

aschwartz
Jun 20, 2023-1:22pm
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LEGEND

	Existing Section Line		Proposed Right-of-Way
	Existing Right-of-Way Line		Proposed Property Line
	Existing Lot Line		Proposed Lot Line
	Existing Easement Line		Proposed Easement
	Existing Curb & Gutter		Proposed Curb & Gutter
	Existing Sidewalk		Proposed Sidewalk
	Existing Storm Sewer		Proposed Storm Sewer
	Existing Storm Structure		Proposed Storm Structure
	Existing Waterline		Proposed Fire Hydrant
	Existing Gas Main		Proposed Waterline
	Existing Sanitary Sewer		Proposed Sanitary Sewer
	Existing Sanitary Manhole		Proposed Sanitary Manhole
	Existing Contour Major		Proposed Contour Major
	Existing Contour Minor		Proposed Contour Minor
			Future Curb and Gutter
	Utility Easement		
	Sanitary Sewer Easement		Access Easement
	Drainage Easement		Temporary Easement

Site Benchmarks:

BM A:
Elev. =

BM B:
Elev. =

Lot 2 Legal Description:

A TRACT OF LAND BEING LOCATED IN SECTION 29, TOWNSHIP 48, RANGE 31, LEE'S SUMMIT, JACKSON COUNTY MISSOURI, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF LOT 4 OF RICE ACRES, LOTS 4 & 5, A SUBDIVISION IN SAID LEE'S SUMMIT, MISSOURI; THENCE NORTH 88° 38' 41" WEST, A DISTANCE OF 84.60 FEET TO THE POINT OF BEGINNING; THENCE NORTH 88° 38' 41" WEST, A DISTANCE OF 256.00 FEET; THENCE NORTH 1° 23' 04" EAST, A DISTANCE OF 276.31 FEET; THENCE SOUTH 88° 38' 51" EAST, A DISTANCE OF 255.59 FEET; THENCE ALONG A CURVE TO THE RIGHT TANGENT TO THE PRECEDING COURSE AND HAVING A RADIUS OF 15.00 FEET, AN ARC DISTANCE OF 23.57 FEET; THENCE SOUTH 1° 23' 04" WEST, A DISTANCE OF 172.36; THENCE SOUTH 13° 21' 00" WEST, A DISTANCE OF 37.98 FEET; THENCE ALONG A CURVE TO THE LEFT TANGENT TO THE PRECEDING COURSE AND HAVING A RADIUS OF 328.00 FEET, AN ARC DISTANCE OF 552.28 FEET TO THE POINT OF BEGINNING.

TRACT CONTAINS 73,958.97 SF (1.70 ACRES) MORE OR LESS.

Earthwork:

Cut: 1024.34 CY (Cut)
Fill: 3383.97 CY (Fill)
Net: 2359.63 CY Net (Fill)

FLOOD PLAIN NOTE

According to the FEMA Flood Insurance Rate Map Number 29095C0430G, revised January 20, 2017 portions of this tract lie in: Zone X, AREA OF MINIMAL FLOOD HAZARD.

Oil / Gas Well Note:

There is no visible evidence, this date, of abandoned oil or gas wells located within the property boundary, as identified in "Environmental Impact Study of Abandoned Oil and Gas Wells in Lee's Summit, Missouri", by Edward Alton May.

The information concerning locations of underground utilities shown hereon which are not visible from the surface, has been taken from the records and field locations of the various utility companies and has not been field verified by this company. These locations are not to be construed as accurate or exact.

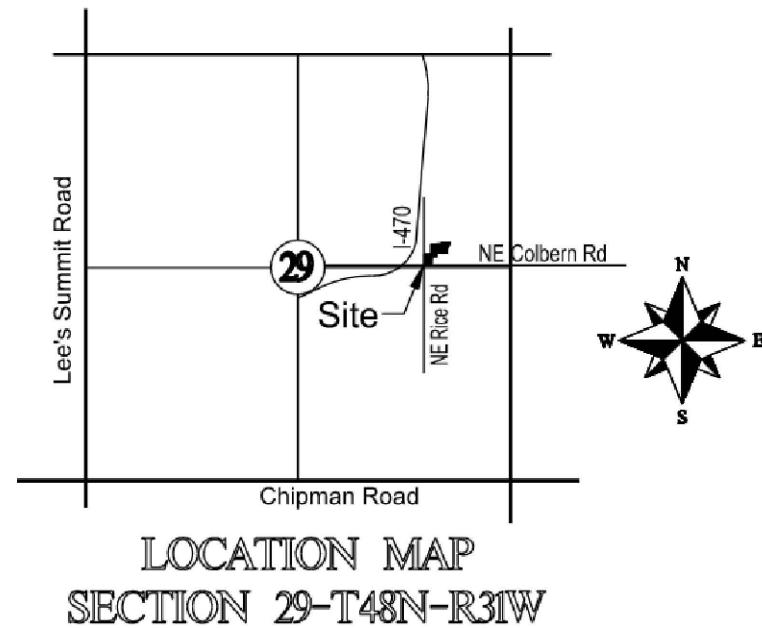
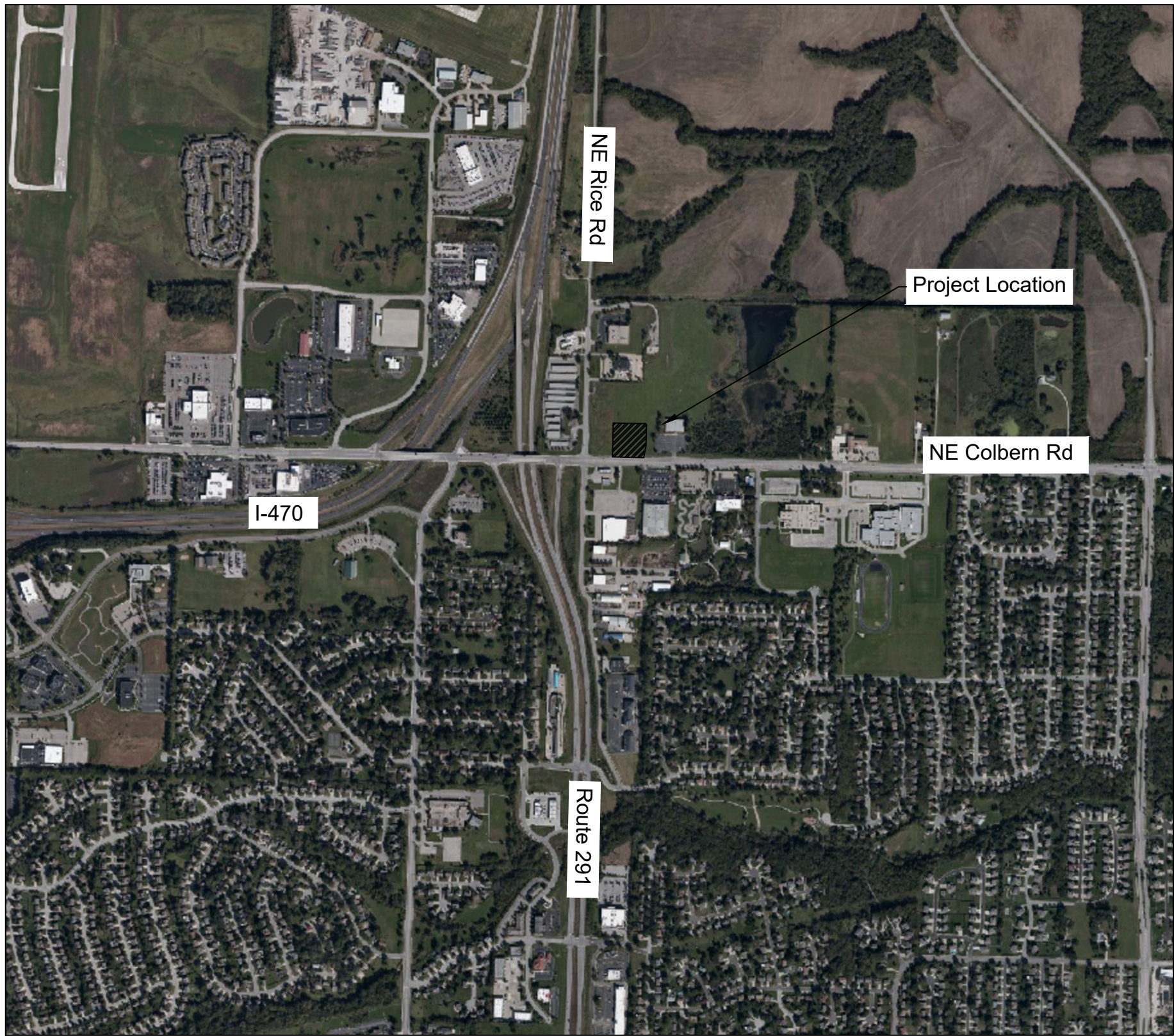


Know what's below.
Call before you dig.

Heartland Market

Lee's Summit, Jackson County, Missouri
Section 29, Township 48N, Range 31W

Final Development Plans



Sheet List Table	
Sheet Number	Sheet Title
C01	Title Sheet
C02	General Layout
C03	Dimension Plan
C04	Existing Conditions
C05	Grading Plan
C06	Spot Elevation Plan
C07	Grading Details
C08	Utility Plan
C09	Drainage Area Map
C10	Storm P&P 1
C11	Storm P&P 2
C12	Sanitary P&P
C13	Erosion Control I
C14	Erosion Control II
C15	Erosion Control III
C16	Fire Truck Turning Plan
C17	Trash Truck Turning Plan
C18	Typical Details - General 1
C19	Typical Details - General 2
C20	Typical Details - Storm
C21	Typical Details - Sanitary
C22	Typical Details - Water
L01	Landscape Plan
L02	Landscape Details
E01	Photometric Plan

Consultant/Applicant:
Renaissance Infrastructure Consulting
400 E 17th St, Kansas City, MO 64108
(816) 800-0950

Prepared For:
The Great American Dream
Contact: Shawn Pouppirt
P.O. Box 30
Pleasant Hill, MO 64080

Final Development Plans
22-0133
Heartland Market
Lee's Summit, Jackson County, Missouri

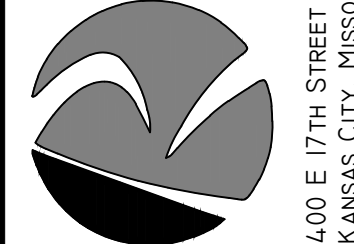
Title Sheet

NO.	DATE	REVISION
1	6/16/23	Per City Comments

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ALS	DJB

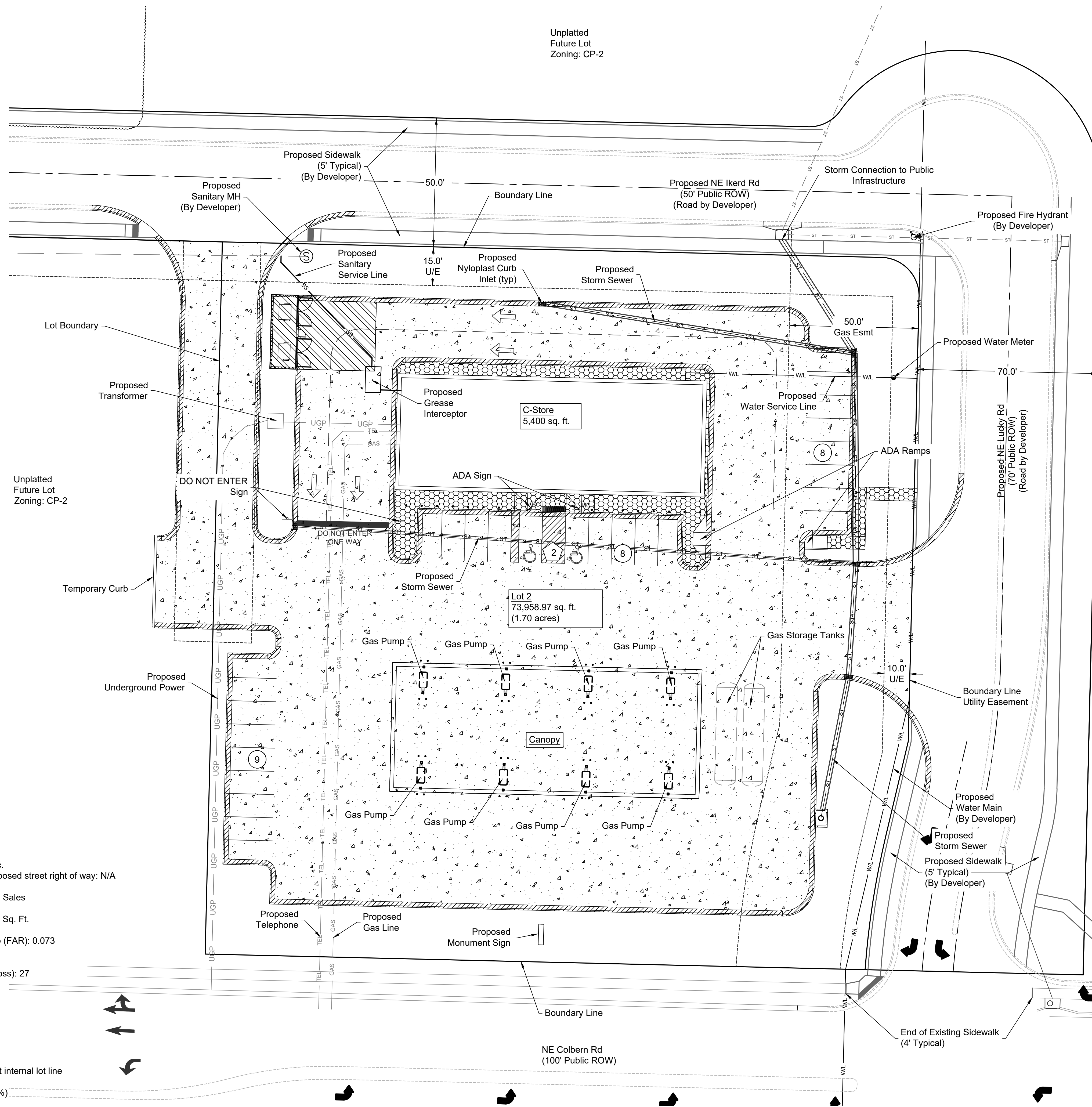
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Pleasant Hill, MO 64080

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Sheet
C01

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SITE DATA TABLE (Proposed):

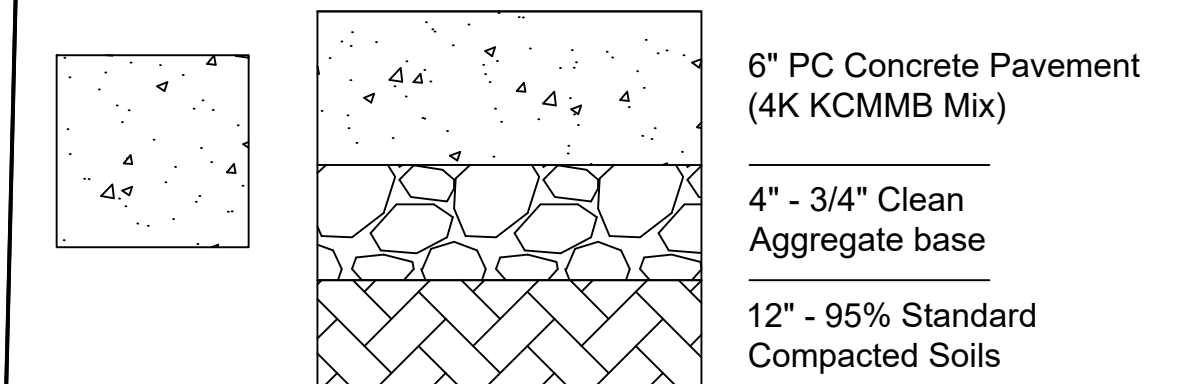
Proposed Building Area: 5,400 SF

LOT 2:

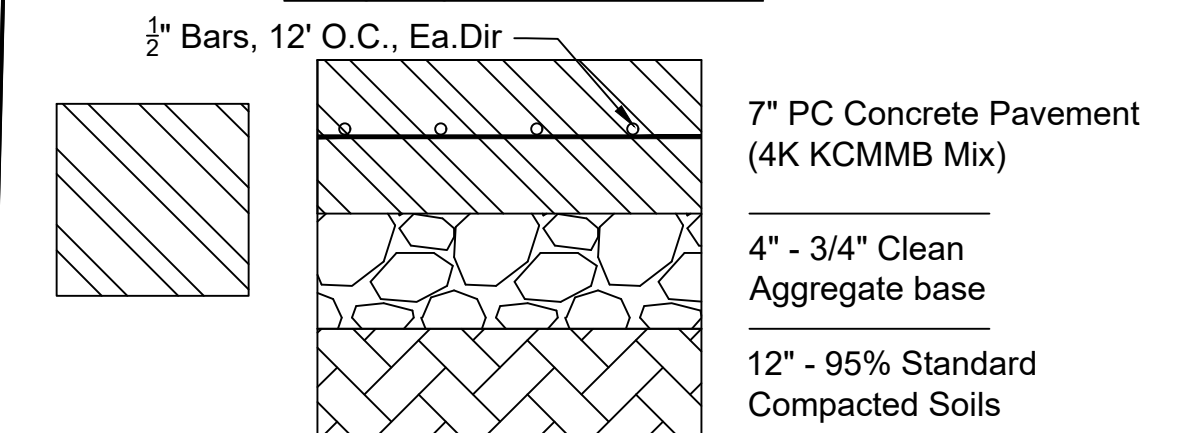
- A. Zoning: CP-2
- B. Total Lot Area: 73,959 Sq. Ft. = 1.70 Ac.
- C. Land Area or acres for existing and proposed street right of way: N/A
- D. Net Land Area: 1.70 Acres
- E. Proposed Use: Convenience Store/Fuel Sales
- F. Height above Grade at Building: 25.67'
- G. Gross Floor Area - Main Building: 5,400 Sq. Ft.
- H. Total Floor Area: 5,400 Sq. Ft.
- I. Building Coverage and Floor Area Ratio (FAR): 0.073
- J. Residential Gross and Net Density: N/A
- K. Commercial Parking
Required - 5 stalls per 1,000 Sq. Ft. (gross): 27
Provided: 27 Stalls (2 ADA)
- L. Parking Set Back:
20 ft from Colbern Rd
15 ft from other roads
0 ft internal
- M. Building Set Back
Front yard: 15 ft (from Colbern Rd)
Side yard: 15 ft (from NE Lucky Rd), 0 ft internal lot line
Rear yard: 15 ft (from NE Ikerd Rd)
- N. Impervious Area: 56,557 Sq. Ft. (76.47%)
Pervious Area: 17,402 Sq. Ft. (23.53%)

PAVEMENT SECTION DETAILS

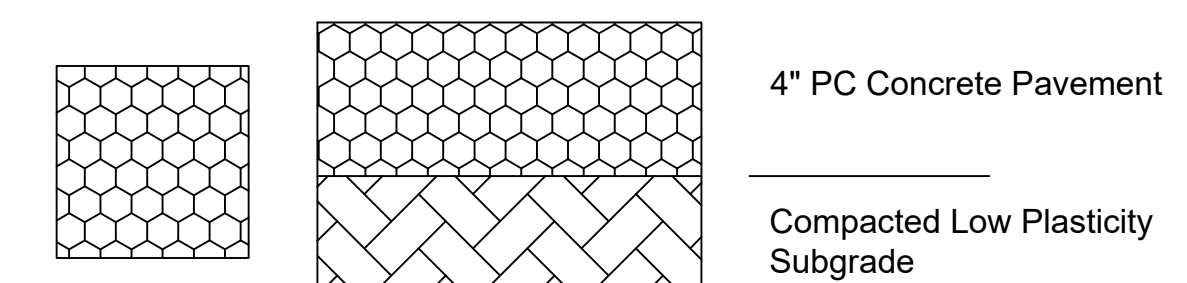
PC Concrete Pavement



Heavy Duty Concrete Pavement



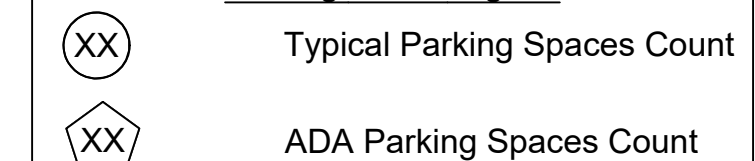
Sidewalk Pavement



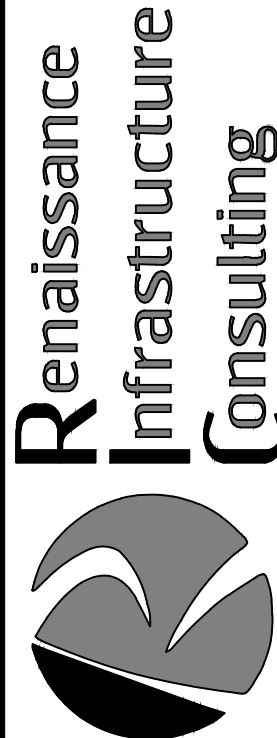
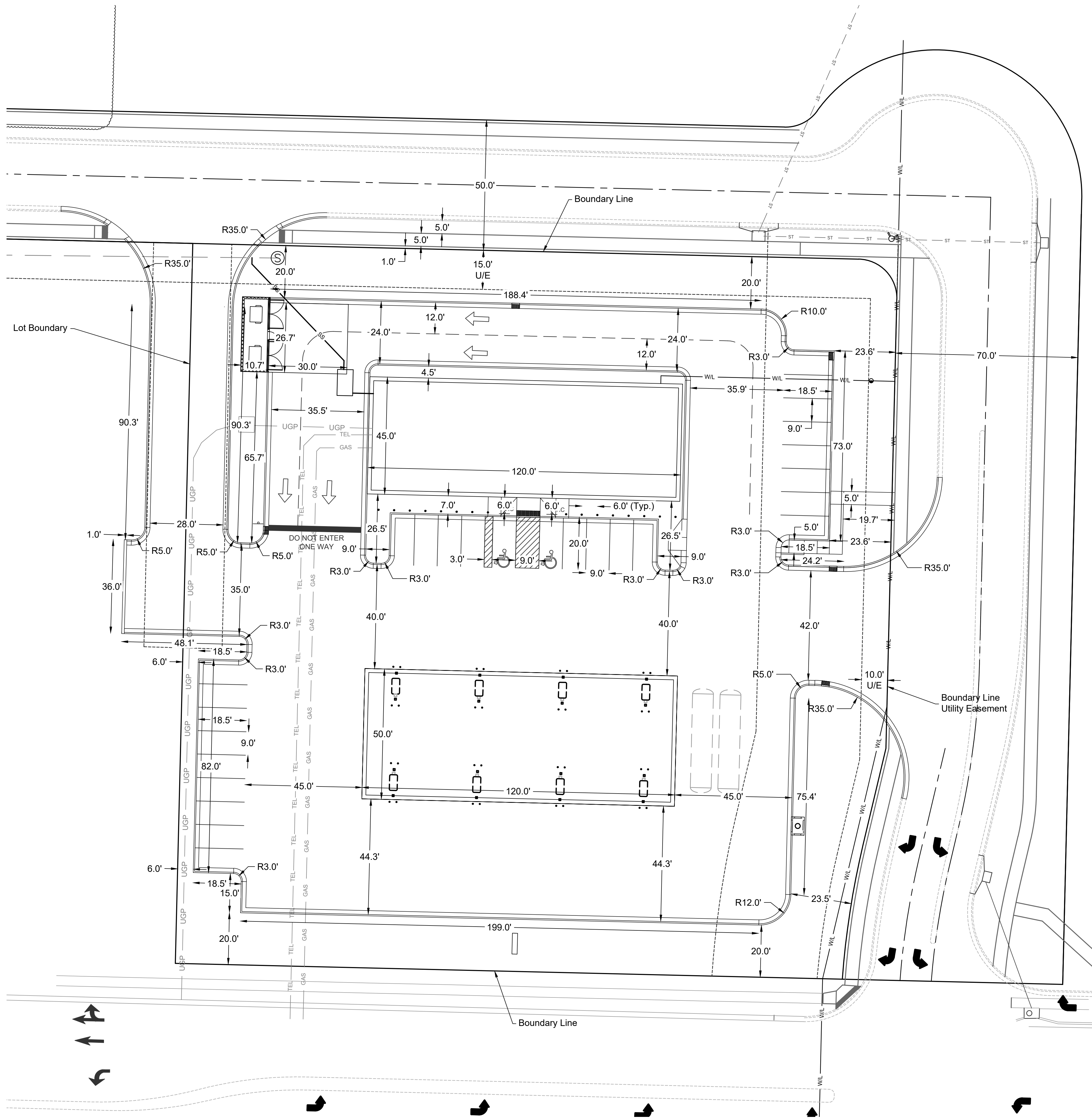
CG-1 Curb

Lot 2 Information:
Required Parking: 27 (5 / 1000 sq ft of gfa)
Provided Parking: 27 (2 ADA)

Parking Count Legend



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Sheet
C03

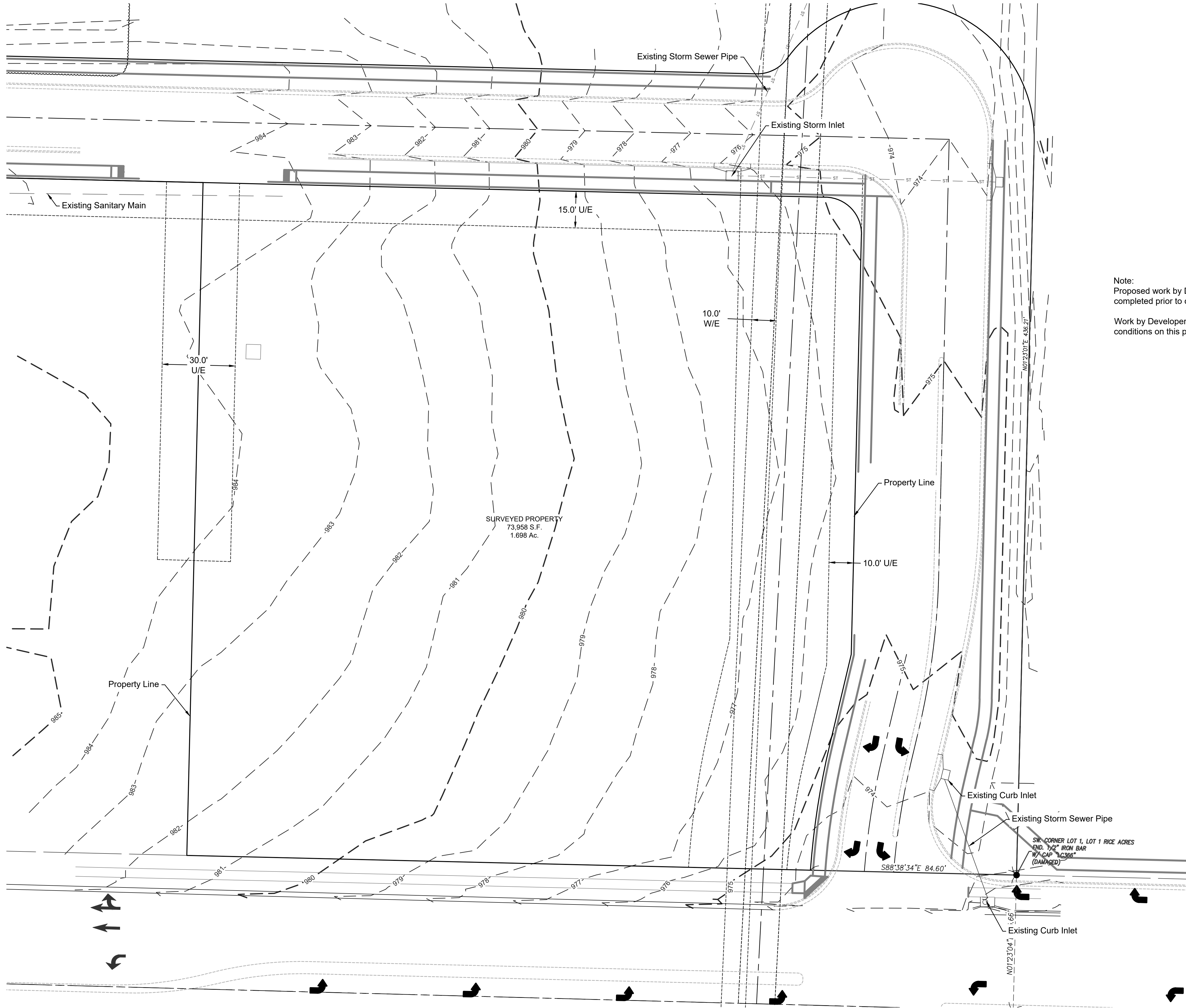
Dimension Plan

Final Development Plans
22-0133
Heartland Market
Lee's Summit, Jackson County, Missouri

NO.	DATE	REVISION
1	6/16/23	Per City Comments

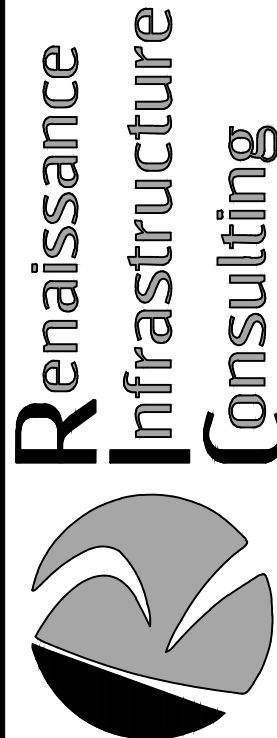
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Note:
Proposed work by Developer should be
completed prior to construction.

Work by Developer has been shown as existing
conditions on this plan.



Sheet
C04

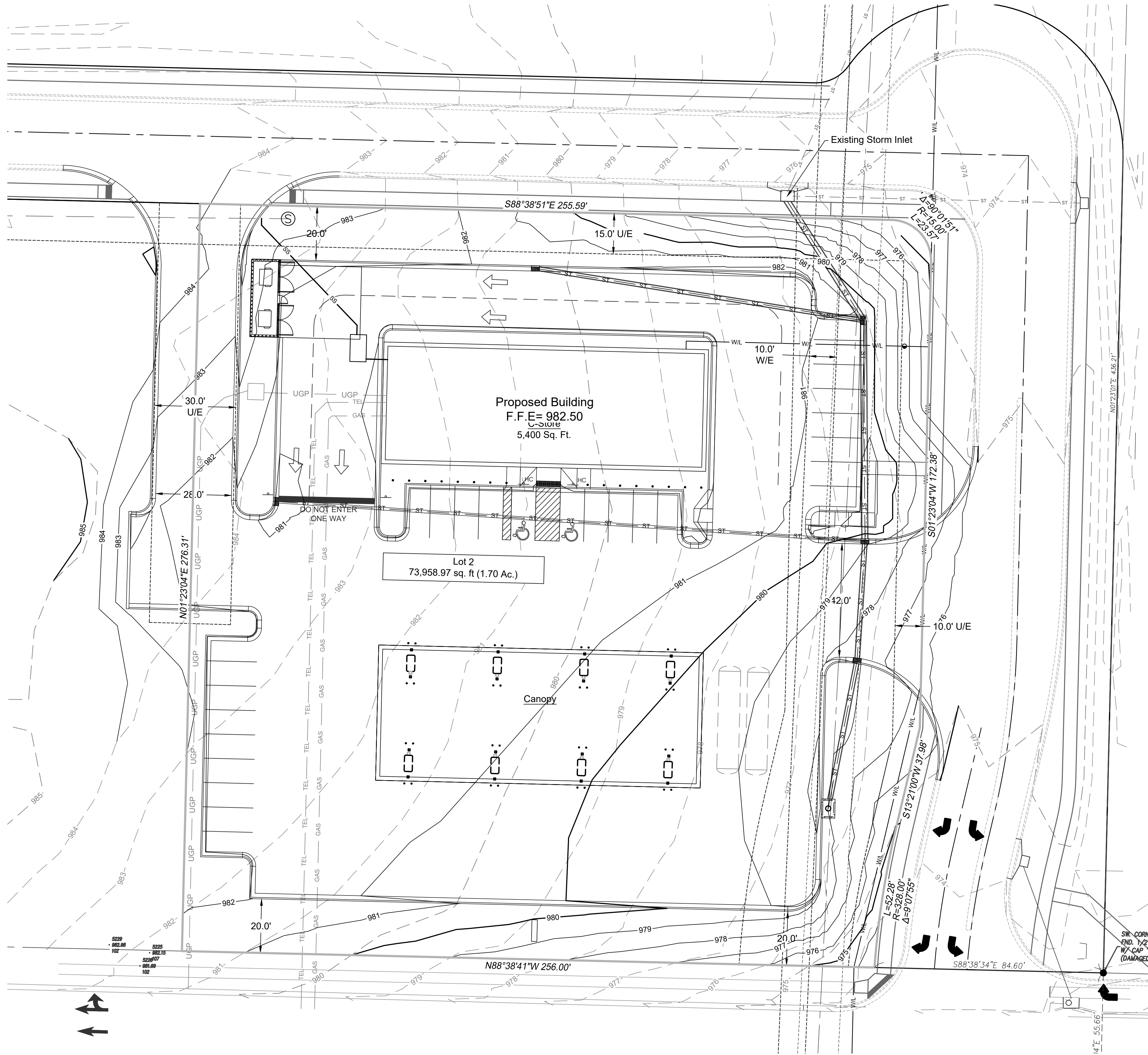
Final Development Plans
22-0133
Heartland Market
Lee's Summit, Jackson County, Missouri

Existing Conditions

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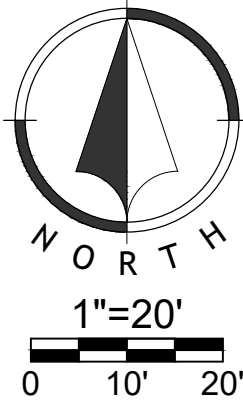
CONTOUR LEGEND	
	EXISTING MAJOR CONTOURS
	EXISTING MINOR CONTOURS
	FINISH MAJOR CONTOURS
	FINISH MINOR CONTOURS

GRADING NOTES

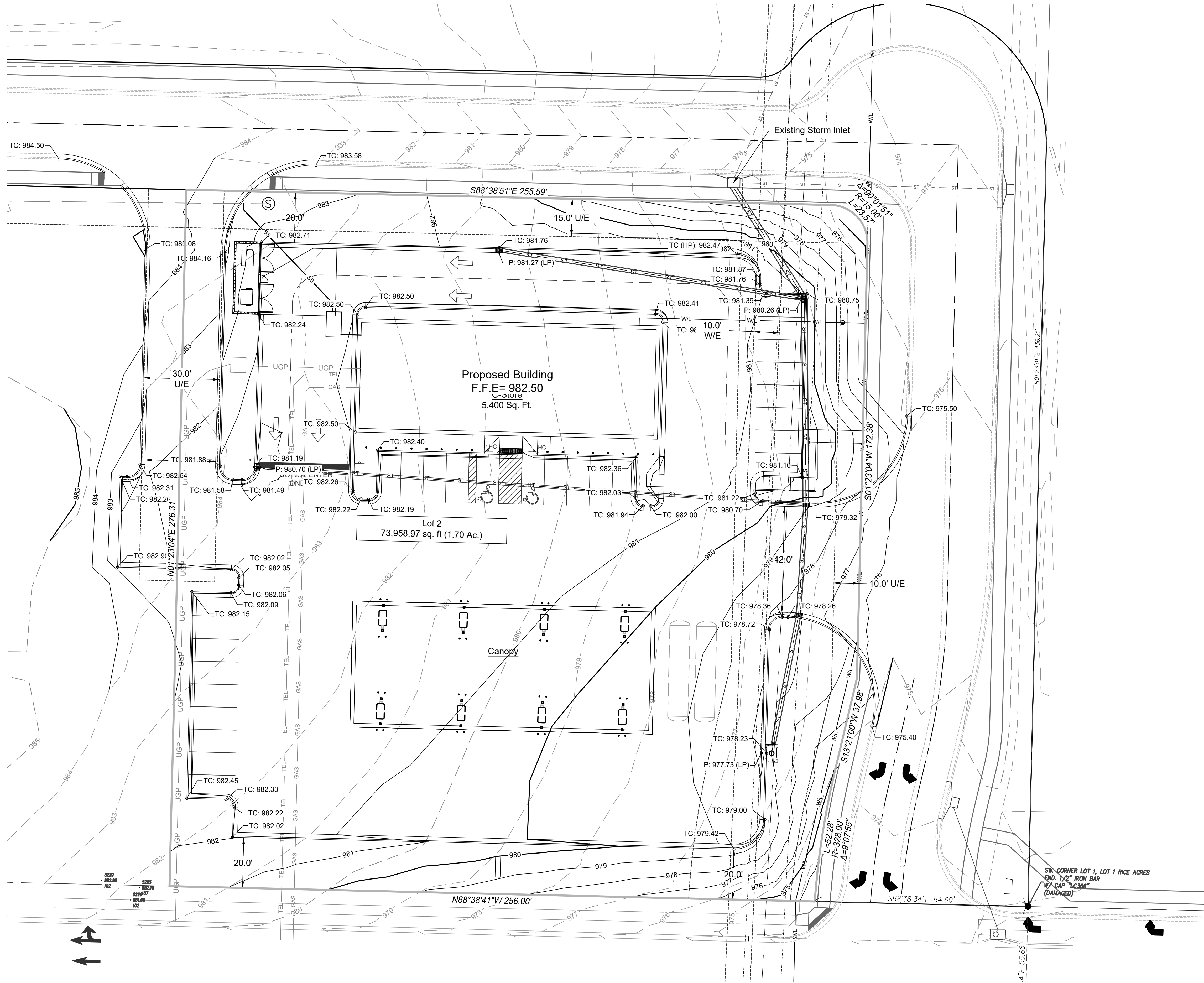
- All construction shall conform to the City's minimum design standards.
- Spot Grades shown herein shall govern over finished grades.
- The contractor shall provide evidence that his insurance meets the requirements of the Project.
- All traffic control shall be in conformance with the Manual of Uniform Traffic Control Devices (MUTCD).
- The contractor is responsible for the protection of all property corners and section corners. Any property corners and/or section corners disturbed or damaged by construction activities shall be reset by a Registered Land Surveyor licensed in the State of Missouri, at the contractor's expense.
- The contractor shall be responsible for the restoration of the right-of-way and for damaged improvements such as curbs, driveways, sidewalks, street light and traffic signal junction boxes, traffic signal loop lead ins, signal poles, irrigation systems, etc. Damaged improvements shall be repaired in conformance with the latest City standards and to the City's satisfaction.
- The contractor is responsible for providing erosion and sediment control BMPs to prevent sediment from reaching paved areas, storm sewer systems, drainage courses and adjacent properties. In the event the prevention measures are not effective, the contractor shall remove any debris, silt, or mud and restore the right-of-way, or adjacent properties to original or better condition.
- The contractor shall sod all disturbed areas within the public street right-of-way unless otherwise noted on the plans or if specific written approval is granted by the City.
- All work shall be confined within easements and/or construction limits as shown on the plans.
- Curb stakes and hubs shall be provided at all high points, low points, ADA ramp openings, and on each side of all curb inlets when setting string line.
- All National Pollution Discharge Elimination System (NPDES) standards shall be met.
- Public and Private utility facilities shall be moved or adjusted as necessary by the owners to fit the new construction unless otherwise noted on the plans. The Contractor is responsible for the cost of utility relocations unless otherwise indicated on the plans.
- Retaining wall elevation shown for reference only. Contractor is responsible for final design of wall, including engineering calculations by a professional structural engineer registered in the State of Missouri.

EARTHWORK NOTES:

- CONTOURS AND ELEVATIONS: Existing and proposed contours are shown on plans at one foot (1') contour intervals, unless otherwise noted. Proposed contours and elevations shown represent approximate finish grade.
- CLEARING AND GRUBBING:** Prior to the start of grading and earthwork, the areas to be graded shall be stripped of all vegetation, organic matter, and topsoil, to a minimum depth of four inches (4") or as otherwise directed by the Geotechnical Engineer. Stripping materials shall not be incorporated into structural fills. Topsoil materials shall not be used in building and pavement areas.
 - TOPSOIL:** Prior to the start of grading, the contractor shall strip all topsoil from areas to be graded and stockpile at a location on or adjacent to the site as directed by the owner. At completion of grading operations and related construction, the contractor will be responsible for redistribution of topsoil over all areas disturbed by the construction activities. Topsoil shall be placed to a minimum depth of six inches (6") and in accordance with specifications for landscaping.
 - SUBGRADE PREPARATION:** Prior to placement of new fill material, the existing subgrade shall be proofrolled and approved under the direction of the Geotechnical Engineer or his representative.
 - PROOFROLLING:** Prior to the placement of new fill material, the existing subgrade shall be proofrolled and approved under the direction of the Geotechnical Engineer. Unsuitable areas identified by the proofrolling areas shall be undercut and replaced with controlled structural fill or treated with flyash per the Geotechnical report.
 - EARTHWORK:**
 - GEOTECHNICAL:** All earthwork shall conform to the recommendations of the Geotechnical report.
 - SURFACE WATER:** Surface water shall be intercepted and diverted during the placement of fill.
 - FILLS:** All fills shall be considered controlled or structural fill and shall be free of vegetation, organic matter, topsoil, and debris. All fill required for project shall be provided by the Contractor. Material Shall be pre-approved by the Geotechnical Engineer prior to placement.
 - EXISTING SLOPES:** Where fill material is to be placed on existing slopes greater than 5:1 (horizontal to vertical), existing slope shall be benched providing a minimum vertical face of twelve inches (12"). Fill material shall be placed and compacted in horizontal lifts not exceeding nine inches (9") (loose fit measurement), unless otherwise approved by the Geotechnical Engineer.
 - COMPACTION REQUIREMENTS:** Earth fill material shall be placed and compacted to a minimum density of ninety five percent (95%) of the material's maximum dry density as determined by ASTM D698 (standard proctor compaction). The moisture content at the time of placement and compaction shall be within a range of -2% to 3% off the optimum moisture content as defined by the standard proctor compaction procedure. The moisture contents shall be maintained within this range until completion of the work. Where compaction of earth fill by a large roller is impractical or undesirable, the earth fill shall be hand compacted with small vibrating rollers or mechanical tampers. The Geotechnical recommendations shall supersede any information in the above note.



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LEGEND

TC: Top of Curb
P: Pavement
T/S: Top of Structure
F/L: Flowline of Pipe
G: Ground
(HP) High Point
(LP) Low Point
TW: Top of Wall
BW: Bottom of Wall

--- Existing Major Contour
--- Existing Minor Contour
--- Proposed Major Contour
--- Proposed Minor Contour

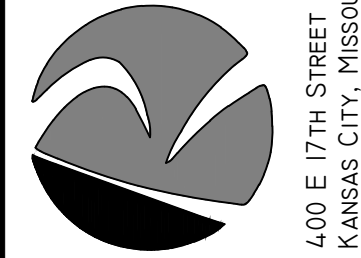
Final Development Plans
22-0133
Heartland Market
Lee's Summit, Jackson County, Missouri

Spot Elevation Plan

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1	6/16/23	Per City Comments

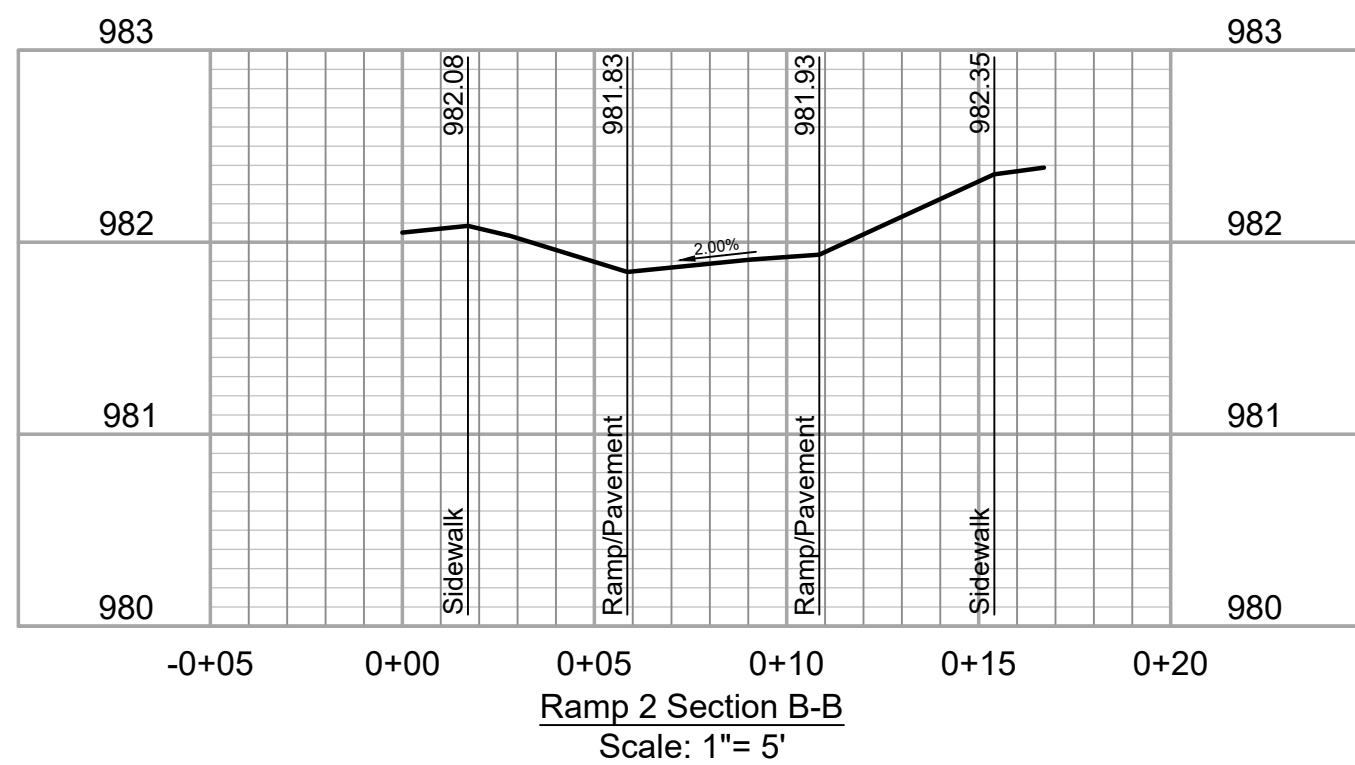
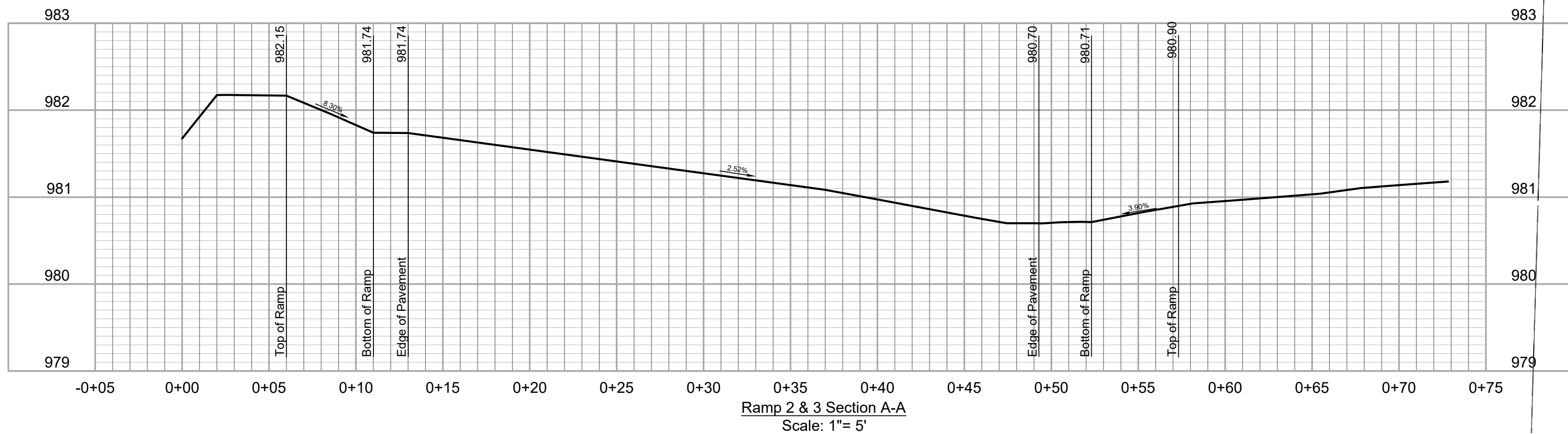
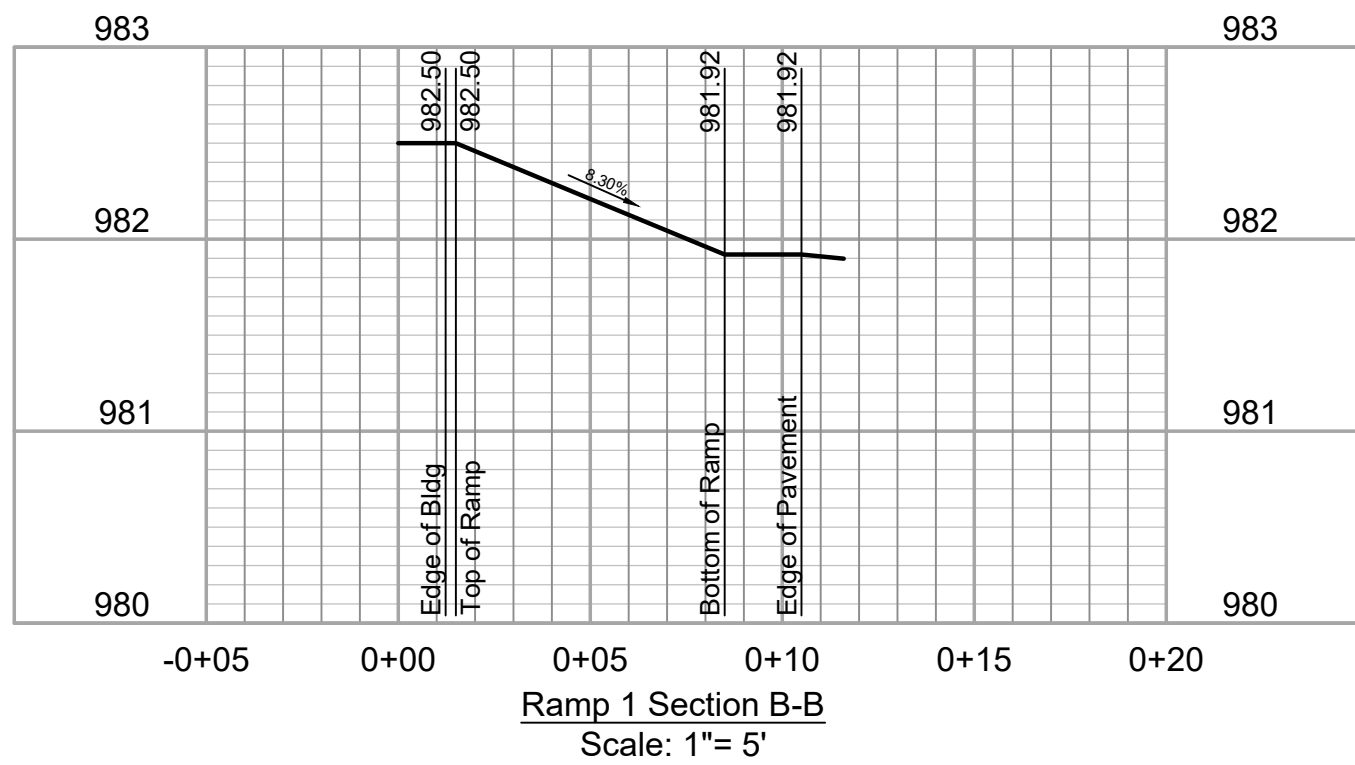
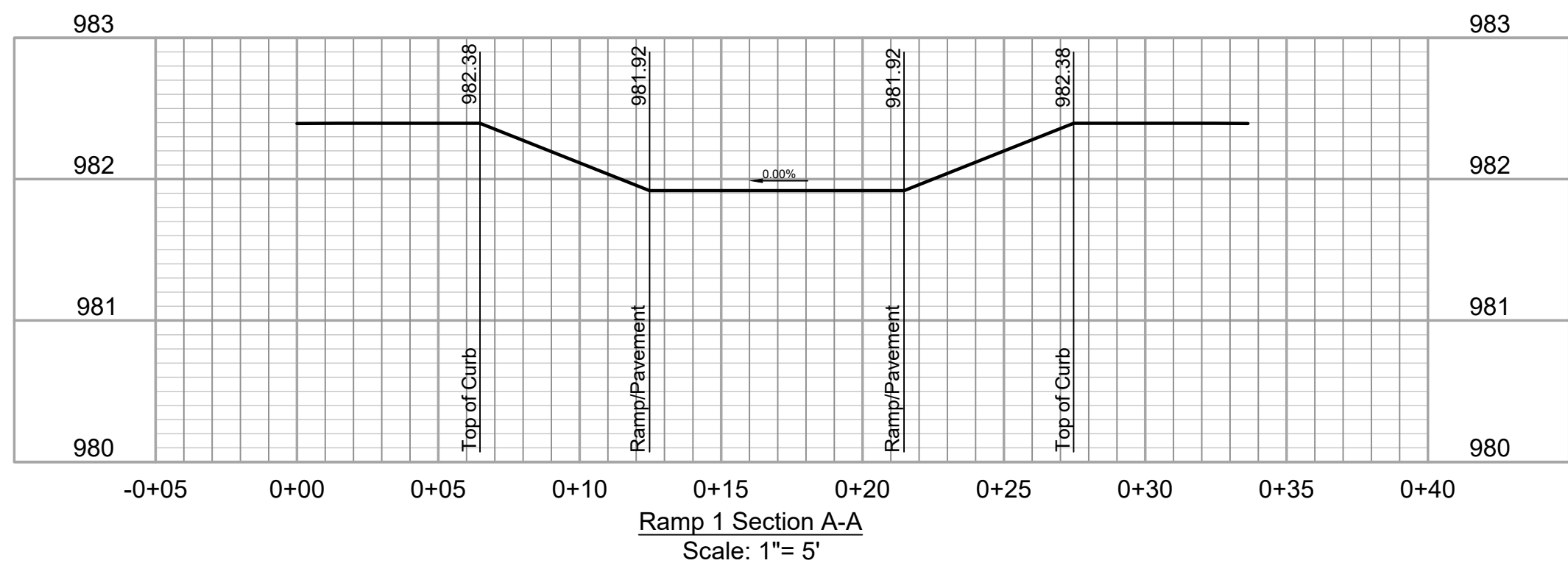
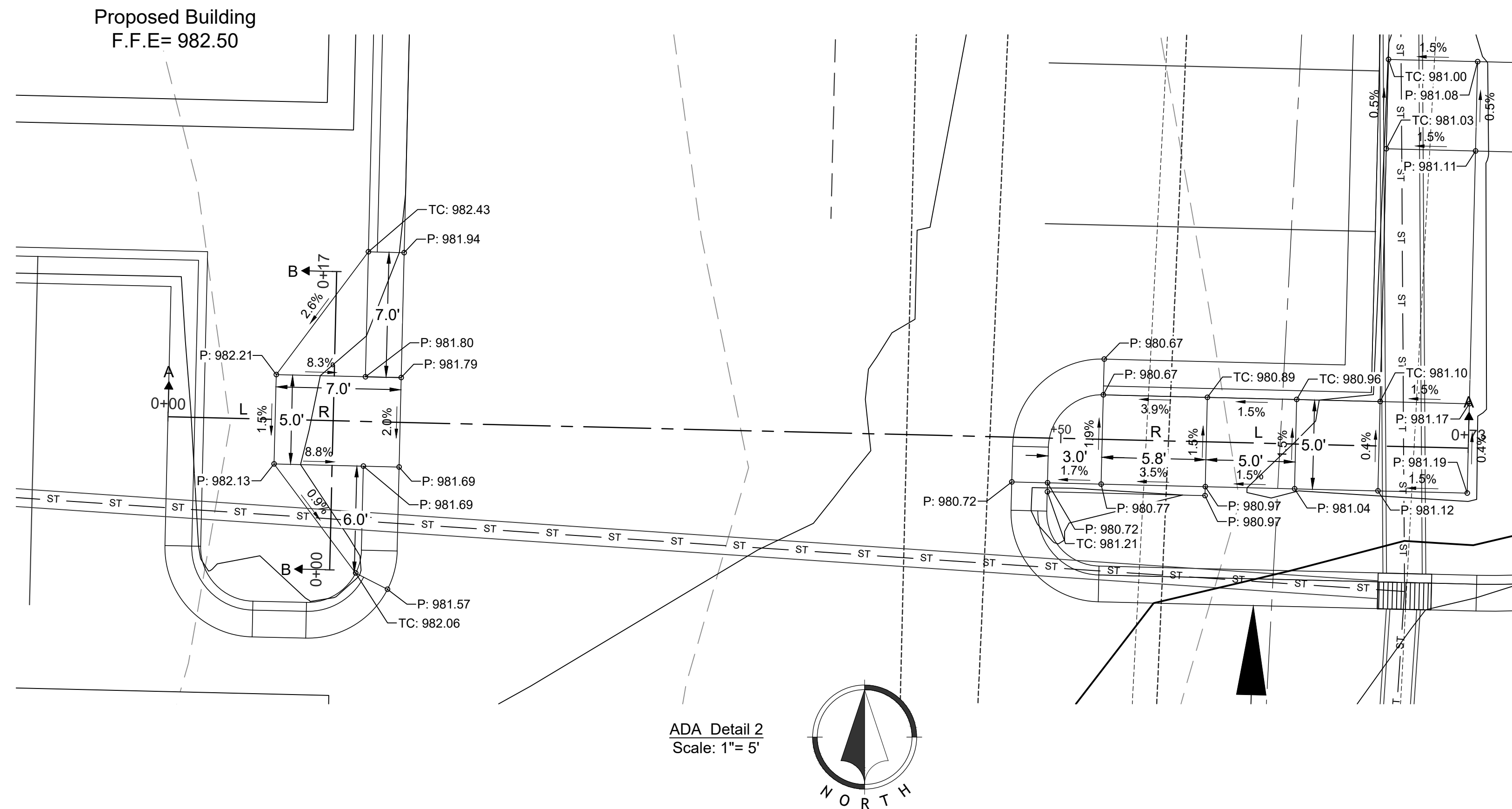
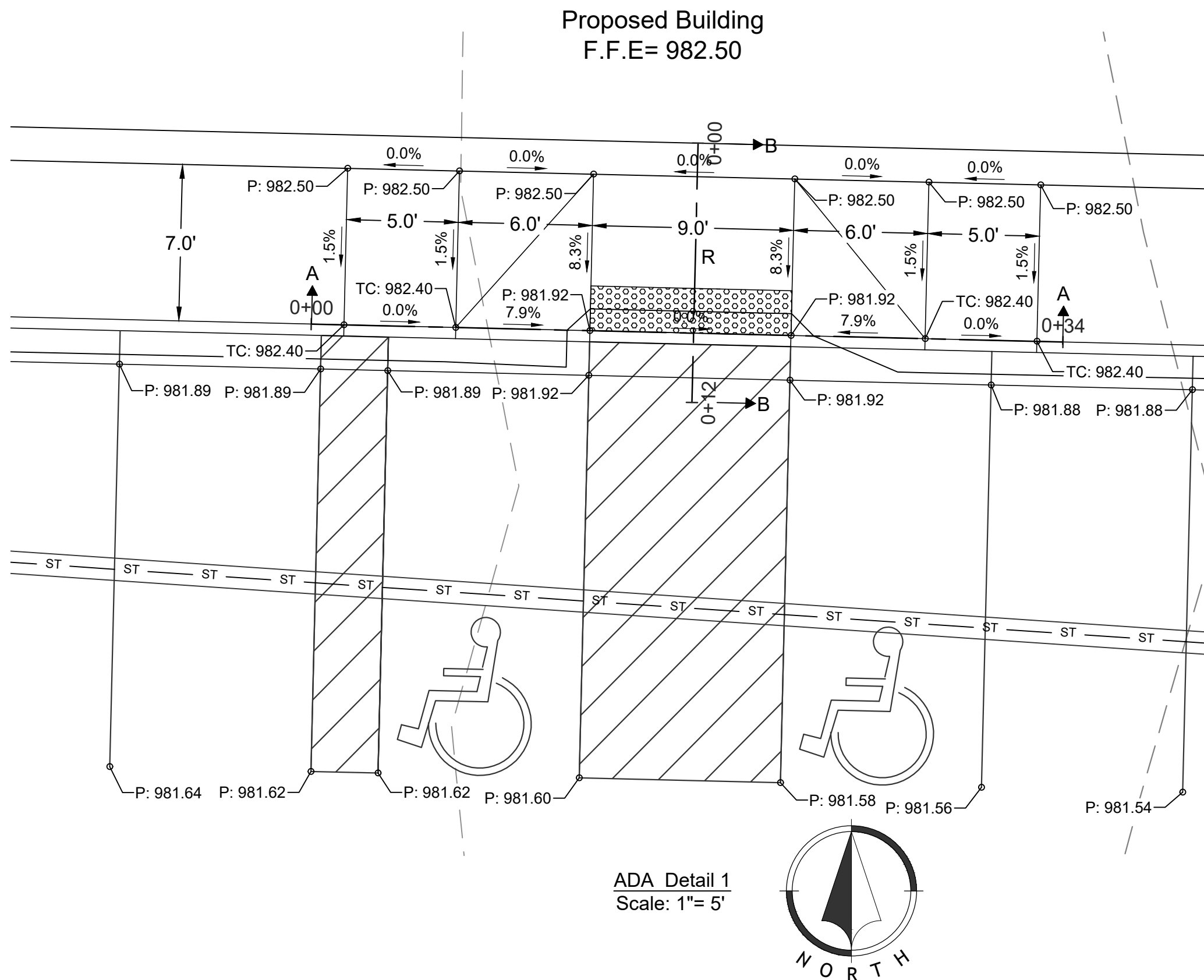
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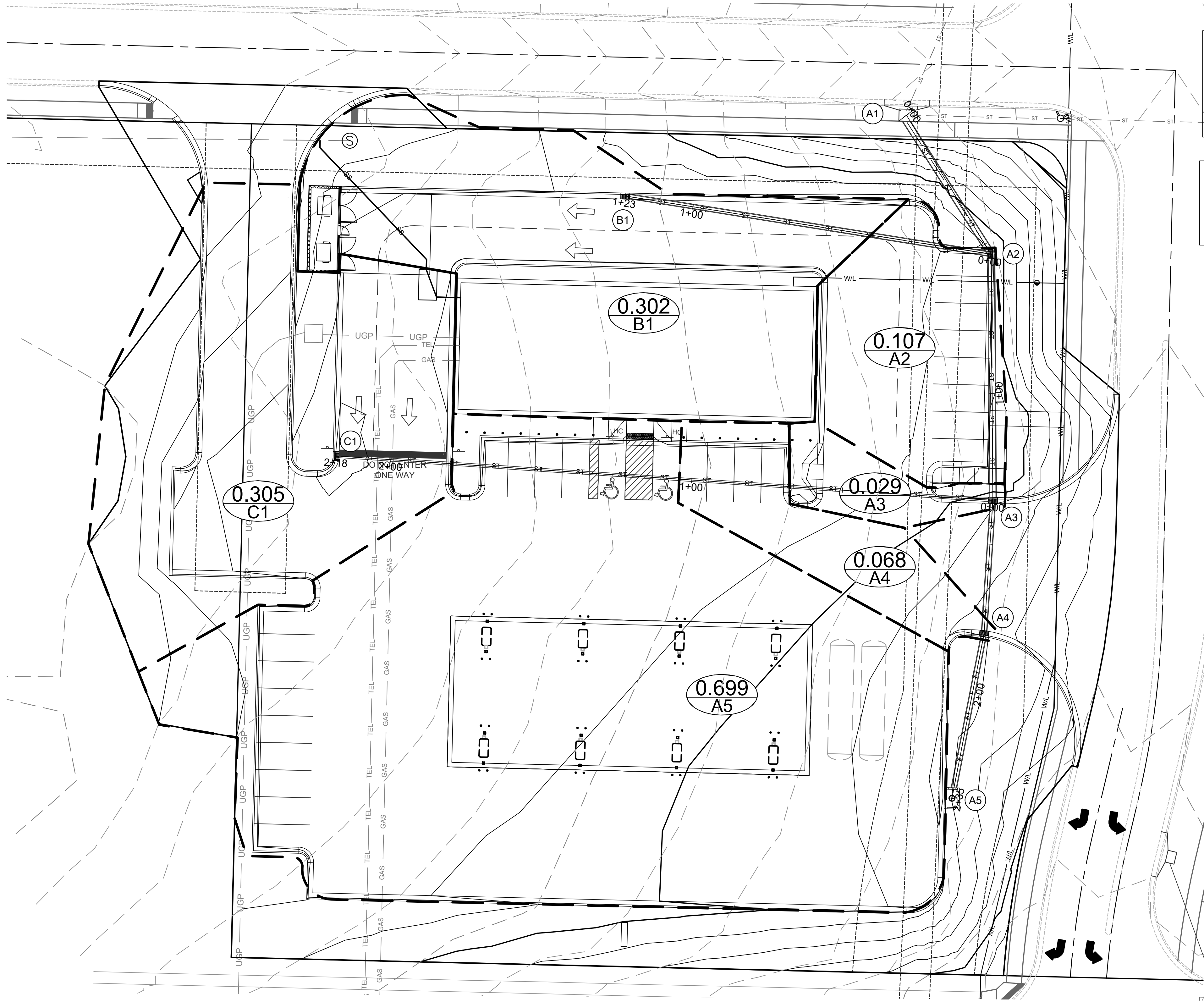


LEGEND

TC: Top of Curb
P: Pavement
T/S: Top of Structure
F/L: Flowline of Pipe
G: Ground
(HP) High Point
(LP) Low Point
TW: Top of Wall
BW: Bottom of Wall

--- Existing Major Contour
--- Existing Minor Contour
--- Proposed Major Contour
--- Proposed Minor Contour

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LEGEND

XX

Inlet ID

XXX
XX

Drainage Area (ac)
Inlet ID

Grading Legend

Existing Major Contour

Existing Minor Contour

Proposed Major Contour

Proposed Minor Contour

1-year Return Period																															
LineNo.	InletID	DrainageArea	InletTime	Inlet	RunoffCoeff	IncrQ	QCaptured	QBypass	JunctType	ThroatHt	StructLength	InletDepth	GutterDepth	GutterSpread	DnStrmLine No.	LineSize	LineLength	FlowRate	InvertDn	InvertUp	LineSlope	n-valuePipe	CapacityFull	HGLDn	HGLUp	HGLJunct	DepthDn	DepthUp	VelAve	Hw	J-LossCoeff
		(ac)	(min)	(in/hr)	(C)	(cfs)	(cfs)	(cfs)		(in)	(ft)	(ft)	(ft)	(ft)		(in)	(ft)	(cfs)	(ft)	(ft)	(%)		(cfs)	(ft)	(ft)	(ft)	(ft)	(ft)	(ft/s)	(ft)	
1	A2	0.11	5	3.03	0.9	0.3	0.3	0	Curb	6	3	0.11	0.11	2.68	Outfall	24	53.908	3.22	970.25	971.9	3.06	0.012	42.87	971.31	972.53	972.53	1.06	0.63**	2.86	0.63	1.91 z
2	B1	0.3	5	3.03	0.9	0.82	0.82	0	Curb	6	3	0.19	0.19	5.23	1	15	122.684	0.82	972.15	975.5	2.73	0.012	11.56	972.53	975.85	975.85	0.38	0.35**	2.74	0.35	1.00 z
3	A3	0.03	5	3.03	0.9	0.08	0.05	0.03	Curb	6	3	0.05	0.05	1.02	1	24	82	2.51	972.1	972.75	0.79	0.012	21.82	972.56	973.3	973.3	0.46	0.55**	4.09	0.55	1.50 z
4	A4	0.07	5	3.03	0.9	0.19	0.09	0.1	Curb	6	3	0.07	0.07	1.44	3	18	44.262	2	973	973.75	1.69	0.012	14.81	973.37	974.28	974.28	0.37	0.53**	4.7	0.53	0.50 z
5	A5	0.7	5	3.03	0.9	1.91	1.91	0	Curb	6	7	0.21	0.21	4.85	4	18	55.603	1.91	974	974.25	0.45	0.012	7.63	974.51	974.77	974.77	0.51	0.52**	3.55	0.52	1.00 z
6	C1	0.3	5	3.03	0.9	0.82	0.82	0	Curb	6	3	0.18	0.18	4.49	3	12	218.155	0.82	973.25	975.43	1	0.012	3.86	973.56	975.81	975.81	0.31	0.38**	3.45	0.38	1.00 z
10-year Return Period																															
LineNo.	InletID	DrainageArea	InletTime	Inlet	RunoffCoeff	IncrQ	QCaptured	QBypass	JunctType	ThroatHt	StructLength	InletDepth	GutterDepth	GutterSpread	DnStrmLine No.	LineSize	LineLength	FlowRate	InvertDn	InvertUp	LineSlope	n-valuePipe	CapacityFull	HGLDn	HGLUp	HGLJunct	DepthDn	DepthUp	VelAve	Hw	J-LossCoeff
		(ac)	(min)	(in/hr)	(C)	(cfs)	(cfs)	(cfs)		(in)	(ft)	(ft)	(ft)	(ft)		(in)	(ft)	(cfs)	(ft)	(ft)	(%)		(cfs)	(ft)	(ft)	(ft)	(ft)	(ft)	(ft/s)	(ft)	
1	A2	0.11	5	7.35	0.9	0.73	0.73	0	Curb	6	3	0.18	0.18	4.84	Outfall	24	53.908	9.2	970.25	971.9	3.06	0.012	42.87	971.31	972.98	972.98	1.06	1.08**	5.37	1.08	1.91 z
2	B1	0.3	5	7.35	0.9	1.98	1.98	0	Curb	6	3	0.31	0.31	9.46	1	15	122.684	1.98	972.15	975.5	2.73	0.012	11.56	972.98	976.06	976.06	0.83	0.56**	3	0.56	1.00 z
3	A3	0.03	5	7.35	0.9	0.2	0.09	0.11	Curb	6	3	0.07	0.07	1.42	1	24	82	6.86	972.1	972.75	0.79	0.012	21.82	972.98	973.68	973.68	0.88	0.93**	4.97	0.93	1.50 z
4	A4	0.07	5	7.35	0.9	0.46	0.14	0.32	Curb	6	3	0.1	0.1	3.78	3	18	44.262	5.02	973	973.75	1.69	0.012	14.81	973.68	974.61	974.61	0.68	0.86**	5.62	0.86	0.50 z
5	A5	0.7	5	7.35	0.9	4.63	4.63	0	Curb	6	7	0.37	0.37	8.76	4	18	55.603	4.63	974	974.25	0.45	0.012	7.63	974.84	975.09	975.41	0.84	0.84	4.52	1.16	1
6	C1	0.3	5	7.35	0.9	1.98	1.98	0	Curb	6	3	0.31	0.31	8.11	3	12	218.155	1.98	973.25	975.43	1	0.012	3.86	973.76	976.03	976.03	0.51	0.60**	4.49	0.6	1.00 z
100-year Return Period																															
LineNo.	InletID	DrainageArea	InletTime	Inlet	RunoffCoeff	IncrQ	QCaptured	QBypass	JunctType	ThroatHt	StructLength	InletDepth	GutterDepth	GutterSpread	DnStrmLine No.	LineSize	LineLength	FlowRate	InvertDn	InvertUp	LineSlope	n-valuePipe	CapacityFull	HGLDn	HGLUp	HGLJunct	DepthDn	DepthUp	VelAve	Hw	J-LossCoeff
		(ac)	(min)	(in/hr)	(C)	(cfs)	(cfs)	(cfs)		(in)	(ft)	(ft)	(ft)	(ft)		(in)	(ft)	(cfs)	(ft)	(ft)	(%)		(cfs)	(ft)	(ft)	(ft)	(ft)	(ft)	(ft/s)	(ft)	
1	A2	0.11	5	12.89	0.9	1.28	1.28	0	Curb	6	3	0.24	0.24	7.05	Outfall	24	53.908	16.73	970.25	971.9	3.06	0.012	42.87	971.31	973.37	973.37	1.06	1.47**	8.32	1.47	1.91 z
2	B1	0.3	5	12.89	0.9	3.48	3.48	0	Curb	6	3	0.44	0.44	13.76	1	15	122.684	3.48	972.15	975.5	2.73	0.012	11.56	973.37	976.25	976.25	1.22	0.75**	3.68	0.75	1.00 z
3	A3	0.03	5	12.89	0.9	0.35	0.12	0.23	Curb	6	3	0.09	0.09	2.72	1	24	82	12.35	972.1	972.75	0.79	0.012	21.82	973.37	974.01	974.01	1.27	1.26**	5.88	1.26	1.50 z
4	A4	0.07	5	12.89	0.9	0.81	0.19	0.62	Curb	6	3	0.11	0.11	5.48	3	18	44.262	8.86	973	973.75	1.69	0.012	14.81	974.01	974.9	974.9	1.01	1.15**	6.54	1.15	0.50 z
5	A5	0.7	5	12.89	0.9	8.12	8.12	0	Curb	6	7	0.52	0.52	12.74	4	18	55.603	8.12	974	974.25	0.45	0.012	7.63	975.35	975.6	975.96	1.35	1.35	4.86	1.71	1
6	C1	0.3	5	12.89	0.9	3.48	3.48	0	Curb	6	3	0.44	0.44	11.8	3	12	218.155	3.48	973.25	975.43	1	0.012	3.86	974.01	976.23	976.23	0.76	0.80**	5.3	0.8	1.00 z

Final Development Plans

22-0133

Heartland Market

Lee's Summit, Jackson County, Missouri

Drainage Area Map

1	6/16/23	Per City Comments
NO.	DATE	REVISION
DRAWN BY	CHECKED BY	
ALS	DJB	

Renaissance Infrastructure Consulting

400 E 17th STREET
KANSAS CITY, MISSOURI 64108

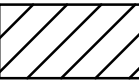
616-800-0950
www.RIC-CONSULT.COM

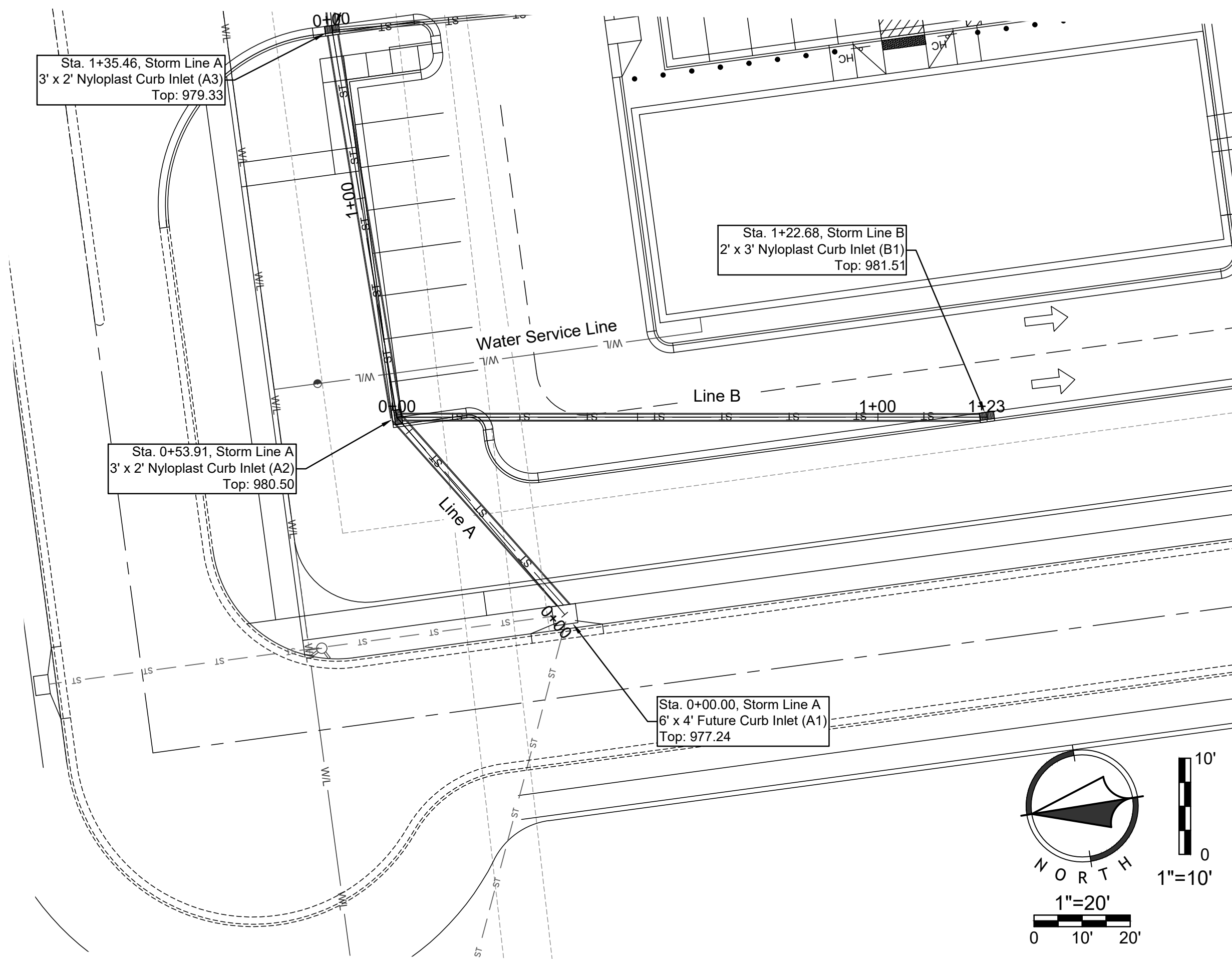
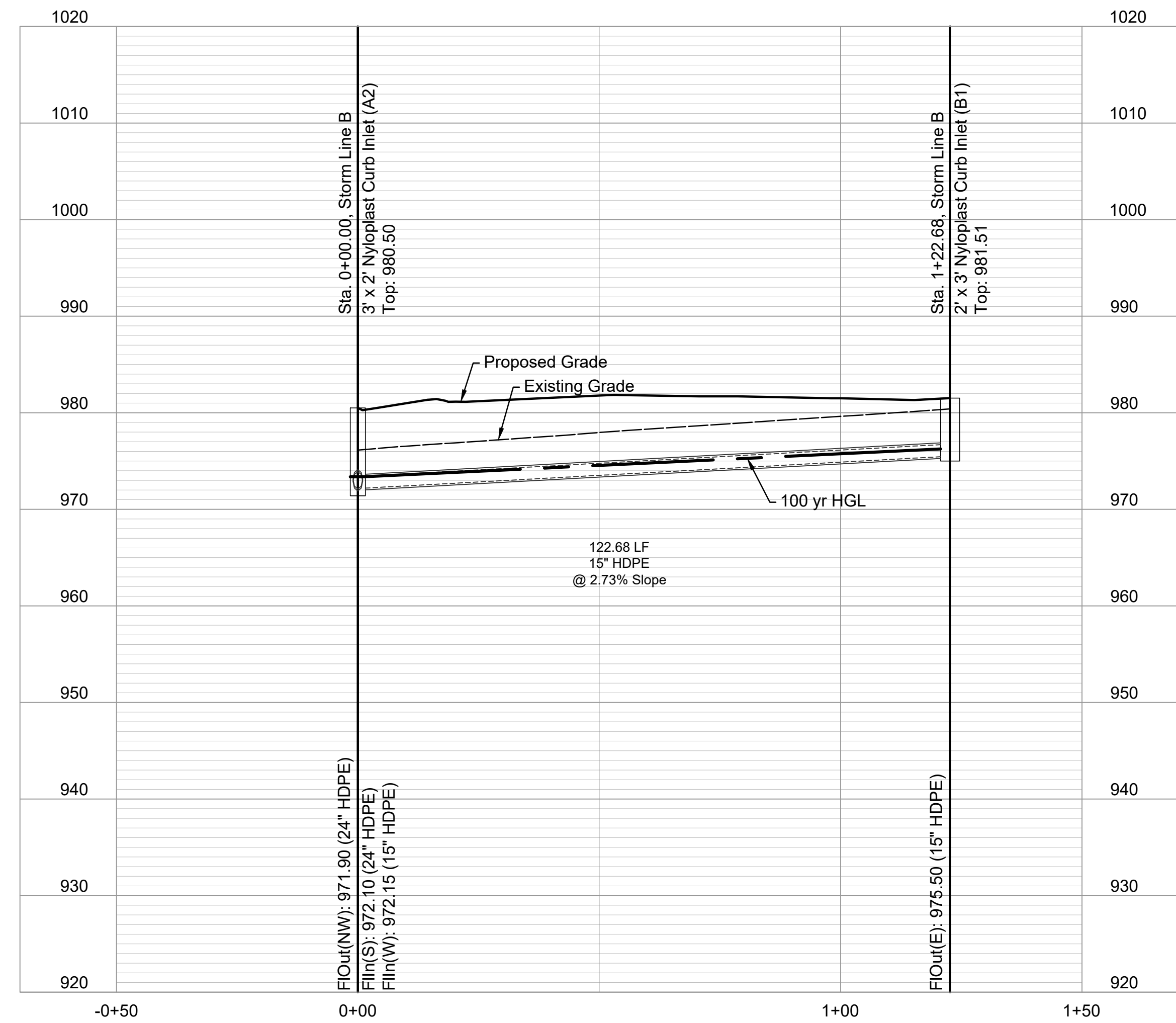
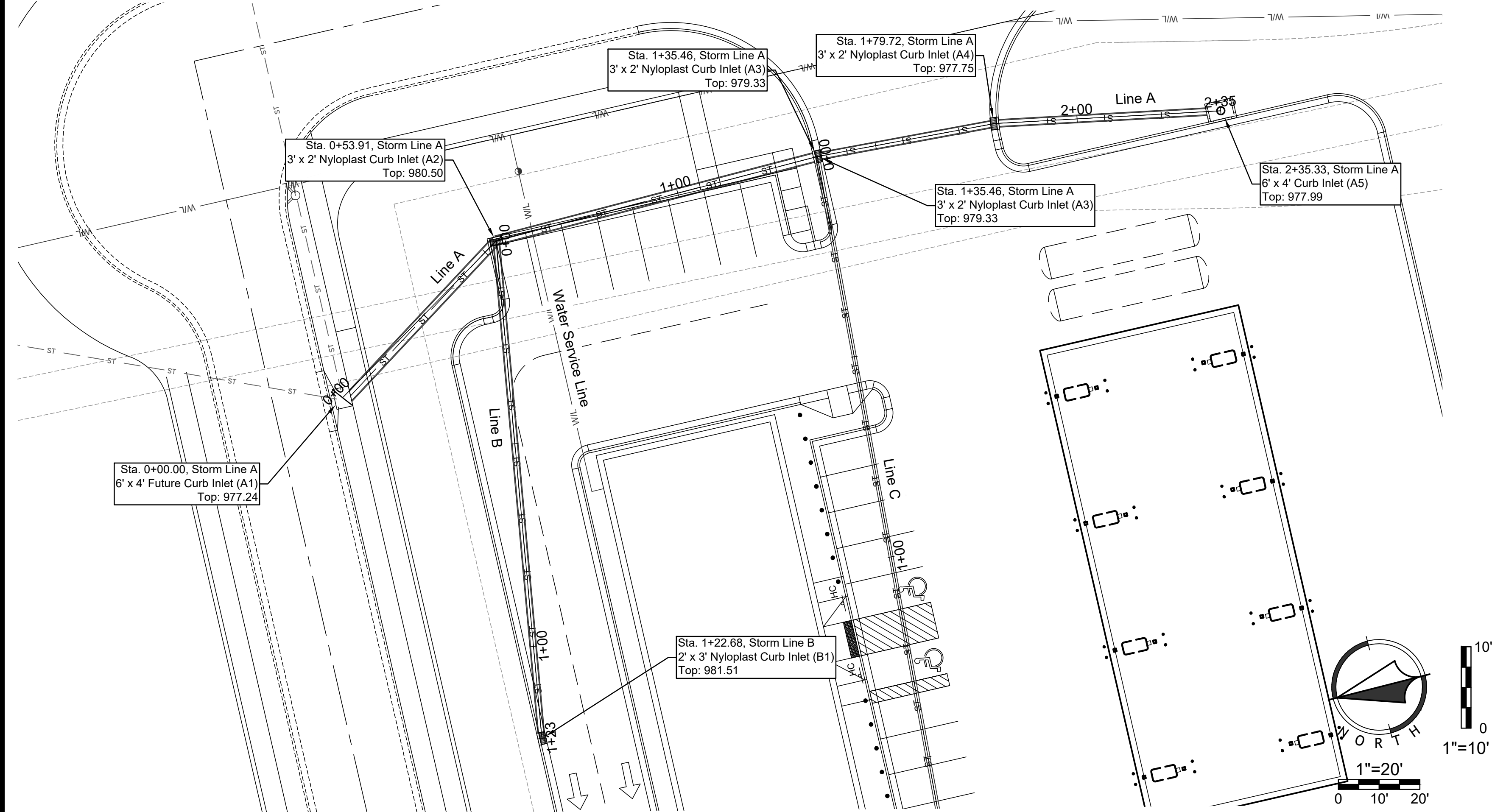
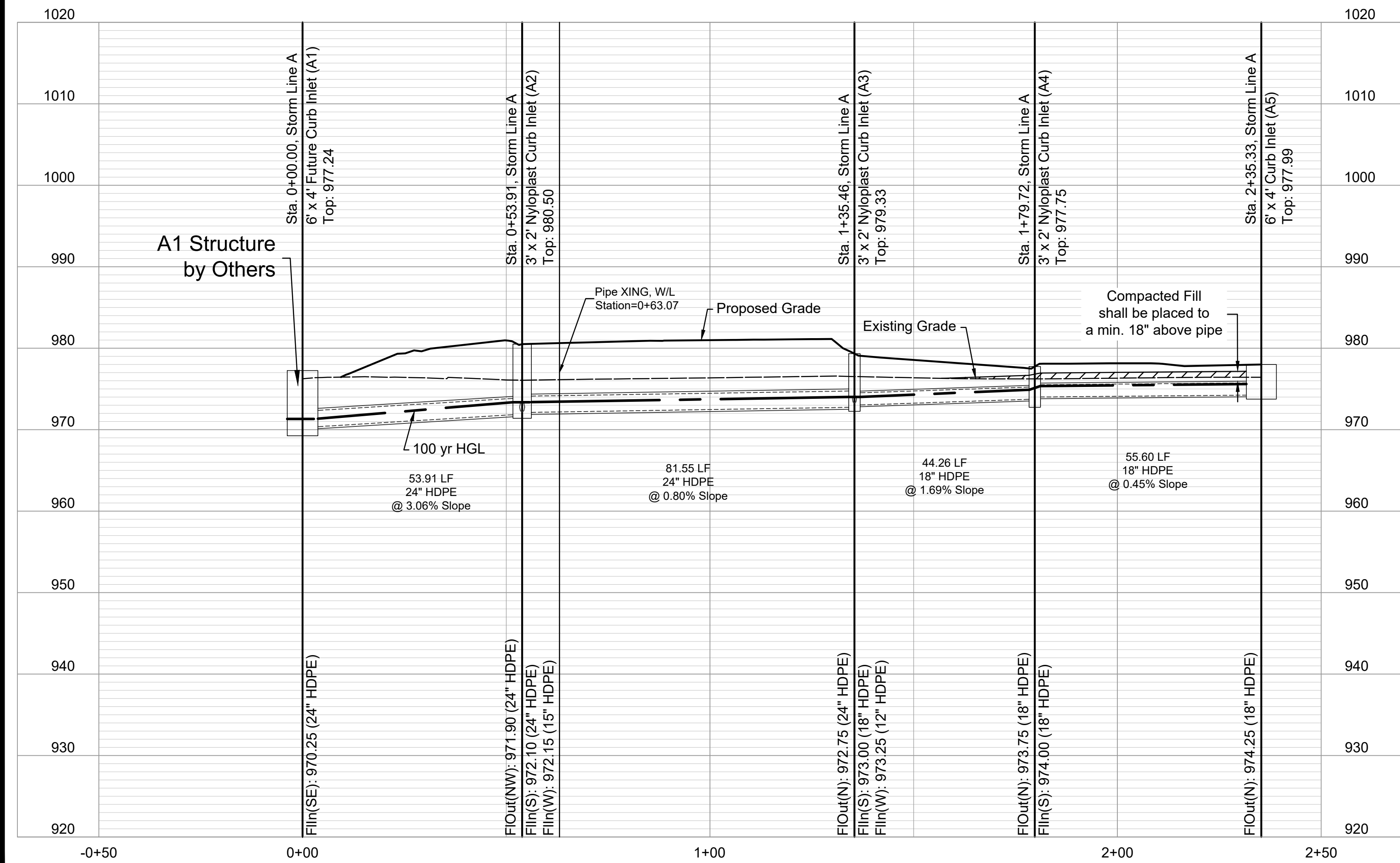
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STATE OF MISSOURI
BURTON
NUMBER
PE-2011015709
6/20/2023
PROFESSIONAL ENGINEER

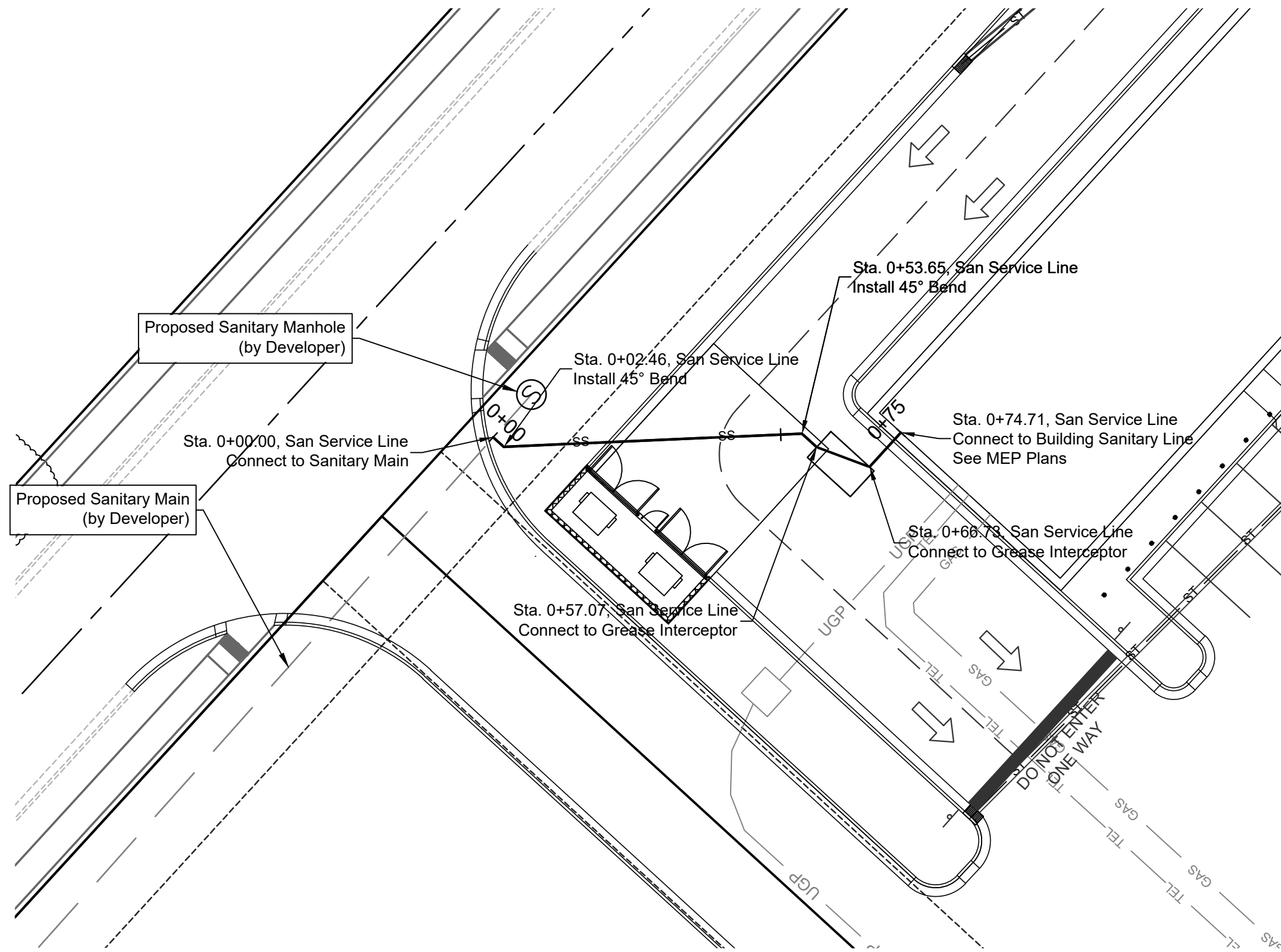
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 Compacted Fill - Compacted Fill to be placed a minimum 18" above the top of pipe prior to installation

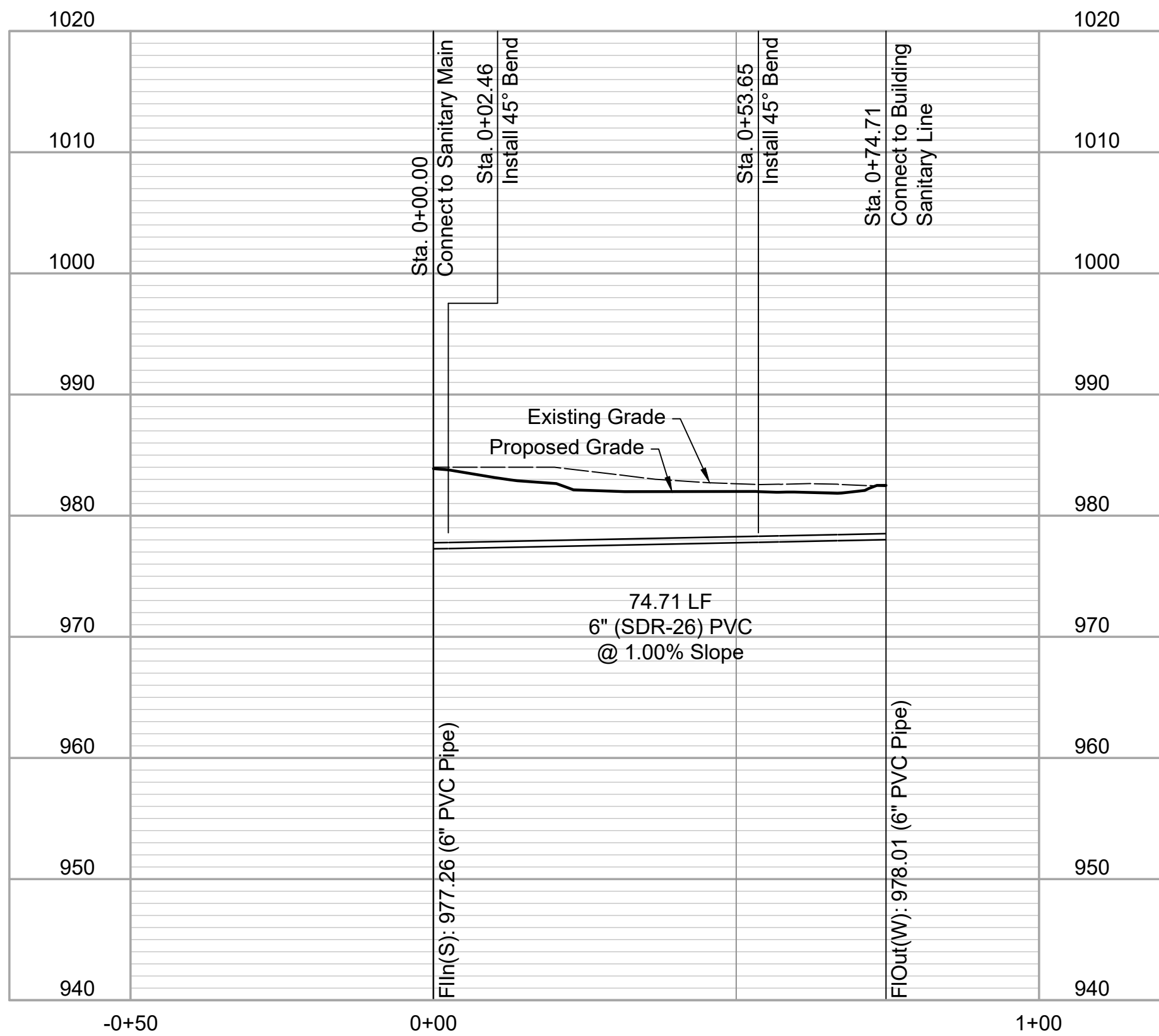
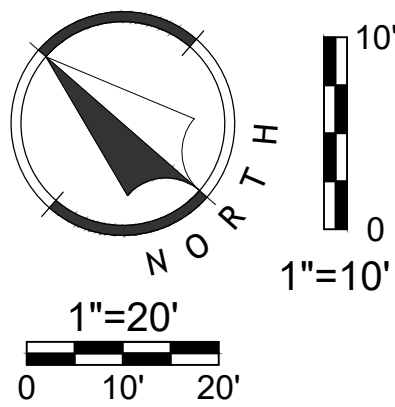


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Notes:

- Contractor shall refer to the MEP plan for all connections at the building as well as actual locations for tie to private main.



NO.	DATE	REVISION
1	6/16/23	Per City Comments

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CHECKED BY: DJB

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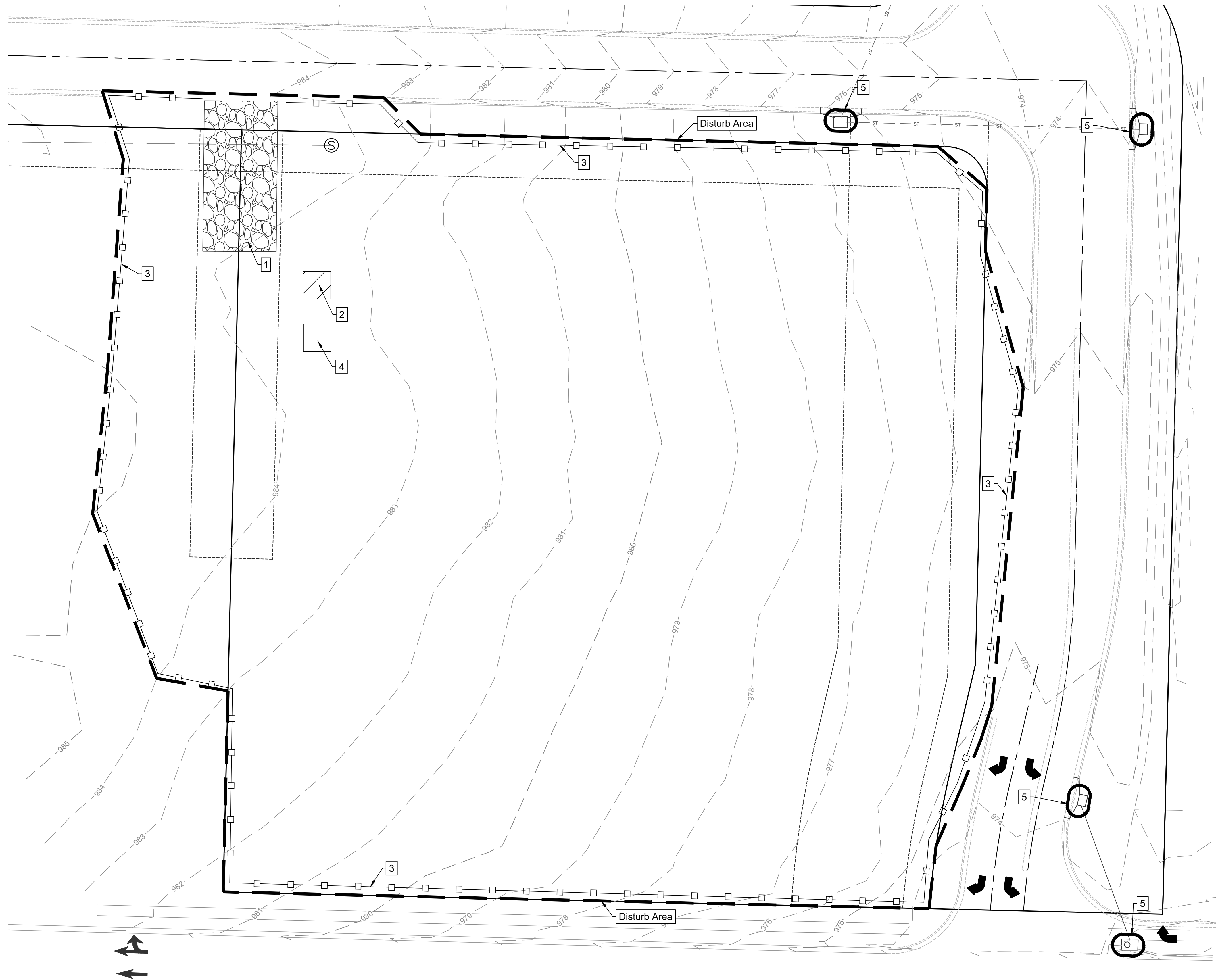
400 E 17TH STREET
KANSAS CITY, MISSOURI 64108

816.800.0950
WWW.RIC-CONSULT.COM

MO Certificate of Authority: E-2010033630



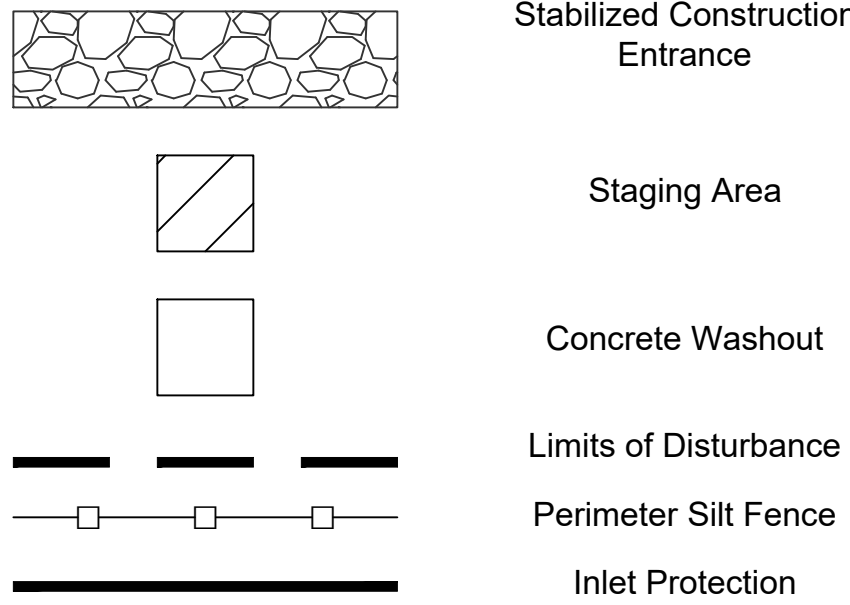
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	PROJECT STAGE	PLAN REFERENCE NUMBER	BMP DESCRIPTION	REMOVE AFTER PHASE	NOTES
Phase I	A-Prior to Construction	1	Construction Entrance	II	Install Construction Entrance in accordance with APWA Standard Detail ESC-01
		2	Staging Area	II	Install Staging Area
		3	Perimeter Silt Fence	III	Install Silt Fence in accordance with APWA Standard Detail ESC-03
		4	Concrete Washout	II	Install Concrete Washout as Shown on Plans Prior to Pouring Any Concrete in accordance with APWA Standard Detail ESC-01
		5	Inlet Protection	III	Install Filter Bags Prior to Construction, Maintain Until All Area is Stabilized.
Phase II	B-During Land Disturbance and Storm Infrastructure Installation	6	Inlet Protection	III	Install Filter Bags Prior to Construction, Maintain Until All Area is Stabilized.
Phase III	C-Final Stabilization	7	Establish Perennial Vegetation	N/A	Redistribute Topsoil and Seed and Mulch all Disturbed Area. Stabilization Complete when 100% of Disturbed Area is Established with Perennial Vegetation with a Density of 70%

Disturbed Area for Site Improvements : 1.95 Acres

EROSION CONTROL LEGEND

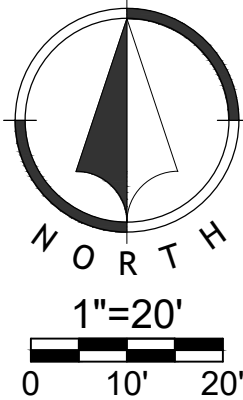


EROSION CONTROL NOTES

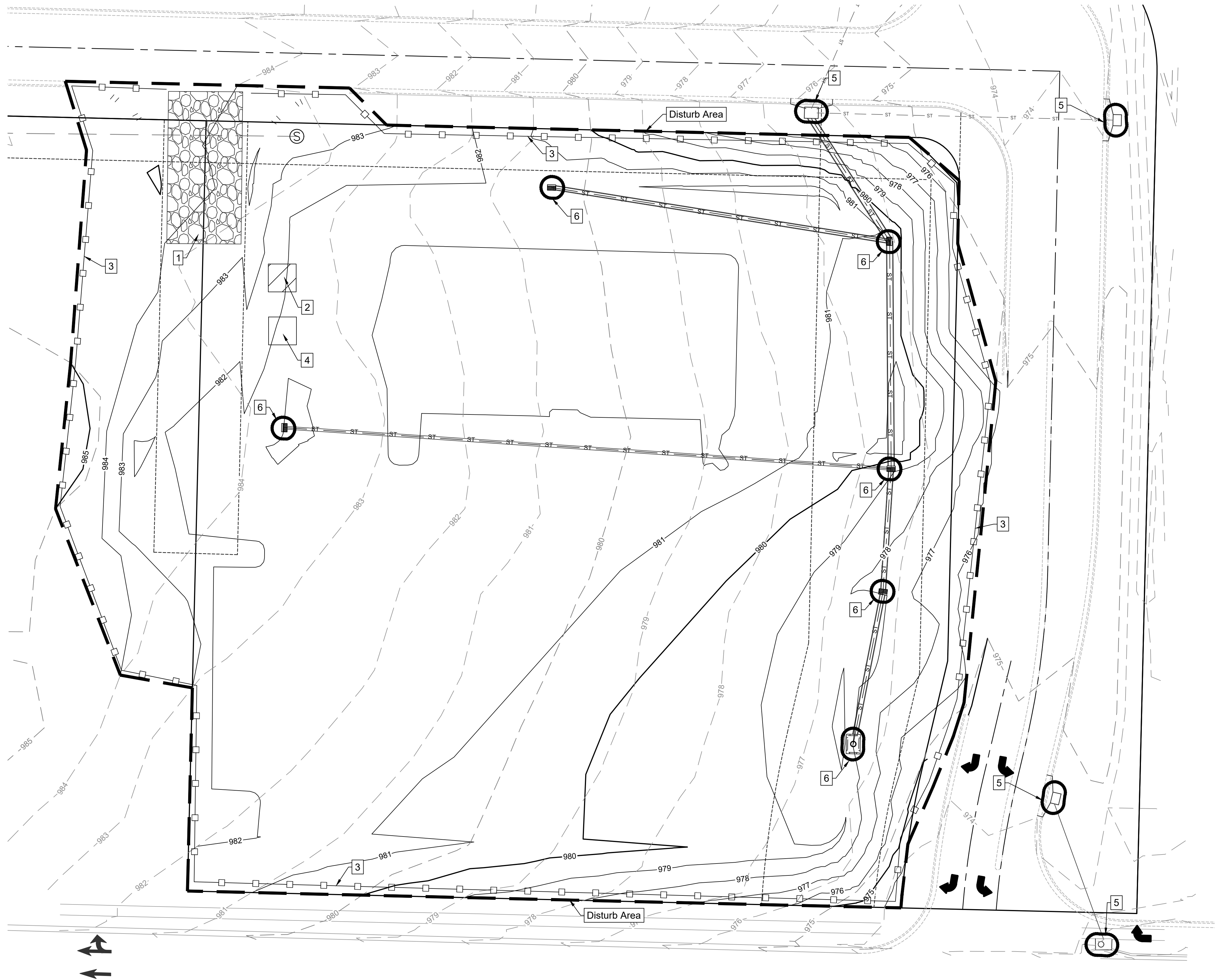
- All work in public easements and right-of-way and all erosion control work must comply with the latest specifications set forth by the City of Lee's Summit, MO, the Kansas City Chapter of American Public Works Association (APWA). If any of the specification and/or general notes conflict with the requirements provided by the City of Lee's Summit, the City of Lee's Summit's standards shall override.
- The contractor shall provide all materials, tools, equipment, and labor as necessary to install and maintain adequate erosion control, keep the streets clean of mud and debris, and prevent soil from leaving the project site. The contractor's erosion control measures shall conform to the City of Lee's Summit, MO, the Kansas City Chapter of American Public Works Association (APWA), Standards and Specifications.
- Erosion control plan modifications shall be required if the plan fails to substantially control erosion and offsite sedimentation.
- The contractor shall be responsible for maintaining erosion control devices and removing sediment until a minimum of 70% of permanent vegetation has become stabilized and established. Erosion control devices shall remain in place until the 70% established vegetation is met, or the duration of the project, whichever is the later date.
- The contractor shall temporarily seed and mulch all disturbed areas if there is to be no construction activity on them for a period of fourteen (14) calendar days.
- Install "J" Hooks on silt fence every 100 LF
- Contractor to install all Phase I erosion control devices prior to construction.
- Contractor shall replace disturbed area with seed or sod, as indicated on the plans, and shall be installed within 14 days after paving completion and final topsoil grading.
- Topsoil replacement shall be 6" thick.
- Silt fence to be installed in accordance with the City of Lee's Summit, MO.
- Contractor shall remove mud and debris from City Streets and Outer Roadway within 4 hours of notification by City staff that it is a nuisance.

WRITTEN SEQUENCING

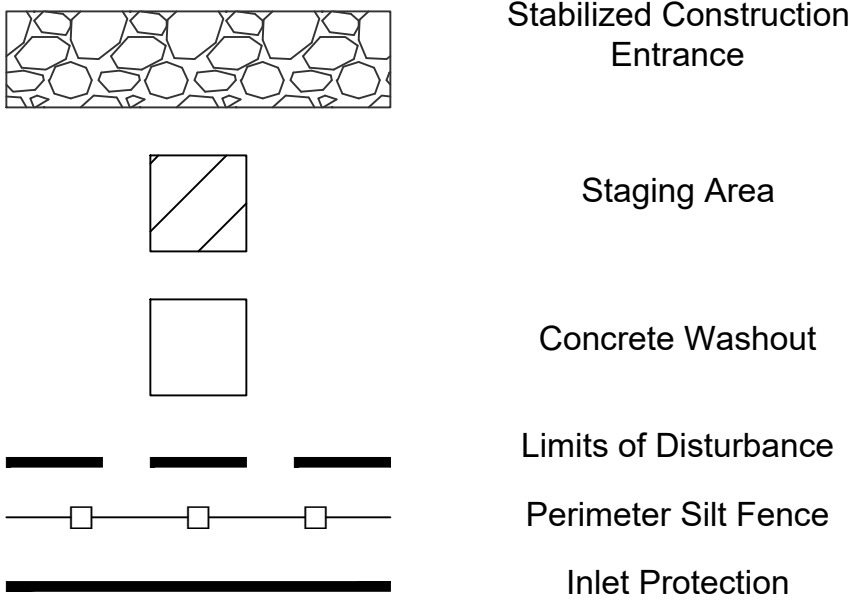
- Implement Pre-Construction Plan:**
All temporary structural BMP's shown on the BMP plan must be in place before any site disturbance. Clearing necessary to place temporary structural BMP's is the minimum required for installation. Coordinate clearing necessary to place temporary structural BMP's with local weather forecast so that clearing and placement may be completed within a forecast dry period. Stabilize all erosion control measures after installation. Temporary Barrier Fence shall be in Place, around areas not to be disturbed, prior to any construction activities. This area includes Stream Corridor.
- Clear and Stabilize Work Areas:**
Grade contractor areas and place all-weather surface on contractor areas.
- Clearing and Grubbing:**
After Phase I BMP's are installed, contractor may clear, grub, and demo required areas as necessary.



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EROSION CONTROL LEGEND



EROSION CONTROL NOTES

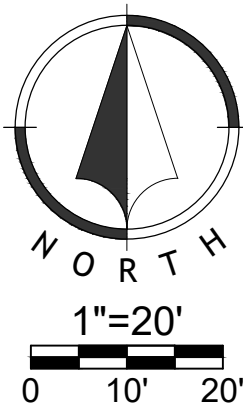
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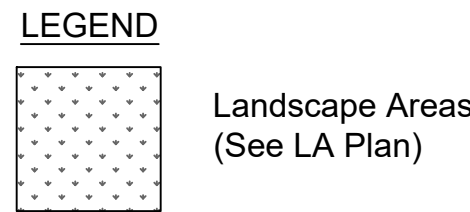
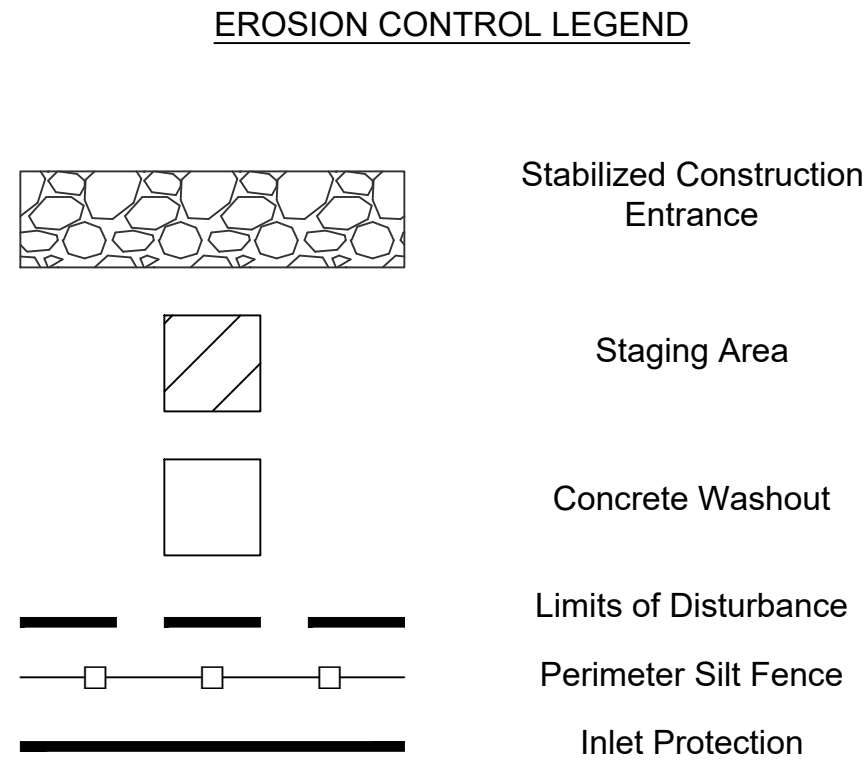
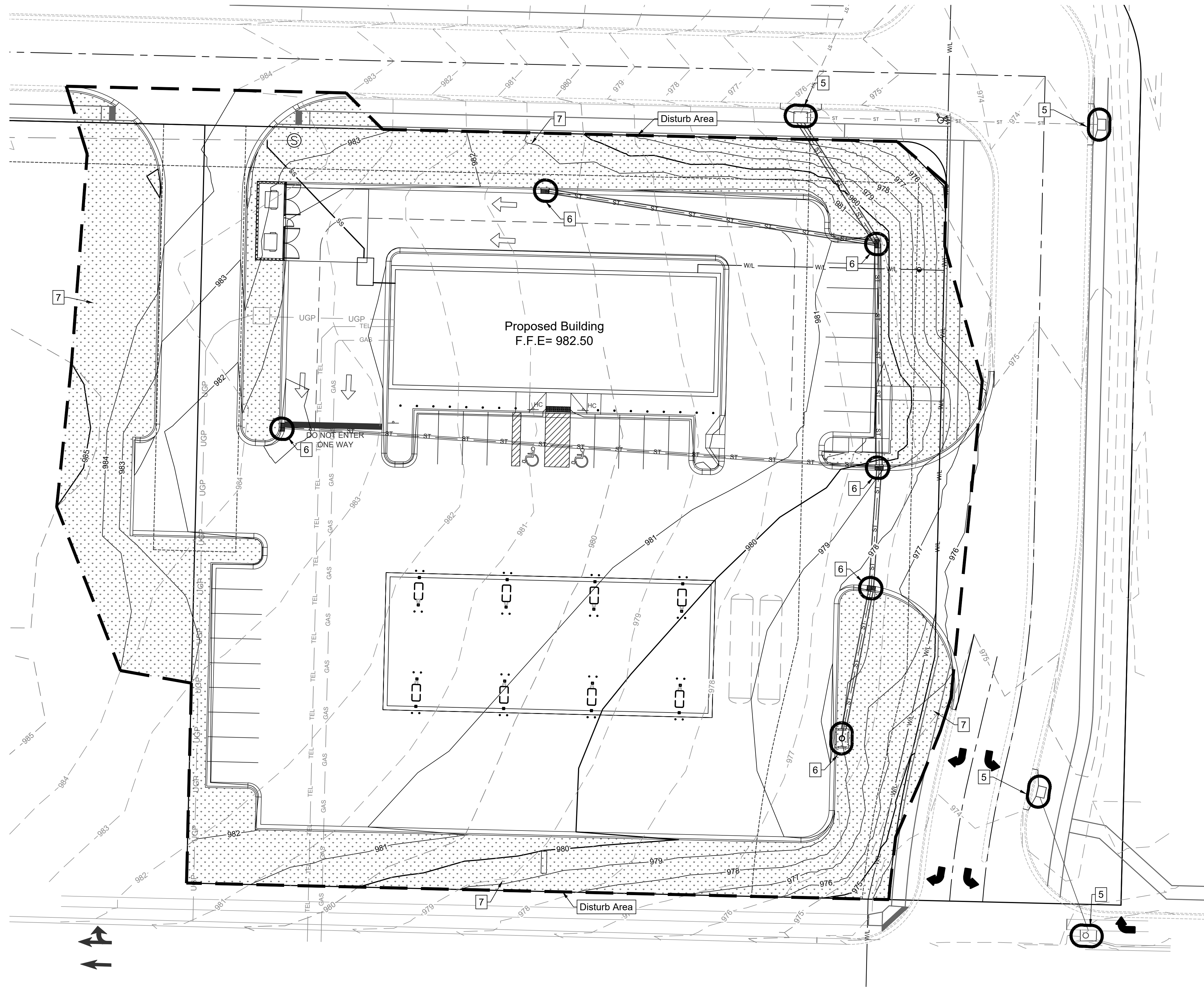
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		3	Perimeter Silt Fence	III	Install Silt Fence in accordance with APWA Standard Detail ESC-03
		4	Concrete Washout	II	Install Concrete Washout as Shown on Plans Prior to Pouring Any Concrete in accordance with APWA Standard Detail ESC-01
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Phase II	B-During Land Disturbance and Storm Infrastructure Installation	6	Inlet Protection	III	Install Filter Bags Prior to Construction, Maintain Until All Area is Stabilized.
Phase III	C-Final Stabilization	7	Establish Perennial Vegetation	N/A	Redistribute Topsoil and Seed and Mulch all Disturbed Area. Stabilization Complete when 100% of Disturbed Area is Established with Perennial Vegetation with a Density of 70%

Disturbed Area for Site Improvements : 1.95 Acres

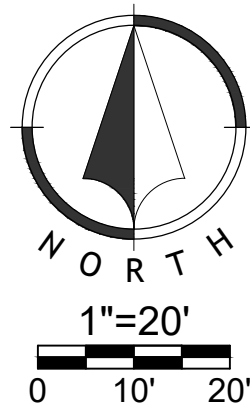


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	PROJECT STAGE	PLAN REFERENCE NUMBER	BMP DESCRIPTION	REMOVE AFTER PHASE	NOTES
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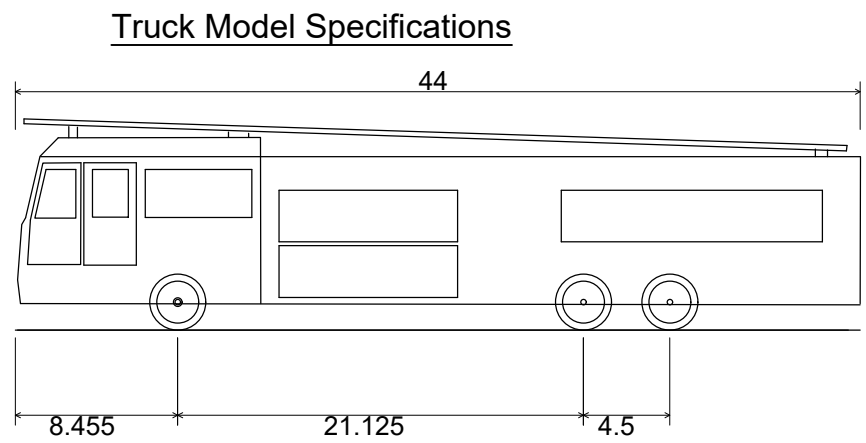
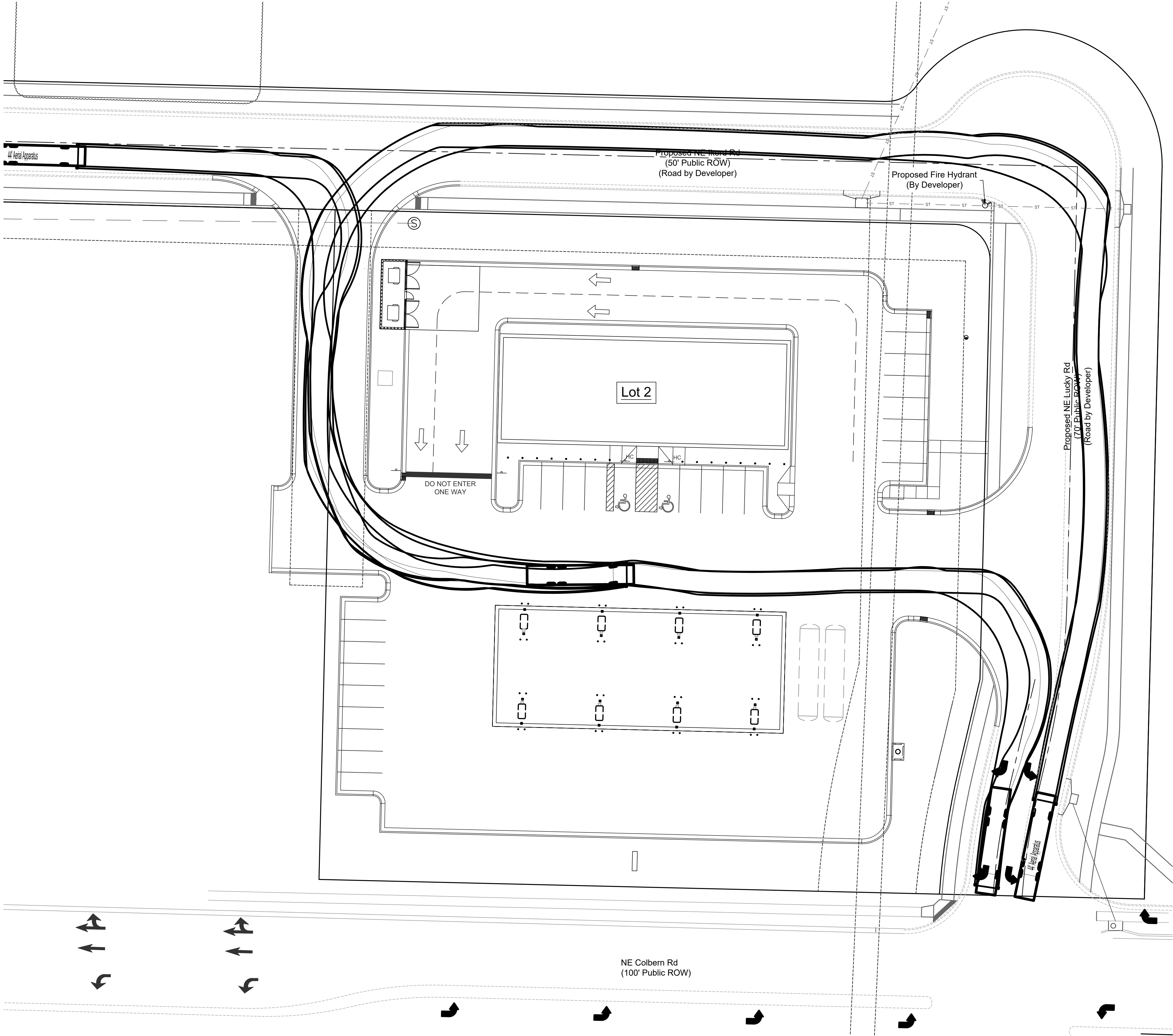
NO.	DATE	REVISION
1	6/16/23	Per City Comments

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CHECKED BY: DJB

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Kansas City, Missouri 64108
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44' Aerial Apparatus
Overall Length 44.000ft
Overall Width 8.000ft
Overall Body Height 11.000 ft
Min Body Ground Clearance 1.400ft
Track Width 8.000ft
Lock-to-lock time 4.00s
Max Wheel Angle 45.00°

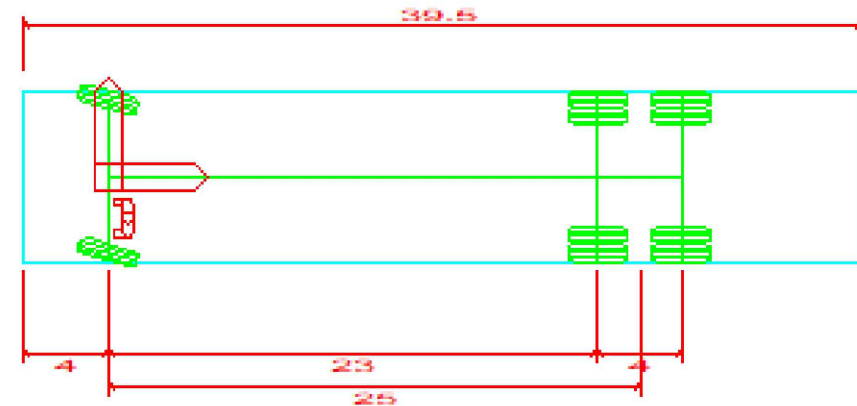
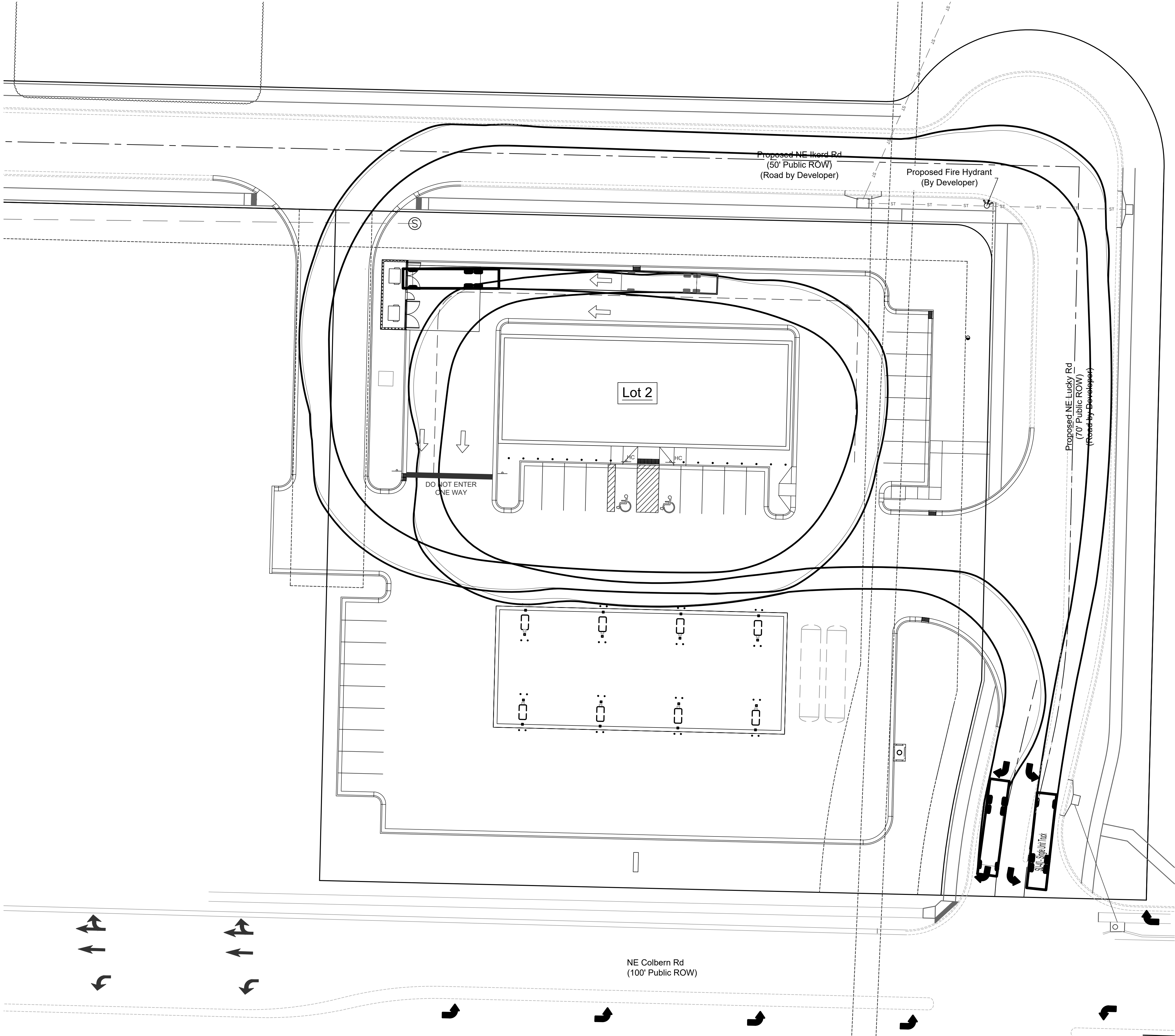
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1" = 10'



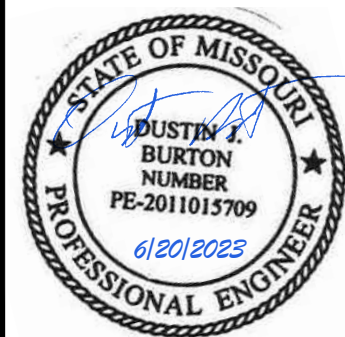
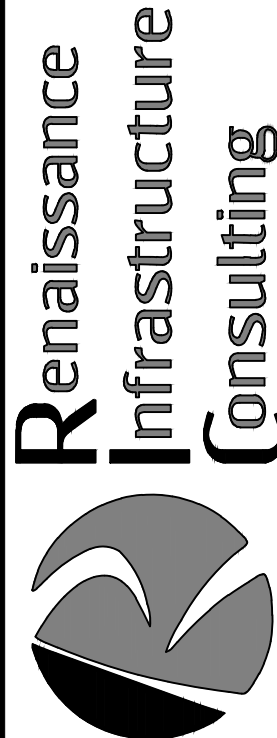
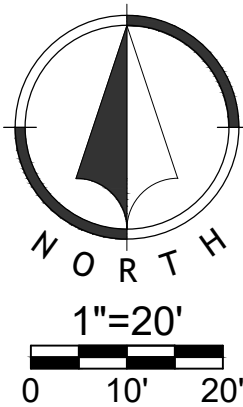
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NO.	DATE	REVISION
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ALS	DJB	



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SU-40 - Single Unit Truck	
Overall Length	39.500ft
Overall Width	8.000ft
Overall Body Height	13.500ft
Min Body Ground Clearance	1.367ft
Track Width	8.000ft
Lock-to-lock time	5.00s
Max Steering Angle (Virtual)	31.80°



Sheet
C17

Trash Truck Turning Plan

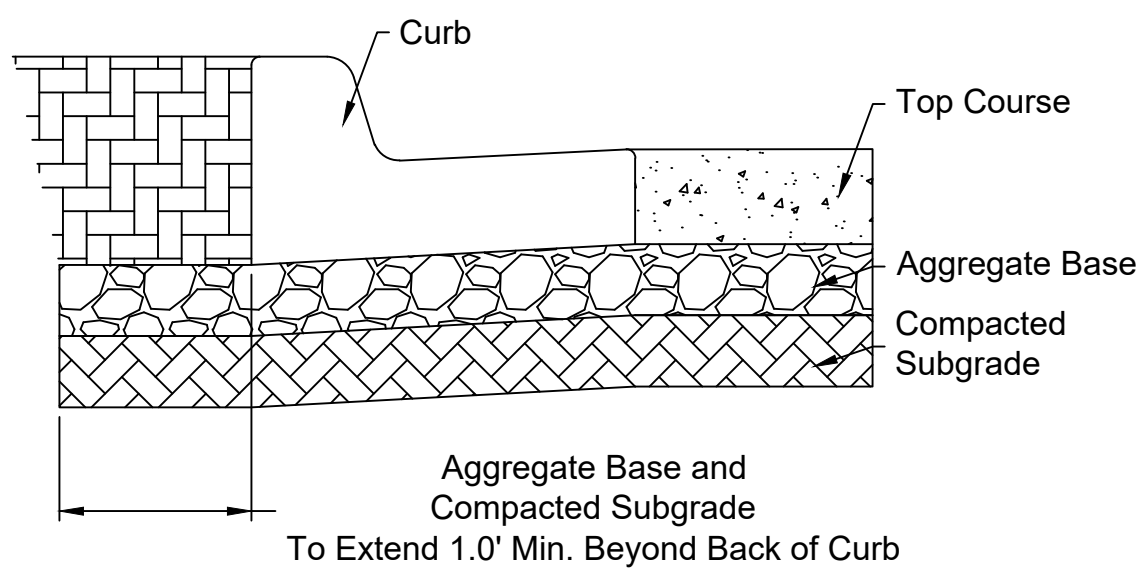
Final Development Plans
22-0133
Heartland Market
Lee's Summit, Jackson County, Missouri

NO.	DATE	REVISION
1	6/16/23	Per City Comments

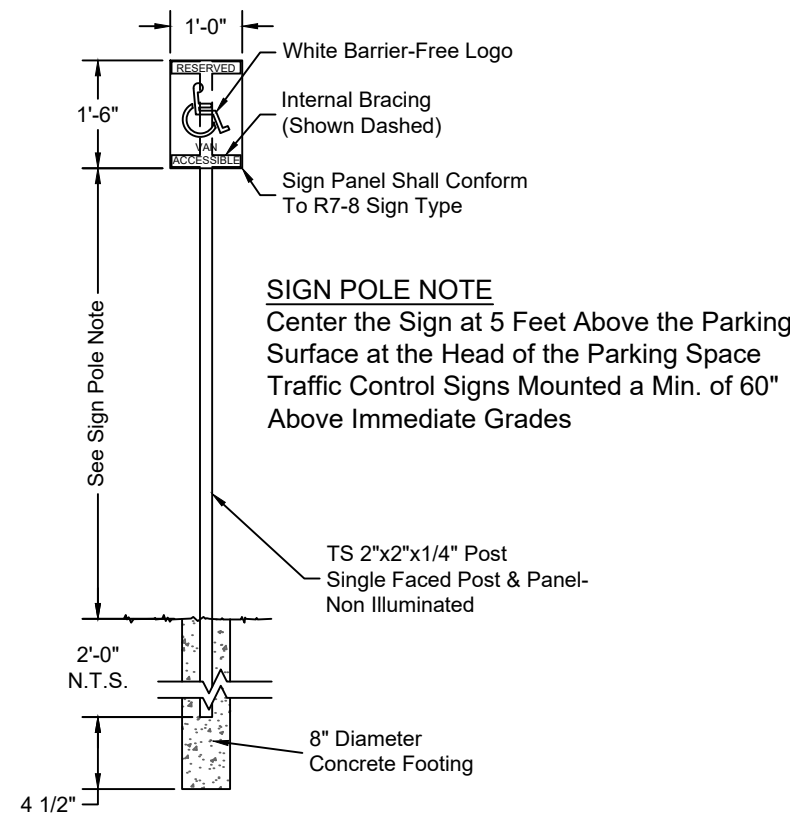
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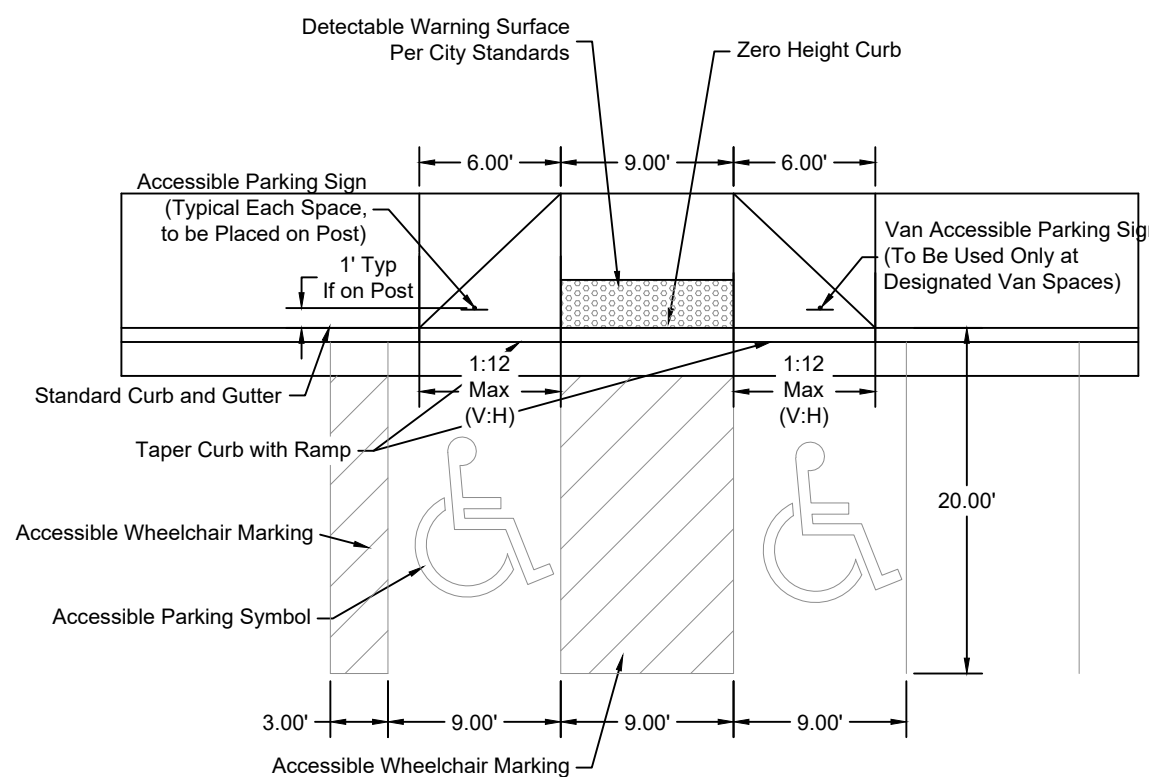
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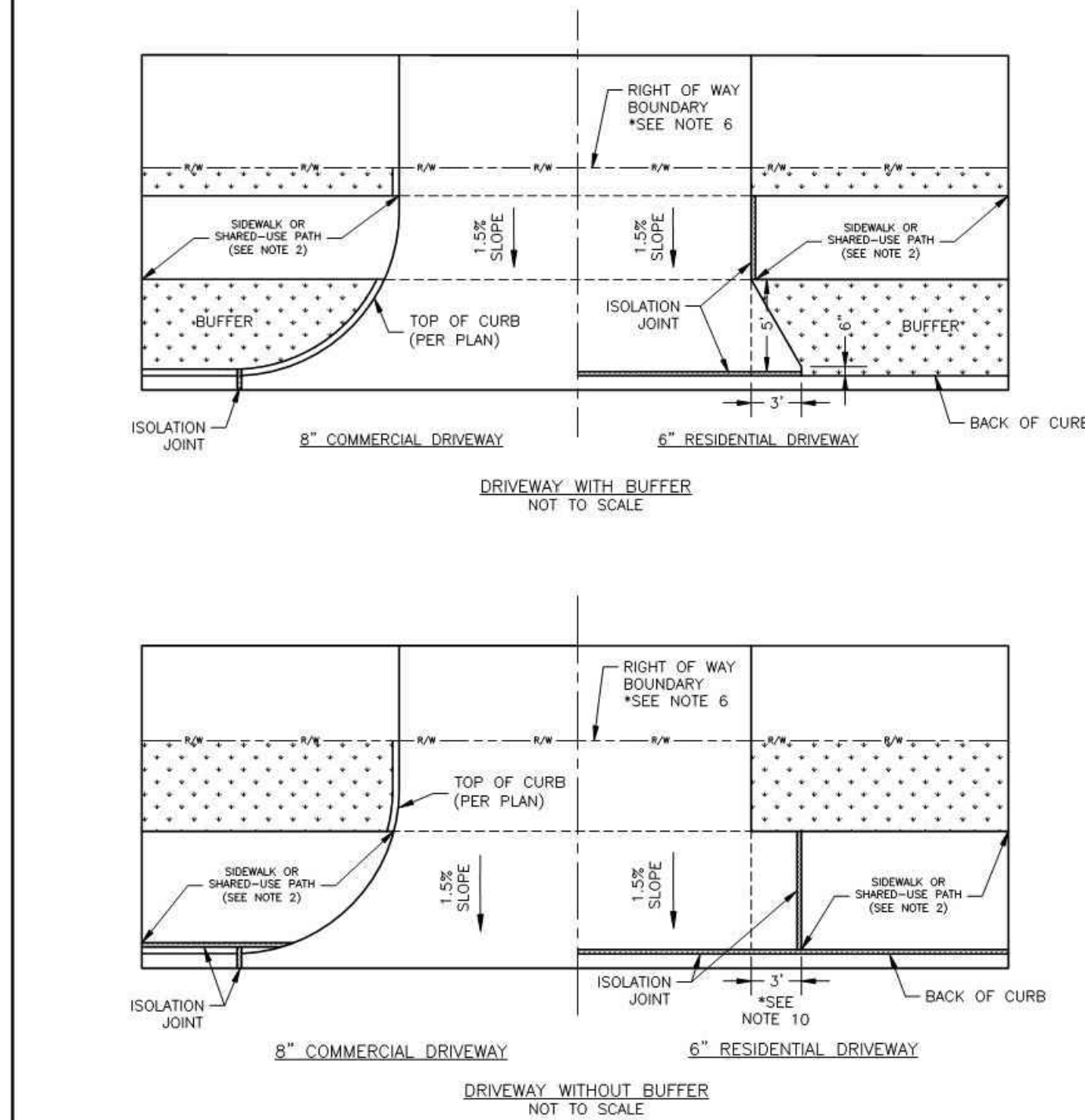
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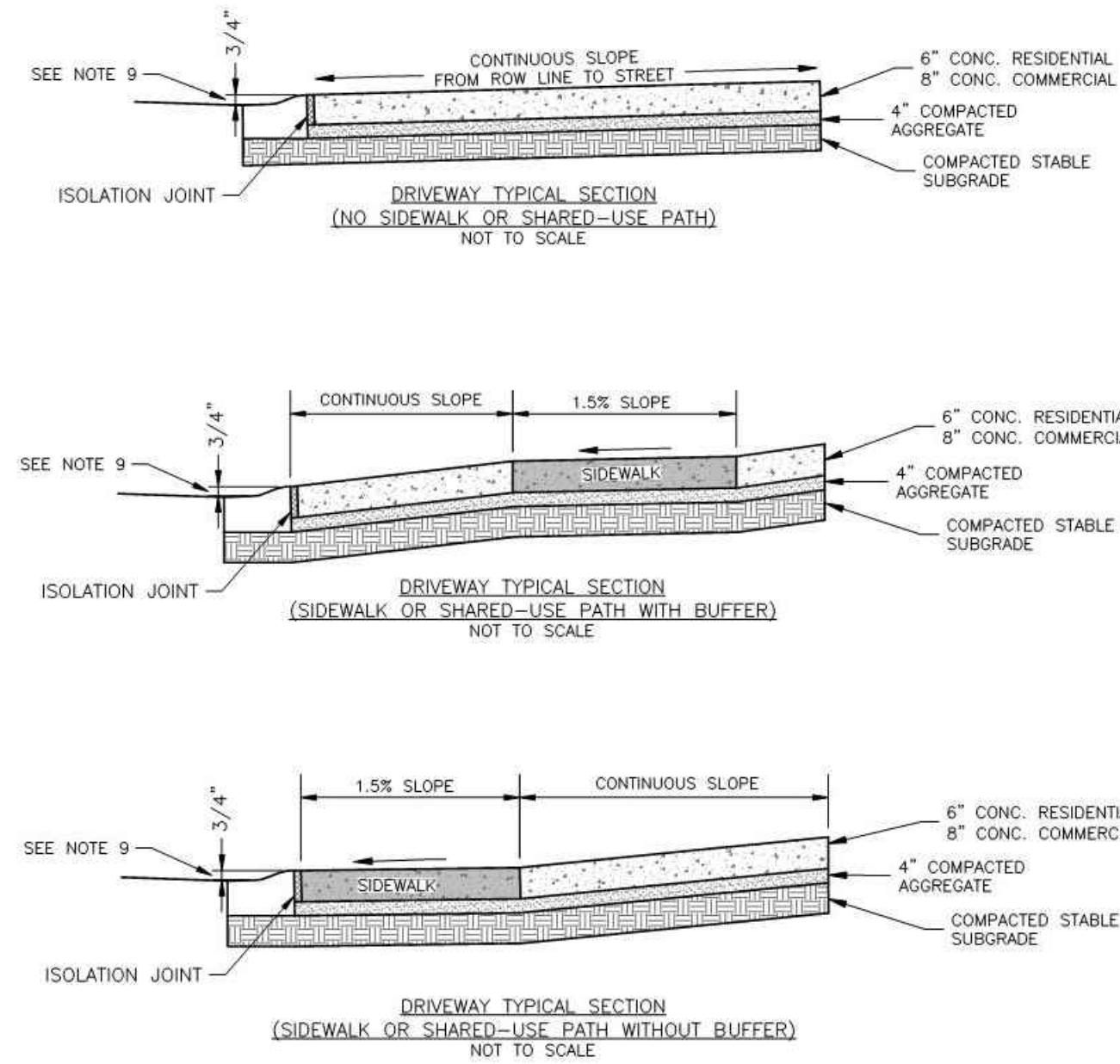
HANDICAP SIGNAGE
Not to Scale



ACCESSIBLE PARKING DETAIL (90°)
Not to Scale



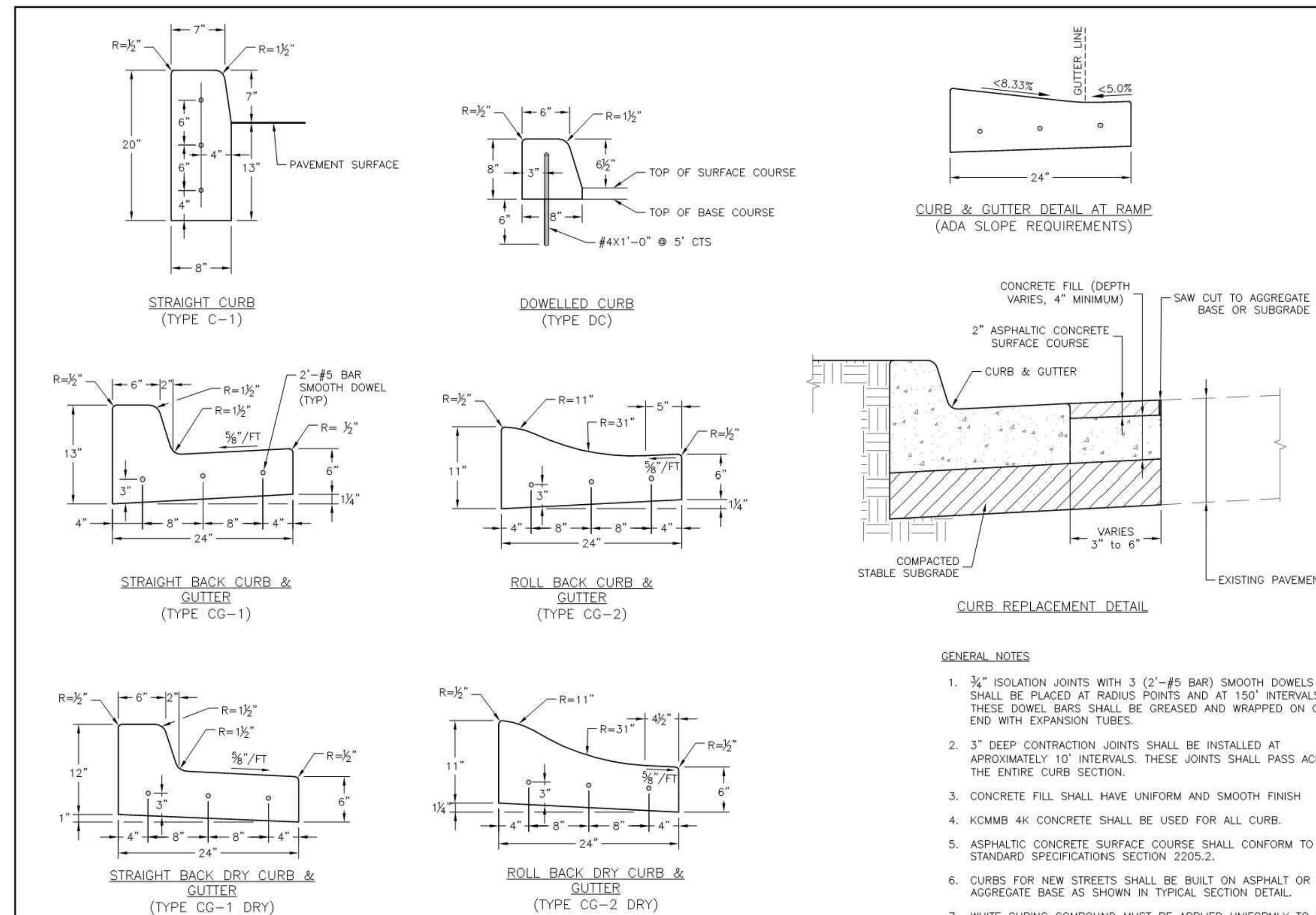
- GENERAL NOTES
- SUBGRADE SHALL BE STABLE, COMPACTED EARTH AND SHALL BE OVERLAYED WITH 4" COMPACTED DENSE GRADED AGGREGATE BASE.
 - ALL DRIVE APPROACHES SHALL MEET CURRENT PUBLIC RIGHT OF WAY ACCESSIBILITY GUIDELINES (PROWAD) FOR SLOPE REQUIREMENTS WHEN SIDEWALK IS REQUIRED (SEE ADA RAMP RETROFIT DETAIL GEN-36, SIDEWALK/SHARED USE PATH RAMP AT DRIVEWAY DETAIL).
 - JOINT AT BACK OF CURB LINE SHALL BE AN ISOLATION JOINT FOR RESIDENTIAL DRIVEWAYS.
 - KCMB 4K CONCRETE MIX IS REQUIRED FOR ALL CURBS.
 - COMMERCIAL DRIVEWAYS, IN THE PUBLIC RIGHT OF WAY, SHALL BE KCMB 4K CONCRETE MIX.
 - RESIDENTIAL DRIVEWAYS, IN THE PUBLIC RIGHT OF WAY, KCMB 4K CONCRETE MIX IS RECOMMENDED. OTHER CONCRETE MIXES NEEDS TO BE APPROVED BY CITY INSPECTOR.
 - A JOINT MUST BE INSTALLED AT THE RIGHT OF WAY BOUNDARY FOR PROPERTY DELINEATION.
 - WHITE CURING COMPOUND MUST BE APPLIED UNIFORMLY TO THE CONCRETE SURFACE IMMEDIATELY AFTER FINAL FINISHING.
 - 3/4" FROM TOP OF CURB TO FLOWLINE AT DRIVEWAY (TYPE CG-1 CURB ONLY). MUST MAINTAIN ORIGINAL FLOWLINE OF CURB.
 10. SIDEWALK ADJOINING CURB SHALL BE 6" THICK, EXTENDING 3' FROM THE DRIVEWAY.
 11. THE MAXIMUM WIDTH OF A RESIDENTIAL DRIVEWAY IS 36 FEET WITHIN THE RIGHT OF WAY.



LEE'S SUMMIT
MISSOURI

STANDARD DETAILS
CITY OF LEE'S SUMMIT, MO
LEE'S SUMMIT, JACKSON COUNTY, MO

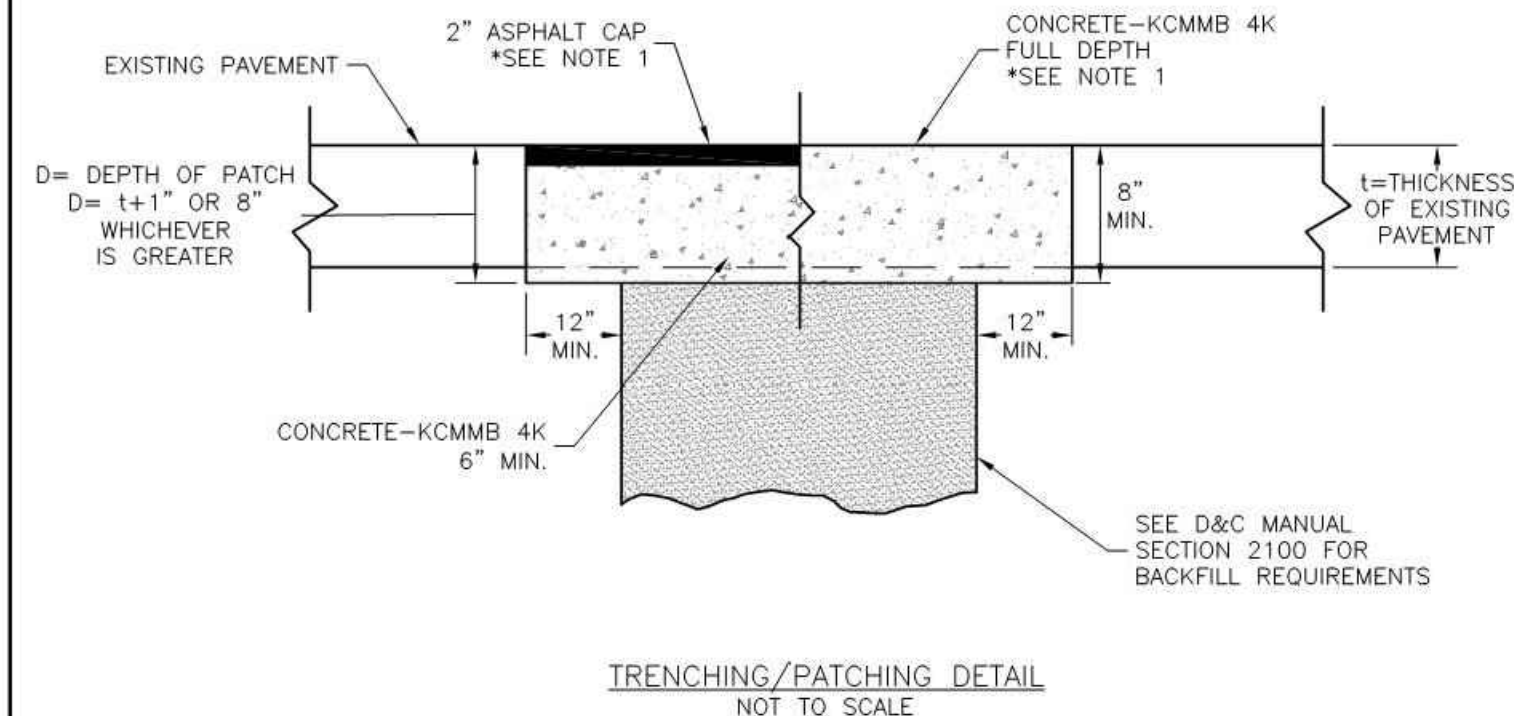
GEN-1



LEE'S SUMMIT
MISSOURI

STANDARD DETAILS
CITY OF LEE'S SUMMIT, MO
LEE'S SUMMIT, JACKSON COUNTY, MO

GEN-4



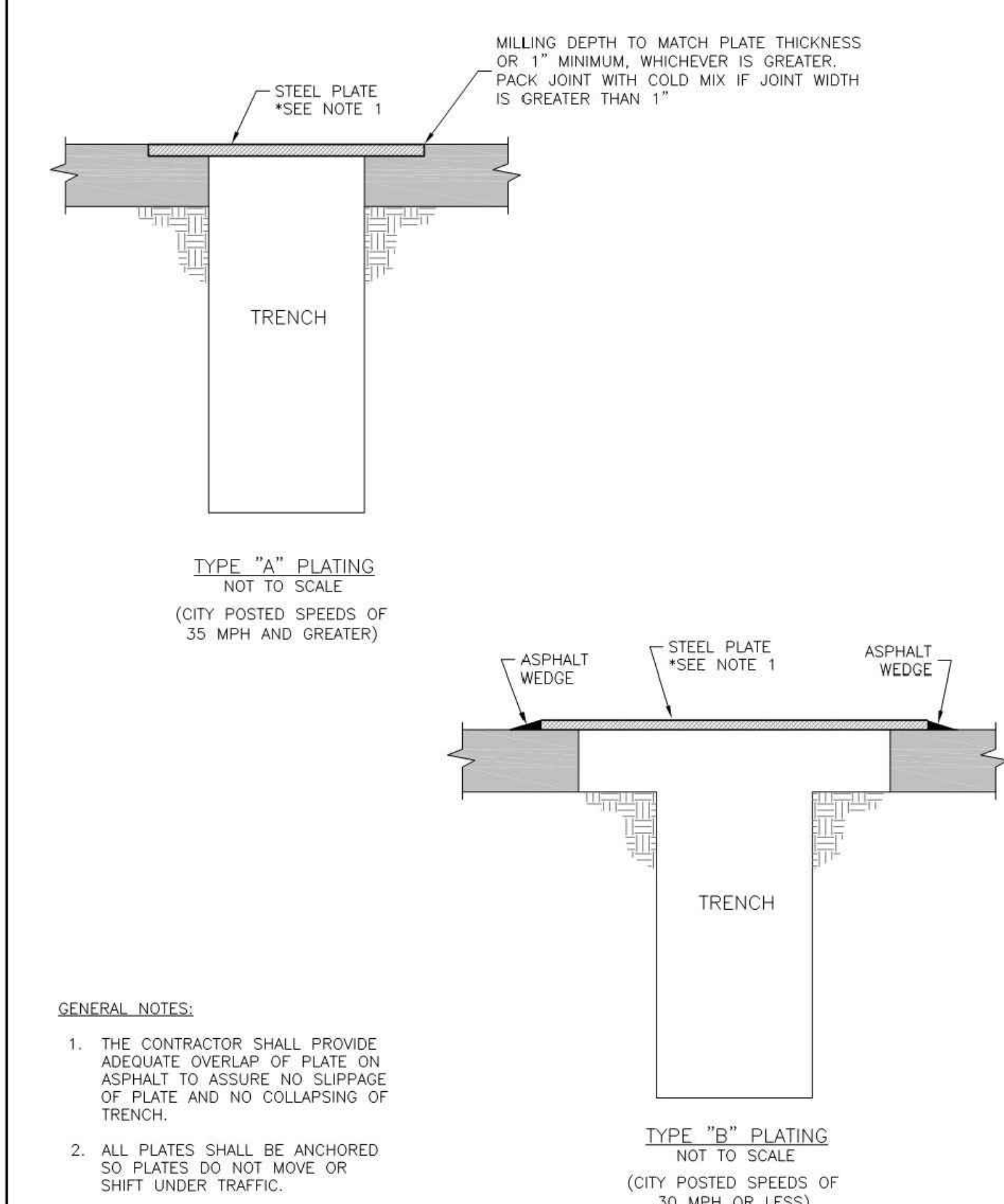
- NOTE:
- ASPHALT CAP OR FULL DEPTH CONCRETE SHALL BE DETERMINED BY CITY INSPECTOR.



LEE'S SUMMIT
MISSOURI

PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64083
TRENCHING/PATCHING ROADWAYS DETAIL

GEN-5



LEE'S SUMMIT
MISSOURI

PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64083
TRENCHING PLATE DETAIL

GEN-6

Final Development Plans

22-0133
Heartland Market
Lee's Summit, Jackson County, Missouri

Typical Details - General 1

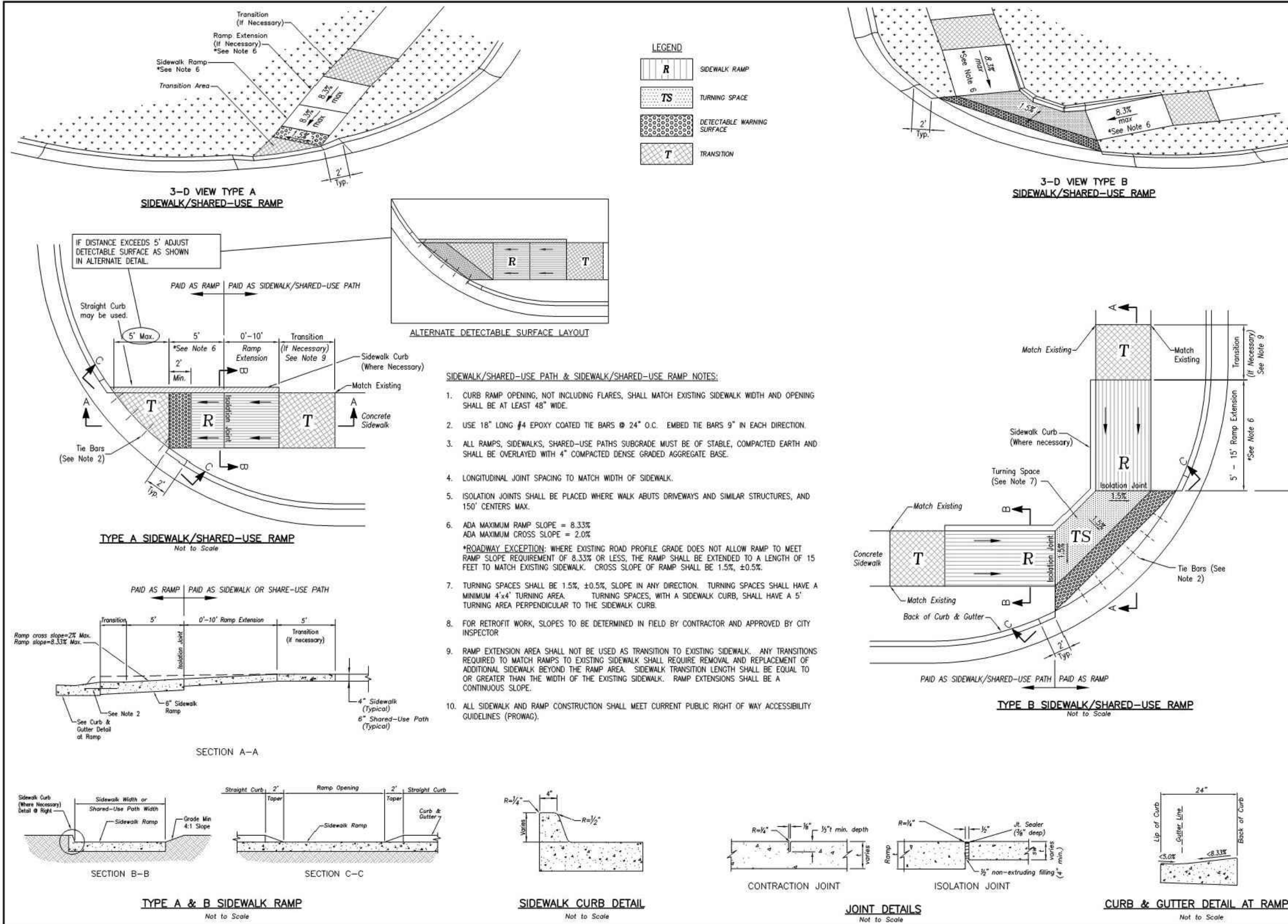
NO.	DATE	REVISION
1	6/16/23	Per City Comments

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CHECKED BY: DJB

Renaissance
Infrastructure
Consulting



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LEE'S SUMMIT
MISSOURI

STANDARD DETAILS
CITY OF LEE'S SUMMIT, MO
LEE'S SUMMIT, JACKSON COUNTY, MO

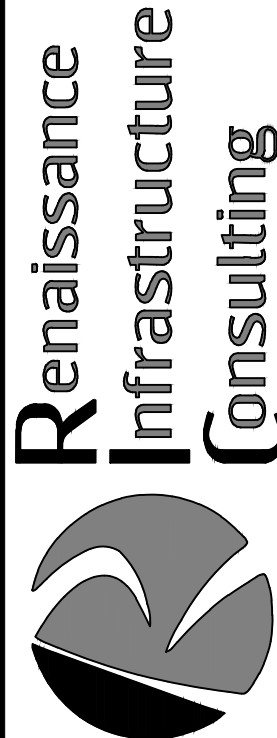
Drawn By: MFB
Checked By: DS
Date: 04/17/23
Proj. #:

GEN-3A

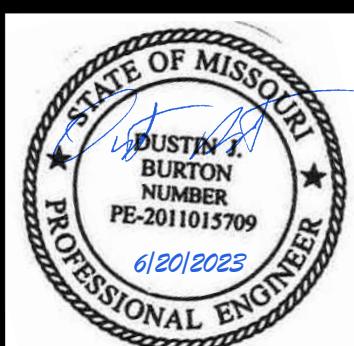
Final Development Plans

Typical Details - General 2

22-0133
Heartland Market
Lee's Summit, Jackson County, Missouri



400 E 17TH STREET
KANSAS CITY, MISSOURI 64108
www.RIC-CONSULT.COM
E-2010033630



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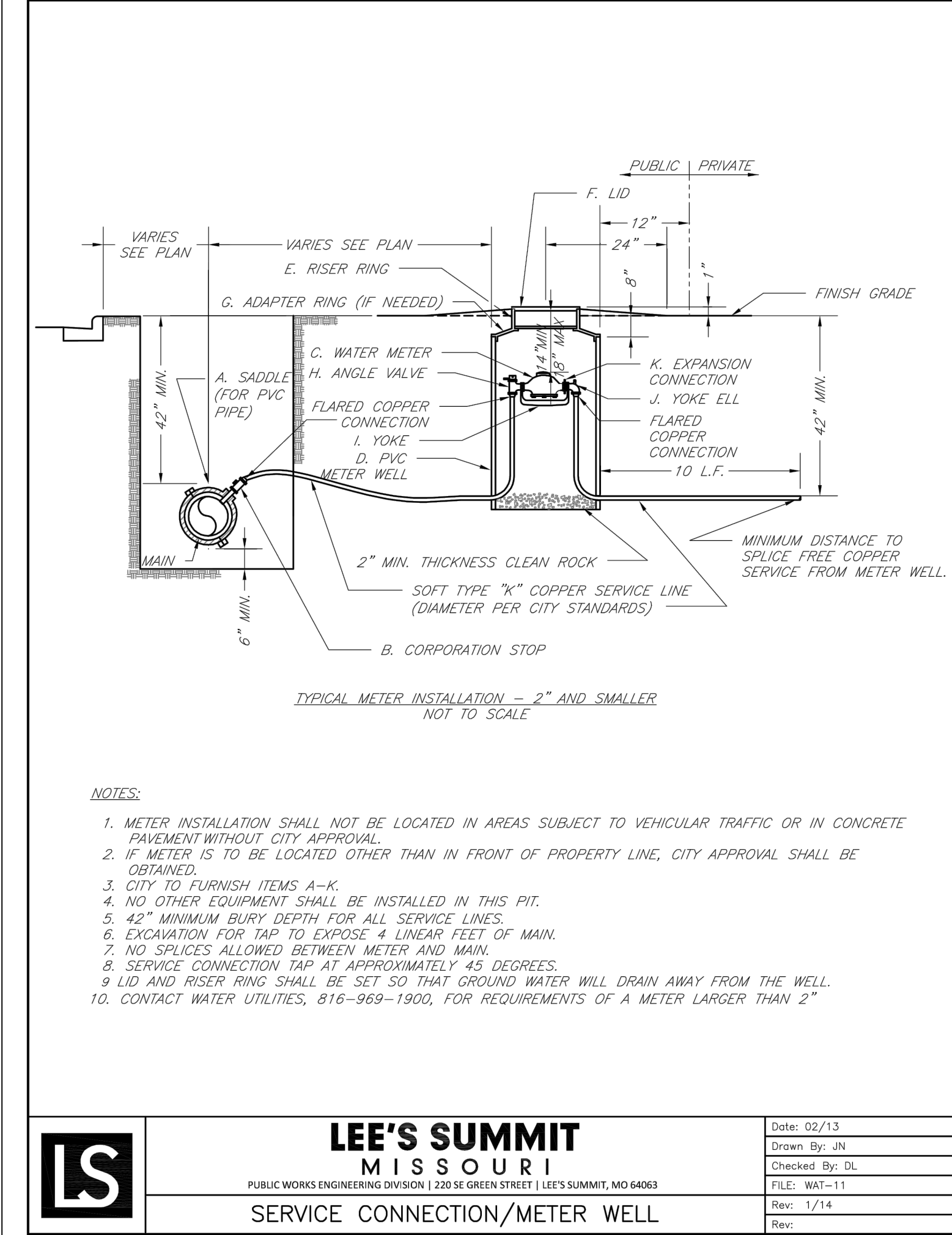
LEE'S SUMMIT
MISSOURI
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

STORM MANHOLE COVER DETAIL

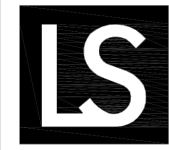
Date: 04/17
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Checked By: DL

STM-6

aschwartz
Jun 20, 2023 - 1:31pm
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- NOTES:**
- METER INSTALLATION SHALL NOT BE LOCATED IN AREAS SUBJECT TO VEHICULAR TRAFFIC OR IN CONCRETE PAVEMENT WITHOUT CITY APPROVAL.
 - IF METER IS TO BE LOCATED OTHER THAN IN FRONT OF PROPERTY LINE, CITY APPROVAL SHALL BE OBTAINED.
 - CITY TO FURNISH ITEMS A-K.
 - NO OTHER EQUIPMENT SHALL BE INSTALLED IN THIS PIT.
 - 42" MINIMUM BURY DEPTH FOR ALL SERVICE LINES.
 - EXCAVATION FOR TAP TO EXPOSE 4 LINEAR FEET OF MAIN.
 - NO SPLICES ALLOWED BETWEEN METER AND MAIN.
 - SERVICE CONNECTION TAP AT APPROXIMATELY 45 DEGREES.
 - LID AND RISER RING SHALL BE SET SO THAT GROUND WATER WILL DRAIN AWAY FROM THE WELL.
 - CONTACT WATER UTILITIES, 816-969-1900, FOR REQUIREMENTS OF A METER LARGER THAN 2"



**LEE'S SUMMIT
MISSOURI**
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

Date: 02/13
Drawn By: JN
Checked By: DL
FILE: WAT-11
Rev: 1/14
Rev:

SERVICE CONNECTION/METER WELL

Final Development Plans

22-0133
Heartland Market
Lee's Summit, Jackson County, Missouri

Typical Details - Water

NO.	DATE	REVISION
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ALS	DJB

Renaissance

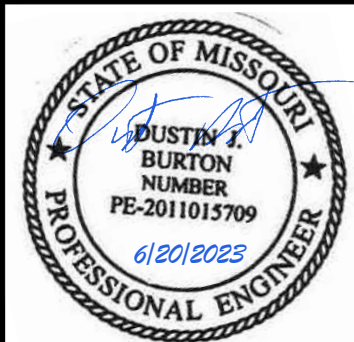
Infrastructure

Consulting

400 E 17TH STREET
KANSAS CITY, MISSOURI 64108

816.800.0950
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MO Certificate of Authority: E-2010033830



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C22

Zoning: CP-2 (Planned Community Commercial)

Required: 1 Tree / 30' Street Frontage and 20' Landscape Strip with
1 Shrub / 20'

Provided:
Colbern Rd (256') = 9 Trees + 13 Shrubs
Ikerd Rd (256') = 9 Trees + 13 Shrubs
Lucky Rd (226') = 8 Trees + 12 Shrubs

Required: 2 Shrubs / 5,000 sf Lot Area (excluding building) + 1 Tree / 5,000 sf Landscape Open Space


Provided: Lot Area (68,560 sf) = 28 Shrubs; Landscape Open Space (17,229 sf) = 4 Trees

1. LOCATE UTILITIES PRIOR TO COMMENCING LANDSCAPE OPERATIONS. ALL TREES SHALL BE FIELD POSITIONED AS TO AVOID CONFLICTS WITH EXISTING AND PROPOSED UTILITIES. NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS OR OBSTRUCTIONS.
2. CONTRACTOR SHALL STAKE ALL PLANTING AREAS IN THE FIELD PRIOR TO PLANTING FOR APPROVAL OF THE OWNER OR THEIR REPRESENTATIVE.
3. QUANTITIES SHOWN ARE FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES PRIOR TO BIDDING AND SHALL BE RESPONSIBLE FOR ALL QUANTITIES FOR THEIR BID. ANY DISCREPANCIES WITH THE PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. THE PLAN QUANTITIES SHALL SUPERCEDE SCHEDULED QUANTITIES.
4. ALL PLANT MATERIAL SHALL BE SPECIMEN QUALITY AND SHALL COMPLY WITH RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 THE 'AMERICAN STANDARD FOR NURSERY STOCK'.
5. ALL PLANTING BEDS & NATIVE GRASS STANDS SHALL BE EDGED AS SHOWN IN PLAN.
6. PREPARE PLANTING BEDS AND INCORPORATE AMENDMENTS ACCORDING TO PLANS.
7. SHREDDED HARDWOOD MULCH, PER SPECIFICATIONS SHALL BE USED AS A THREE INCH (3") TOP DRESSING IN ALL PLANTING BEDS AND AROUND ALL TREES. SINGLE TREES AND SHRUBS SHALL BE MULCHED TO THE OUTSIDE EDGE OF THE SAUCER OR LANDSCAPE ISLAND.
8. ALL TREES SHALL BE STAKED PER DETAIL.
9. ALL PLANT MATERIAL SHALL BE INSTALLED TO ALLOW A ONE FOOT (1') CLEARANCE BETWEEN PLANT AND ADJACENT PAVEMENT.
10. THE LANDSCAPE CONTRACTOR SHALL NOT COMMENCE WORK UNTIL THE SITE IS FREE OF DEBRIS CAUSED BY ON-GOING CONSTRUCTION OPERATIONS. REMOVAL OF DEBRIS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. LANDSCAPE WORK SHALL NOT BEGIN UNTIL THE LANDSCAPE ARCHITECT AND OWNER HAVE GIVEN WRITTEN APPROVAL FOR SUCH. THERE SHALL BE NO DELAYS DUE TO LACK OF COORDINATION FOR THIS ACTIVITY.
11. THE LANDSCAPE ARCHITECT AND OWNER SHALL APPROVE GRADES AND CONDITION OF SITE PRIOR TO SODDING/SEEDING OPERATIONS.
12. ALL AREAS DISTURBED DURING CONSTRUCTION AND NOT DESIGNATED FOR OTHER PLANTINGS OR HARDSCAPE SHALL BE SODDED WITH TURF TYPE FESCUE.
13. ALL LANDSCAPE AREAS SHALL BE IRRIGATED. TURF AREAS SHALL BE IRRIGATED BY SPRAY OR ROTOR. PLANT BEDS SHALL BE IRRIGATED BY DRIP IRRIGATION. IRRIGATION SYSTEM SHALL INCLUDE AUTOMATIC RAIN-SENSOR DEVICE. IRRIGATION SHOP DRAWINGS SHALL BE PROVIDED BY THE CONTRACTOR FOR APPROVAL PRIOR TO CONSTRUCTION.

<u>TREES</u>	<u>CODE</u>	<u>BOTANICAL / COMMON NAME</u>	<u>CONT</u>	<u>SIZE</u>	<u>QTY</u>
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EVERGREEN

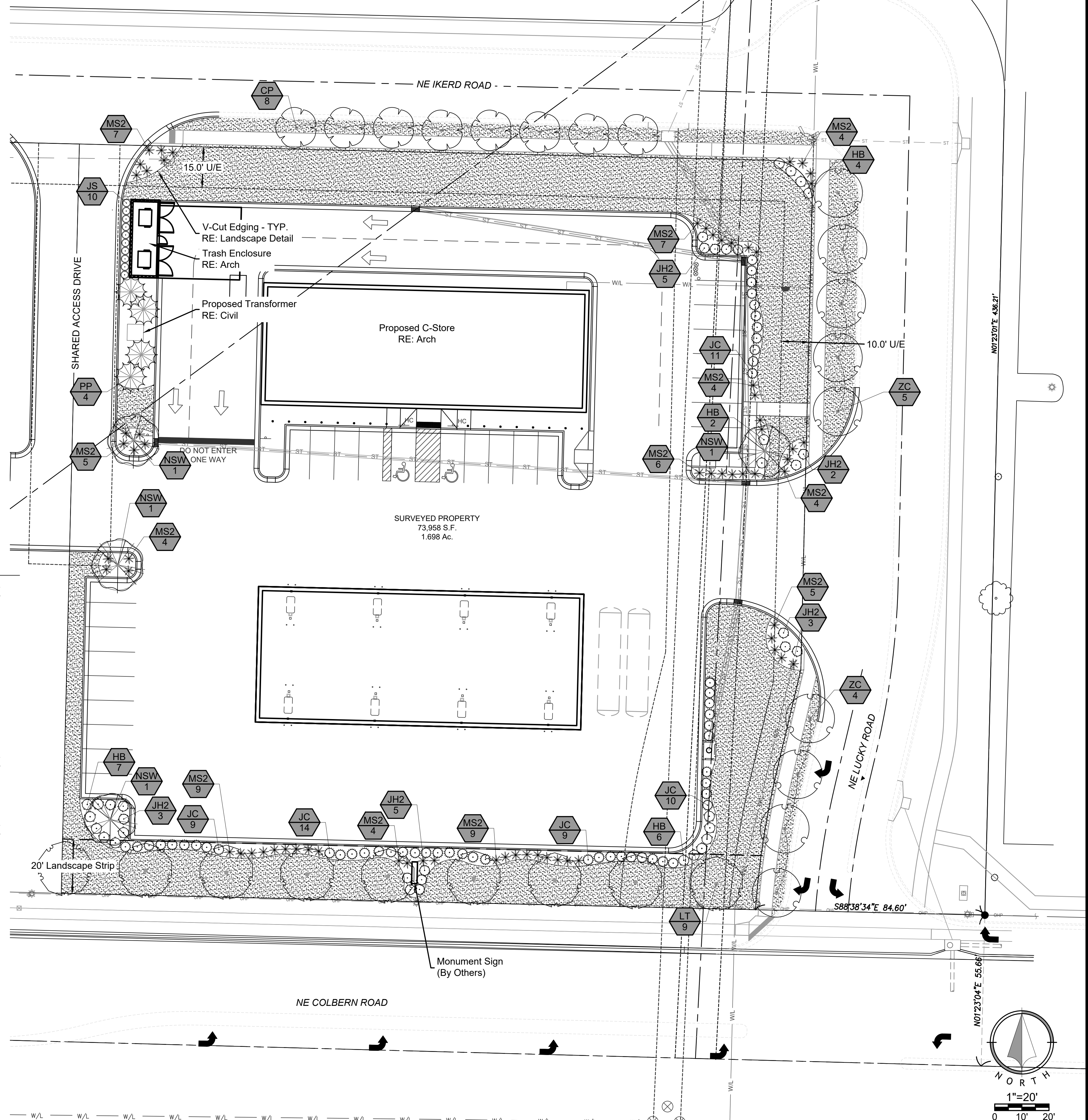
SHRUBS



This micrograph shows a dense distribution of small, dark, irregularly shaped particles dispersed within a lighter-colored, textured polymer matrix. The particles appear to be randomly distributed throughout the field of view.

Interior Parking Lot
Required: 1 Tree / Parking Island
Provided: 2 Islands = 2 Trees

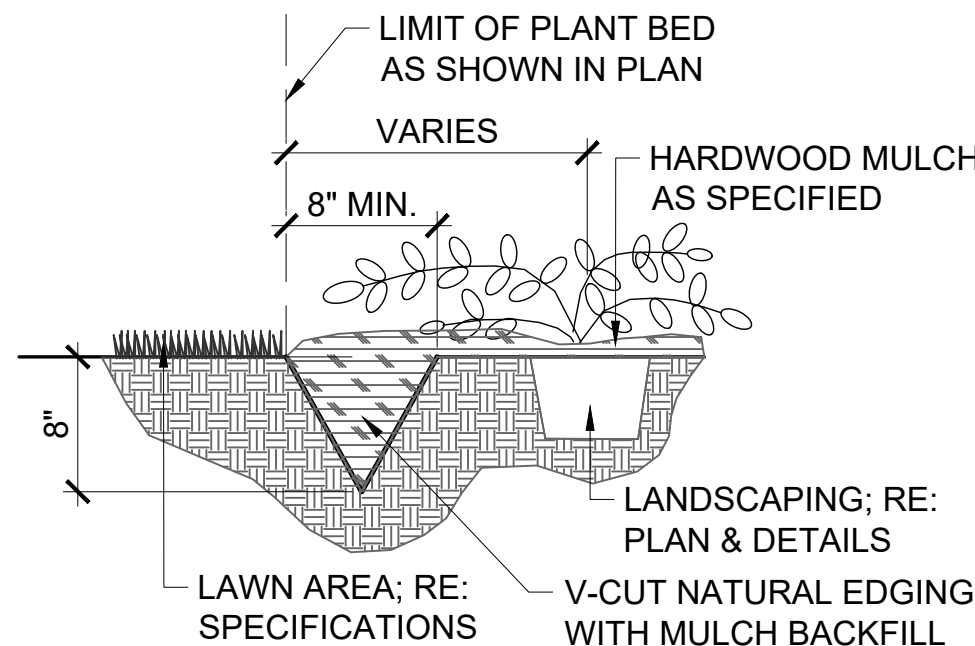
Required: Min. 2.5' ht. perimeter screen adj. to street - 12 Shrubs / 40'
 Provided: Colbern Rd (230') = 69 Shrubs



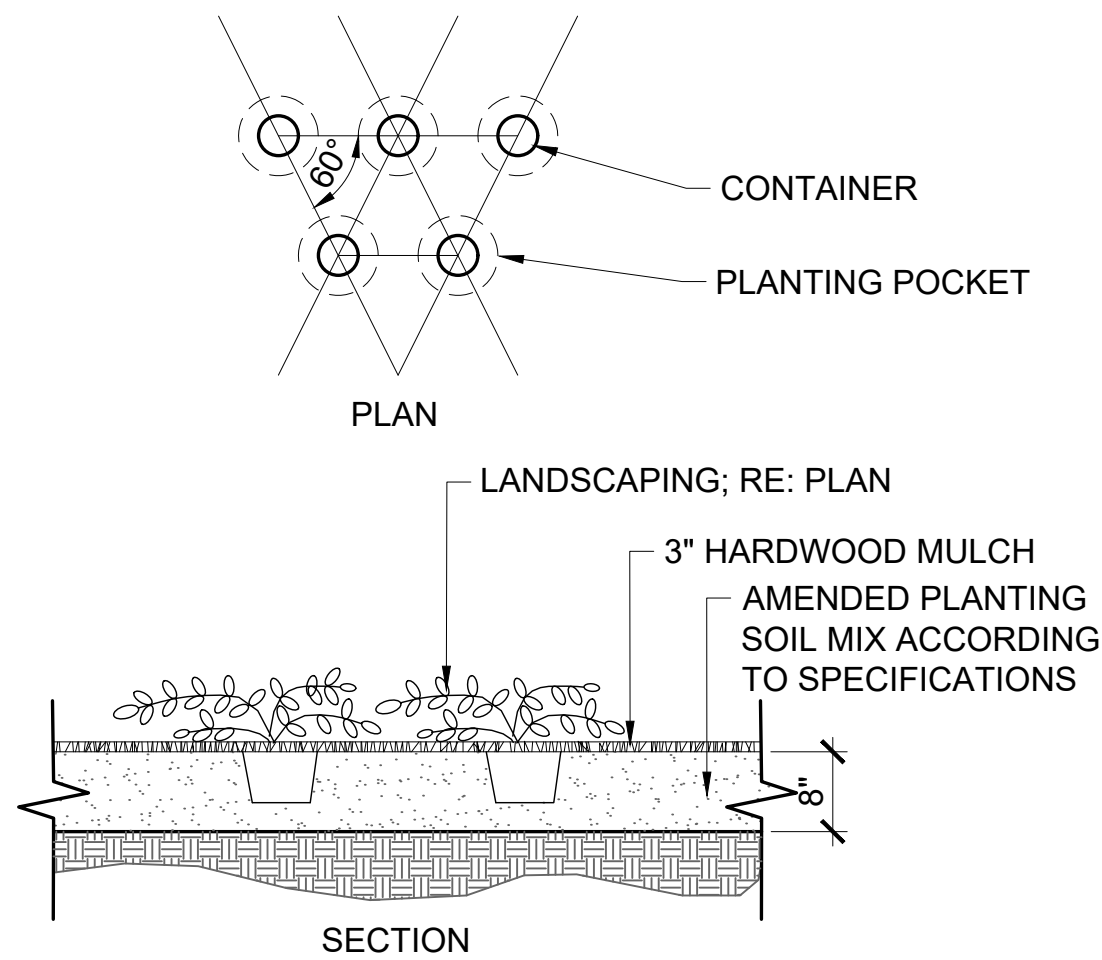


TYPICAL UTILITY BOX SCREENING DETAILS - NTS

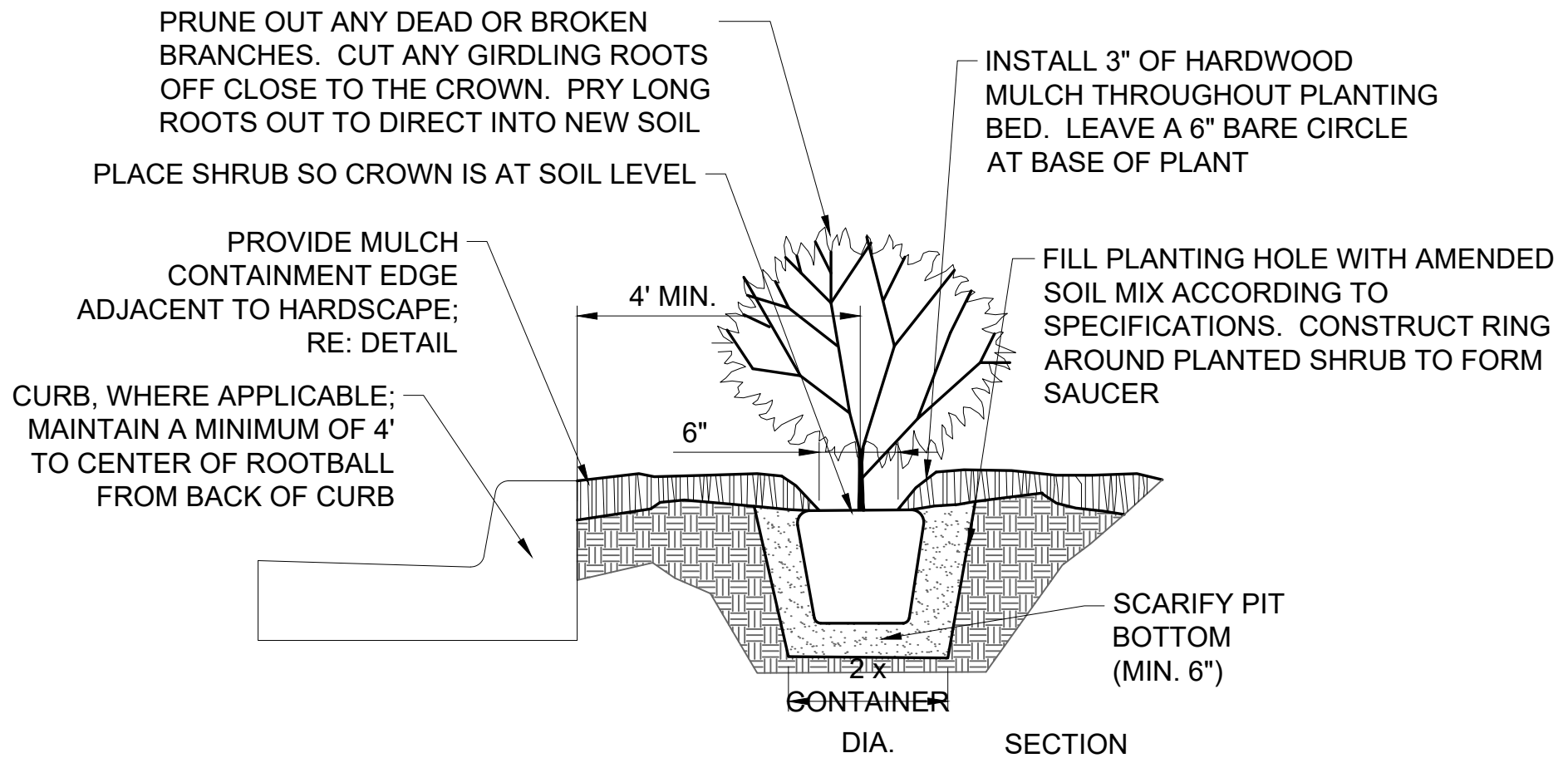
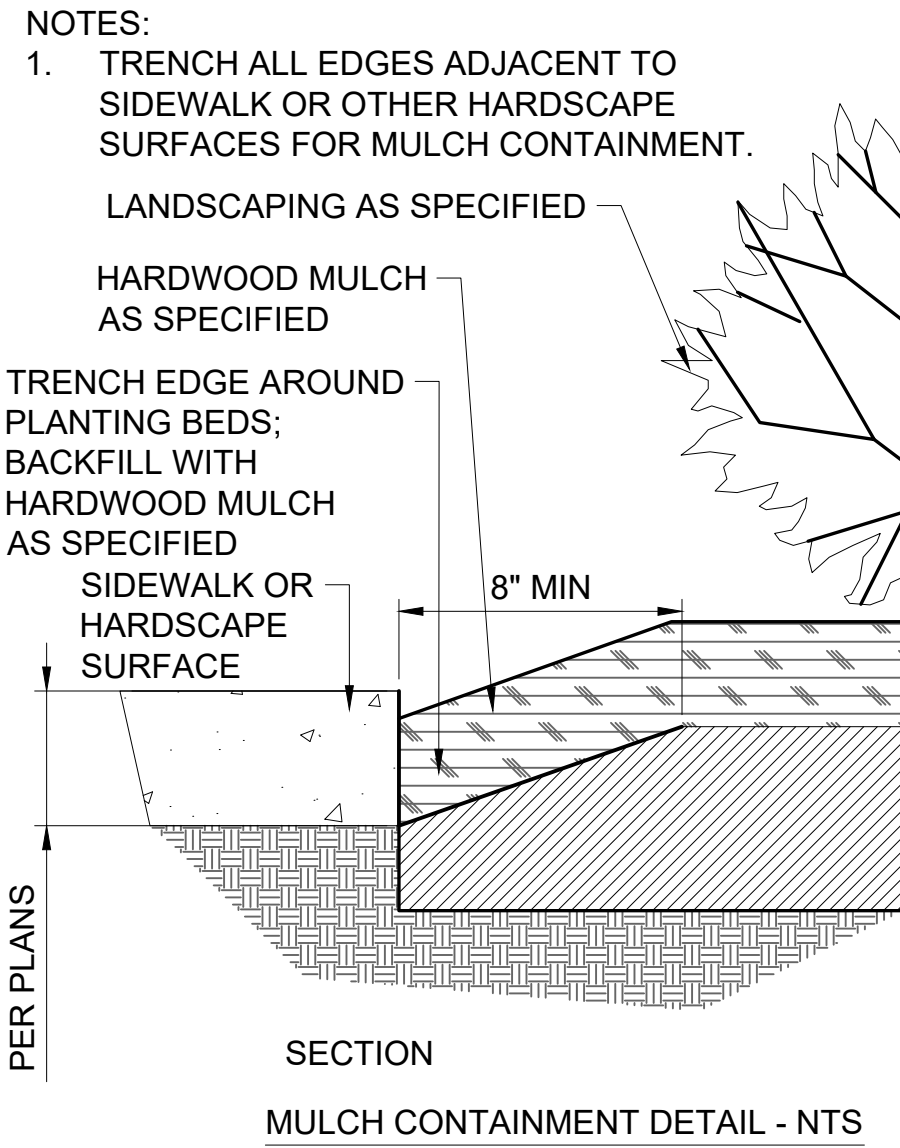
- NOTES:
1. CONTRACTOR SHALL LOCATE AND MARK ALL PLANTBED LOCATIONS PRIOR TO EXCAVATING FOR FINAL APPROVAL BY OWNER OR LANDSCAPE ARCHITECT.
 2. TRANSITION TO MULCH CONTAINMENT DETAIL AT ALL LOCATIONS ADJACENT TO CURBS & SIDEWALKS. RE: DETAIL, THIS SHEET.
 3. CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS PRIOR TO TRENCHING OR LANDSCAPE INSTALLATION.



V-CUT NATURAL EDGE DETAIL - NTS

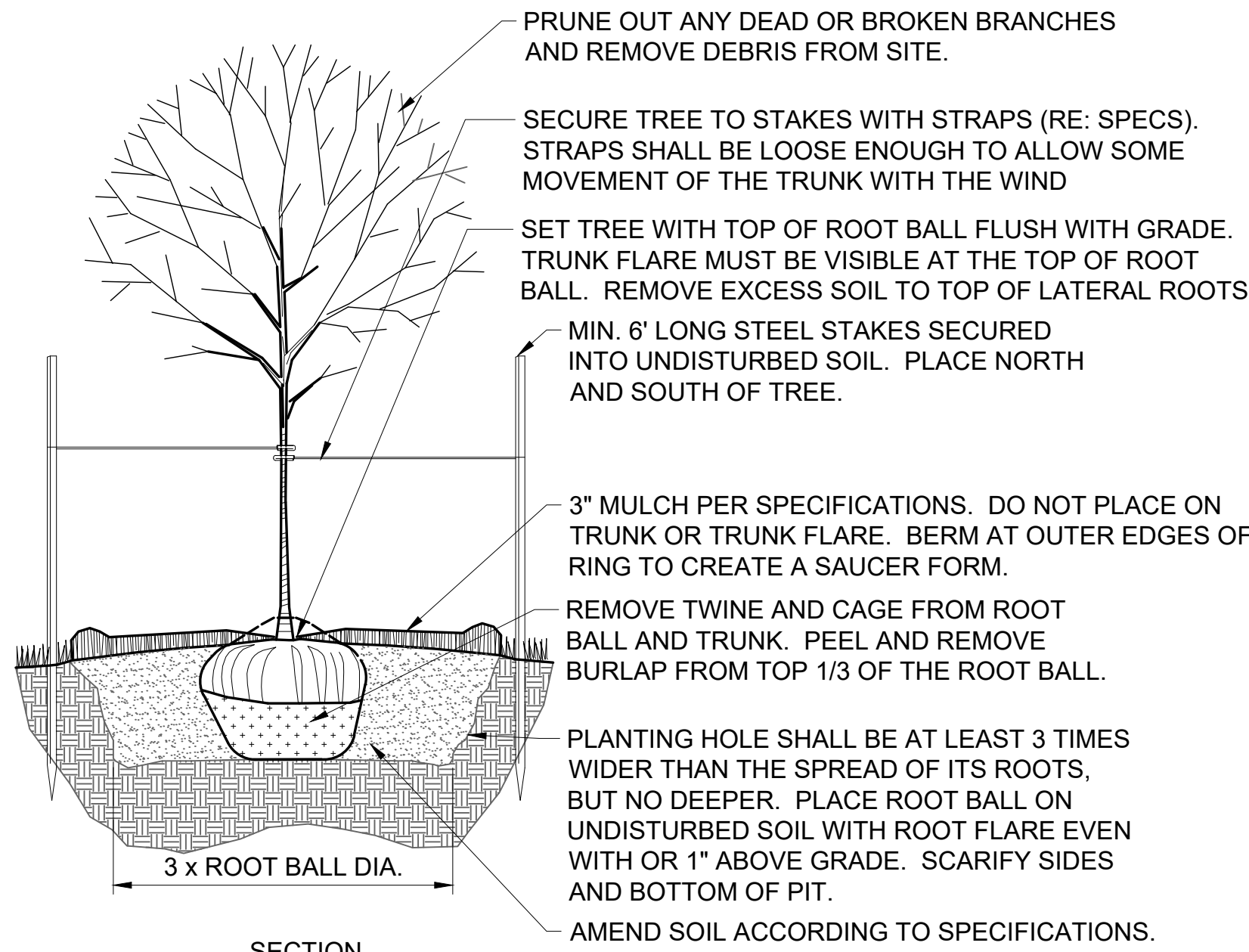


CONTAINER PLANTING DETAIL - NTS



- NOTES:
1. REFER TO SPECIFICATIONS FOR TOPSOIL BACKFILL MIX.
 2. CONTRACTOR TO WATER THOROUGHLY AFTER PLANTING
 3. INSTALLATION TO BE IN ACCORDANCE WITH PLANTING SPECIFICATIONS
 4. WHERE ADJACENT TO CURB, MAINTAIN THE MINIMUM OFFSET SHOWN. FOR SHRUBS LARGER THAN 4' MATURE DIAMETER, PROVIDE A GREATER OFFSET EQUAL TO 1/2 OF THE MATURE DIAMETER MINIMUM.

- NOTES:
1. TREES THAT DO NOT MEET THE SIZE REQUIREMENT WILL BE REJECTED
 2. TREES SHALL BE INSPECTED BY OWNERS REPRESENTATIVE PRIOR TO INSTALLATION.



NO.	DATE	REVISION
1	6/16/23	Per City Comments

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AL	AG


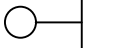

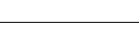
Renaissance Infrastructure Consulting

400 E 17TH STREET
KANSAS CITY, MISSOURI 64108
B16.800.0950
WWW.RIC-CONSULT.COM

MO Certificate of Authority: E-2010033630

STATE OF MISSOURI
T. ANDREW GABBERT
NUMBER A-2007013278
EXPIRES 2-28-25
LANDSCAPE ARCHITECT
T. Andrew Gabbert
MO# LA-2007013278

LUMINAIRE SCHEDULE

SYMBOL	MOUNTING	MODEL	WATTAGE	QUANTITY	MOUNTING HEIGHT	LAMP DEPRECIATION
	RECESSED	CREE, INC., CAN-304-SL-x-04-E-UL-700-40K or BXCP-E04E-UD7 (700mA)	135	32	16'-6"	0.9
	POLE	HUBBELL OUTDOOR, RAR-2-320L-110-4K7-2-BC	110	2	28'	0.9
	POLE	HUBBELL OUTDOOR, RAR-2-320L-110-4K7-3-BC	110	10	28'	0.9
	POLE	HUBBELL OUTDOOR, RAR2-320L-110-4K7-4W	110	1	28'	0.9

Canopy	
AVERAGE FOOT-CANDLES	21.43
MAXIMUM FOOT-CANDLES	32.8
MINIMUM FOOT-CANDLES	6.4
AVERAGE TO MINIMUM FC RATIO	3.36

Parking Lot	
AVERAGE FOOT-CANDLES	2.42
MAXIMUM FOOT-CANDLES	6.3
MINIMUM FOOT-CANDLES	0.5
AVERAGE TO MINIMUM FC RATIO	4.67



RATIO Series

AREA/SITE LIGHTER

FEATURES

- Low profile LED area/site luminaire with a variety of IES distributions for lighting applications such as retail, commercial and campus parking lots
- Featuring Micro Strike Optics which maximizes target zone illumination with minimal losses at the house-side, reducing light trespass issues
- Visual comfort standard
- Compact and lightweight design with low EPA
- 3G rated for high vibration applications including bridges and overpasses
- Control options including photo control, occupancy sensing, NX Distributed Intelligence™ and 7-Pin with networked controls
- Best in class surge protection available



IP66



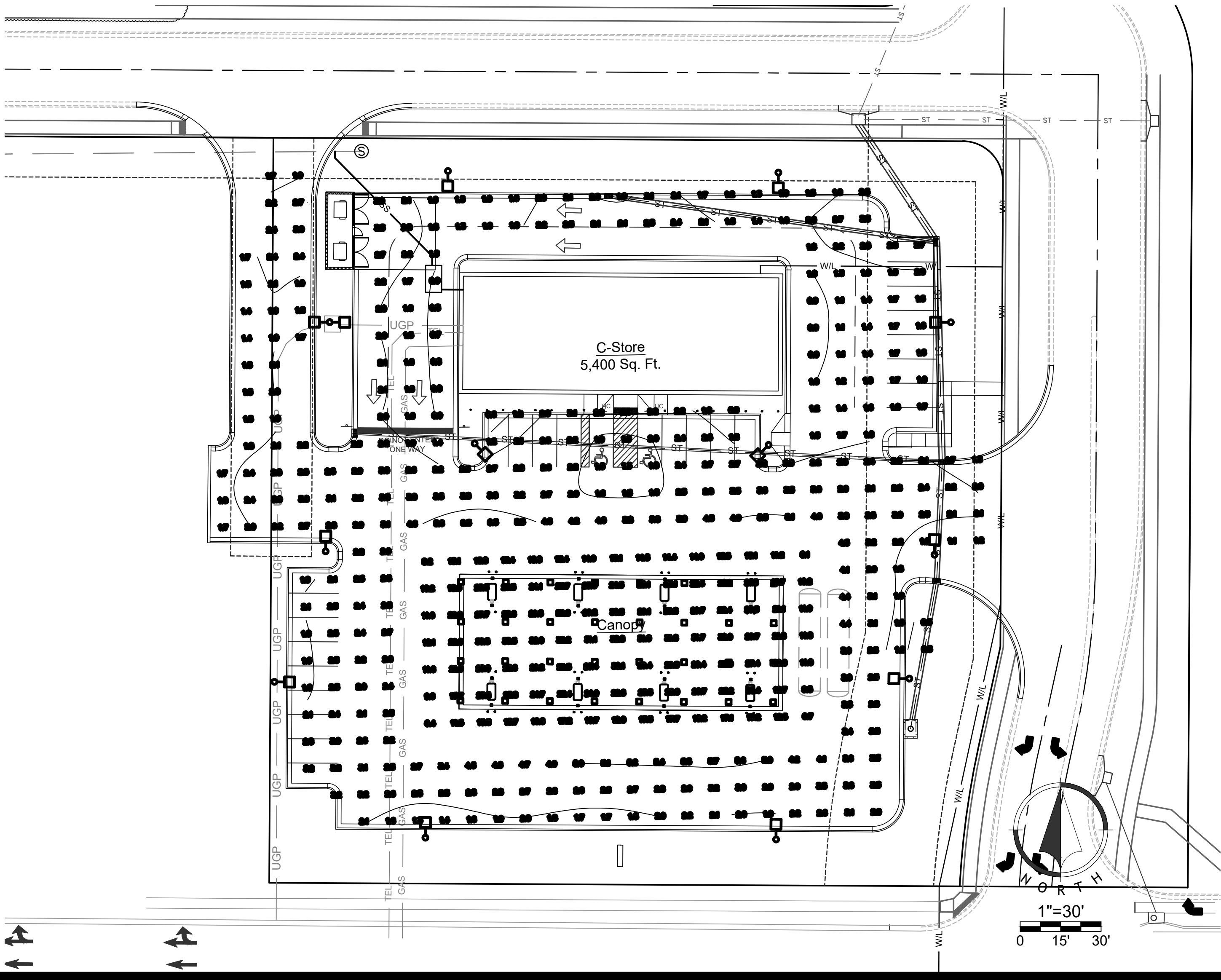
See Certification Specifications

DATE:	LOCATION:
TYPE:	PROJECT:
CATALOG #:	



RELATED PRODUCTS

 Airo  Cimarron LED  Ratio Family



304 Series™

LED Recessed Canopy Luminaire

Product Description

Luminaire housing is constructed from rugged die cast aluminum components (RS Mount) or die cast and extruded aluminum components (RD Mount). LED driver is mounted in a sealed weathertight center chamber that allows for access from below the fixture. Luminaire mounts directly to the canopy deck and is secured in place with die cast aluminum trim frame. Luminaire housing is provided with factory applied foam gasket that provides a watertight seal between luminaire housing and canopy deck. Suitable for use in single or double skin canopies with 16" (406 mm) wide panels. Designed for canopies of 19-22 gauge [maximum 0.040" (1 mm) thickness]. Applications: Petroleum stations, convenience stores, drive-thru banks and restaurants, retail and grocery

Performance Summary

Patented NanoOptic® Product Technology

Assembled in the U.S.A. of U.S. and imported parts

CRI: Minimum 70 CRI

CCT: 4000K (+/- 300K), 5700K (+/- 500K) standard

Limited Warranty*: 10 years on luminaire/10 years on Colorfast DeltaGuard® finish

* See <http://icreatehunting.com/warranty> for warranty terms

Accessories

Field-Installed

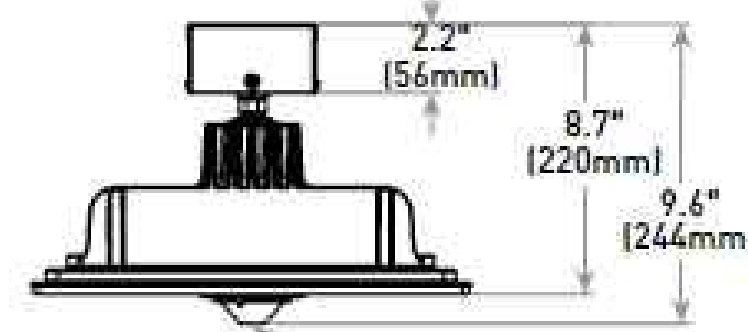
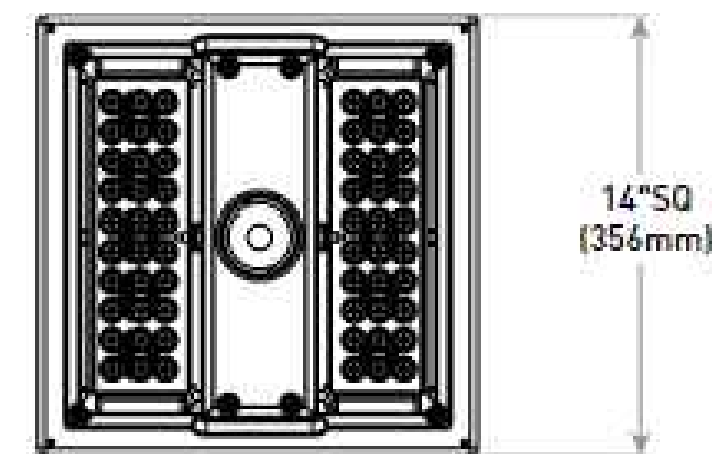
Hand-Held Remote

XA-SENSREM

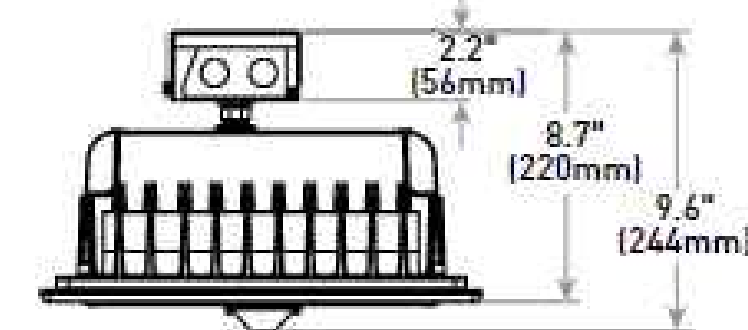
- For successful implementation of the programmable multi-level option, a minimum of one hand-held remote is required

Rev. Date: V7 04/05/2021

RS Mount



Programmable Multi-level Sensor location (ordered as an option)



Final Development Plan

22-0133

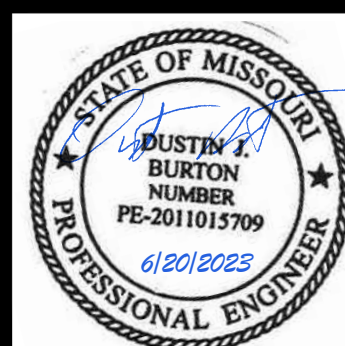
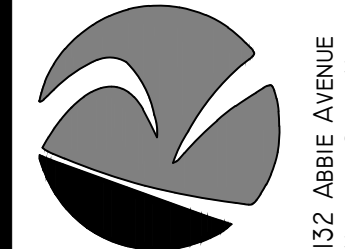
Heartland Market - Lee's Summit
Lee's Summit, Jackson County, MO

Photometric Plan

NO.	DATE	REVISION

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BMR	GDN

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E01