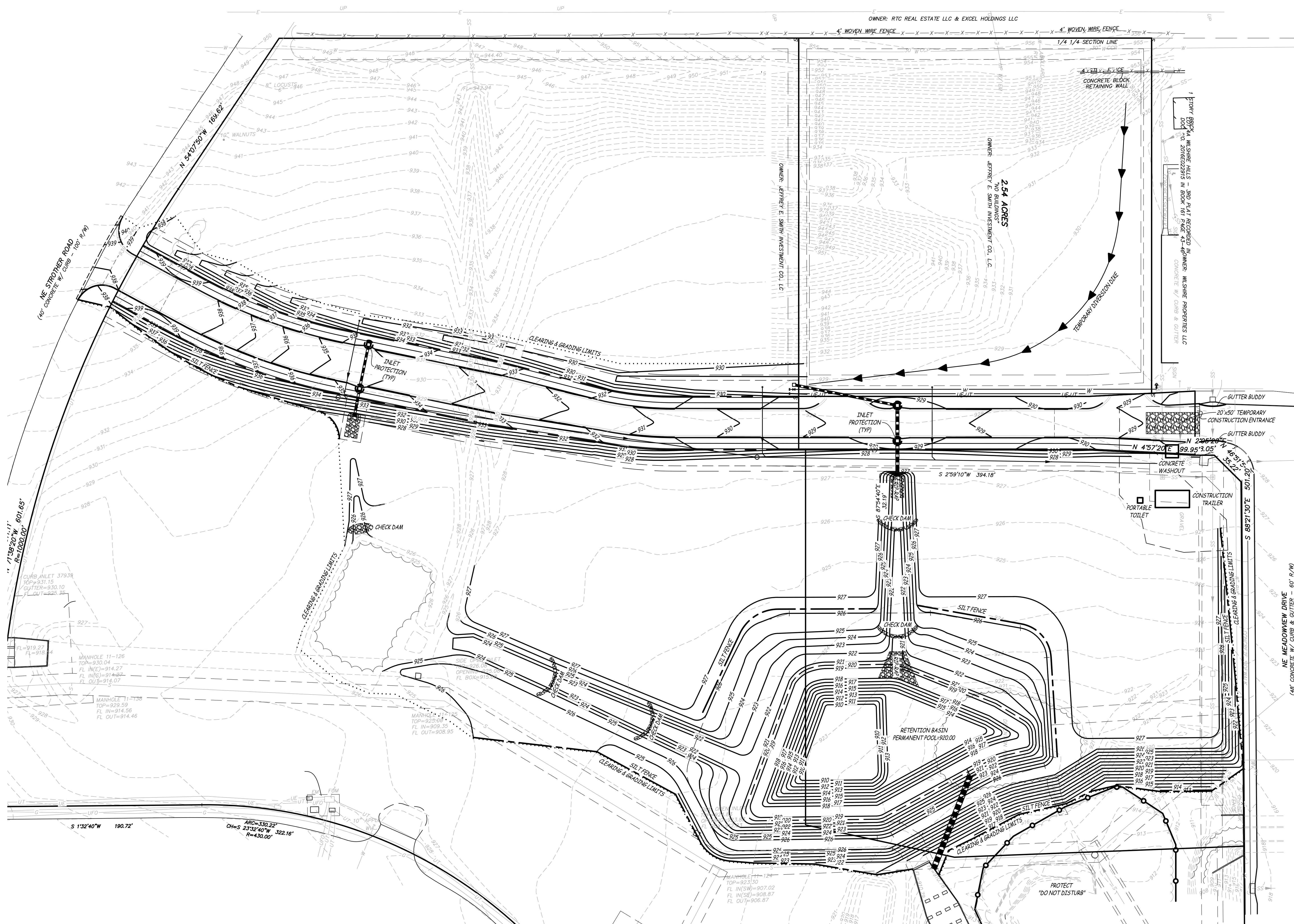
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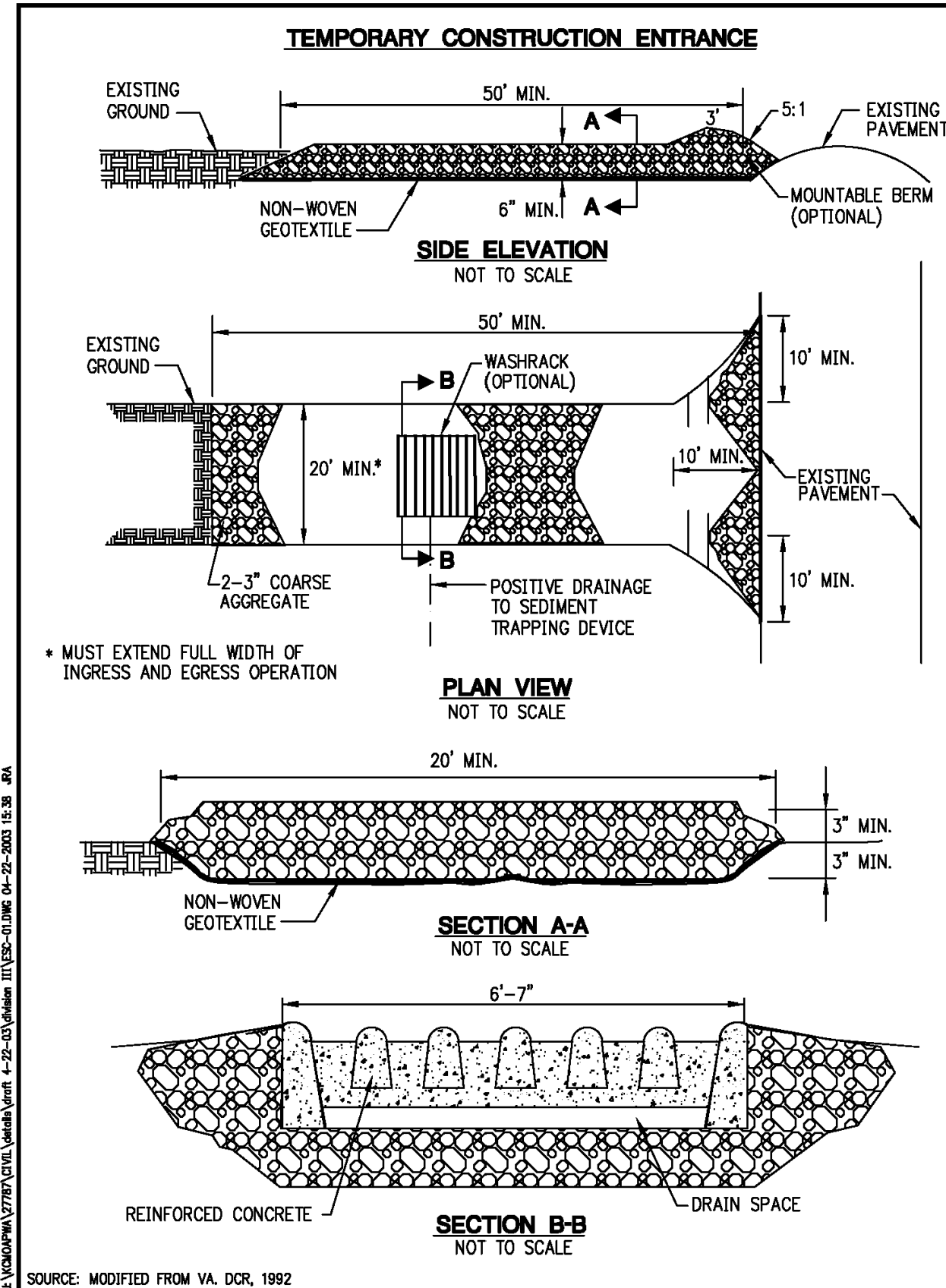
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CONSTRUCTION DOCUMENTS

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**TEMPORARY CONSTRUCTION ENTRANCE PAD NOTES:**

**A) INSTALLATION:**

1. AVOID LOCATING ON STEEP SLOPES OR AT CURVES ON PUBLIC ROADS. IF POSSIBLE, LOCATE WHERE PERMANENT ROADS WILL EVENTUALLY BE CONSTRUCTED.
2. REMOVE ALL VEGETATION AND OTHER UNSUITABLE MATERIAL FROM THE FOUNDATION AREA, GRADE, AND CROWN FOR POSITIVE DRAINAGE.
3. IF SLOPE TOWARDS THE PUBLIC ROAD EXCEEDS 2%, CONSTRUCT A 6-TO 8-INCH HIGH RIDGE WITH 3H:1V SIDE SLOPES ACROSS THE FOUNDATION APPROXIMATELY 15 FEET FROM THE EDGE OF THE PUBLIC ROAD TO DIVERT RUNOFF AWAY FROM IT.
4. INSTALL PIPE UNDER THE ENTRANCE IF NEEDED TO MAINTAIN DRAINAGE DITCHES ALONG PUBLIC ROADS.
5. PLACE STONE TO DIMENSIONS AND GRADE AS SHOWN ON PLANS. LEAVE SURFACE SMOOTH AND SLOPED FOR DRAINAGE.
6. DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE ENTRANCE TO A SEDIMENT CONTROL DEVICE.
7. IF WET CONDITIONS ARE ANTICIPATED, PLACE GEOTEXTILE FABRIC ON THE GRADED FOUNDATION TO IMPROVE STABILITY.

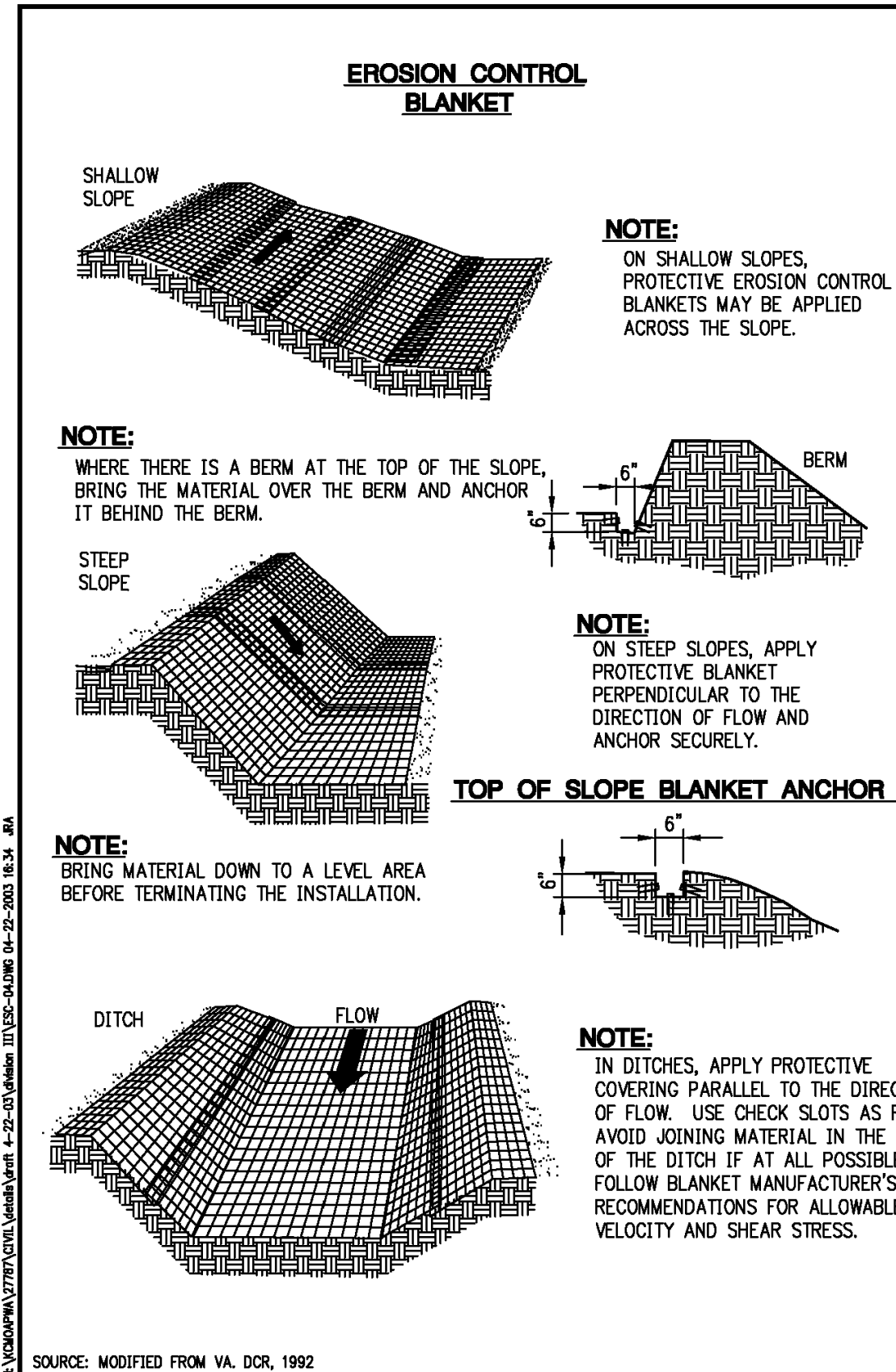
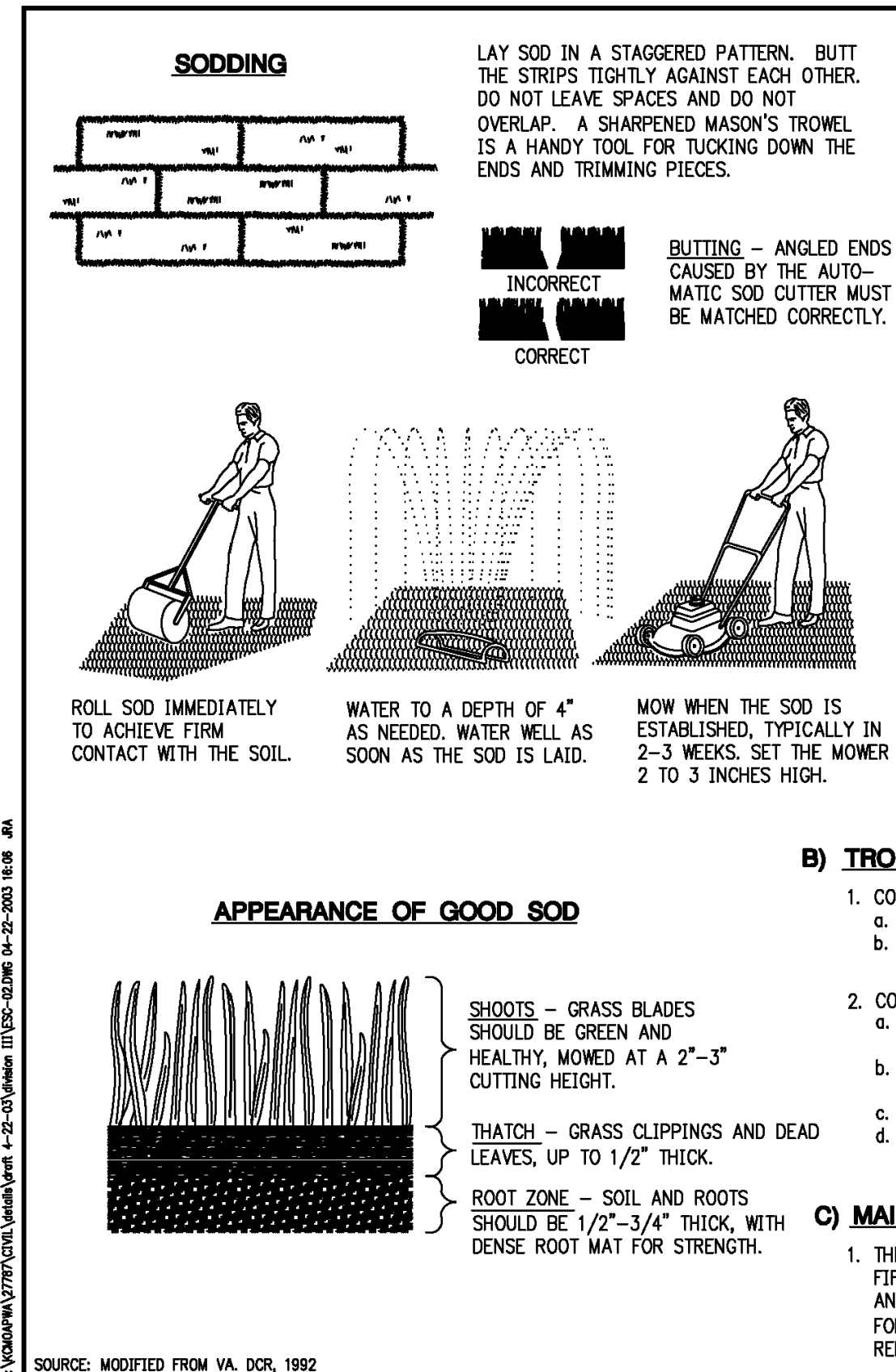
**B) TROUBLESHOOTING:**

1. CONSULT WITH A QUALIFIED DESIGN PROFESSIONAL IF ANY OF THE FOLLOWING OCCUR:
  - a. INADEQUATE RUNOFF CONTROL TO THE EXTENT THAT SEDIMENT WASHES ONTO PUBLIC ROAD - INSTALL DIVERSIONS OR OTHER RUNOFF CONTROL MEASURES.
  - b. SMALL STONE, THIN PAD, OR ABSENCE OF GEOTEXTILE FABRIC RESULTS IN RUTS AND MUDDY CONDITIONS AS STONE IS PRESSED INTO SOIL - INCREASE STONE SIZE OR PAD THICKNESS OR ADD GEOTEXTILE FABRIC.
  - c. PAD TOO SHORT FOR HEAVY CONSTRUCTION TRAFFIC - EXTEND PAD BEYOND THE MINIMUM 50-FOOT LENGTH AS NECESSARY.

**C) INSPECTION AND MAINTENANCE:**

1. INSPECT STONE PAD AND SEDIMENT DISPOSAL AREA WEEKLY AND AFTER 1/2-INCH OR GREATER STORM EVENTS.
2. RESHAPE PAD AS NEEDED FOR PROPER DRAINAGE AND RUNOFF CONTROL.
3. TOPRESS WITH CLEAN 2-AND 3-INCH STONE AS NEEDED.
4. IMMEDIATELY REMOVE MUD OR SEDIMENT TRACKED OR WASHED ONTO PUBLIC ROAD. REPAIR ANY BROKEN ROAD PAVEMENT IMMEDIATELY.
5. REMOVE ALL TEMPORARY ROAD MATERIALS FROM AREAS WHERE PERMANENT VEGETATION WILL BE ESTABLISHED.

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| TEMPORARY CONSTRUCTION<br>ENTRANCE | STANDARD DRAWING<br>NUMBER ESC-01<br>ADOPTED |



**EROSION CONTROL BLANKET NOTES (1 OF 2):**

**A) SITE PREPARATION:**

AFTER SITE HAS BEEN SHAPED AND GRADED, PREPARE A FRIABLE SEEDBED RELATIVELY FREE FROM CLODS AND ROCKS MORE THAN 1 1/2 INCHES IN DIAMETER AND ANY FOREIGN MATERIAL THAT WILL PREVENT UNIFORM CONTACT OF THE PROTECTIVE COVERING WITH THE SOIL SURFACE.

**B) PLANTING:**

LIME, FERTILIZE, AND SEED IN ACCORDANCE WITH SEEDING OR PLANTING PLAN. WHEN USING JUTE MESH ON A SEEDBED, APPLY APPROXIMATELY ONE HALF THE SEED AFTER LAYING THE MAT. THE PROTECTIVE COVERING CAN BE LAID OVER SPRIGGED AREAS WHERE SMALL GRASS PLANTS HAVE BEEN INSERTED INTO THE SOIL. WHERE GROUND COVERS ARE TO BE PLANTED, LAY THE PROTECTIVE COVERING FIRST AND THEN PLANT THROUGH THE MATERIAL AS PER PLANTING PLAN.

**C) LAYING AND STAPLING:**

IF INSTRUCTIONS HAVE BEEN FOLLOWED, ALL NEEDED CHECK SLOTS WILL HAVE BEEN INSTALLED, AND THE PROTECTIVE COVERING WILL BE LAID ON A FRIABLE SEEDBED FREE FROM CLODS, ROCKS, ROOTS, ETC. THAT MIGHT IMPEDE GOOD CONTACT.

1. START LAYING THE PROTECTIVE COVERING FROM THE TOP OF THE CHANNEL OR SLOPE AND UNROLL DOWN-GRADE. ALLOW TO LAY LOOSELY ON SOIL; DO NOT STRETCH.
2. UPSLOPE ENDS OF THE BLANKET SHOULD BE BURIED IN AN ANCHOR SLOT NO LESS THAN 6-INCHES DEEP. TAMP EARTH FIRMLY OVER THE MATERIAL. WHEN TOP IS RELATIVELY FLAT, EXTEND BLANKET ABOUT 40 INCHES AWAY FROM SLOPE. STAPLE THE MATERIAL AT A MINIMUM OF EVERY 12 INCHES ACROSS THE TOP END.
3. EDGES OF THE MATERIAL SHALL BE STAPLED EVERY 3 FEET. WHERE MULTIPLE WIDTHS ARE LAID SIDE BY SIDE, THE ADJACENT EDGES SHALL BE OVERLAPPED A MINIMUM OF 6 INCHES AND STAPLED TOGETHER.
4. STAPLES SHALL BE PLACED DOWN THE CENTER, STAGGERED WITH THE EDGES AT 3-FOOT INTERVALS.

**D) TROUBLESHOOTING:**

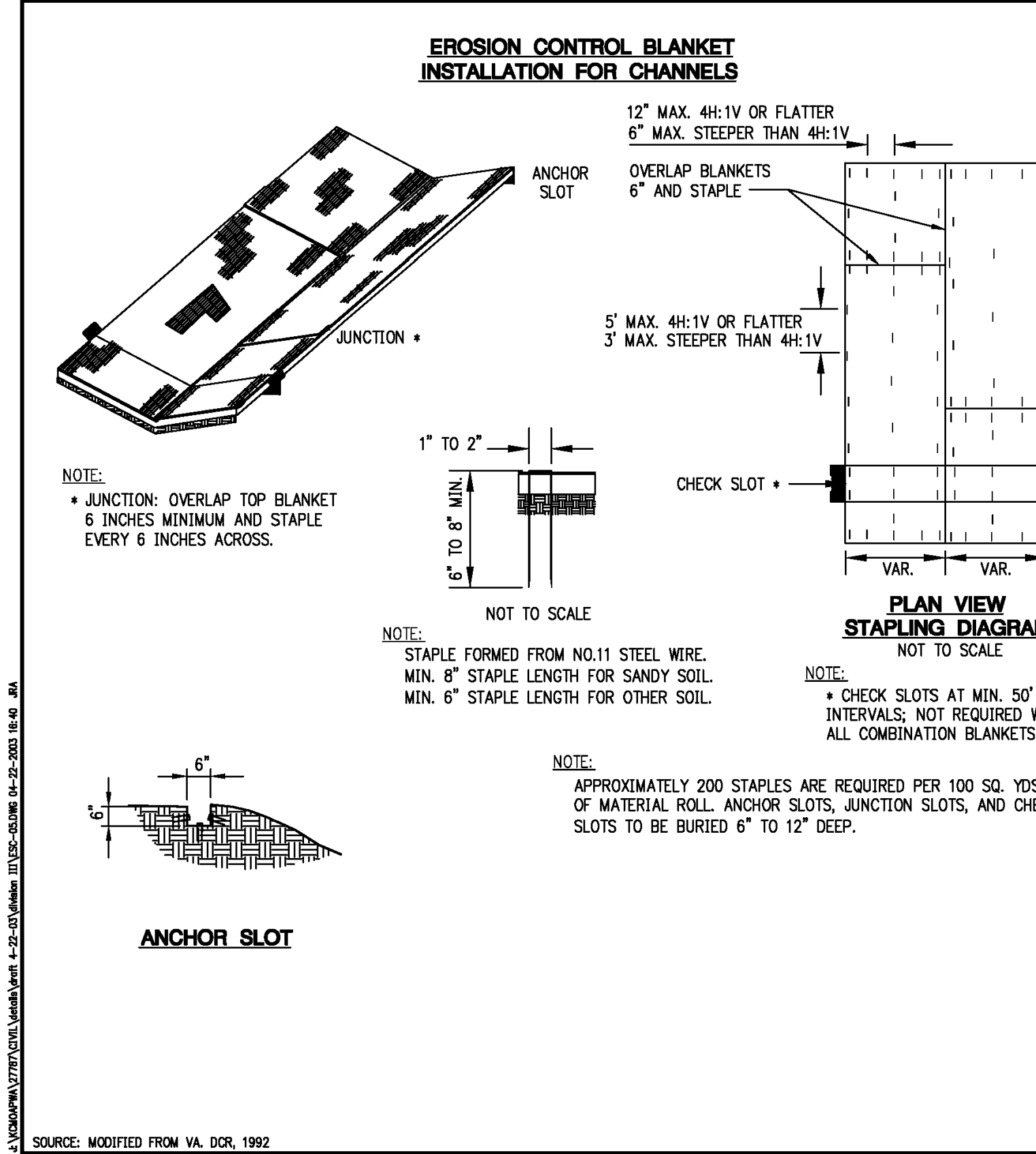
CONSULT WITH A QUALIFIED DESIGN PROFESSIONAL, IF ANY OF THE FOLLOWING OCCUR:

1. MOVEMENT OF THE BLANKET OR EROSION UNDER THE BLANKET IS OBSERVED.
2. VARIATIONS IN TOPOGRAPHY ON SITE. INDICATE EROSION CONTROL MAT WILL NOT FUNCTION AS INTENDED; CHANGES IN PLAN MAY BE NEEDED, OR A BLANKET WITH A SHORTER OR LONGER LIFE MAY BE NEEDED.
3. DESIGN SPECIFICATIONS FOR SEED VARIETY, SEEDING DATES, OR EROSION CONTROL MATERIALS CANNOT BE MET; SUBSTITUTION MAY BE REQUIRED. UNAPPROVED SUBSTITUTIONS COULD RESULT IN FAILURE TO ESTABLISH VEGETATION.

**E) MAINTENANCE & INSPECTION**

INSPECT CONTROLS AFTER EACH RAIN EVENT OF 1/2 INCH OR GREATER, AND EVERY 7 DAYS UNTIL VEGETATION IS ESTABLISHED, FOR EROSION OR UNDERMINING BENEATH THE NETTING, BLANKETS, OR MATS. IF ANY AREA SHOWS EROSION, PULL BACK THAT PORTION OF THE MATERIAL, ADD SOIL, TAMP DOWN, AND RESEED; RESECURE THE MATERIAL IN PLACE. IF NETTING, BLANKETS OR MATS BECOME DISLOCATED OR DAMAGED, REPAIR OR REPLACE AND RESECURE IMMEDIATELY.

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| EROSION CONTROL BLANKET<br>SHEET 1 OF 2 | STANDARD DRAWING<br>NUMBER ESC-04<br>ADOPTED |



**EROSION CONTROL BLANKET NOTES (2 OF 2):**

**F) STAPLES:**

STAPLES FOR ANCHORING BLANKET SHALL BE NO. 11-GAUGE WIRE OR HEAVIER. THEIR LENGTH SHALL BE A MINIMUM OF 6 INCHES. A LARGER STAPLE WITH A LENGTH OF UP TO 12 INCHES SHALL BE USED ON LOOSE, SANDY, OR UNSTABLE SOILS.

**G) JOINING PROTECTIVE COVERINGS:**

OVERLAP THE END OF THE PREVIOUS ROLL A MINIMUM OF 6 INCHES AND STAPLE. STAPLE ACROSS THE END OF THE ROLL JUST BELOW THE ANCHOR SLOT AND ACROSS THE MATERIAL EVERY 6 INCHES.

**H) TERMINAL END:**

AT THE POINT AT WHICH THE MATERIAL IS DISCONTINUED, OR WHERE THE PROTECTIVE COVERING MEETS A STRUCTURE OF SOME TYPE, STAPLE A MINIMUM OF EVERY 12 INCHES.

**I) FINAL CHECK:**

THESE INSTALLATION CRITERIA MUST BE ADHERED TO:

1. ALL DISTURBED AREAS ARE SEED.
2. PROTECTIVE BLANKET IS IN UNIFORM CONTACT WITH THE SOIL.
3. ALL LAP JOINTS ARE SECURE.
4. ALL STAPLES ARE DRIVEN FLUSH WITH THE GROUND.

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| EROSION CONTROL BLANKET<br>SHEET 2 OF 2 | STANDARD DRAWING<br>NUMBER ESC-05<br>ADOPTED |





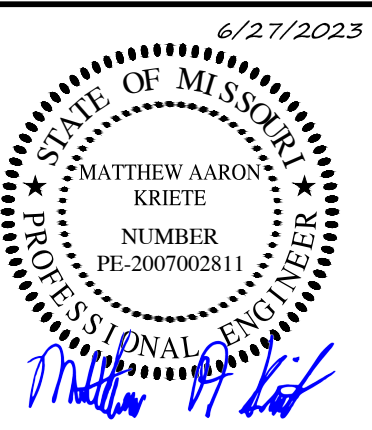
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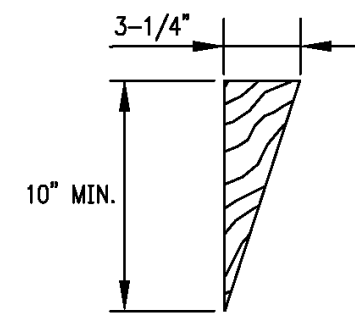
EROSION CONTROL DETAILS

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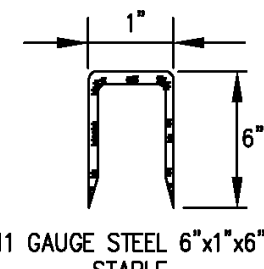
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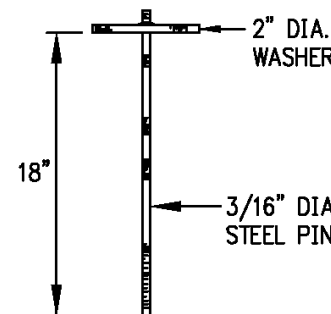
STAKES, STAPLES, AND PINS



1. STAKE  
SEE NOTE 1



2. STAPLE  
SEE NOTE 2



3. PIN  
SEE NOTE 3

STAKES, STAPLES, AND PINS  
FOR INSTALLATION OF  
ROLLED EROSION CONTROL PRODUCTS  
NOT TO SCALE

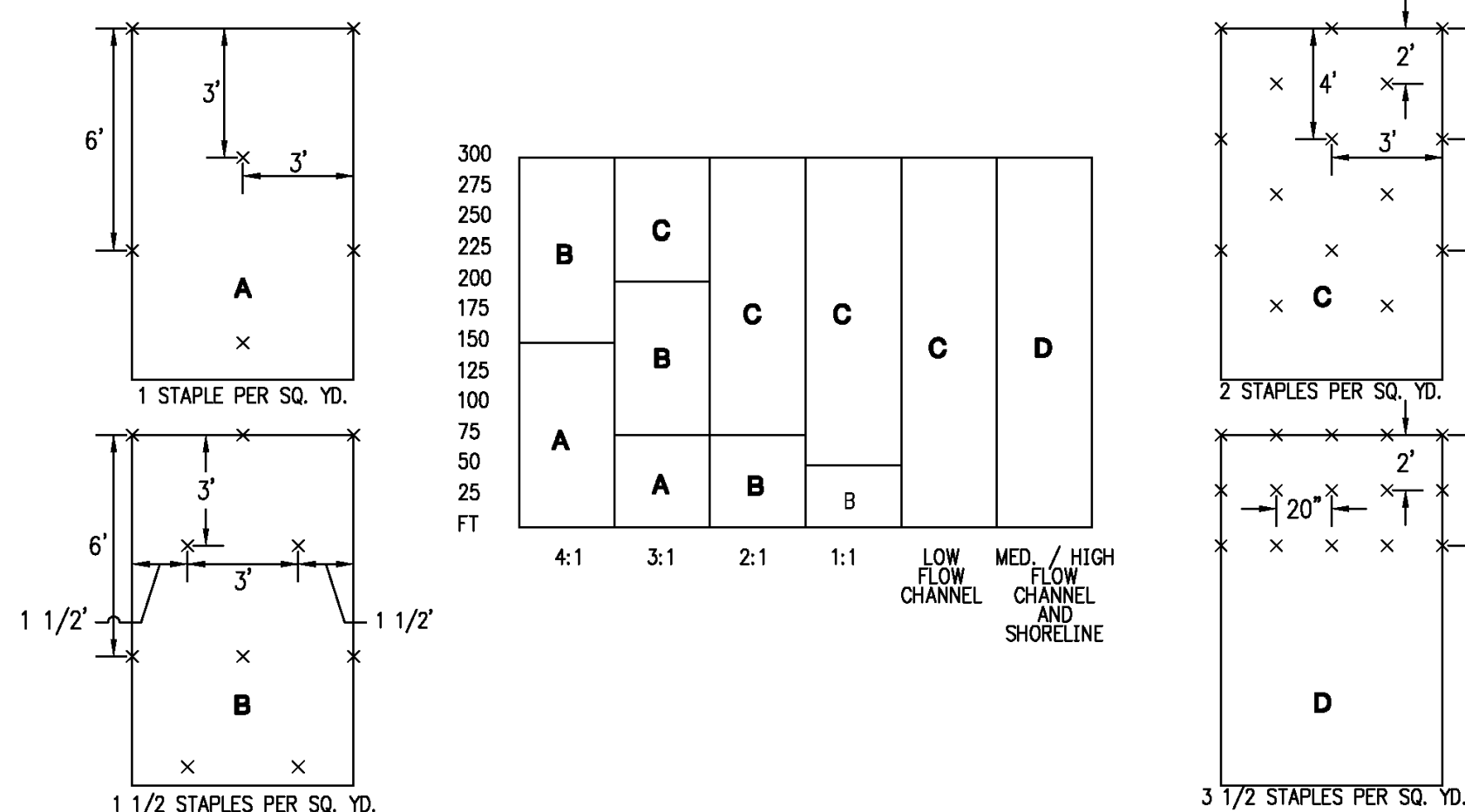
STAKES, STAPLES, AND PINS NOTES:

GENERAL NOTES:

- STAKES SHALL BE 1x4 TRIANGULAR SURVEY STAKES A MINIMUM OF 10" IN LONG.
- STAPLES SHALL BE 11 GAUGE STEEL A MINIMUM OF 1" WIDE BY 6" IN LONG. A 2"x6" STAPLE MAY BE REQUIRED IN CERTAIN SOIL CONDITIONS.
- STEEL PINS SHALL BE 3/16 DIAMETER BY 18" IN LONG WITH A 2" DIAMETER WASHER ON TOP. (SEE ILLUSTRATION.)
- ANCHORING METHODS AND RECOMMENDATIONS VARY BY MANUFACTURERS. THE EXPECTATION OF HIGH VELOCITIES SHOULD DICTATE THE USE OF MORE SUBSTANTIAL ANCHORING.

|                                   |  |
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| STAKES, STAPLES, AND PINS         | STANDARD DRAWING<br>NUMBER: ESC-09<br>ADOPTED: |

STAPLE PATTERNS FOR ROLLED EROSION CONTROL PRODUCTS



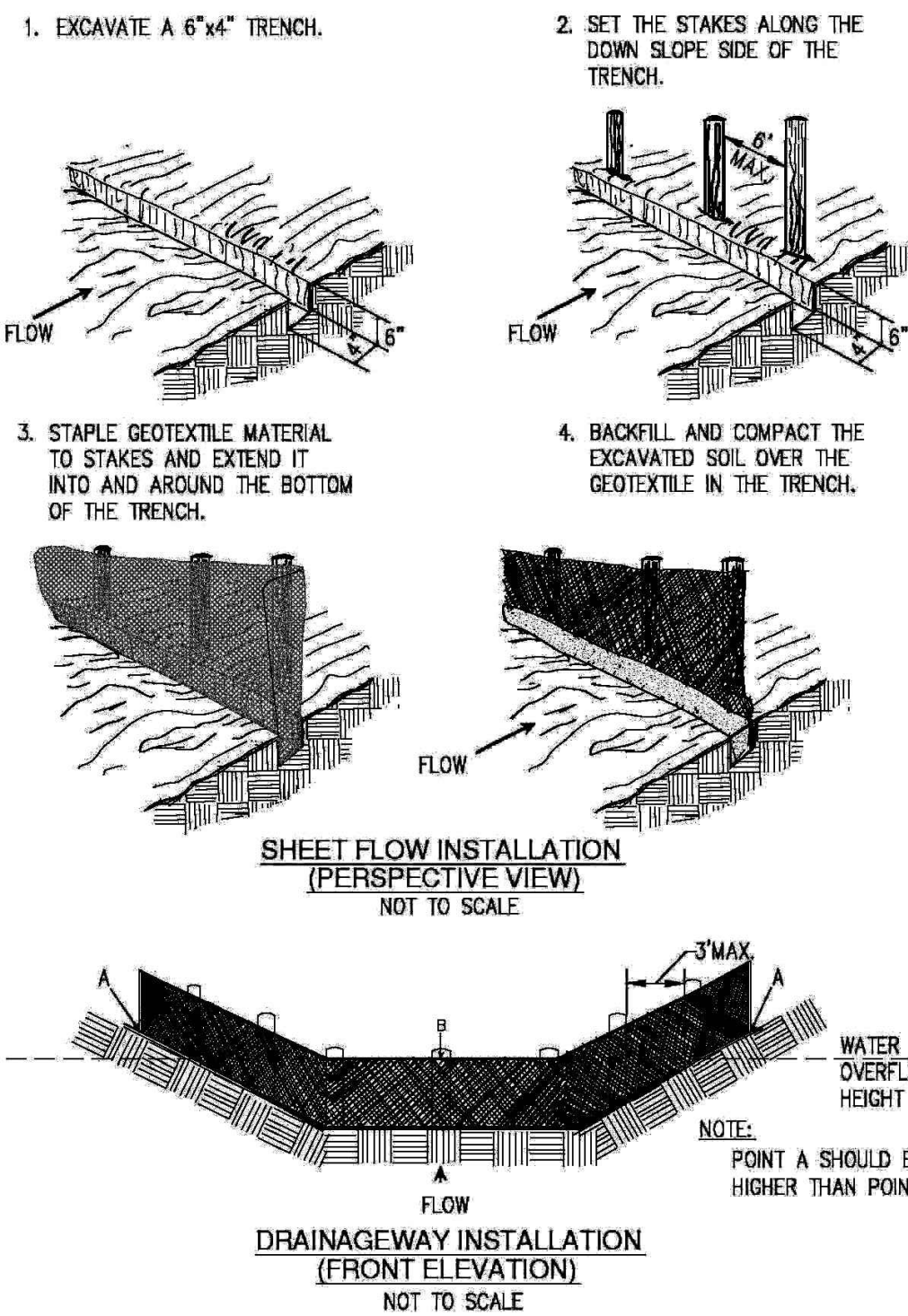
GENERAL STAPLE PATTERN  
GUIDE AND RECOMMENDATIONS  
FOR ROLLED EROSION CONTROL PRODUCTS  
NOT TO SCALE

NOTE:

FOR OPTIMUM RESULTS, THESE RECOMMENDED STAPLE PATTERN GUIDES MUST BE FOLLOWED UNLESS OTHERWISE DICTATED BY THE MANUFACTURER. SUGGESTED ANCHORING METHODS VARY BY MANUFACTURER. THIS CHART SHOWS HOW SLOPE LENGTHS AND GRADIENTS AFFECT STAPLING PATTERNS.

|  |  |
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| STAPLE PATTERNS FOR ROLLED<br>EROSION CONTROL PRODUCTS | STANDARD DRAWING<br>NUMBER: ESC-09<br>ADOPTED: |

SEDIMENT FENCE



SEDIMENT FENCE NOTES:

A) INSTALLATION:

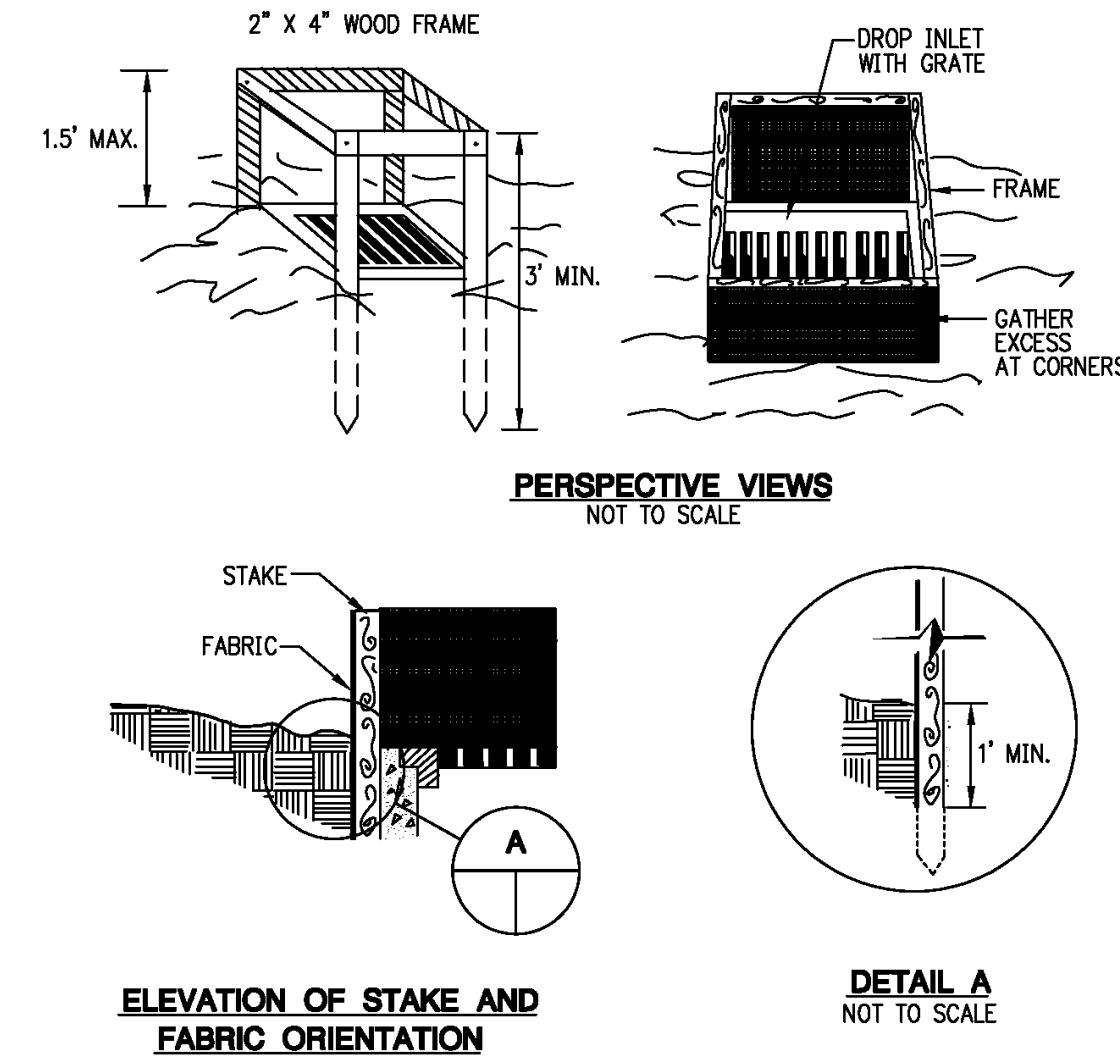
- THE HEIGHT OF SEDIMENT FENCE SHALL BE A MINIMUM OF 16 INCHES ABOVE THE ORIGINAL GROUND SURFACE AND SHALL NOT EXCEED 34 INCHES ABOVE THE GROUND SURFACE.
- THE FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE UNAVOIDABLE, FILTER CLOTH SHALL BE SECURELY SPLICED TOGETHER ONLY AT SUPPORT POSTS, WITH A MAX 6-INCH OVERLAP.
- DIG A TRENCH AT LEAST 6 INCHES DEEP AND 4 INCHES WIDE ALONG THE FENCE ALIGNMENT.
- DRIVE POSTS AT LEAST 24 INCHES INTO THE GROUND ON THE DOWNSLOPE SIDE OF THE TRENCH. SPACE POSTS A MAXIMUM OF 6 FEET APART.
- EXTRA-STRENGTH SEDIMENT FENCE FABRIC SHALL BE USED. POSTS FOR THIS TYPE OF FABRIC SHALL BE PLACED A MAXIMUM OF 6 FEET APART. THE SEDIMENT FABRIC SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING A MINIMUM OF ONE INCH LONG, HEAVY-DUTY WIRE STAPLES OR TIE-WIRES, AND EIGHT INCHES OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT BE STAPLED TO EXISTING TREES.
- PLACE THE BOTTOM 1 FOOT OF FABRIC IN THE MINIMUM-OF-6-INCH DEEP TRENCH, LAPPING TOWARD THE UPSLOPE SIDE. BACKFILL WITH COMPACTED EARTH OR GRAVEL.
- IF A SEDIMENT FENCE IS TO BE CONSTRUCTED ACROSS A DITCH LINE OR SWALE, IT MUST BE OF SUFFICIENT LENGTH TO ELIMINATE ENDFLOW, AND THE PLAN CONFIGURATION SHALL RESEMBLE AN ARC OR HORSESHOE, PLACED ON A CONTOUR, WITH THE ENDS ORIENTED UPSLOPE. EXTRA-STRENGTH SEDIMENT FABRIC SHALL BE USED WITH A MAXIMUM 3-FOOT SPACING OF POSTS.
- TO REDUCE MAINTENANCE, EXCAVATE A SHALLOW SEDIMENT STORAGE AREA IN THE UPSLOPE SIDE OF THE FENCE. PROVIDE GOOD ACCESS IN AREAS OF HEAVY SEDIMENTATION FOR CLEAN OUT AND MAINTENANCE.
- SEDIMENT FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED.

B) TROUBLESHOOTING:

- DETERMINE THE EXACT LOCATION OF UNDERGROUND UTILITIES, BEFORE FENCE INSTALLATION SO UTILITIES ARE NOT DISTURBED.
- GRADE ALIGNMENT OF FENCE AS NEEDED TO PROVIDE A BROAD, NEARLY LEVEL AREA UPSTREAM OF FENCE TO ALLOW SEDIMENT COLLECTION AREA.
- INSPECTION MAINTENANCE:
  - INSPECT SEDIMENT FENCES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY.
  - SHOULD THE FABRIC OF A SEDIMENT FENCE COLLAPSE, TEAR, DECOMPOSE, OR BECOME INEFFECTIVE, REPLACE IT PROMPTLY.
  - REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. AVOID DAMAGING OR UNDERMINING THE FENCE DURING CLEANOUT. SEDIMENT ACCUMULATION SHOULD NOT EXCEED 1/2 THE HEIGHT OF THE FENCE.
  - REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS, AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY AND COMPLETELY STABILIZED.

|                                   |  |
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| SEDIMENT FENCE                    | STANDARD DRAWING<br>NUMBER: ESC-10<br>ADOPTED: |

SEDIMENT FENCE DROP INLET  
PROTECTION



SEDIMENT FENCE DROP INLET PROTECTION NOTES:

A) CONSTRUCTION SPECIFICATIONS:

- SEDIMENT FENCE SHALL CONFORM TO THE CONSTRUCTION SPECIFICATIONS FOR EXTRA STRENGTH FOUND IN THE TABLE BELOW AND SHALL BE CUT FROM A CONTINUOUS ROLL TO AVOID JOINTS.  
PHYSICAL PROPERTIES OF FABRIC IN SEDIMENT FENCE:

| PHYSICAL PROPERTY                           | TEST                           | REQUIREMENTS                             |
|---|--------------------------------|--|
| FILTERING EFFICIENCY                        | ASTM 5141                      | 75%                                      |
| TENSILE STRENGTH AT 20% (MAX.) ELONGATION** | ASTM 4632<br>AASHTO<br>M288-96 | EXTRA STRENGTH --<br>50 LBS./LINEAR INCH |
| FLOW RATE                                   | ASTM 5141                      | 0.2 GAL./SQ.FT./<br>MINUTE**             |
| ULTRAVIOLET RADIATION STABILITY %           | ASTM D 4355                    | 90%                                      |

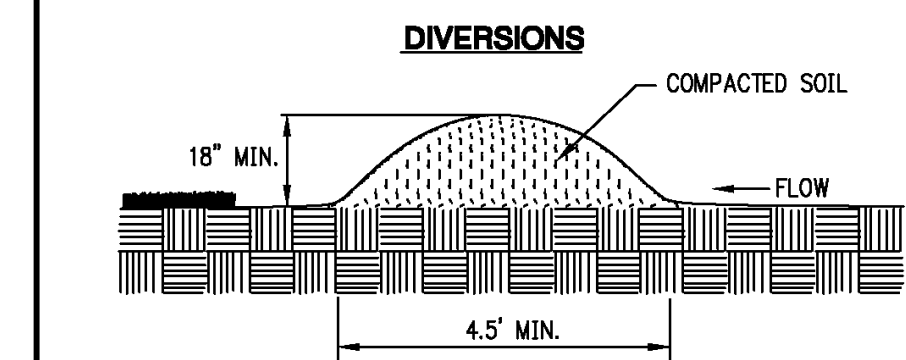
\* REQUIREMENTS REDUCED BY 50% AFTER SIX MONTHS OF INSTALLATION.  
\*\* HIGH POROSITY FABRIC MADE BY BETTER SUITED FOR THIS DEVICE.
- FOR STAKES, USE 2X4 WOOD OR EQUIVALENT METAL WITH A MINIMUM LENGTH OF 3 FEET.
- SPACE STAKES EVENLY AROUND THE PERIMETER OF THE INLET A MAXIMUM OF 3 FEET APART, AND SECURELY DRIVE THEM INTO THE GROUND, APPROXIMATELY 18 INCHES DEEP.
- TO PROVIDE NEEDED STABILITY TO THE INSTALLATION, FRAME WITH 2X4 WOOD STRIPS AROUND THE CREST OF THE OVERFLOW AREA AT A MAXIMUM OF 1.5 FEET ABOVE THE DROP INLET CREST.
- PLACE THE BOTTOM 12 INCHES OF THE FABRIC IN A TRENCH AND BACKFILL THE TRENCH WITH 12-INCHES OF COMPACTED SOIL.
- FASTEN FABRIC SECURELY BY STAPLES, OR WIRE IT TO THE STAKES AND FRAME. JOINTS MUST BE OVERLAPPED TO THE NEXT STAKE.
- IT MAY BE NECESSARY TO BUILD A TEMPORARY DIKE ON THE DOWNSLOPE SIDE OF THE STRUCTURE TO PREVENT BYPASS FLOW.

B) INSPECTION AND MAINTENANCE:

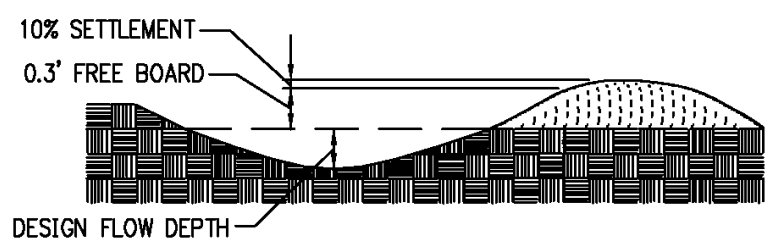
- THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN EVENT OF 1/2 INCH OR GREATER AND REPAIRS MADE AS NEEDED.
- SEDIMENT SHALL BE REMOVED AND THE TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO ONE HALF THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
- STRUCTURES SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE REMAINING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

|   |  |
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| SEDIMENT FENCE DROP INLET<br>PROTECTION | STANDARD DRAWING<br>NUMBER: ESC-10<br>ADOPTED: |

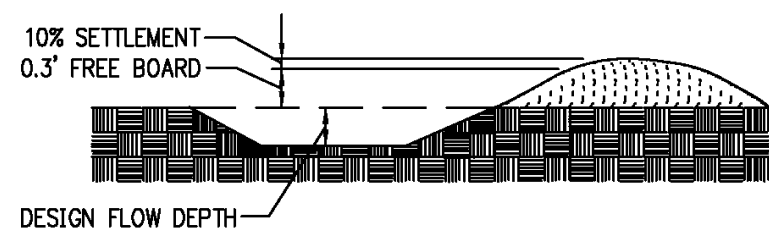




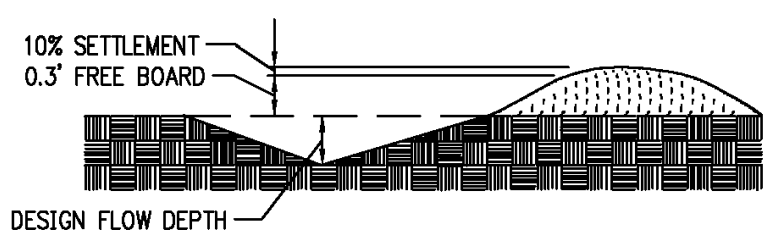
**TEMPORARY DIVERSION DIKE**  
NOT TO SCALE



**TYPICAL PARABOLIC DIVERSION**

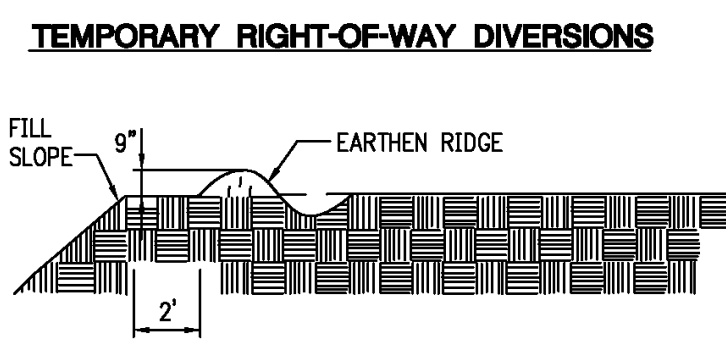


**TYPICAL TRAPEZOIDAL DIVERSION**

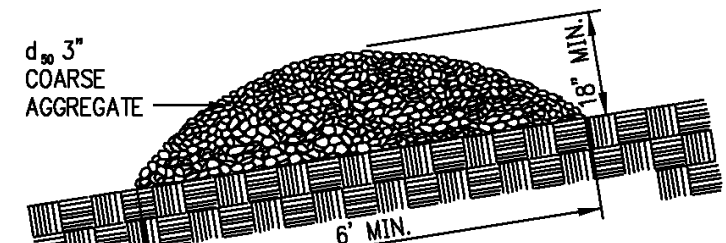


**TYPICAL VEE-SHAPED DIVERSION**

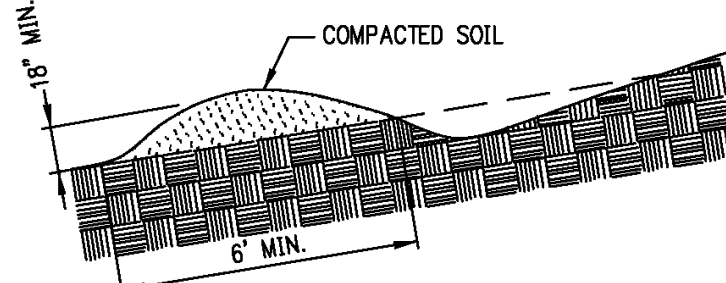
SOURCE: MODIFIED FROM VA. DCR, 1992



**TEMPORARY RIGHT-OF-WAY DIVERSIONS**  
NOT TO SCALE



**TYPICAL GRAVEL STRUCTURE**



**TYPICAL EARTHEN STRUCTURE**

**TEMPORARY DIVERSION DIKE NOTES:**

1. TEMPORARY DIVERSION DIKES MUST BE INSTALLED AS A FIRST STEP IN THE LAND-DISTURBING ACTIVITY AND MUST BE FUNCTIONAL PRIOR TO UPSLOPE LAND DISTURBANCE.
2. THE DIKE SHOULD BE ADEQUATELY COMPACTED TO PREVENT FAILURE.
3. TEMPORARY OR PERMANENT SEEDING AND MULCH SHALL BE APPLIED TO THE DIKE IMMEDIATELY FOLLOWING ITS CONSTRUCTION.
4. THE DIKE SHOULD BE LOCATED TO MINIMIZE DAMAGES BY CONSTRUCTION OPERATIONS AND TRAFFIC.

**TEMPORARY FILL DIVERSION NOTES:**

1. THE DIVERSION SHALL BE CONSTRUCTED AT THE TOP OF THE FILL AT THE END OF EACH WORK DAY AS NEEDED.
2. THE DIVERSION SHALL BE LOCATED AT LEAST 2 FEET INSIDE THE TOP EDGE OF THE FILL.
3. THE SUPPORTING RIDGE SHALL BE CONSTRUCTED WITH A UNIFORM HEIGHT ALONG ITS ENTIRE LENGTH. WITHOUT UNIFORM HEIGHT, THE FILL DIVERSION MAY BE SUSCEPTIBLE TO BREACHING.

**RIGHT-OF-WAY DIVERSION DETAIL NOTES:**

1. THE DIVERSION SHALL BE INSTALLED AS SOON AS THE RIGHT-OF-WAY HAS BEEN CLEARED AND/OR GRADED.
2. ALL EARTHEN DIVERSIONS SHALL BE MACHINE- OR HAND-COMPACTED IN 8-INCH LIFTS.
3. THE OUTLET OF THE DIVERSION SHALL BE LOCATED IN AN UNDISTURBED AND STABILIZED AREA WHEN AT ALL POSSIBLE. THE FIELD LOCATION SHOULD BE ADJUSTED AS NEEDED TO UTILIZE A STABILIZED OUTLET.
4. EARTHENED DIVERSIONS WHICH WILL NOT BE SUBJECT TO CONSTRUCTION TRAFFIC SHOULD BE STABILIZED IN ACCORDANCE WITH TEMPORARY SEEDING.

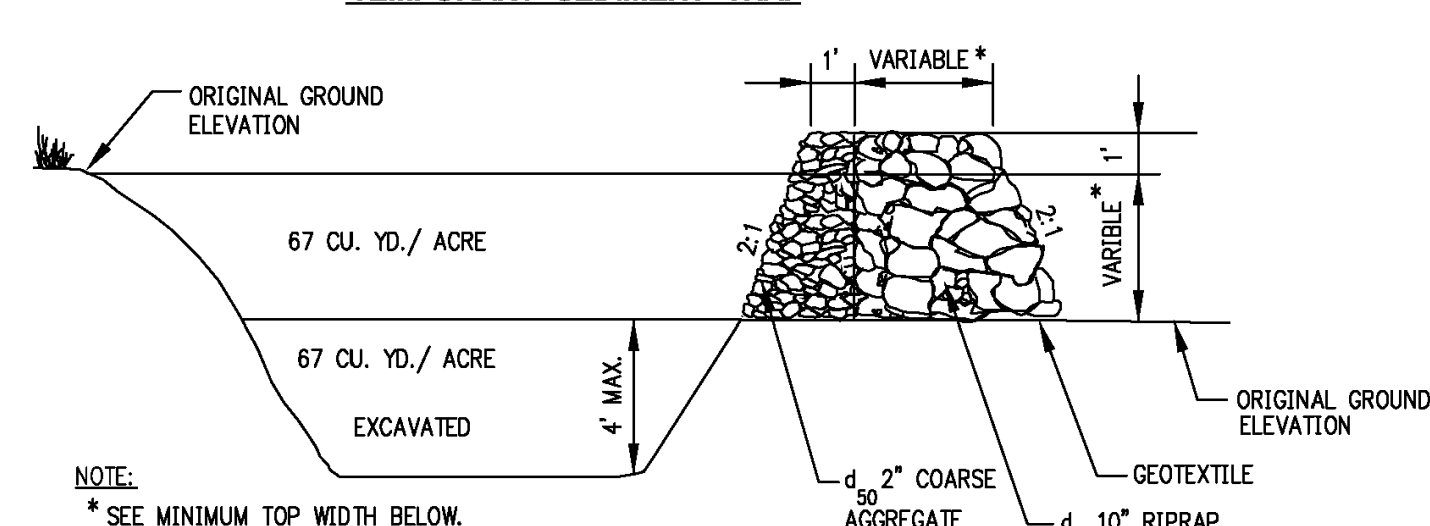
**DIVERSION DETAIL NOTES:**

1. ALL TREES, BRUSH, STUMPS, OBSTRUCTIONS, AND OTHER OBJECTIONABLE MATERIAL SHALL BE REMOVED AND DISPOSED OF SO AS NOT TO INTERFERE WITH THE PROPER FUNCTIONING OF THE DIVERSION.
2. THE DIVERSION SHALL BE EXCAVATED OR SHAPED TO LINE, GRADE, AND CROSS-SECTION AS REQUIRED TO MEET THE CRITERIA SPECIFIED HEREIN, FREE OF IRREGULARITIES WHICH WILL IMPEDE FLOW.
3. FILLS SHALL BE COMPACTED AS NEEDED TO PREVENT UNEQUAL SETTLEMENT THAT WOULD CAUSE DAMAGE IN THE COMPLETED DIVERSION. FILL SHALL BE COMPOSED OF SOIL WHICH IS FREE FROM EXCESSIVE ORGANIC DEBRIS, ROCKS, OR OTHER OBJECTIONABLE MATERIALS.
4. ALL EARTH REMOVED AND NOT NEEDED IN CONSTRUCTION SHALL BE SPREAD OR DISPOSED OF SO THAT IT WILL NOT INTERFERE WITH THE FUNCTIONING OF THE DIVERSION.
5. PERMANENT STABILIZATION OF DISTURBED AREAS SHALL BE DONE IN ACCORDANCE WITH SECTION 2151.

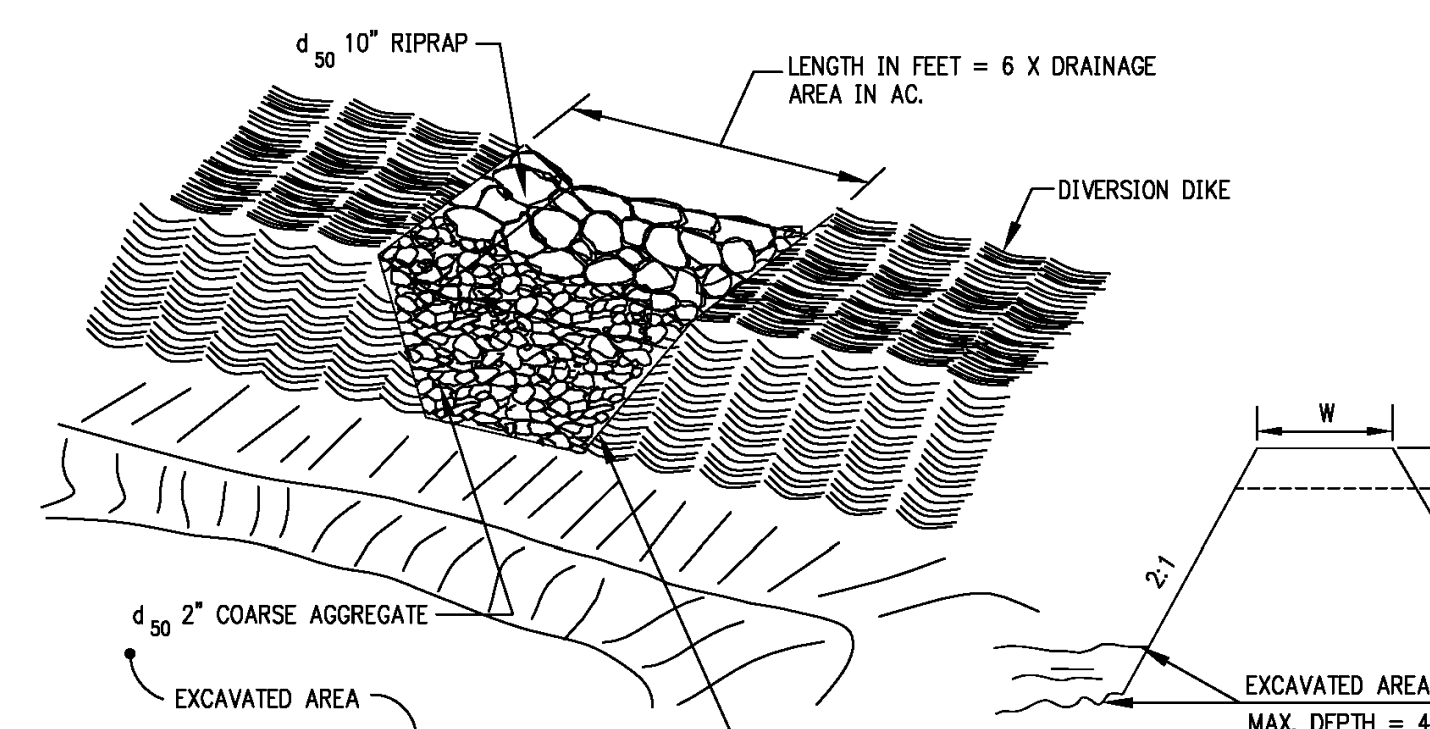
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STANDARD DRAWING NUMBER ESC-29  
ADOPTED:

DIVERSIONS

**TEMPORARY SEDIMENT TRAP**



**CROSS SECTION OF OUTLET**  
NOT TO SCALE



**OUTLET (PERSPECTIVE VIEW)**

SOURCE: MODIFIED FROM VA. DCR, 1992

**TEMPORARY SEDIMENT TRAP NOTES:**

**A) CONSTRUCTION SPECIFICATIONS:**

1. THE AREA UNDER THE EMBANKMENT SHALL BE CLEARED, GRUBBED, AND STRIPPED OF ANY VEGETATION AND ROOT MAT.
2. FILL MATERIAL FOR THE EMBANKMENT SHALL BE FREE OF ROOTS OR OTHER WOODY VEGETATION, ORGANIC MATERIAL, LARGE STONES, AND OTHER OBJECTIONABLE MATERIAL. THE EMBANKMENT SHOULD BE COMPACTED IN 6-INCH LAYERS BY TRAVERSING WITH CONSTRUCTION EQUIPMENT.
3. THE EARTHEN EMBANKMENT SHALL BE SEED WITH TEMPORARY OR PERMANENT VEGETATION IMMEDIATELY AFTER INSTALLATION.
4. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT TO MINIMIZE EROSION AND WATER POLLUTION.
5. THE STRUCTURE SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE UPSLOPE DRAINAGE AREA HAS BEEN STABILIZED.
6. ALL CUT AND FILL SLOPES SHALL BE 2H:1V OR FLATTER EXCEPT FOR EXCAVATED, WET STORAGE AREAS WHICH MAY BE AT A MAXIMUM 1H:1V GRADE.

**B) INSPECTION AND MAINTENANCE:**

1. INSPECT THE TEMPORARY SEDIMENT TRAP AFTER EACH STORM EVENT OF 1/2-INCH OR GREATER.
2. REMOVE AND PROPERLY DISPOSE OF SEDIMENT WHEN IT ACCUMULATES TO ONE-HALF THE DESIGN VOLUME AS INDICATED BY THE CLEAN-OUT STAKE.
3. PERIODICALLY CHECK THE EMBANKMENT, SPILLWAY, AND OUTLET APRON FOR EROSION DAMAGE, SETTLING SEEPAGE, OR SLUMPING ALONG THE TOE AND REPAIR IMMEDIATELY.
4. REPLACE THE SPILLWAY GRAVEL FACING IF IT BECOMES CLOGGED.
5. INSPECT VEGETATION AND RESEED IF NECESSARY.
6. REPLACE ANY DISPLACED RIPRAP SO THAT NO REPLACEMENT ROCK IS ABOVE THE DESIGN GRADE.
7. REMOVE THE TEMPORARY SEDIMENT TRAP AFTER THE DRAINAGE AREA HAS BEEN PERMANENTLY STABILIZED, INSPECTED, AND APPROVED. DO SO BY DRAINING ANY WATER, REMOVING THE SEDIMENT TO A DESIGNATED DISPOSAL AREA, AND GRADING THE SITE TO BLEND WITH THE SURROUNDING AREA; THEN STABILIZE.

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TEMPORARY SEDIMENT TRAP

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**PUBLIC IMPROVEMENTS FOR WILSHIRE HILLS PHASE III**  
ADDRESS  
LEE'S SUMMIT, JACKSON COUNTY, MO

6/27/2023  
STATE OF MISSOURI  
MATTHEW A. KRIETE  
PROFESSIONAL ENGINEER  
NUMBER PE-2007002811  
Signature: Matthew A. Kriete

MATTHEW A. KRIETE  
PROFESSIONAL ENGINEER  
PE-2007002811

IF ORIGINAL SIGNATURE OR DIGITAL AUTHENTICATION IS NOT PRESENT THIS MEDIA SHOULD NOT BE CONSIDERED A CERTIFIED DOCUMENT.

Date  
**JUNE 27, 2023**

Revised

Design: ST Drawn: MJS

EROSION CONTROL DETAILS

Sheet

**C5.08**

ES&S PROJECT NO. 15925

CONSTRUCTION DOCUMENTS

**AMERICAN EXCELSIOR COMPANY**  
ARLINGTON, TEXAS

**CURLEX® SEDIMENT LOG®**  
INLET PROTECTION DETAILS

DATE: 3/27/17  
SCALE: NONE  
PROJECT NO.: 15

**AMERICAN EXCELSIOR COMPANY**  
Earth Science Division

**AMERICAN EXCELSIOR COMPANY**  
ARLINGTON, TEXAS

**CURLEX® SEDIMENT LOG®**  
PERIMETER CONTROL DETAILS

DATE: 5/15/17  
SCALE: NONE  
PROJECT NO.: 25

**AMERICAN EXCELSIOR COMPANY**  
Earth Science Division

**AMERICAN EXCELSIOR COMPANY**  
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**CURLEX® SEDIMENT LOG®**  
PERIMETER CONTROL DETAILS

DATE: 5/8/17  
SCALE: NONE  
PROJECT NO.: 26

**AMERICAN EXCELSIOR COMPANY**  
Earth Science Division

**CONCRETE WASHOUT AREA**  
NOT TO SCALE

**SECTION A-A**

**CONCRETE WASHOUT AREA**  
NOT TO SCALE

**NOTES:**

1. ALL CONCRETE WASTE MATERIAL, INCLUDING WASHOUT WATER, SHALL BE TOTALLY CONTAINED.
2. SEE SWPPP FOR MORE DETAILS.
3. UPON PROJECT COMPLETION CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL CONCRETE WASTE FROM THE OWNER'S PROPERTY PER ALL APPLICABLE SOLID WASTE REGULATIONS.
4. CONSTRUCT SIGN OF WEATHER PROOF MATERIALS OF A SIZE EASILY READABLE BY CONCRETE TRUCK DRIVERS. PLACE SIGN WITHIN 10' OF WASHOUT.
5. CONTRACTOR SHALL CONTAIN WASHOUT WATERS AT ALL TIMES.