

SECTION 25, TOWNSHIP 48N, RANGE 32W
SECTION 30, TOWNSHIP 48N, RANGE 31W
IN LEE'S SUMMIT, JACKSON COUNTY, MO



PROJECT TEAM & UTILITY CONTACT LIST

TILITY SERVICE NUMBERS

NAME: LEE'S SUMMIT PUBLIC WORKS
PHONE: 816-969-1800

NAME: LEE'S SUMMIT WATER UTILITIES
PHONE: 816-969-1900

NAME: SPIRE (MGE)
PHONE: 314-342-0500

NAME: AT&T
PHONE: 800-286-8313

NAME: EVERGY
PHONE: 816-471-5275

NAME: SPECTRUM (TWC)
PHONE: 877-772-2253

NAME: GOOGLE FIBER
PHONE: 877-454-6959



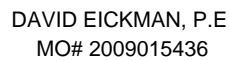
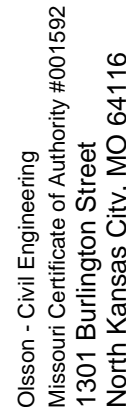
Sheet List Table

NO OIL OR GAS WELLS ARE LOCATED WITHIN PROJECT LIMITS.
INFORMATION OBTAINED FROM THE MISSOURI DEPARTMENT OF NATURAL RESOURCES,
GEOLOGICAL SURVEY GEOSCIENCES TECHNICAL RESOURCE ASSESSMENT TOOL (GEOSTRAT).

THE ENTIRE SITE IS LOCATED WITHIN ZONE X, "AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM THE 1% ANNUAL CHANCE FLOOD" AS DEPICTED ON THE FEMA FLOOD INSURANCE RATE MAP (FIRM) MAP NUMBER 29095C0409G, REVISION DATE JANUARY 20, 2017.

AIRIA FIRST PLAT LOT 1:
AS PROVIDED BY STEWART TITLE GUARANTY COMPANY:
TRACT OF LAND IN THE NORTHEAST QUARTER OF SECTION 30 TOWNSHIP 48 NORTH, RANGE 31 WEST OF THE 5TH PRINCIPAL MERIDIAN IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI BEING BOUNDED AND DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF SAID NORTHEAST QUARTER SECTION; THENCE SOUTH 01 DEGREES 37 MINUTES 50 SECONDS WEST, ON THE WEST LINE OF SAID NORTHEAST QUARTER SECTION, 853.75 FEET TO A POINT ON THE SOUTHEAST LOT LINE OF LEE'S SUMMIT, LEE'S PLAT, SECTION 30, TOWNSHIP 48 NORTH, RANGE 31 WEST OF THE 5TH PRINCIPAL MERIDIAN, AS SHOWN ON A PLAT OF THE SAID SECTION 30 IN THE JACKSON COUNTY RECORDER OF DEEDS OFFICE, THENCE NORTH 50 DEGREES 41 MINUTES 15 SECONDS EAST, ON SAID SOUTHEAST LOT LINE, 59.22 FEET; TO THE POINT OF BEGINNING OF THE TRACT OF LAND TO BE HEREIN DESCRIBED; THENCE CONTINUING NORTH 50 DEGREES 41 MINUTES 15 SECONDS EAST, ALONG SAID LINE, 116.89 FEET; THENCE NORTH 44 DEGREES 49 MINUTES 51 SECONDS EAST, 792.38 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF NW LEE'S SUMMIT ROAD AS ESTABLISHED BY DOCUMENT NUMBER 2015E0017982 IN THE JACKSON COUNTY RECORDER OF DEEDS OFFICE; THENCE ON SAID WESTERLY RIGHT-OF-WAY LINE, SOUTH 54 DEGREES 34 MINUTES 12 SECONDS EAST, 95.69 FEET; THENCE SOUTHEASTERLY ALONG A CURVE TO THE RIGHT BEING TANGENT TO THE LAST DESCRIBED COURSE WITH A RADIUS OF 1,142.00 FEET, A CENTRAL ANGLE OF 56 DEGREES 01 MINUTES 43 SECONDS AND AN ARC DISTANCE OF 1,116.74 FEET; THENCE SOUTH 01 DEGREES 27 MINUTES 31 SECONDS WEST, 322.27 FEET; THENCE LEAVING SAID RIGHT-OF-WAY LINE, NORTH 88 DEGREES 02 MINUTES 27 SECONDS EAST, 175.74 FEET; THENCE NORTH 01 DEGREES 27 SECONDS EAST, 62.94 FEET; THENCE NORTH 90 DEGREES 00 MINUTES 00 SECONDS WEST, 195.68 FEET; THENCE NORTH 45 DEGREES 00 MINUTES 00 SECONDS WEST, 889.18 FEET TO THE POINT OF BEGINNING, CONTAINING 979,968 SQUARE FEET OR 22.50 ACRES, MORE OR LESS.

DISCOVERY PARK ZONE 1:
A TRACT OF LAND IN THE NORTHEAST QUARTER OF SECTION 30 TOWNSHIP 48 NORTH, RANGE 31 WEST OF THE 5TH PRINCIPAL MERIDIAN IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI BEING BOUNDED AND DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF SAID NORTHEAST QUARTER SECTION; THENCE SOUTH 01°37'50" WEST, ON THE WEST LINE OF SAID QUARTER SECTION, 853.75 FEET TO A POINT ON THE SOUTHEAST LOT LINE OF LOT 1, LEE'S SUMMIT ROAD PUMP STATION, A SUBDIVISION RECORDED IN BOOK 1 51 AT PAGE 90 IN THE JACKSON COUNTY RECORDER OF DEEDS OFFICE, AND THE POINT OF BEGINNING OF THE TRACT OF LAND TO BE HEREIN DESCRIBED; THENCE NORTH 50°41'15" EAST, ON SAID SOUTHEAST LOT LINE, 59.22 FEET; THENCE LEAVING SAID LOT LINE, SOUTH 45°00'00" EAST, 889.18 FEET; THENCE NORTH 90°00'00" EAST, 195.68 FEET; THENCE SOUTH 01°27'27" WEST, 62.94 FEET; THENCE NORTH 88°32'29" EAST, 375.74 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF NE DOUGLAS STREET AS ESTABLISHED BY DOCUMENT NUMBER 2015E0017982 IN THE JACKSON COUNTY RECORDER OF DEEDS OFFICE; THENCE ON SAID WESTERLY RIGHT-OF-WAY LINE, SOUTH 01°27'31" WEST, 1,114.58 FEET; THENCE SOUTH 46°40'17" WEST, 35.22 FEET TO THE INTERSECTION OF THE NORTHERLY RIGHT-OF-WAY LINE OF NE COLBURN ROAD AS ESTABLISHED BY A SURVEY PROVIDED BY HAMILTON STERRETT AND DOOLEY, PROJECT NUMBER 99021; THENCE ON SAID NORTHERLY RIGHT-OF-WAY LINE NORTH 88°06'56" WEST, 730.85 FEET; THENCE WESTERLY ALONG A CURVE TO THE LEFT HAVING AN INITIAL TANGENT BEARING OF NORTH 87°33'04" WEST WITH A RADIUS OF 2,904.93 FEET, A CENTRAL ANGLE OF 10°06'02" AND AN ARC DISTANCE OF 512.10 FEET TO THE SOUTHWEST CORNER OF THE SAID NORTHEAST QUARTER; THENCE NORTH 01°37'22" EAST, ON THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 30, A DISTANCE OF 1,328.05 FEET TO THE NORTHWEST CORNER OF THE SOUTHWEST QUARTER OF THE SAID NORTHEAST QUARTER; THENCE CONTINUING ON THE SAID WEST LINE, NORTH 01°37'50" EAST, 473.96 FEET TO THE POINT OF BEGINNING. CONTAINING 1,717,197 SQUARE FEET OR 39.42 ACRES, MORE OR LESS.

BY

TITLE SHEET
MASS GRADING PLANS

drawn by: _____ GS/OS/JN
checked by: _____ AR/JN
approved by: _____ DE
QA/QC by: _____ DE
project no.: _____ D21-04643
drawing no.: _____
date: _____ 06-02-2023

SHEET
C300

GENERAL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THE PLANS IN THEIR POSSESSION ARE THE MOST CURRENT VERSION ISSUED, ARE FULLY COORDINATED WITH ALL SUBCONTRACTORS, AND PRESENT ON SITE AT ALL TIMES. CURRENT PLANS PREPARED BY OLSSON MAY BE OBTAINED AT THE DIRECTION OF OLSSON'S CLIENT. DIRECT REQUESTS TO OLSSON MAY REQUIRE ADDITIONAL AUTHORIZATIONS, AGREEMENTS, AND/OR FEES. PLEASE CONTACT THE ENGINEER FOR INFORMATION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DEVIATIONS FROM THESE PLANS UNLESS WRITTEN APPROVAL FROM ENGINEER, OWNER, AND DEVELOPER.
3. ALL WORK AND MATERIALS SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE OWNER OR THE OWNER'S REPRESENTATIVE.
4. ALL ESTIMATES OF QUANTITIES ARE FOR INFORMATIONAL PURPOSES ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING QUANTITIES AND ITEMS OF WORK.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL LABOR, MATERIALS, AND EQUIPMENT REQUIRED TO COMPLETE THE WORK SHOWN IN THE PLANS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS, PAYING ALL FEES, AND FOR OTHERWISE COMPLYING WITH ALL APPLICABLE REGULATIONS GOVERNING THE WORK.
7. THE CONTRACTOR SHALL NOT ENGAGE IN ACTIVITIES THAT MAY ENCROACH ON WATERS OF THE U.S., INCLUDING WETLANDS, UNTIL ANY NECESSARY PERMITS MAY BE OBTAINED. THE CONTRACTOR SHALL REVIEW AND COMPLY WITH ALL CONDITIONS DESCRIBED IN THE PERMIT.
8. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, THE SAFETY OF ALL PERSONS INCLUDING VISITORS AND THE GENERAL PUBLIC, AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY THROUGHOUT THE PROJECT AND NOT BE LIMITED BY WORKING HOURS. ANY CONSTRUCTION OBSERVATION BY THE ENGINEER OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES.
9. PRIOR TO COMMENCEMENT OF WORK THE CONTRACTOR SHALL NOTIFY AND COORDINATE WITH ALL UTILITY COMPANIES AND OBTAIN ANY RELEVANT INFORMATION. NOTIFY ENGINEER OF ANY DISCREPANCIES.
10. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL BOUNDARY CORNERS AND SECTION CORNERS. ANY BOUNDARY CORNER AND/OR SECTION CORNER DISTURBED OR DAMAGED BY CONSTRUCTION ACTIVITIES SHALL BE RESET BY A LAND SURVEYOR LICENSED IN THE STATE OF MISSOURI, AT THE CONTRACTOR'S EXPENSE.
11. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ADJACENT PROPERTIES AND SHALL TAKE ALL PRECAUTIONS NECESSARY TO PREVENT DAMAGE DURING CONSTRUCTION. THE CONTRACTOR IS ALSO RESPONSIBLE FOR REPAIRING ANY DAMAGE RESULTING FROM CONSTRUCTION ACTIVITIES.
12. PRIOR TO MOVING OFF THE JOB THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER TO PERFORM A FINAL WALK-THROUGH OF THE CONSTRUCTION SITE.

REFERENCES

1. UNLESS EXPLICITLY DESCRIBED OTHERWISE WITHIN THESE PLANS THE FOLLOWING SHALL APPLY;
 - A. ALL CONSTRUCTION, INCLUDING THOSE LISTED BELOW, SHALL CONFORM TO THE LATEST CODES AND ORDINANCES OF LEE'S SUMMIT, MISSOURI.
 - B. ALL CONSTRUCTION IN MODOT RIGHT-OF-WAY SHALL CONFORM TO THE LATEST SPECIFICATIONS ADOPTED BY U.S. DEPARTMENT OF TRANSPORTATION AND MODOT.
 - C. ALL TRAFFIC CONTROL SIGNAGE SHALL CONFORM WITH THE CURRENT EDITION OF THE MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
 - D. ALL UTILITY EXTENSIONS AND CONSTRUCTION SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE UTILITY COMPANIES..
 - E. ALL EXTERIOR PAVEMENT (PCC, ASPHALT, ETC.) SHALL BE IN CONFORMANCE WITH THE SPECIFICATIONS OF LEE'S SUMMIT, MISSOURI AND THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT.
4. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE DELIVERY MANAGER AND COORDINATING ANY MAILBOXES THAT MAY BE DISTURBED. FAILURE TO DO SO MAY SUBJECT THE CONTRACTOR TO PROSECUTION BY THE FEDERAL GOVERNMENT.

EXISTING CONDITIONS

1. THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS OF THE PROJECT AREA.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING THEIR OWN INVESTIGATIONS AND MAKING THEIR OWN ASSUMPTIONS REGARDING SITE SURFACE AND SUBSURFACE CONDITIONS. THIS INCLUDES THE LOCATION AND CONSISTENCY OF ANY EXISTING ROCK LAYERS UNDERLYING THE PROJECT SITE. CONTACT THE ENGINEER REGARDING ANY DISCREPANCIES THAT MAY AFFECT THE ABILITY TO CONSTRUCT FROM THESE PLANS AS DESIGNED.
3. EXISTING CONDITIONS WERE DETERMINED THROUGH A VARIETY OF METHODS THAT MAY INCLUDE SURVEY, AERIAL IMAGERY, AVAILABLE RECORDS, GIS DATA, ETC. SUBSURFACE CONDITIONS ARE APPROXIMATE AND MAY NOT INCLUDE ALL UTILITIES AND OTHER SITE IMPROVEMENTS PRESENT ON SITE. THE CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS AND LOCATE EXISTING UNDERGROUND UTILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO PLANS WHEN CONFLICTS AND DISCREPANCIES ARE FOUND.

CONSTRUCTION

1. THE CONTRACTOR SHALL INSTALL TRAFFIC CONTROL WHILE WORKING IN THE PUBLIC RIGHT-OF-WAY AS SHOWN IN THESE PLANS. IF PLANS ARE NOT PROVIDED, CONTRACTOR SHALL COORDINATE AND PROVIDE CONTROLS TO THE SATISFACTION OF THE RIGHT-OF-WAY OWNER.
2. THE CONTRACTOR SHALL PROTECT ALL TREES OVER 3" CALIPER FROM DAMAGE. NO TREE SHALL BE REMOVED WITHOUT PERMISSION OF THE OWNER, UNLESS SHOWN OTHERWISE ON THESE PLANS.
3. THE CONTRACTOR SHALL DISPOSE ALL WASTE MATERIAL RESULTING FROM THE PROJECT OFF-SITE AND IN STRICT CONFORMANCE WITH ALL LOCAL CODES AND ORDINANCES.
4. ALL MANHOLES, CATCH BASINS, UTILITY VALVES AND METER PITS ARE TO BE ADJUSTED OR REBUILT TO GRADE AS REQUIRED. NOT ALL ADJUSTMENTS ARE INDICATED IN THE PLANS.
5. THE CONTRACTOR SHALL STREET SWEEP OR OTHERWISE CLEAN ALL ACCESS ROUTES TO THE SITE AT CONCLUSION OF THE PROJECT.

GENERAL NOTES:

1. THE INTENT OF THIS LAND DISTURBANCE PLAN IS TO ASSIST THE DEVELOPER IN HIS RESPONSIBILITY TO PROVIDE ALL MATERIALS, TOOLS, EQUIPMENT AND LABOR NECESSARY TO CONTROL EROSION, SILTATION AND DISCHARGES OF SOIL MATERIAL (SEDIMENT) INTO DOWNSTREAM SYSTEMS OR RECEIVING CHANNELS. THIS SHALL BE REQUIRED DURING ALL PHASES OF CONSTRUCTION AND UNTIL SUITABLE GROUND COVER IS ESTABLISHED FOR ALL DISTURBED AREAS. IF ANY METHOD OF CONTROL FAILS, THE DEVELOPER SHALL NOTIFY THE OWNER IMMEDIATELY, SO THAT THE OWNER OR HIS AGENT CAN REVIEW THE DEVELOPER'S PROPOSED METHOD OF REPAIR.

THIS PLAN INDICATES THE CRITICAL AREA(S) OF CONCERN AND THESE AREA(S) WILL BE CONTROLLED AS A MINIMUM. THE CONTROL MAY CONSIST OF TEMPORARY CONTROL MEASURES AS SHOWN ON THE PLANS OR ORDERED BY THE OWNER DURING THE LIFE OF THE CONTRACT TO CONTROL EROSION OR WATER POLLUTION, THROUGH THE USE OF BERMS, DIKES, DAMS, SEDIMENT BASINS, FIBER MATS, NETTING, STRAW BALES, GRAVEL, MULCHES, GRASSES, SLOPE DRAINS, DIVERSION SWALES OR OTHER EROSION CONTROL DEVICES OR METHODS. THE OWNER HAS THE AUTHORITY TO LIMIT THE SURFACE AREA OF ERODIBLE EARTH MATERIAL EXPOSED BY THE CONSTRUCTION OPERATIONS AND TO DIRECT THE DEVELOPER TO PROVIDE IMMEDIATE PERMANENT OR TEMPORARY POLLUTION CONTROL MEASURES TO PREVENT CONTAMINATION OF ADJACENT STREAMS OR OTHER WATER COURSES, LAKES, PONDS, OR OTHER AREAS OF WATER IMPOUNDMENT OR CONVEYANCES.

THE TEMPORARY POLLUTION CONTROL PROVISIONS CONTAINED HEREIN SHALL BE COORDINATED WITH ANY PERMANENT EROSION CONTROL FEATURES SPECIFIED ELSEWHERE IN THE CONTRACT TO THE EXTENT PRACTICAL TO ASSURE ECONOMICAL, EFFECTIVE AND CONTINUOUS EROSION CONTROL THROUGHOUT THE CONSTRUCTION AND POST CONSTRUCTION PERIOD.

2. THIS SEDIMENTATION CONTROL PLAN MAKES USE OF THE FOLLOWING APPLICATIONS:
 - ___X___ PRESERVATION OF EXISTING VEGETATION
 - ___X___ SEDIMENT BARRIERS
 - ___X___ SEDIMENT TRAPS
 - ___X___ INLET PROTECTION
 - ___OUTLET PROTECTION
 - ___SOIL RETAINING SYSTEMS
 - ___SLOPE DRAINS
 - ___SUBSURFACE DRAINS

PHYSICAL DESCRIPTION OF EACH SPECIFIC SEDIMENT CONTROL DEVICE TO BE UTILIZED IS CALLED OUT ON THE PLANS WITH INSTALLATION PROCEDURES, CONSTRUCTION SPECIFICATIONS AND MAINTENANCE ARRANGEMENT AS CALLED FOR ON THE DETAIL SHEET. IN ADDITION TO THE MEASURES SPECIFIED, THE FOLLOWING GENERAL PRACTICES SHALL BE ADHERED TO WHEN APPLICABLE.

A) CLEARING AND GRUBBING WITHIN 50' OF A DEFINED DRAINAGE COURSE SHOULD BE AVOIDED WHEN POSSIBLE. WHERE CHANGES TO A DEFINED DRAINAGE COURSE OCCUR, WORK SHOULD BE DELAYED UNTIL ALL MATERIALS AND EQUIPMENT NECESSARY TO PROTECT AND COMPLETE THE DRAINAGE CHANGE ARE ON SITE. CHANGES SHALL BE COMPLETED AS QUICKLY AS POSSIBLE ONCE THE WORK HAS BEEN INITIATED. THE AREA IMPACTED BY THE CONSTRUCTION ACTIVITIES SHALL BE REVEGETATED OR PROTECTED FROM EROSION AS SOON AS POSSIBLE. AREAS WITHIN 50' OF A DEFINED DRAINAGE WAYS SHOULD BE RECONTOURED AS NEEDED OR OTHERWISE PROTECTED WITHIN FIVE (5) WORKING DAYS AFTER GRADING HAS CEASED.

B) WHERE SOIL DISTURBING ACTIVITIES CEASE IN AN AREA FOR MORE THAN 14 DAYS, THE DISTURBED AREAS SHALL BE PROTECTED FROM EROSION BY STABILIZING THE AREA WITH MULCH OR OTHER SIMILARLY EFFECTIVE EROSION CONTROL MEASURES. IF THE SLOPE OF THE AREA IS GREATER THAN 3:1 OR IF THE SLOPE IS GREATER THAN 3% AND GREATER THAN 150 FEET IN LENGTH, THEN THE DISTURBED AREAS SHALL BE PROTECTED FROM EROSION BY STABILIZING THE AREA WITH MULCH OR OTHER SIMILARLY EFFECTIVE EROSION CONTROL MEASURES IF ACTIVITIES CEASE FOR MORE THAN SEVEN (7) DAYS.

C) EXISTING VEGETATION SHALL BE PRESERVED TO THE EXTENT AND WHERE PRACTICAL. IN NO CASE SHALL DISTURBED AREAS REMAIN WITHOUT VEGETATIVE GROUND COVER FOR A PERIOD IN EXCESS OF 60 DAYS.

D) ADDITIONAL SITE MANAGEMENT PRACTICES WHICH SHALL BE ADHERED TO DURING THE CONSTRUCTION PROCESS SHALL INCLUDE:

SOLID AND HAZARDOUS WASTE MANAGEMENT INCLUDING PROVIDING TRASH CONTAINERS AND REGULAR SITE CLEAN UP FOR PROPER DISPOSAL OF SOLID WASTE SUCH AS BUILDING MATERIAL, PRODUCT/MATERIAL SHIPPING WASTE, FOOD CONTAINERS AND CUPS, AND PROVIDING CONTAINERS FOR THE PROPER DISPOSAL OF WASTE PAINTS SOLVENTS, AND CLEANING COMPOUNDS.

PROVISIONS OF PORTABLE TOILETS FOR PROPER DISPOSAL OF SANITARY SEWAGE.

STORAGE OF CONSTRUCTION MATERIALS AWAY FROM DRAINAGE COURSES AND LOW AREAS.

INSTALLATION OF CONTAINMENT BERMS AND USE OF DRIP PANS AT PETROLEUM PRODUCT AND LIQUID STORAGE TANKS AND CONTAINERS.

3. ALL DISTURBED AREAS SHALL BE SEEDED, FERTILIZED AND MULCHED, OR SODDED, IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS ADOPTED BY THE CITY OF LEE'S SUMMIT AND GOOD ENGINEERING PRACTICES. THIS SHALL BE COMPLETED WITHIN FOURTEEN (14) DAYS AFTER COMPLETING THE WORK, IN ANY AREA, IF THIS IS OUTSIDE OF THE SEEDING PERIOD, SILT BARRIERS OR OTHER SIMILARLY EFFECTIVE MEASURES SHALL BE PROVIDED UNTIL SUCH TIME THAT THE AREAS CAN BE SEEDED.

4. THE CONSTRUCTION COVERED BY THESE PLANS SHALL CONFORM TO ALL CURRENT STANDARDS AND SPECIFICATIONS ADOPTED BY THE CITY OF LEE'S SUMMIT. THE DEVELOPER WILL BE RESPONSIBLE FOR DETERMINING ALL ADDITIONAL STANDARDS, SPECIFICATIONS OR REQUIREMENTS WHICH ARE REQUIRED BY GOVERNING AGENCIES (INCLUDING LOCAL, STATE AND FEDERAL AUTHORITIES) HAVING JURISDICTION OVER THE WORK PROPOSED BY THESE CONSTRUCTION DRAWINGS.

5. ALL EROSION CONTROL MEASURES, TEMPORARY OR PERMANENT, REQUIRE MAINTENANCE TO PRESERVE THEIR EFFECTIVENESS. ALL EROSION CONTROL DEVICES SHALL BE INSPECTED IMMEDIATELY AFTER EACH HEAVY RAINSTORM AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHOULD BE MADE IMMEDIATELY. ALL COSTS ASSOCIATED WITH THE REPAIR WORK INCLUDING RELATED INCIDENTALS WILL BE THE DEVELOPER'S RESPONSIBILITY AND SHALL BE INCLUDED IN THE DEVELOPER'S BID FOR THE PROPOSED WORK.

6. ALL EROSION CONTROL MEASURES TO BE PER APWA KANSAS CITY METRO CHAPTER STANDARD DETAILS.

7. THE DEVELOPER MUST REMOVE AT HIS COST ANY BAD SUBSURFACE SOIL WHICH WOULD NOT BE ABLE TO SUPPORT ANY PROPOSED PUBLIC IMPROVEMENT. BACKFILL SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE CITY OF LEE'S SUMMIT DESIGN AND CONSTRUCTION MANUAL SECTIONS 2100 AND 2201 ENTITLED "GRADING AND SITE PREPARATION" AND "SUBGRADE PREPARATION".

8. THE CONTRACTOR SHALL CONTACT THE CITY'S DEVELOPMENT SERVICES ENGINEERING INSPECTORS 48 HOURS PRIOR TO ANY LAND DISTURBANCE WORK AT (816) 969-1200

9. TREE CLEARING TO HAPPEN BETWEEN NOVEMBER 1 AND MARCH 31. TREES CLEARED BETWEEN APRIL 1 AND OCTOBER 31 MUST BE TREES GREATER THAN 1,000 FEET FROM FORESTED OR WOODED AREAS OR TREES LESS THAN 3 INCHES IN DIAMETER, AT BREAST HEIGHT, AND NOT MIXED WITH LARGER TREES. IF LARGER TREES NEED TO BE CLEARED, A SURVEY OF THE TREES MUST BE CONDUCTED TO MAKE SURE THERE ARE NO BAT ROOSTS IN THE TREES. TREE CLEARING TO BE CONDUCTED BY CUTTING DOWN AND MULCHING OR BY PUSHING OVER AND MULCHING. TREES SHALL NOT BE BURNED DOWN.

ESTIMATE OF QUANTITIES				
ITEM NO.	DESCRIPTION	UNIT	QUANTITY	AS-BUILT
SITE DISTURBANCE				
1	DIVERSION BERM	L.F.	6254	
2	SILT FENCE	L.F.	1,667	
3	ROCK DITCH CHECK	EA.	19	
4	TREE CLEARING	AC.	27.74	
5	DISTURBED AREA	AC.	61.91	
6	INLET PROTECTION	EA.	26	

SUMMARY OF QUANTITIES AS INDICATED ABOVE AND ANY QUANTITIES AS SHOWN WITHIN THE PLANS HAVE BEEN PROVIDED FOR PERMITTING PURPOSES ONLY AND ARE NOT INTENDED FOR USE IN PREPARATION OF CONTRACT DOCUMENTS. QUANTITIES INTENDED FOR, BUT NOT LIMITED TO, THE PREPARATION OF PROPOSALS AND BID DOCUMENTS SHALL BE INDEPENDENTLY EVALUATED BY THE ESTIMATING PARTY BASED UPON THE CONTENTS OF THESE PLANS.

olsson

Olsson - Civil Engineering
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North Kansas City, MO 64116
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STATE OF MISSOURI
DAVID L. EICKMAN
NUMBER
PE-2009015436
6/14/23
PROFESSIONAL ENGINEER
CIVIL ENGINEERING

DAVID EICKMAN, P.E.
MO# 2009015436

BY

REV. NO.

DATE

REVISIONS DESCRIPTION

GENERAL NOTES
MASS GRADING PLANS

THE VILLAGE AT DISCOVERY PARK & ARIA APARTMENTS
NW COLBURN RD & NE DOUGLAS ST

LEE'S SUMMIT, MISSOURI





drawn by: GS/SOS/JN
checked by: AR/JN
approved by: DE
QA/QC by: DE
project no.: D21-04643
drawing no.:
date: 06-02-2023

2023

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C301

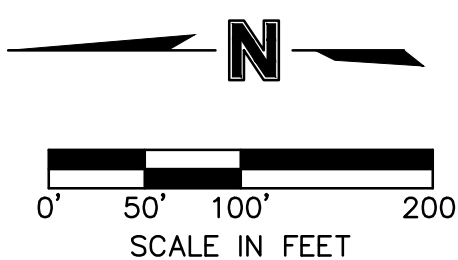


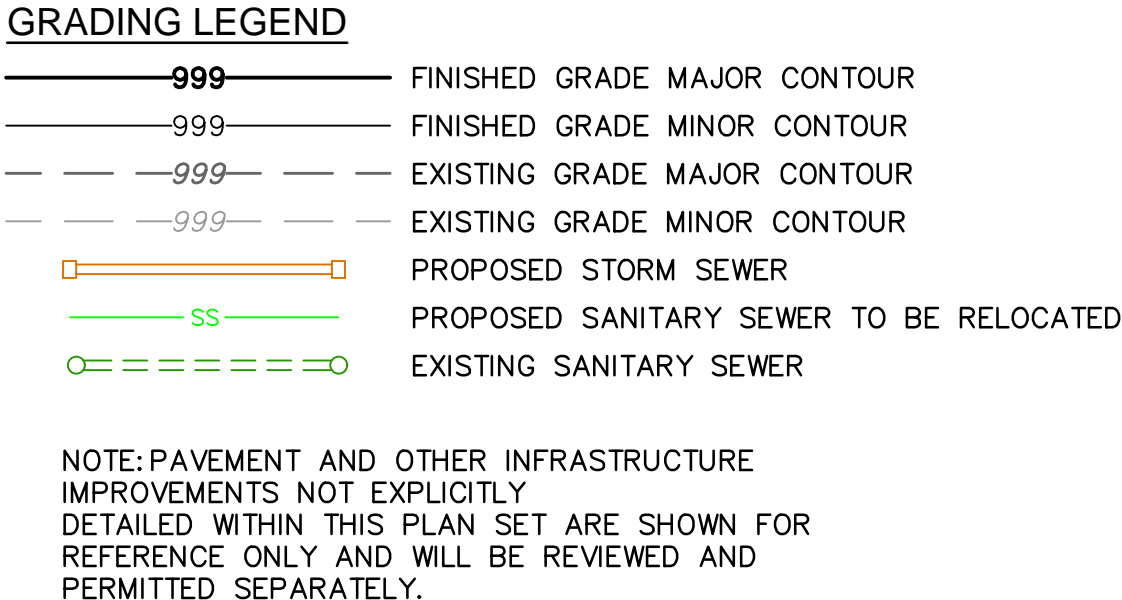
GRADING LEGEND

-
- 999 — FINISHED GRADE MAJOR CONTOUR
 - - - 999 - - - FINISHED GRADE MINOR CONTOUR
 — 999 — EXISTING GRADE MAJOR CONTOUR
 - - - 999 - - - EXISTING GRADE MINOR CONTOUR
 PROPOSED STORM SEWER
 PROPOSED SANITARY SEWER TO BE RELOCATED
 EXISTING SANITARY SEWER
 LIMITS OF DISTURBANCE

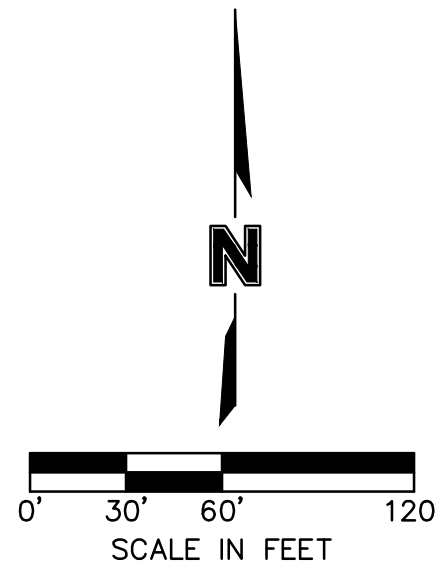
EARTHWORK QUANTITIES		
LOCATION	CUT (C.Y.)	FILL (C.Y.)
ARIA APARTMENTS	120,721	84,158
ZONE 1	91,058	393,869

1. EARTHWORK QUANTITIES BASED ON FINISHED GRADE SURFACE AND DO NOT INCLUDE ADJUSTMENTS FOR TOPSOIL AND SHRINKAGE.
2. EARTHWORK QUANTITIES DO NOT TAKE INTO CONSIDERATION EXCAVATION, REMOVAL AND DISPOSAL OF MATERIAL DEEMED UNSUITABLE BY A GEOTECHNICAL ENGINEER. THE EARTHWORK CONTRACTOR IS RESPONSIBLE FOR EXCAVATION, REMOVAL AND DISPOSAL OF UNSUITABLE MATERIAL AND FOR REPLACING IT WITH SUITABLE MATERIAL.
3. ELEVATIONS SHOWN ARE TO TOP OF PAVEMENT OR FINISHED GRADE. VOLUMES SHOWN DO NOT REFLECT PAVEMENT DEPTHS, SPOILS, TRENCH FILL, OR ANY OTHER ADJUSTMENTS.





NOTE: PAVEMENT AND OTHER INFRASTRUCTURE IMPROVEMENTS NOT EXPLICITLY DETAILED WITHIN THIS PLAN SET ARE SHOWN FOR REFERENCE ONLY AND WILL BE REVIEWED AND PERMITTED SEPARATELY.



MATCH LINE - SEE SHEET C312

DWG: F:\2021\04501-05000\021-04643-d\40-design\AutoCAD\final plans\Sheets\GNCV\Site Disturbance Plans\C_GRD01_D2104643.dwg
DATE: Jun 14, 2023 9:59am XREFS: C_XALTA_B2104643 C_PTBLK_D2104643 C_PBNDY_D2104643 C_PUTIL_D2104643
USER: aromanov C_PBASE_D2104643
Discovery Control T_PBASE_D02104643

GRADING PLAN (NORTH)
MASS GRADING PLANS

THE VILLAGE AT DISCOVERY PARK & ARIA APARTMENTS
NW COLBERN RD & NE DOUGLAS ST

LEE'S SUMMIT, MISSOURI

MASS GRADING PLANS

REV. NO.	DATE	REVISIONS DESCRIPTION	BY
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REVISIONS DESCRIPTION

BY

GRADING PLAN (NORTH) MASS GRADING PLANS	2023
THE VILLAGE AT DISCOVERY PARK & ARIA APARTMENTS NW COLBORN RD & NE DOUGLAS ST	
LEE'S SUMMIT, MISSOURI	

SHEET
C311

DAVID L. EICKMAN, P.E.
MO# 2009015436

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Olsson - Civil Engineering
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1301 Burlington Street
North Kansas City, MO 64116

LEE'S SUMMIT, MISSOURI

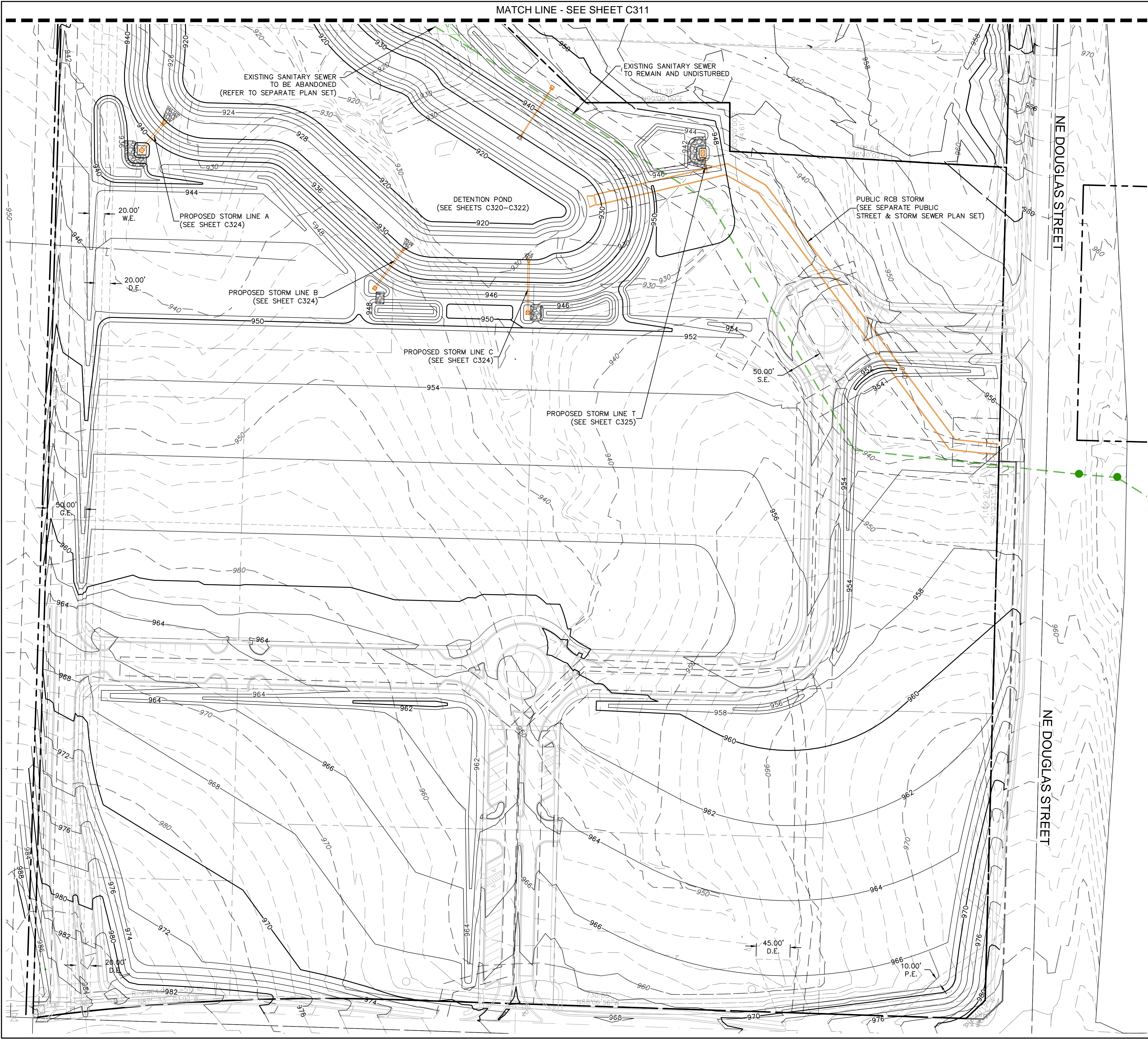
REVISIONS

2023

TEL 816.361.1177

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GRADING LEGEND

- 999 FINISHED GRADE MAJOR CONTOUR
- 999 FINISHED GRADE MINOR CONTOUR
- 999 EXISTING GRADE MAJOR CONTOUR
- 999 EXISTING GRADE MINOR CONTOUR
- PROPOSED STORM SEWER
- SS PROPOSED SANITARY SEWER TO BE RELOCATED
- EXISTING SANITARY SEWER

NOTE: PAVEMENT AND OTHER INFRASTRUCTURE IMPROVEMENTS NOT EXPLICITLY DETAILED WITHIN THIS PLAN SET ARE SHOWN FOR REFERENCE ONLY AND WILL BE REVIEWED AND PERMITTED SEPARATELY.

GRADING PLAN (SOUTH) MASS GRADING PLANS		THE VILLAGE AT DISCOVERY PARK & ARIA APARTMENTS NW COLBURN RD & NE DOUGLAS ST		LEE'S SUMMIT, MISSOURI	
drawn by: GS/SJS/IN		checked by: AR/JN		approved by: DE	
QA/QC by: DE		project no.: D21-04643		drawing no.: 01.20.2023	
date: 01.20.2023		SHEET C312		2023	
BY		REV. NO.		DATE	
REVISIONS DESCRIPTION		REV. NO.		DATE	
REVISIONS		REV. NO.		DATE	

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MOR 2009015436

STATE OF MISSOURI
DAVID L. EICKMAN
NUMBER
PE-2009015436
PROFESSIONAL SEAL

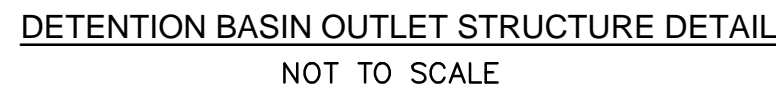
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Missouri Certificate of Authority #001592
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North Kansas City, MO 64116
TEL 816.361.1177
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Discovery Control

T_PBASE_D02104643

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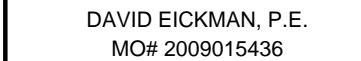
Discovery Control



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C314

2023

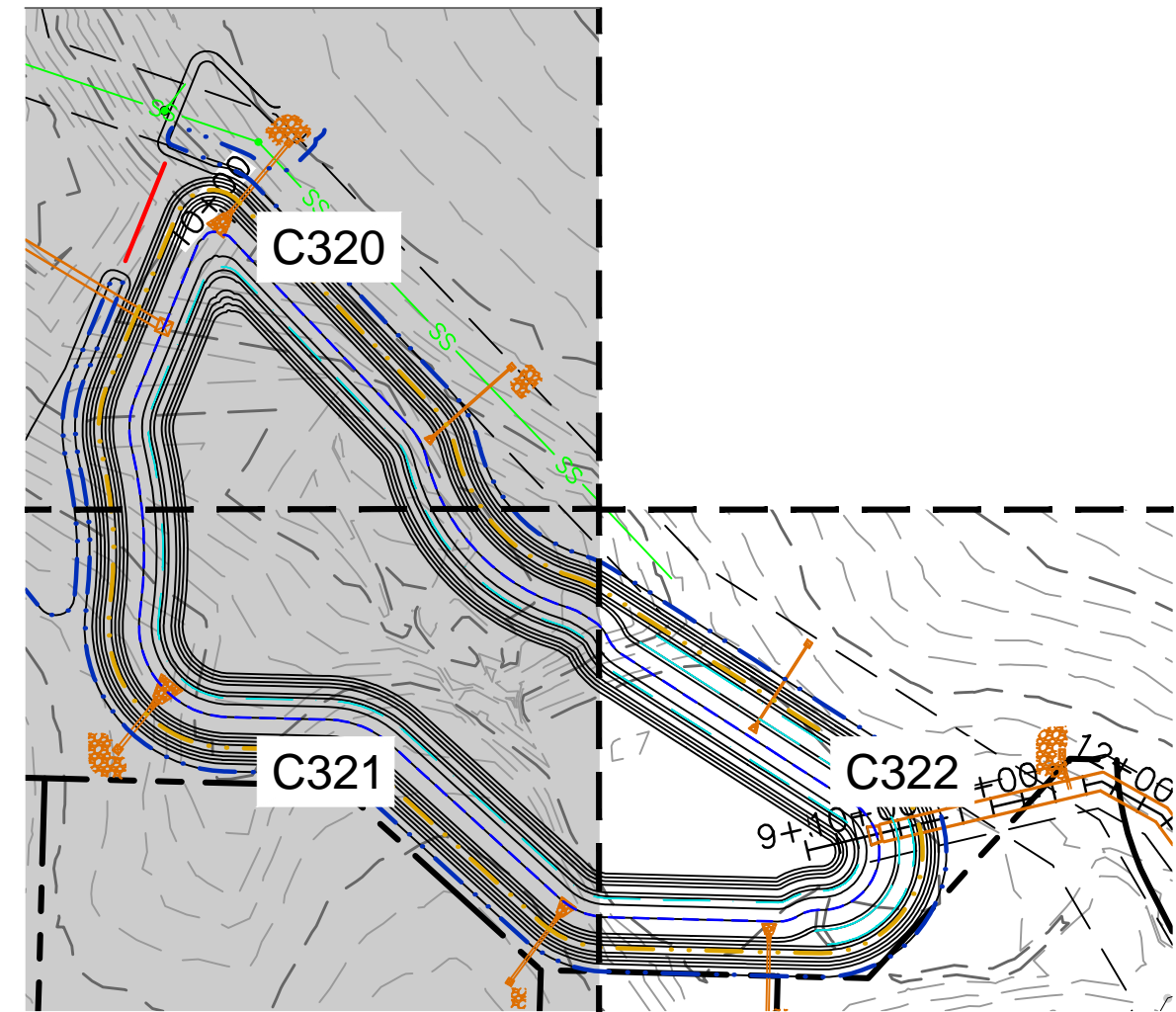
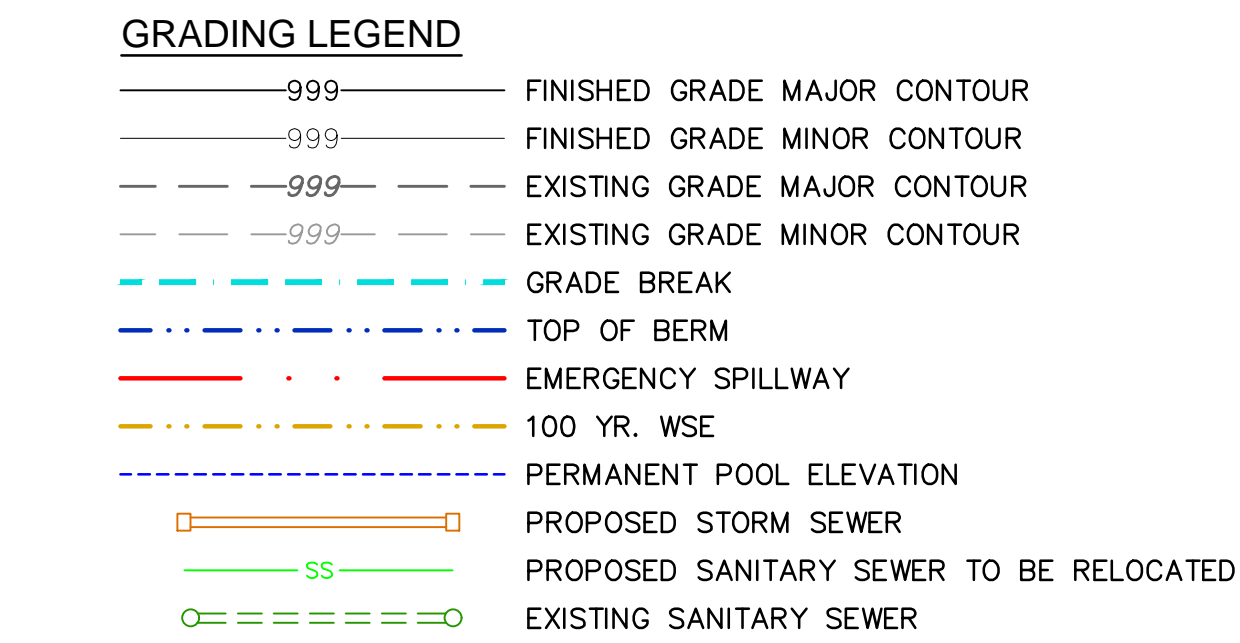
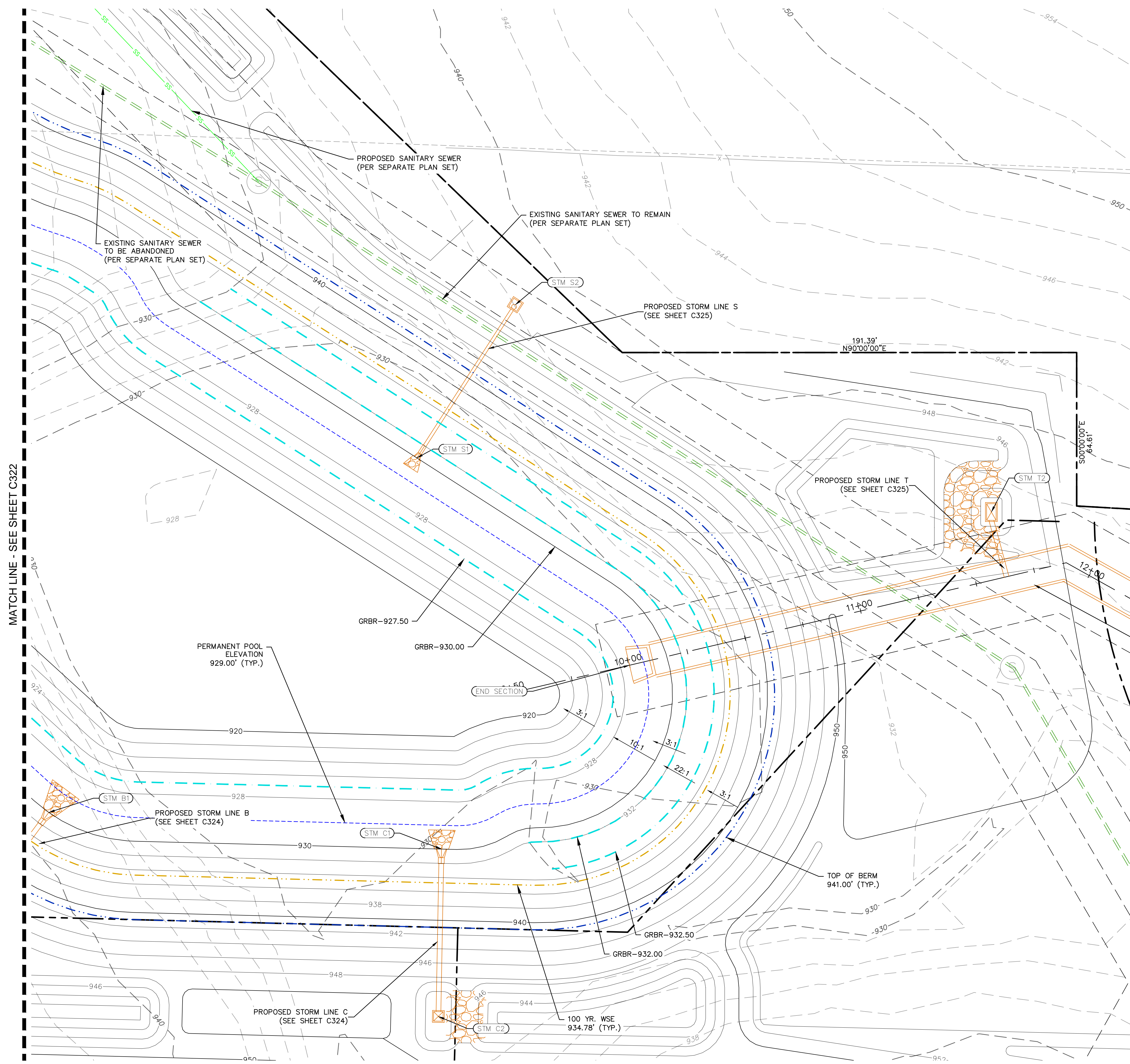
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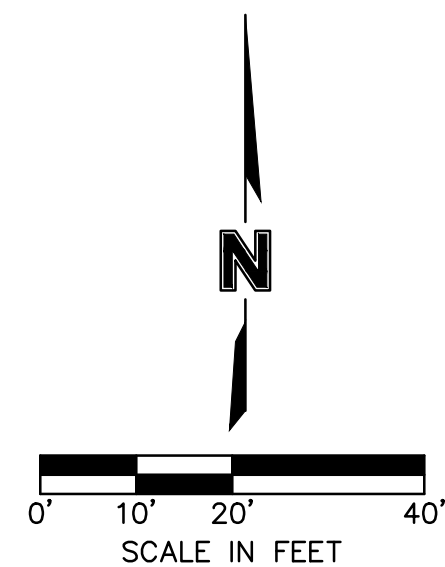
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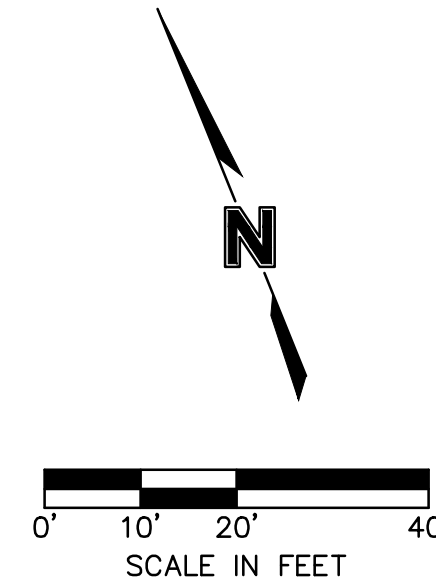
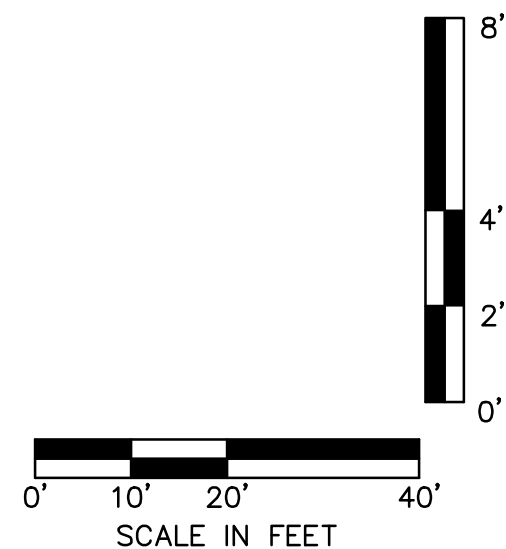
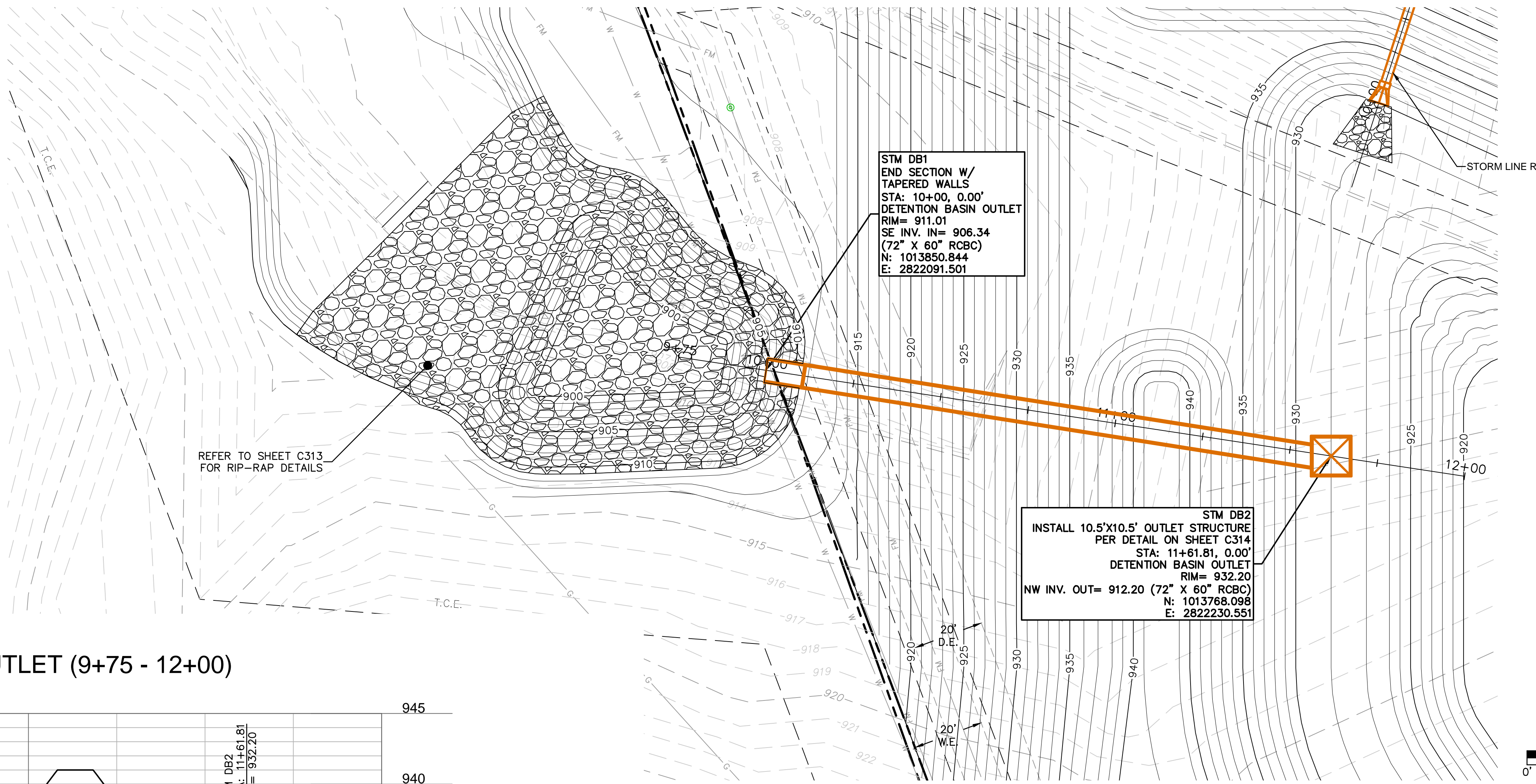
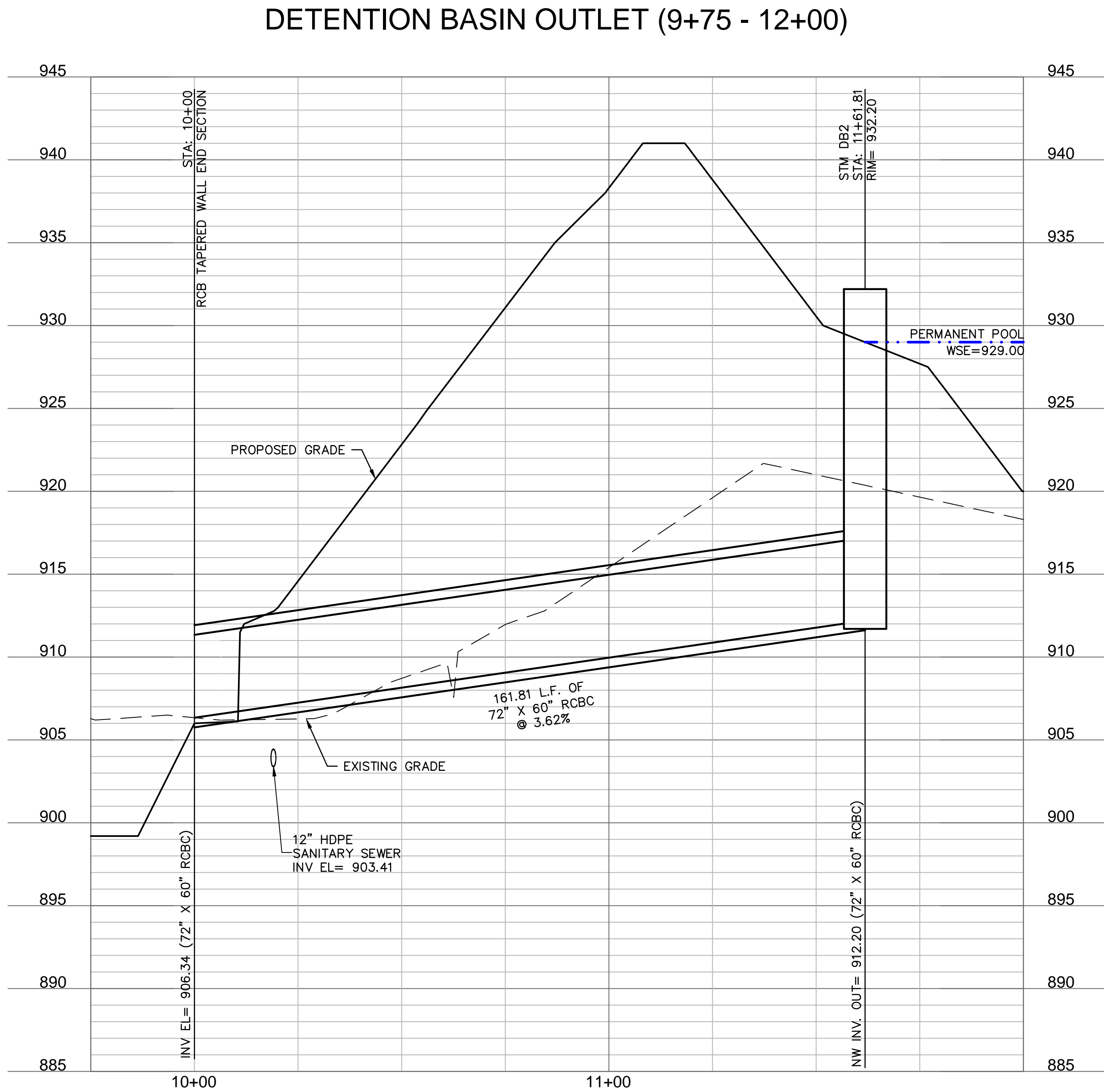


SITE KEY

PUBLIC RCB STORM
(SEE SEPARATE PUBLIC
STREET & STORM SEWER PLAN SET)

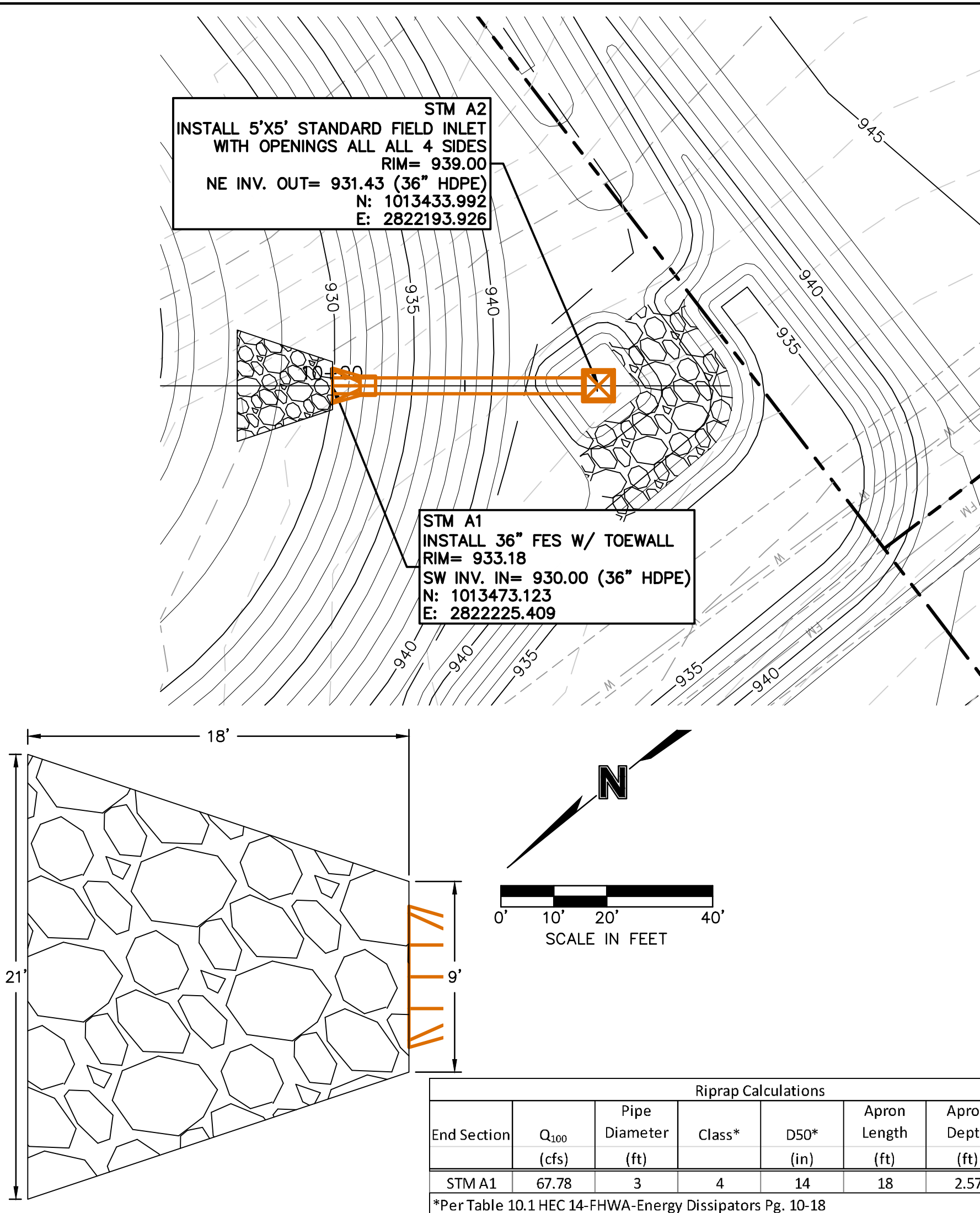


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USER: eromonov



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 DAVID L. EICKMAN, P.E. MOR 2009015436	
BY	REVISIONS
REV. NO.	DATE
STORM SEWER PLAN & PROFILES MASS GRADING PLANS	
THE VILLAGE AT DISCOVERY PARK & ARIA APARTMENTS NW COLBERN RD & NE DOUGLAS ST	
LEE'S SUMMIT, MISSOURI	
2023	
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SHEET C323	

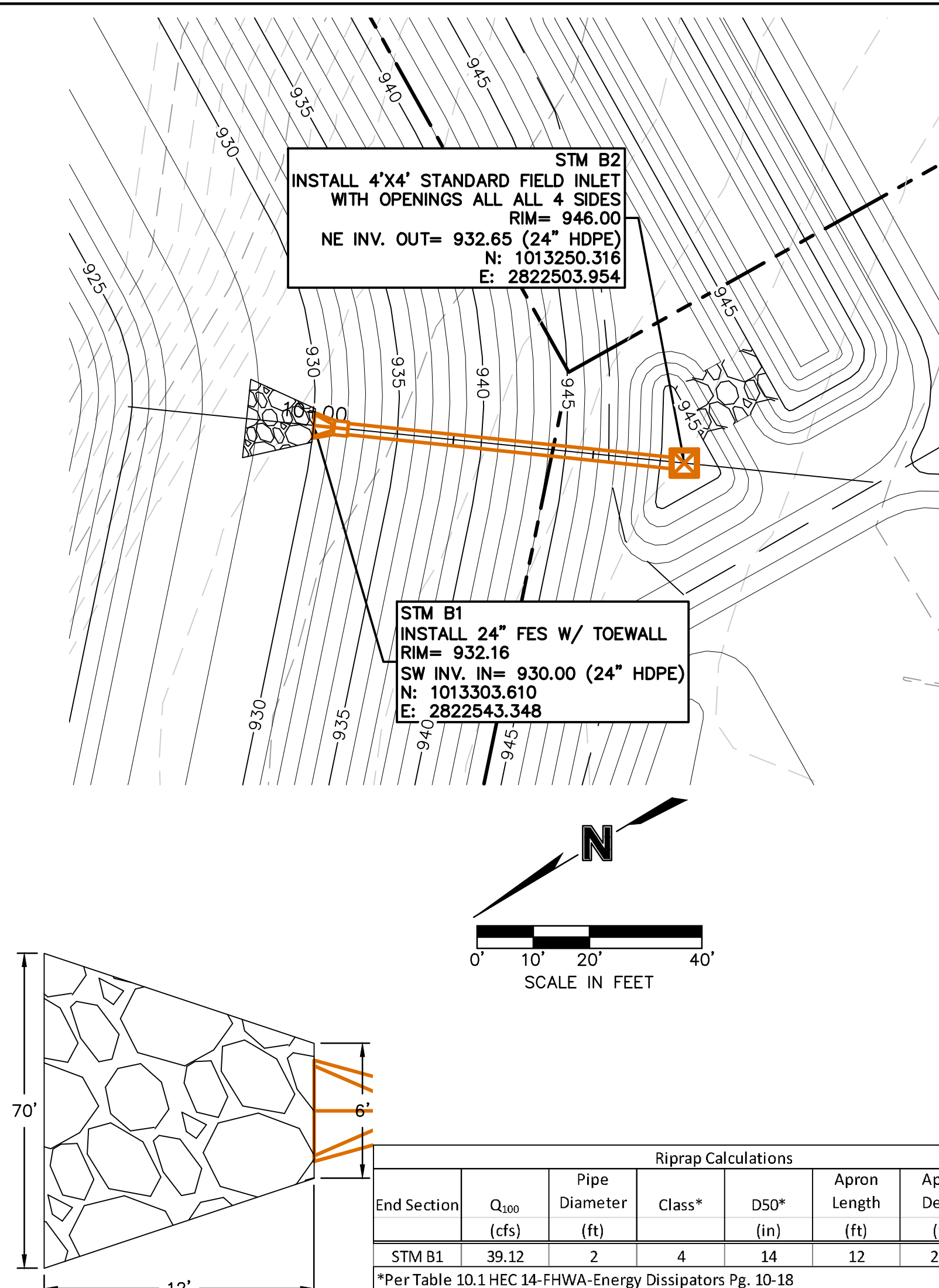
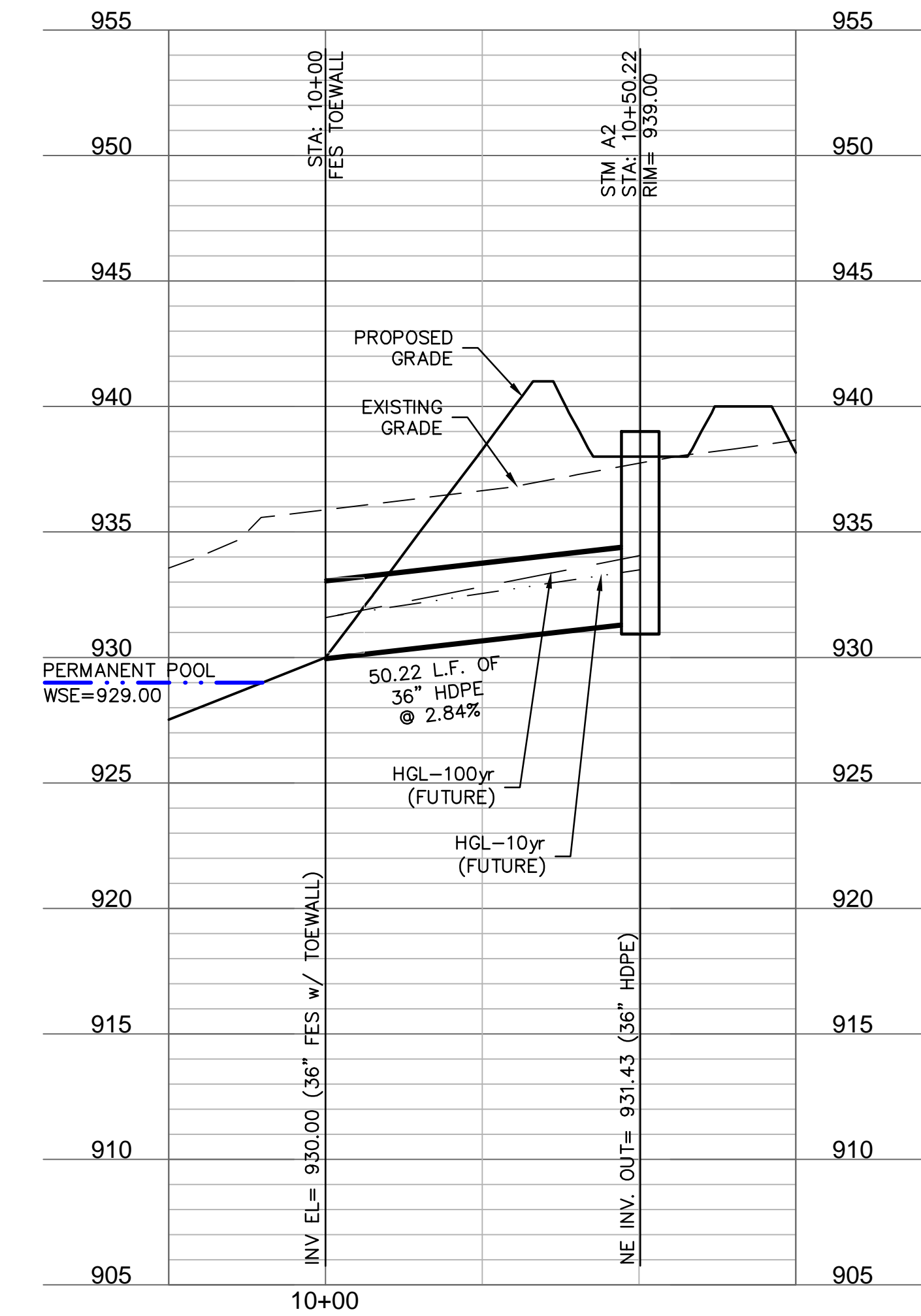
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Riprap Calculations						
End Section	Q ₁₀₀ (cfs)	Pipe Diameter (ft)	Class*	D50* (in)	Apron Length (ft)	Apron Depth (ft)
STM A1	67.78	3	4	14	18	2.57
STM A2	67.78	3	4	14	18	2.57

*Per Table 10.1 HEC 14-FHWA-Energy Dissipators Pg. 10-18

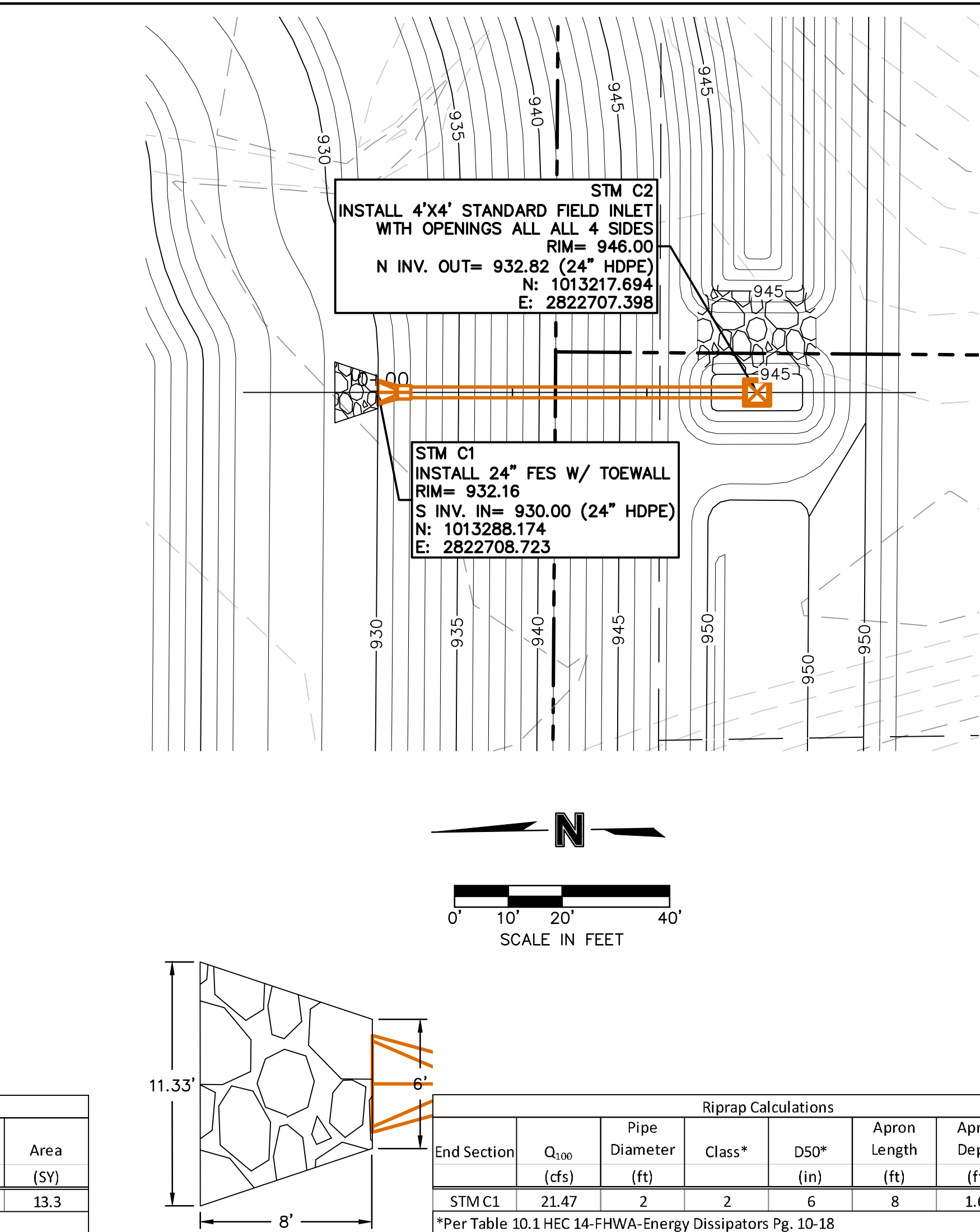
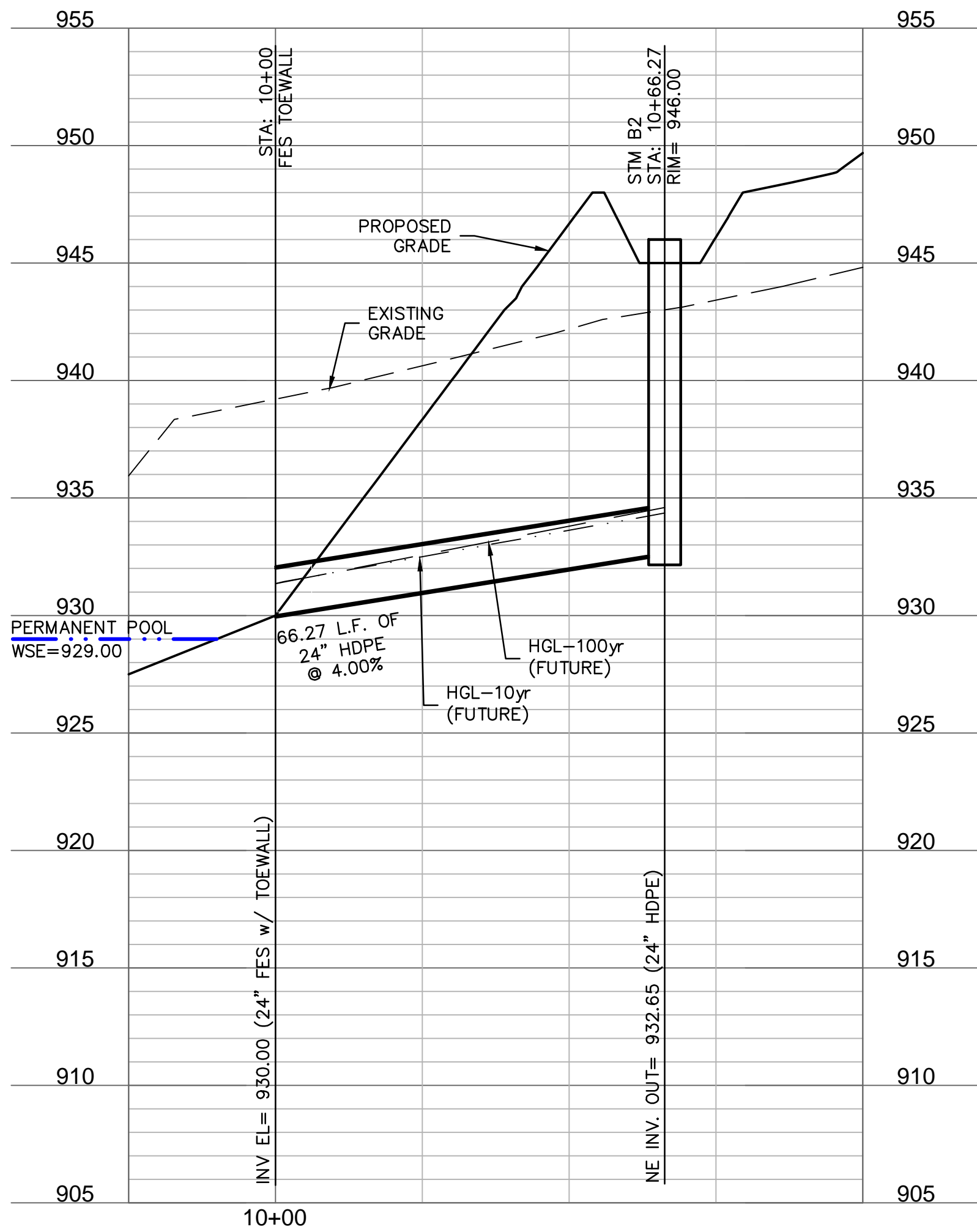
STORM LINE A (9+75 - 10+75)



Riprap Calculations						
End Section	Q ₁₀₀ (cfs)	Pipe Diameter (ft)	Class*	D50* (in)	Apron Length (ft)	Apron Depth (ft)
STM B1	39.12	2	4	14	12	2.57
STM B2	39.12	2	4	14	12	2.57

*Per Table 10.1 HEC 14-FHWA-Energy Dissipators Pg. 10-18

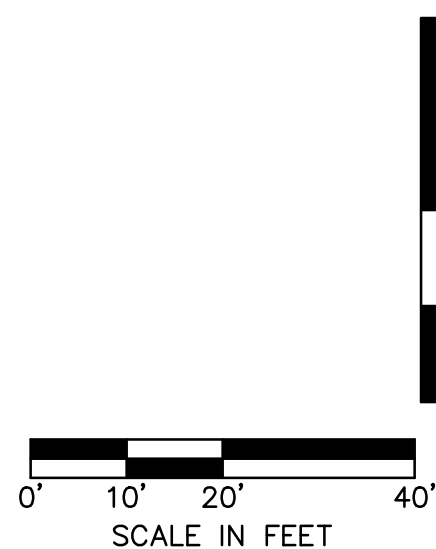
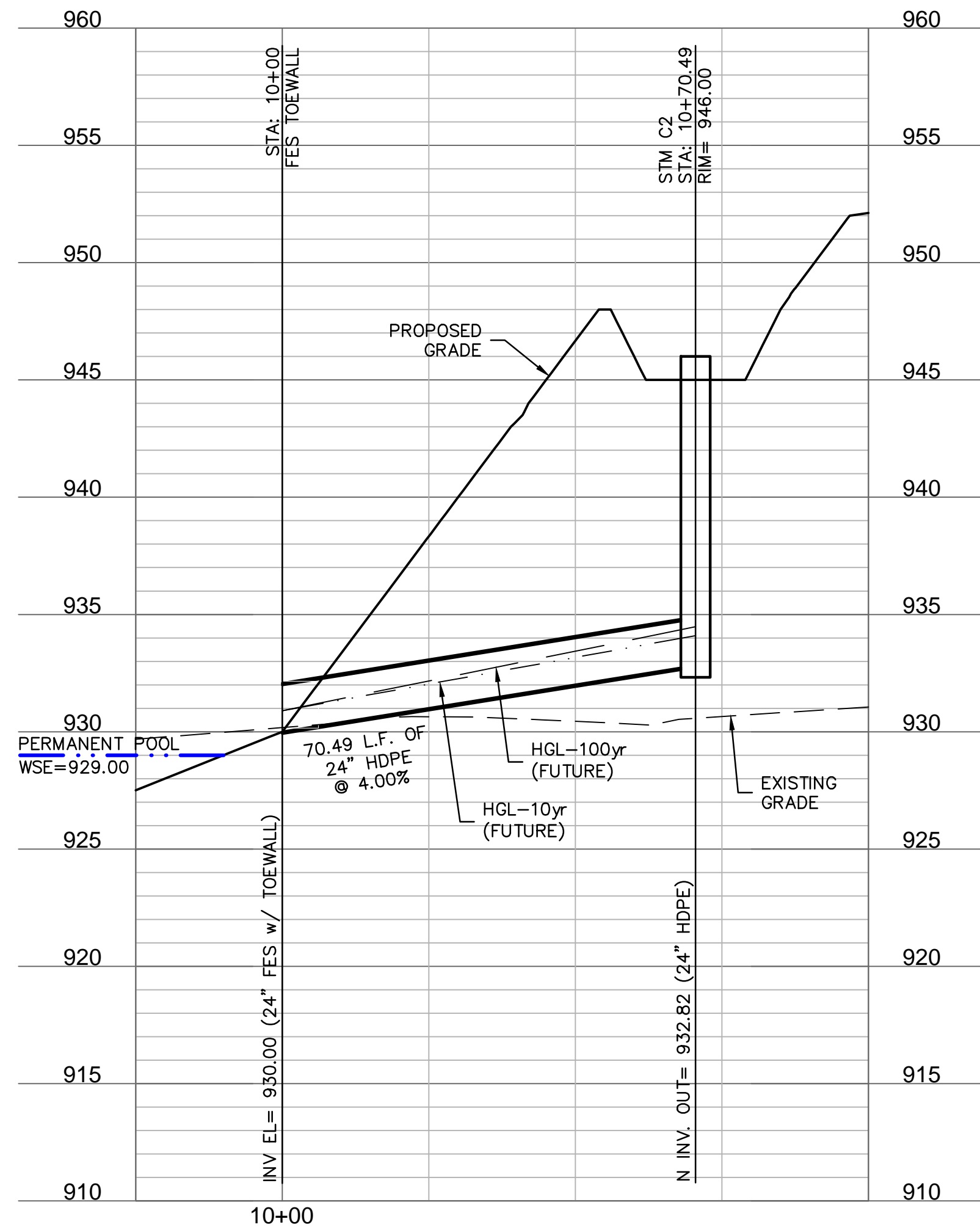
STORM LINE B (9+75 - 11+00)



Riprap Calculations						
End Section	Q ₁₀₀ (cfs)	Pipe Diameter (ft)	Class*	D50* (in)	Apron Length (ft)	Apron Depth (ft)
STM C1	21.47	2	2	6	8	1.65
STM C2	21.47	2	2	6	8	1.65

*Per Table 10.1 HEC 14-FHWA-Energy Dissipators Pg. 10-18

STORM LINE C (9+75 - 11+00)



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STATE OF MISSOURI
DAVID L. EICKMAN
NUMBER
PE-2009015436
PROFESSIONAL ENGINEER

DAVID EICKMAN, P.E.
MOR 2009015436

BY

REVISIONS DESCRIPTION

DATE

REV. NO.

REVISIONS

2023

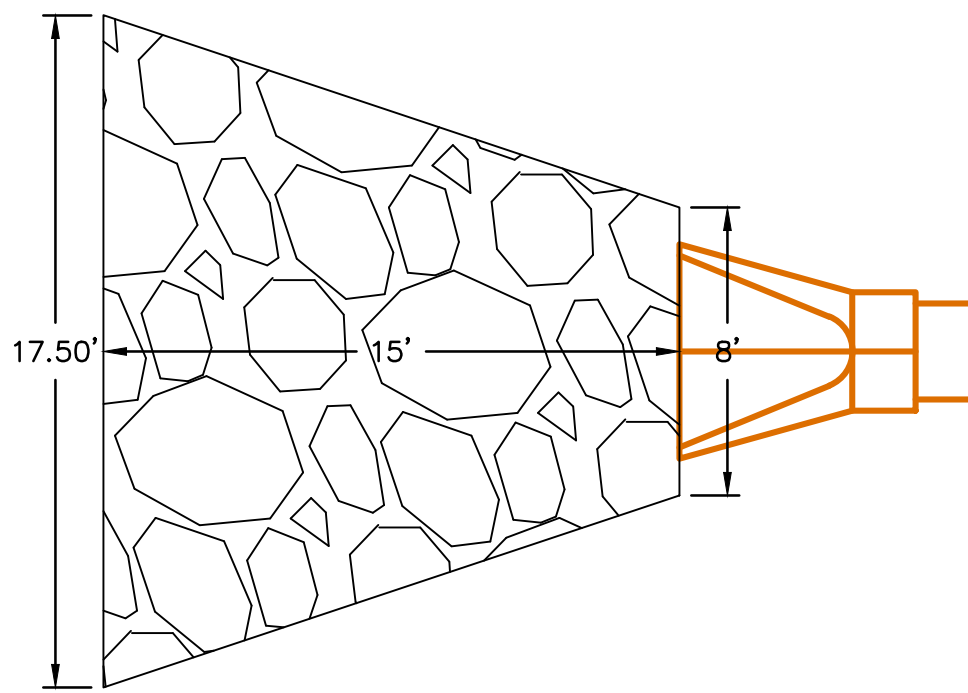
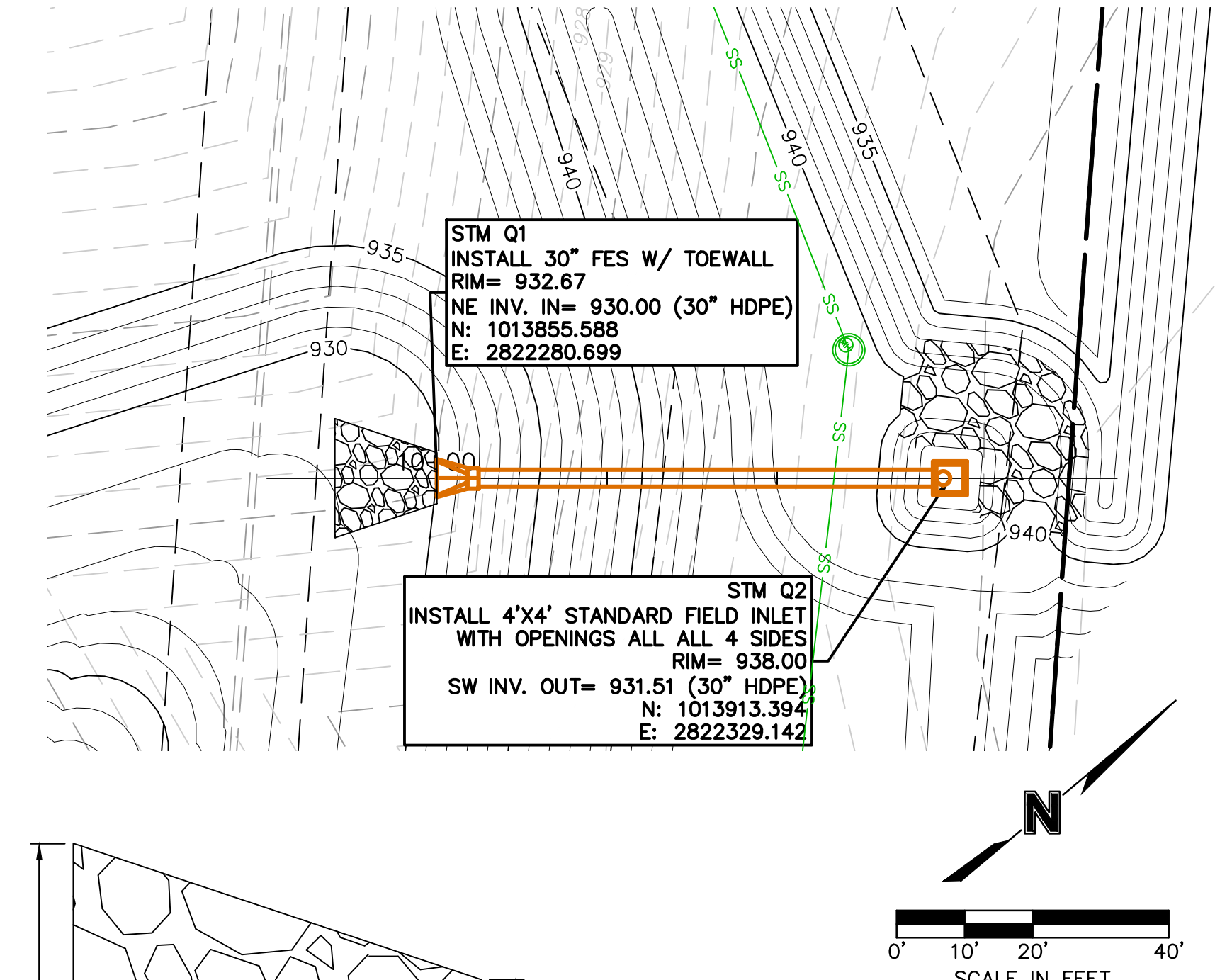
STORM SEWER PLAN & PROFILES
MASS GRADING PLANS

THE VILLAGE AT DISCOVERY PARK & ARIA APARTMENTS
NW COLBURN RD & NE DOUGLAS ST
LEE'S SUMMIT, MISSOURI

drawn by: GS/SOS/JN
checked by: AR/JN
approved by: DE
QA/QC by: DE
project no.: D21-04643
drawing no.:
date: 06-02-2023

SHEET
C324

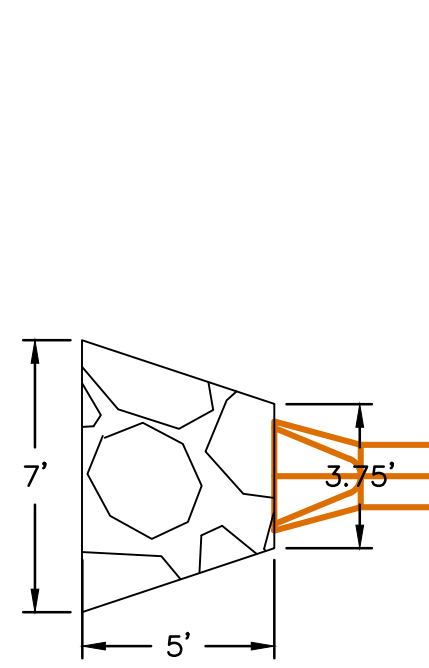
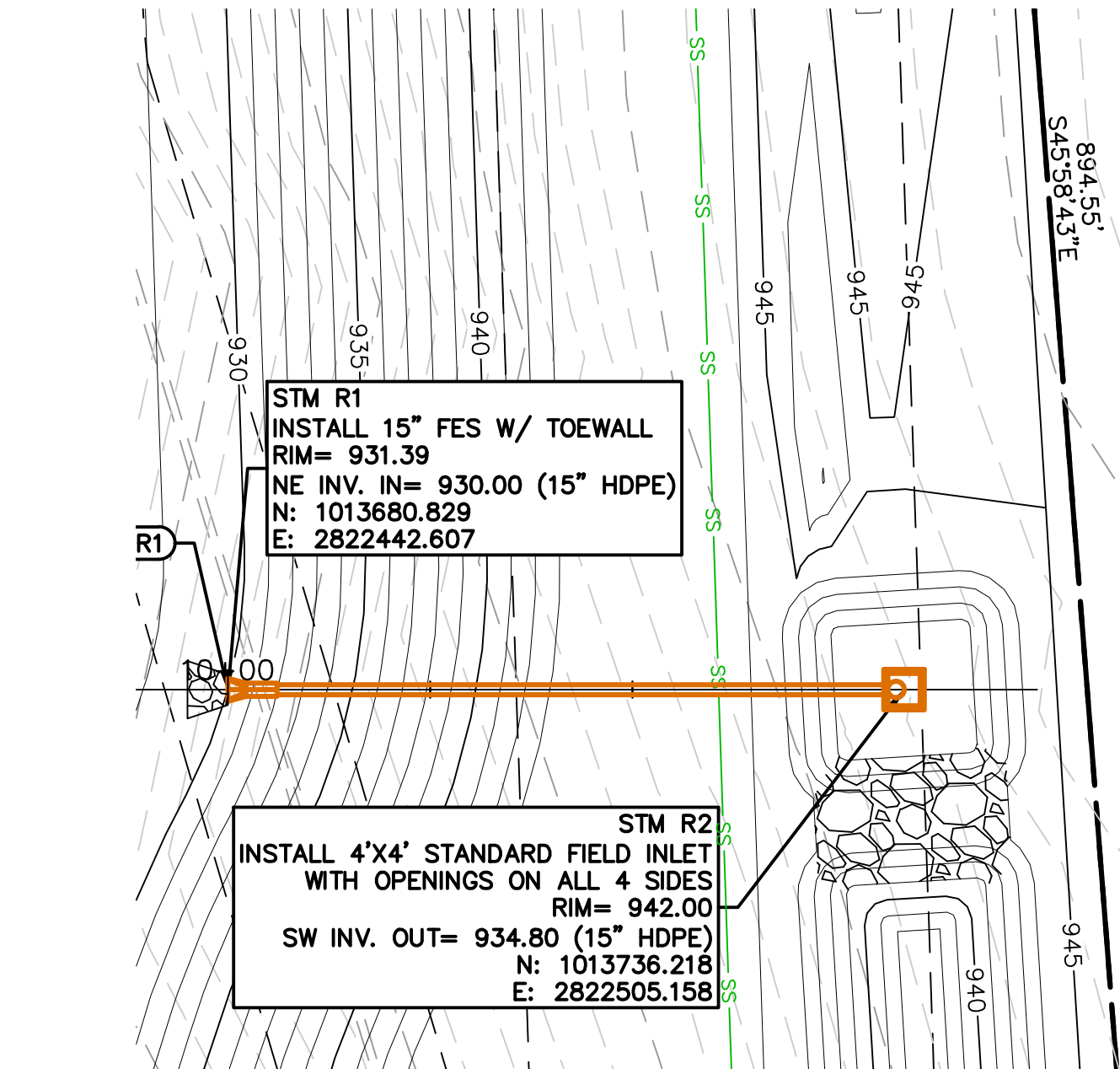
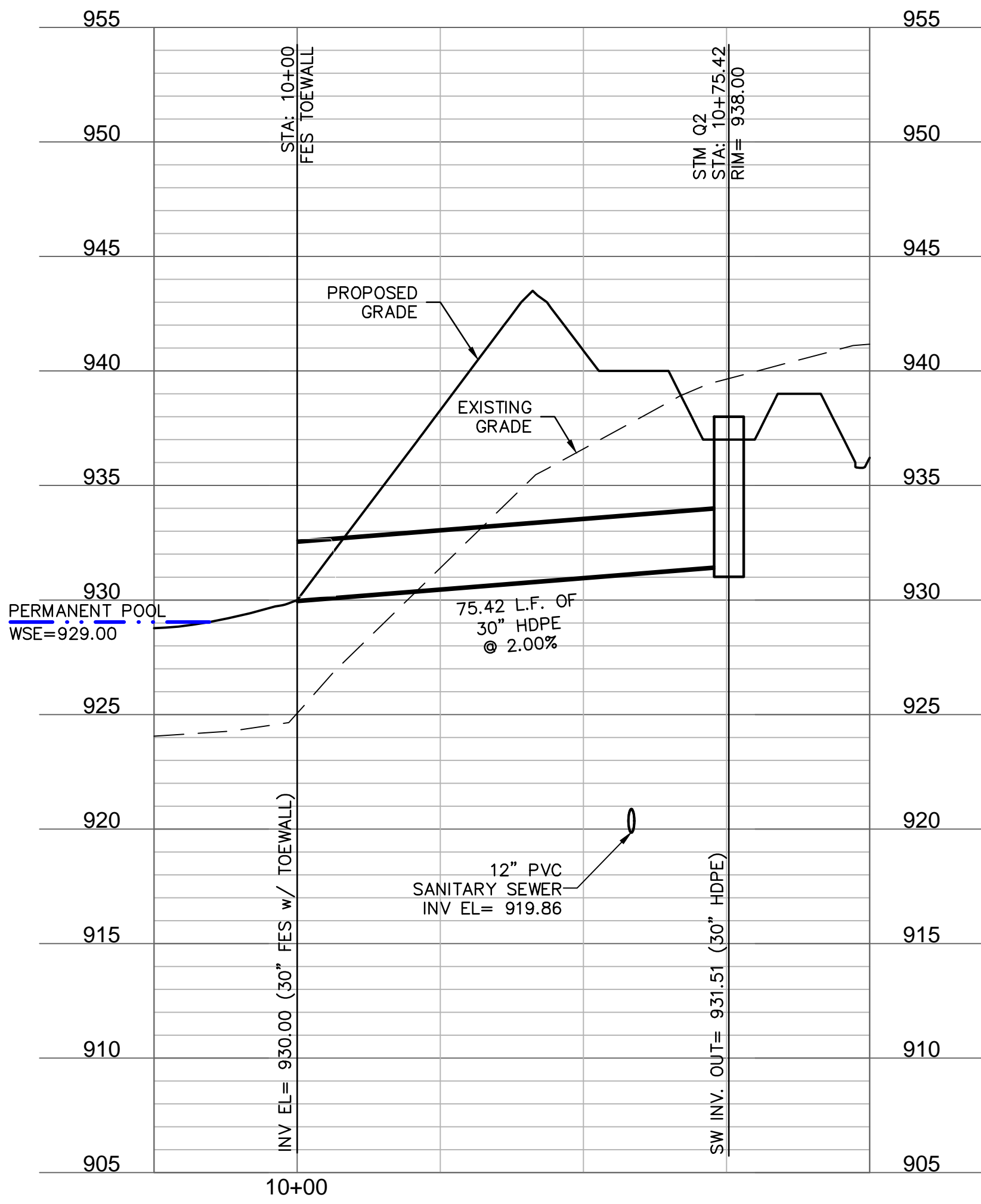
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Discovery Control



Riprap Calculations						
End Section	Q ₁₀₀ (cfs)	Pipe Diameter (ft)	Class*	D50* (in)	Apron Length (ft)	Apron Depth (ft)
STM Q1	55.79	2.5	4	14	15	2.57
STM Q2	55.79	2.5	4	14	15	2.57

*Per Table 10.1 HEC 14-FHWA-Energy Dissipators Pg. 10-18

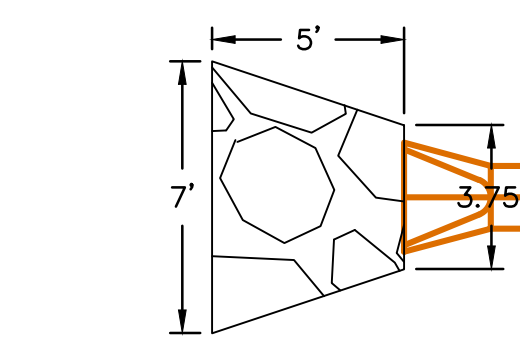
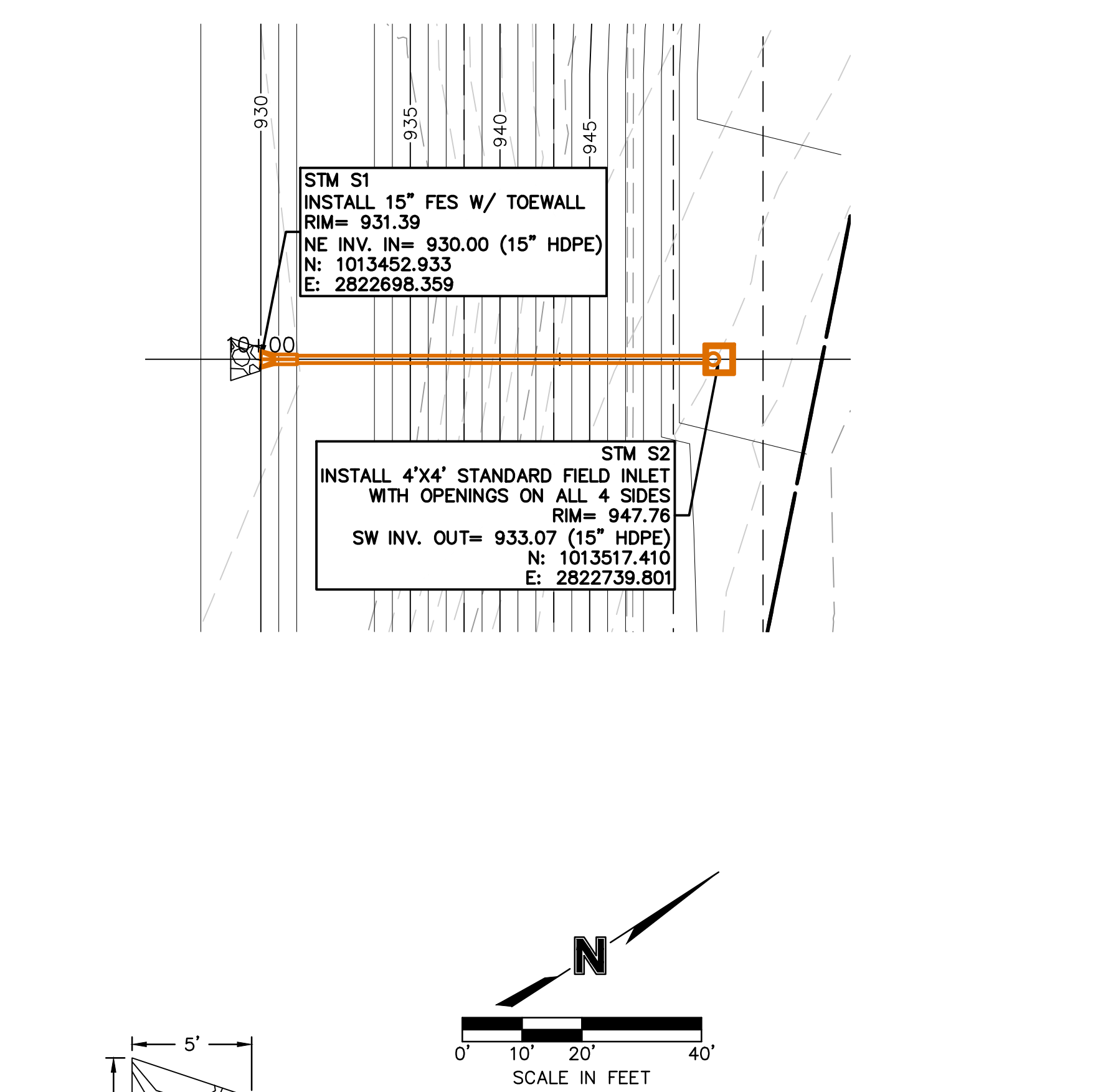
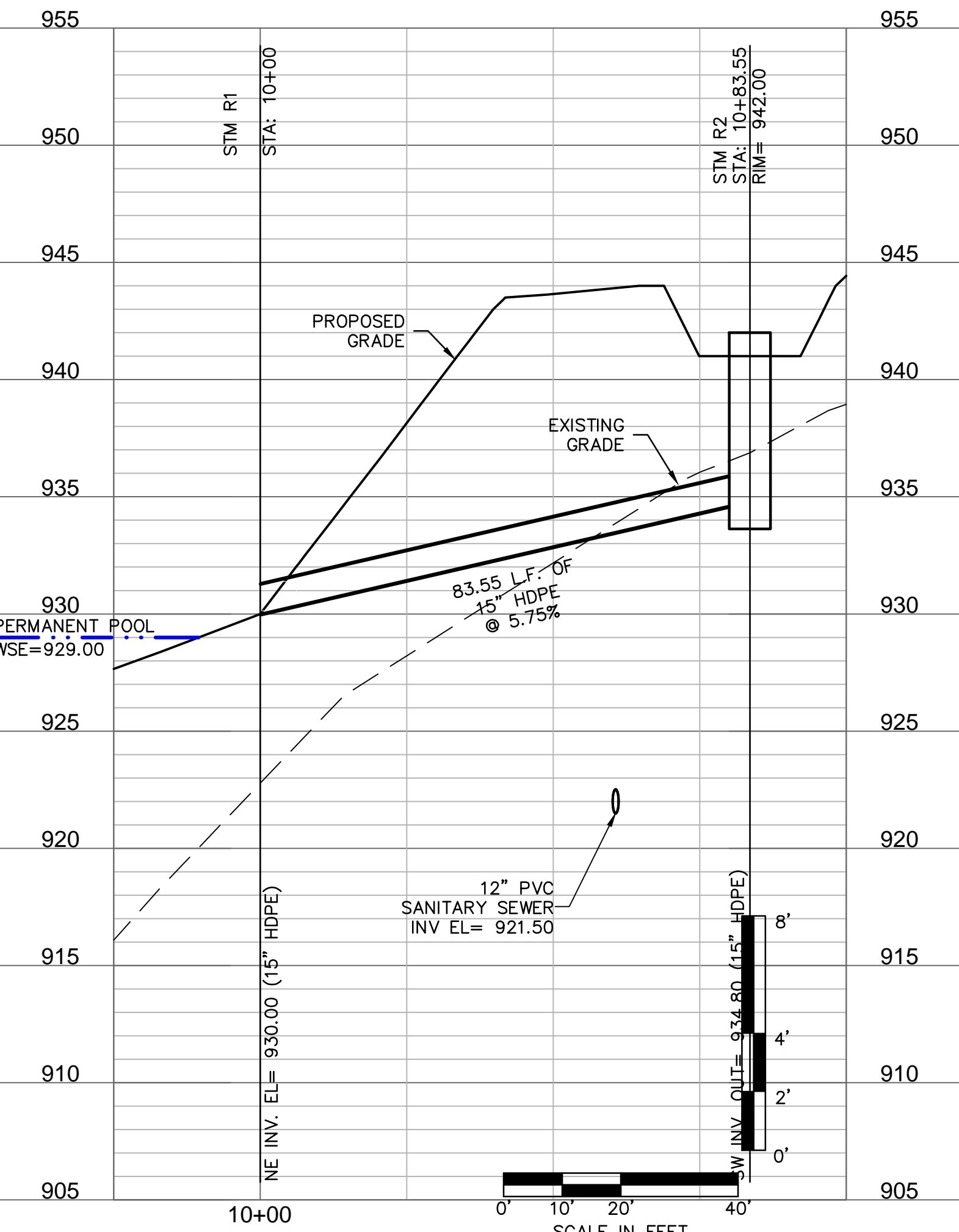
STORM LINE Q (9+75 - 11+00)



Riprap Calculations						
End Section	Q ₁₀₀ (cfs)	Pipe Diameter (ft)	Class*	D50* (in)	Apron Length (ft)	Apron Depth (ft)
STM R1	9.81	1.25	2	6	5	1.65
STM R2	9.81	1.25	2	6	5	1.65

*Per Table 10.1 HEC 14-FHWA-Energy Dissipators Pg. 10-18

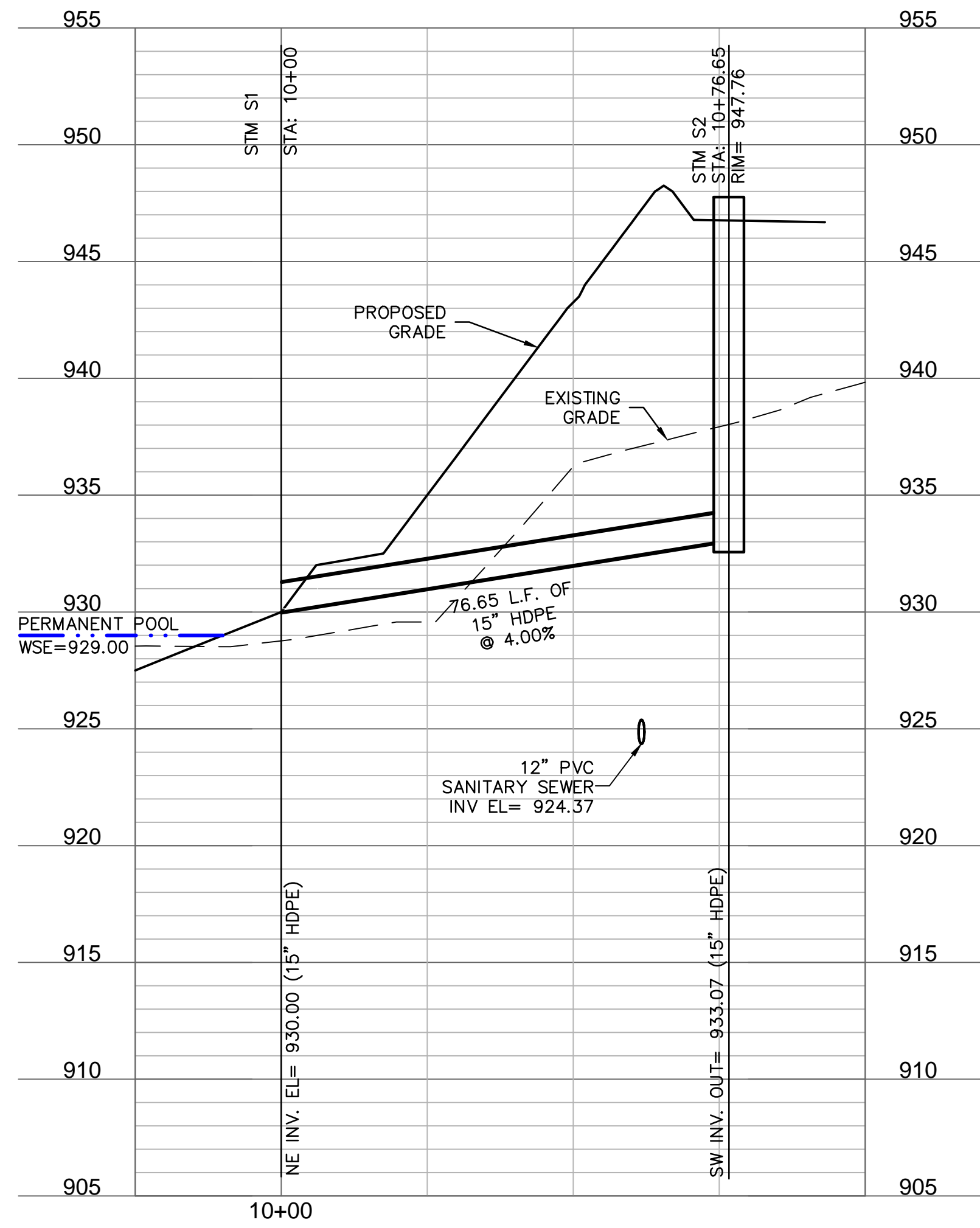
STORM LINE R (9+75 - 11+00)



Riprap Calculations						
End Section	Q ₁₀₀ (cfs)	Pipe Diameter (ft)	Class*	D50* (in)	Apron Length (ft)	Apron Depth (ft)
STM S1	7.94	1.25	2	6	5	1.65
STM S2	7.94	1.25	2	6	5	1.65

*Per Table 10.1 HEC 14-FHWA-Energy Dissipators Pg. 10-18

STORM LINE S (9+75 - 11+00)



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STATE OF MISSOURI
DAVID L. EICKMAN
NUMBER
PE-2009015436
PROFESSIONAL ENGINEER

DAVID EICKMAN, P.E.
MOR 2009015436

BY

REVISIONS DESCRIPTION

DATE

REV. NO.

REVISIONS

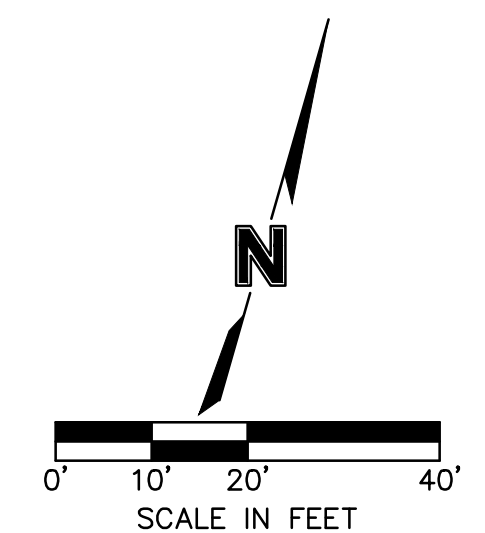
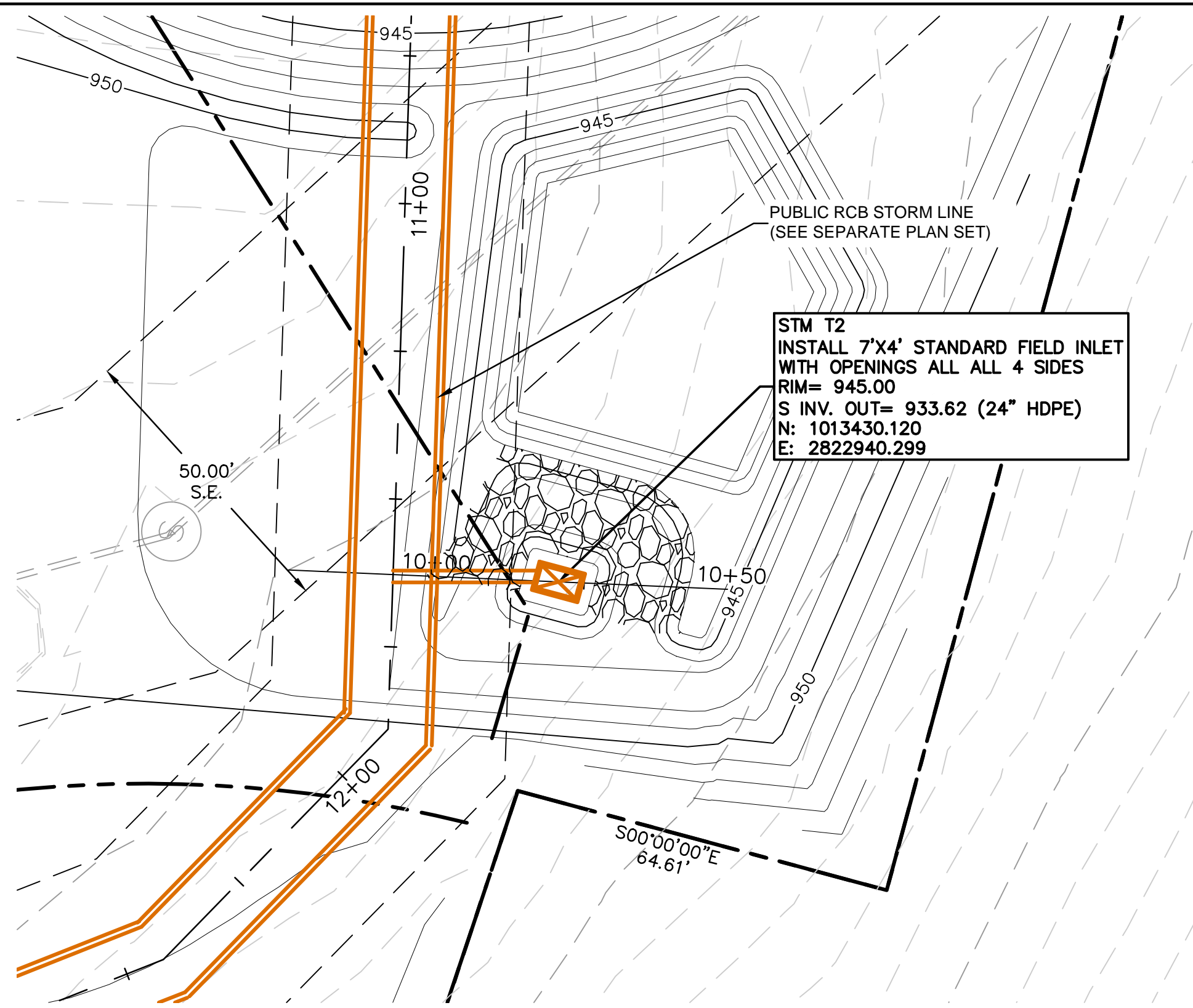
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STORM SEWER PLAN & PROFILES
MASS GRADING PLANS

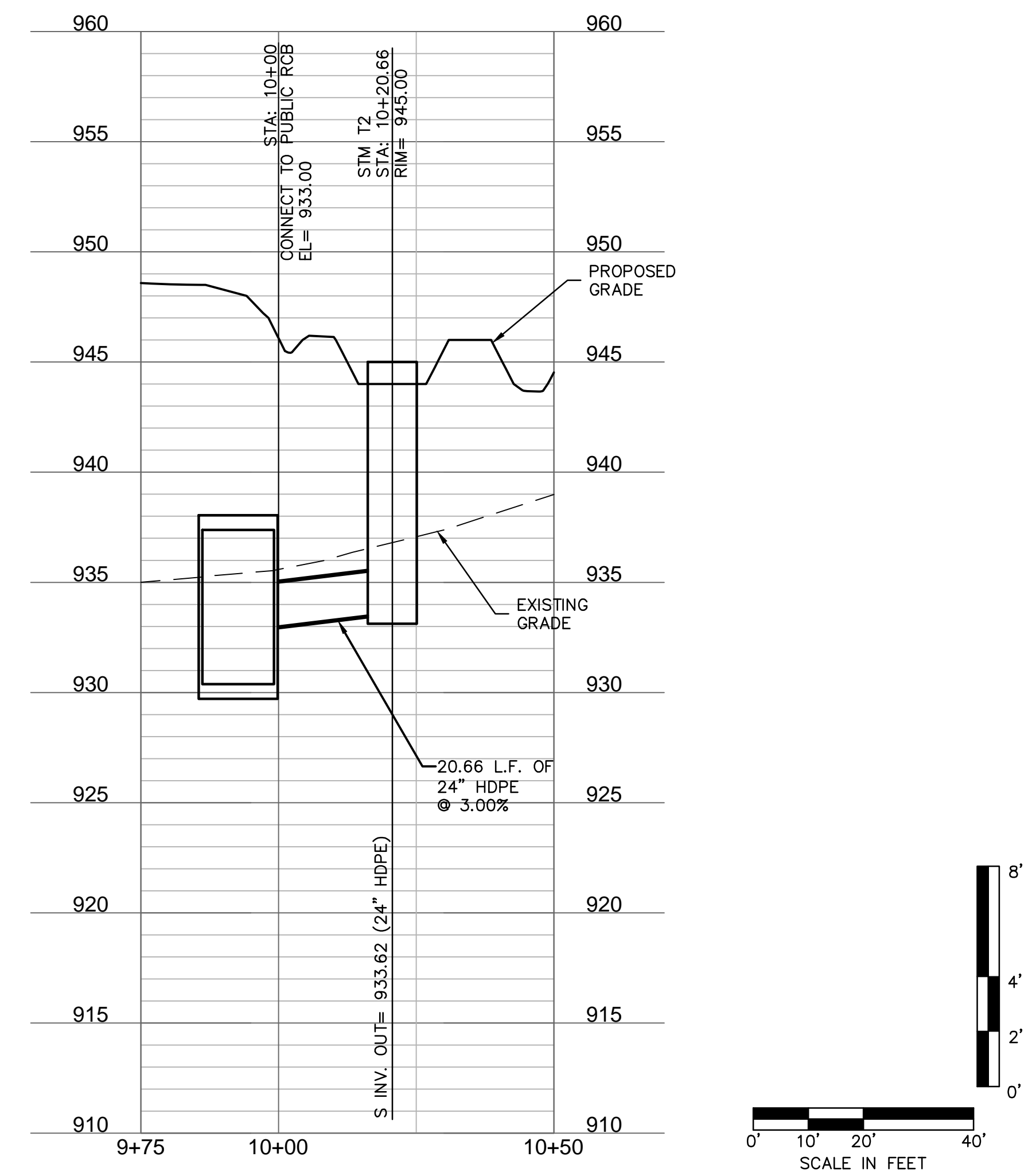
THE VILLAGE AT DISCOVERY PARK & ARIA APARTMENTS
NW COLBURN RD & NE DOUGLAS ST
LEE'S SUMMIT, MISSOURI

drawn by: GS/SOS/JN
checked by: AR/JN
approved by: DE
QA/QC by: DE
project no.: D21-04643
drawing no.:
date: 06-02-2023

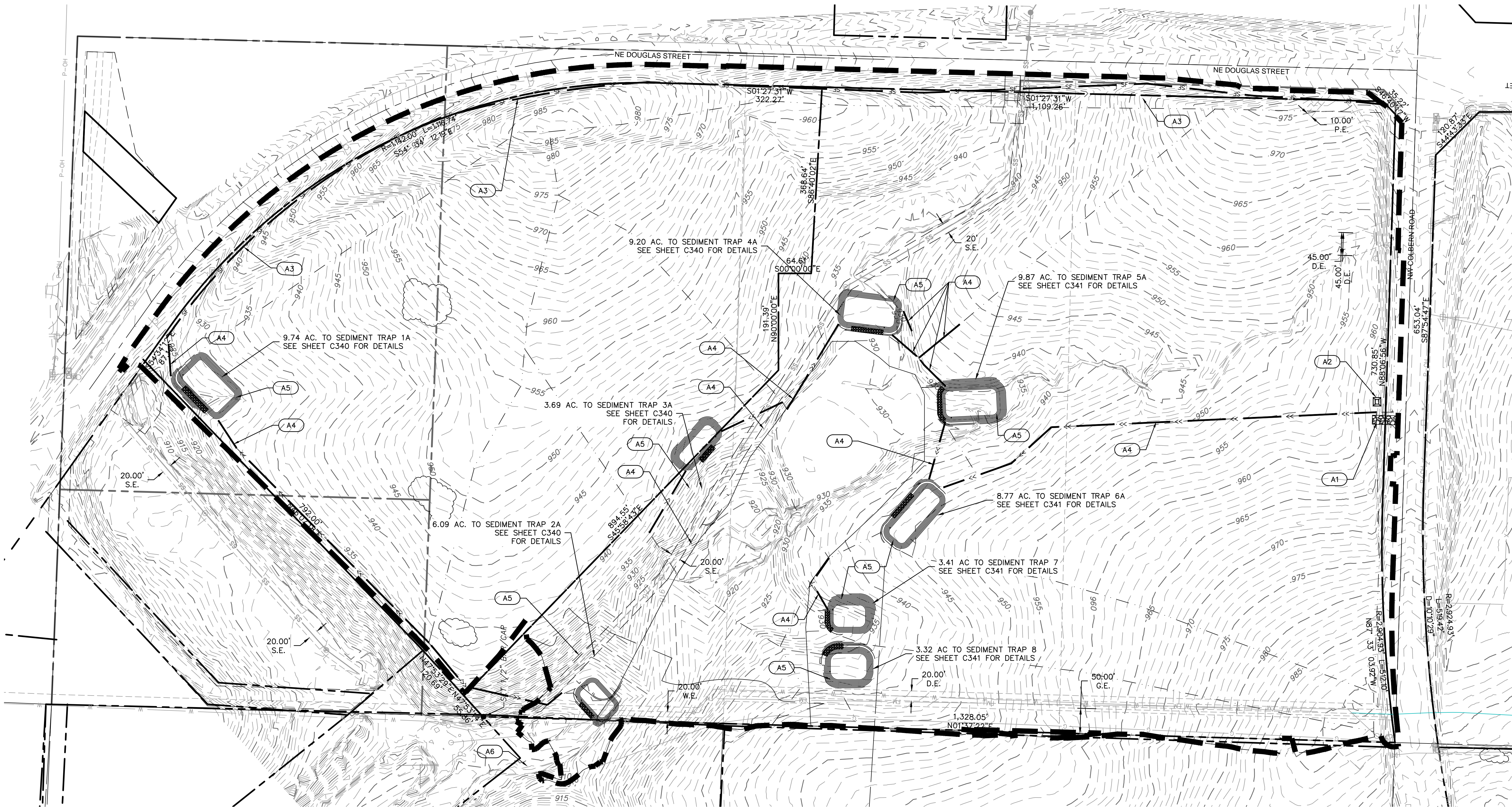
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STORM LINE T (9+75 - 10+50)



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LEGEND	
PHASE A	
	SILT FENCE
	TEMPORARY DIVERSION BERM
	CONCRETE WASHOUT
	TEMPORARY STONE CONSTRUCTION ENTRANCE
	DRAINAGE AREA TO BASIN/TRAP
	LIMITS OF DISTURBANCE

GRADING LEGEND

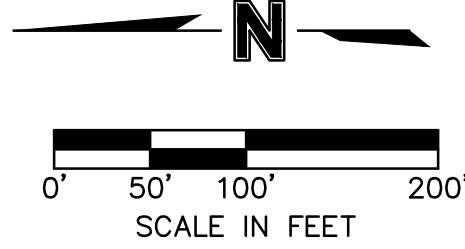
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	FINISHED GRADE MINOR CONTOUR
	EXISTING GRADE MAJOR CONTOUR
	EXISTING GRADE MINOR CONTOUR

NOTE:
THE SITE DISTURBANCE PLANS INDICATES THE FINAL PLACEMENT OF EROSION CONTROL DEVICES. THE CONTRACTOR(S) MAY PROCEED WITH THE CONSTRUCTION PRIOR TO THE FINAL PLACEMENT OF THESE DEVICES BY PROVIDING ADDITIONAL DEVICES TO CONTROL EROSION ON THEIR ITEMS OF WORK. THESE DEVICES SHALL BE MAINTAINED UNTIL THE FINAL DEVICES ARE IN PLACE.

CONTRACTOR TO KEEP SWPPP REPORTS AND MDNR PERMIT IN THE ON-SITE CONSTRUCTION OFFICE TRAILER. TRAILER LOCATION TO BE DETERMINED BY CONTRACTOR

SEDIMENT TRAPS MUST BE FULLY INSTALLED PRIOR TO ANY SITE DISTURBANCE WITHIN THE TRIBUTARY AREA.

SEDIMENT TRAPS ARE SHOWN AS NEEDED PRIOR TO DISTURBING THE SITE. CONTRACTOR IS RESPONSIBLE FOR CONTROLLING ALL SEDIMENT RUNOFF DURING TRANSITION TO FINAL CONDITIONS AS SHOWN ON SHEET C370.



EROSION CONTROL PHASING CHART				
PROJECT PHASE	EROSION CONTROL BMP REFERENCE NO.	BMP DESCRIPTION	REMOVE AFTER PHASE	NOTES:
A - PRE-MASS GRADING	A1	CONSTRUCTION ENTRANCE	D	INSTALL PER APWA DETAIL ESC-01, PRIOR TO PERFORMING ANY OTHER ACTIVITIES ON SITE
	A2	CONCRETE WASHOUT	D	INSTALL PER APWA DETAIL ESC-01, PRIOR TO PERFORMING ANY OTHER ACTIVITIES ON SITE
	A3	SILT FENCE	D	INSTALL PER APWA DETAIL ESC-03, PRIOR TO PERFORMING ANY OTHER ACTIVITIES ON SITE
	A4	DIVERSION BERM	D	INSTALL PER APWA DETAIL ESC-05, AND CONTRACTOR SHALL ADJUST AS NECESSARY THROUGHOUT CONSTRUCTION TO ENSURE SEDIMENT REMAINS CONTROLLED ON SITE.
	A5	SEDIMENT TRAP	D	INSTALL PER APWA DETAIL ESC-08
	A6	ROCK CHECK DAM	D	INSTALL PER APWA DETAIL ESC-10
UPON REMOVAL CONTRACTOR TO OVER-EXCAVATE SEDIMENT TRAPS, FULLY REMOVING ALL SILT, AND FILLING IN CONTROLLED LIFTS TO PREVENT VOIDS OR EXCESSIVE SETTLING THAT COULD IMPACT BUILDING FOUNDATIONS.				
B - INTERIM	B1	EROSION CONTROL BLANKET/TRM	D	INSTALL PER APWA DETAIL ESC-02
	B2	SILT FENCE	D	INSTALL PER APWA DETAIL ESC-03
	B3	DIVERSION BERM	D	INSTALL PER APWA DETAIL ESC-05
	B4	SEDIMENT TRAP	D	INSTALL PER APWA DETAIL ESC-08
	B5	AREA INLET PROTECTION	D	INSTALL PER APWA DETAIL ESC-07
	B6	ROCK CHECK DAM	D	INSTALL PER APWA DETAIL ESC-10
	B7	SLOPE INTERRUPTS	D	INTALL PER APWA DETAIL ESC-09 OR APPROVED EQUAL
MAINTAIN ALL INSTALLED EROSION CONTROL DEVICES				
C - DISTURBED AREA STABILIZATION	C1	ESTABLISH SEEDING AND STABILIZATION OUTSIDE OF SEDIMENT BASIN AND TRAPS		SITE STABILIZATION PER LOCAL CODES AND ORDINANCES. AT A MINIMUM STABILIZATION SHALL CONFORM WITH APWA SECTION 2406. COORDINATE ALL STABILIZATION WITH EROSION CONTROL MEASURES INDICATED IN SITE DEVELOPMENT PLANS.

erosion control plan (phase a)
mass grading plans

THE VILLAGE AT DISCOVERY PARK & ARIA APARTMENTS
NW COLBURN RD & NE DOUGLAS ST

LEE'S SUMMIT, MISSOURI

drawn by: GS/SOS/JN
checked by: AR/JN
approved by: DE
QA/QC by: DE
project no.: D21-04643
drawing no.:
date: 06-02-2023

SHEET
C330

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North Kansas City, MO 64116
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STATE OF MISSOURI
DAVID L. EICKMAN
NUMBER
PE-2009015436
PROFESSIONAL SEAL
DAVID EICKMAN, P.E.
MOR 2009015436

BY
REVISIONS DESCRIPTION
DATE
REV. NO.
REVISIONS
2023

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USER: eromany
Discovery Control

LEGEND		
PHASE A	PHASE B	
		SILT FENCE
		TEMPORARY DIVERSION BERM
		CONCRETE WASHOUT
		TEMPORARY STONE CONSTRUCTION ENTRANCE
		TURF REINFORCEMENT MAT (FLEXMAT PLUS UV-T SPECS)
		EROSION CONTROL BLANKET
		DRAINAGE AREA TO BASIN/TRAP
		LIMITS OF DISTURBANCE

NOTE:
THE SITE DISTURBANCE PLANS INDICATES THE FINAL PLACEMENT OF EROSION CONTROL DEVICES. THE CONTRACTOR(S) MAY PROCEED WITH THE CONSTRUCTION PRIOR TO THE FINAL PLACEMENT OF THESE DEVICES BY PROVIDING ADDITIONAL DEVICES TO CONTROL EROSION ON THEIR ITEMS OF WORK. THESE DEVICES SHALL BE MAINTAINED UNTIL THE FINAL DEVICES ARE IN PLACE.

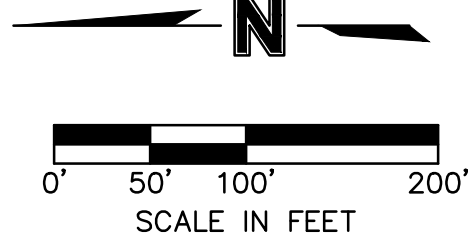
CONTRACTOR TO KEEP SWPPP REPORTS AND MDNR PERMIT IN THE ON-SITE CONSTRUCTION OFFICE TRAILER. TRAILER LOCATION TO BE DETERMINED BY CONTRACTOR

SEDIMENT TRAPS MUST BE FULLY INSTALLED PRIOR TO ANY SITE DISTURBANCE WITHIN THE TRIBUTARY AREA.

SEDIMENT TRAPS ARE SHOWN AS NEEDED PRIOR TO DISTURBING THE SITE. CONTRACTOR IS RESPONSIBLE FOR CONTROLLING ALL SEDIMENT RUNOFF DURING TRANSITION TO FINAL CONDITIONS AS SHOWN ON SHEET C370.

GRADING LEGEND

—999— FINISHED GRADE MAJOR CONTOUR
- - -999- - FINISHED GRADE MINOR CONTOUR
- - -999- - EXISTING GRADE MAJOR CONTOUR
- - -999- - EXISTING GRADE MINOR CONTOUR



EROSION CONTROL PHASING CHART				
PROJECT PHASE	EROSION CONTROL BMP REFERENCE NO.	BMP DESCRIPTION	REMOVE AFTER PHASE	NOTES:
A – PRE-MASS GRADING	A1	CONSTRUCTION ENTRANCE	D	INSTALL PER APWA DETAIL ESC–01, PRIOR TO PERFORMING ANY OTHER ACTIVITIES ON SITE
	A2	CONCRETE WASHOUT	D	INSTALL PER APWA DETAIL ESC–01, PRIOR TO PERFORMING ANY OTHER ACTIVITIES ON SITE
	A3	SILT FENCE	D	INSTALL PER APWA DETAIL ESC–03, PRIOR TO PERFORMING ANY OTHER ACTIVITIES ON SITE
	A4	DIVERSION BERM	D	INSTALL PER APWA DETAIL ESC–05, AND CONTRACTOR SHALL ADJUST AS NECESSARY THROUGHOUT CONSTRUCTION TO ENSURE SEDIMENT REMAINS CONTROLLED ON SITE.
	A5	SEDIMENT TRAP	D	INSTALL PER APWA DETAILS ESC–08
	A6	ROCK CHECK DAM	D	INSTALL PER APWA DETAIL ESC–10
UPON REMOVAL CONTRACTOR TO OVER-EXCAVATE SEDIMENT TRAPS, FULLY REMOVING ALL SILT, AND FILLING IN CONTROLLED LIFTS TO PREVENT VOIDS OR EXCESSIVE SETTLING THAT COULD IMPACT BUILDING FOUNDATIONS.				
B – INTERIM (64.66 AC DISTURBED)	B1	EROSION CONTROL BLANKET/TRM	D	INSTALL PER APWA DETAIL ESC–02
	B2	SILT FENCE	D	INSTALL PER APWA DETAIL ESC–03
	B3	DIVERSION BERM	D	INSTALL PER APWA DETAIL ESC–05
	B4	SEDIMENT TRAP	D	INSTALL PER APWA DETAIL ESC–08
	B5	AREA INLET PROTECTION	D	INSTALL PER APWA DETAIL ESC–07
	B6	ROCK CHECK DAM	D	INSTALL PER APWA DETAIL ESC–10
	B7	SLOPE INTERRUPTS	D	INTALL PER APWA DETAIL ESC–09 OR APPROVED EQUAL
MAINTAIN ALL INSTALLED EROSION CONTROL DEVICES				
C – DISTURBED AREA STABILIZATION	C1	ESTABLISH SEEDING AND STABILIZATION OUTSIDE OF SEDIMENT BASIN AND TRAPS		SITE STABILIZATION PER LOCAL CODES AND ORDINANCES. AT A MINIMUM STABILIZATION SHALL CONFORM WITH APWA SECTION 2406. COORDINATE ALL STABILIZATION WITH EROSION CONTROL MEASURES INDICATED IN SITE DEVELOPMENT PLANS.

erosion control plan (phase b)
mass grading plans

THE VILLAGE AT DISCOVERY PARK & ARIA APARTMENTS
NW COLBERN RD & NE DOUGLAS ST
LEE'S SUMMIT, MISSOURI

drawn by: GS/SOS/JN
checked by: AR/JN
approved by: DE
QA/QC by: DE
project no.: D21-04643
drawing no.:
date: 06-02-2023

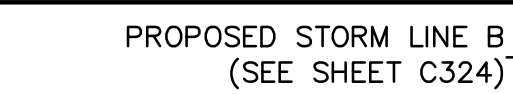
SHEET
C350

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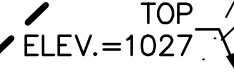
Olsson - Civil Engineering
Missouri Certificate of Authority #001592
1301 Burlington Street
North Kansas City, MO 64116
TEL 816.361.1177
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STATE OF MISSOURI
DAVID L. EICKMAN
NUMBER
PE-2009015436
6/14/23
PROFESSIONAL ENGINEER
DAVID EICKMAN, P.E.
MOR 2009015436

BY
REV. NO.
DATE
REVISIONS DESCRIPTION
2023
REVISIONS

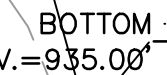


BOTTOM
ELEV.=942.00'



BOTTOM
ELEV.=1022.00

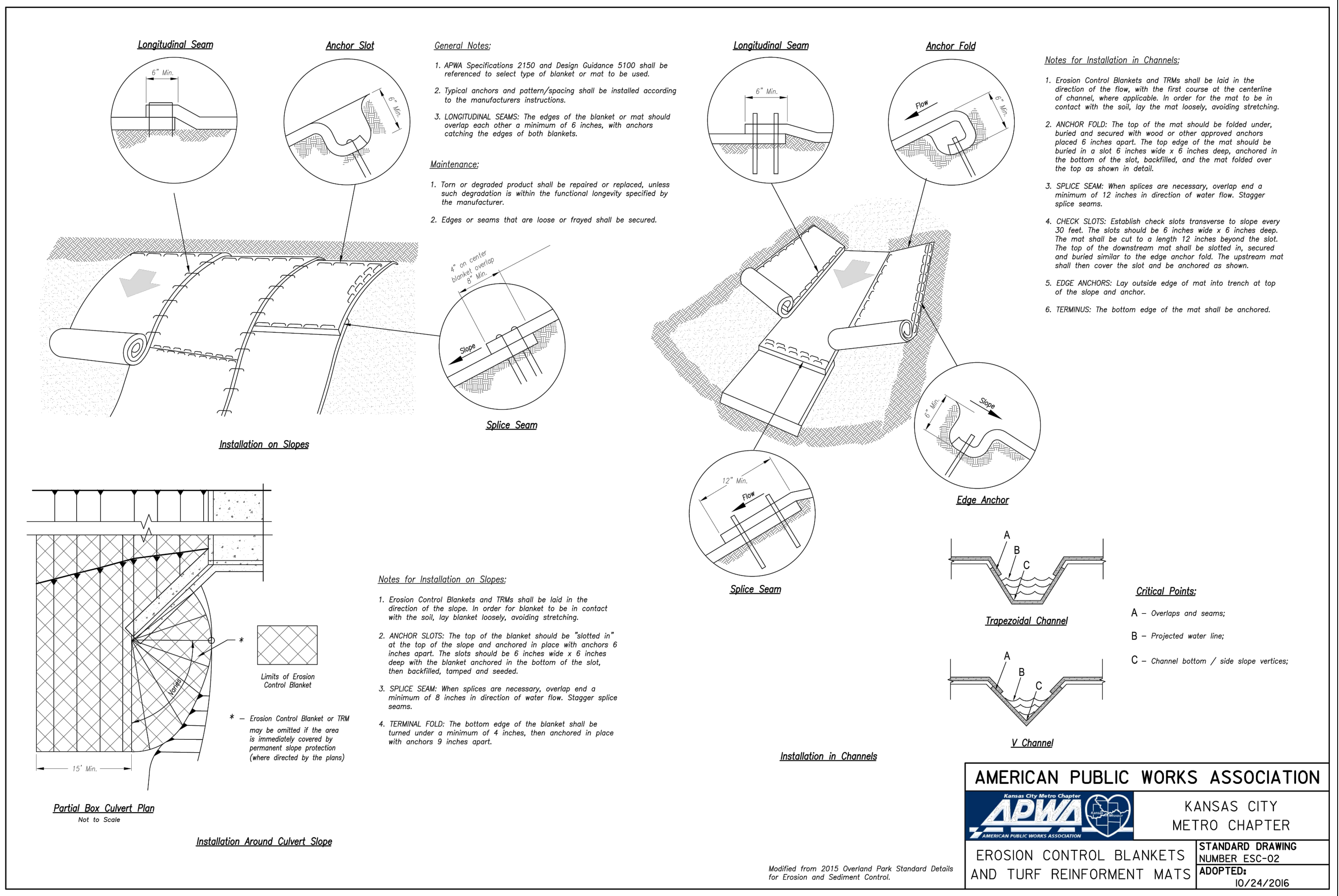
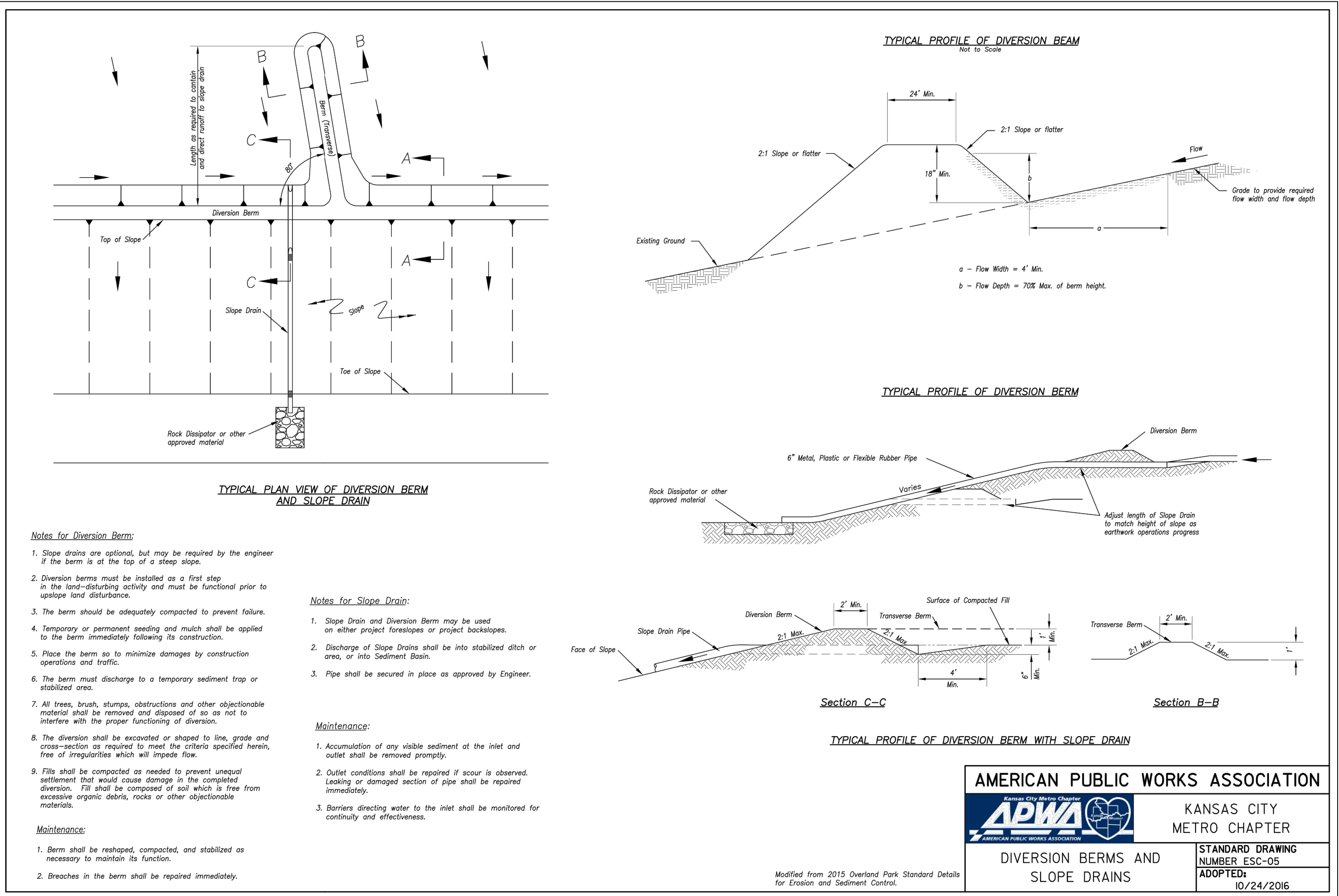
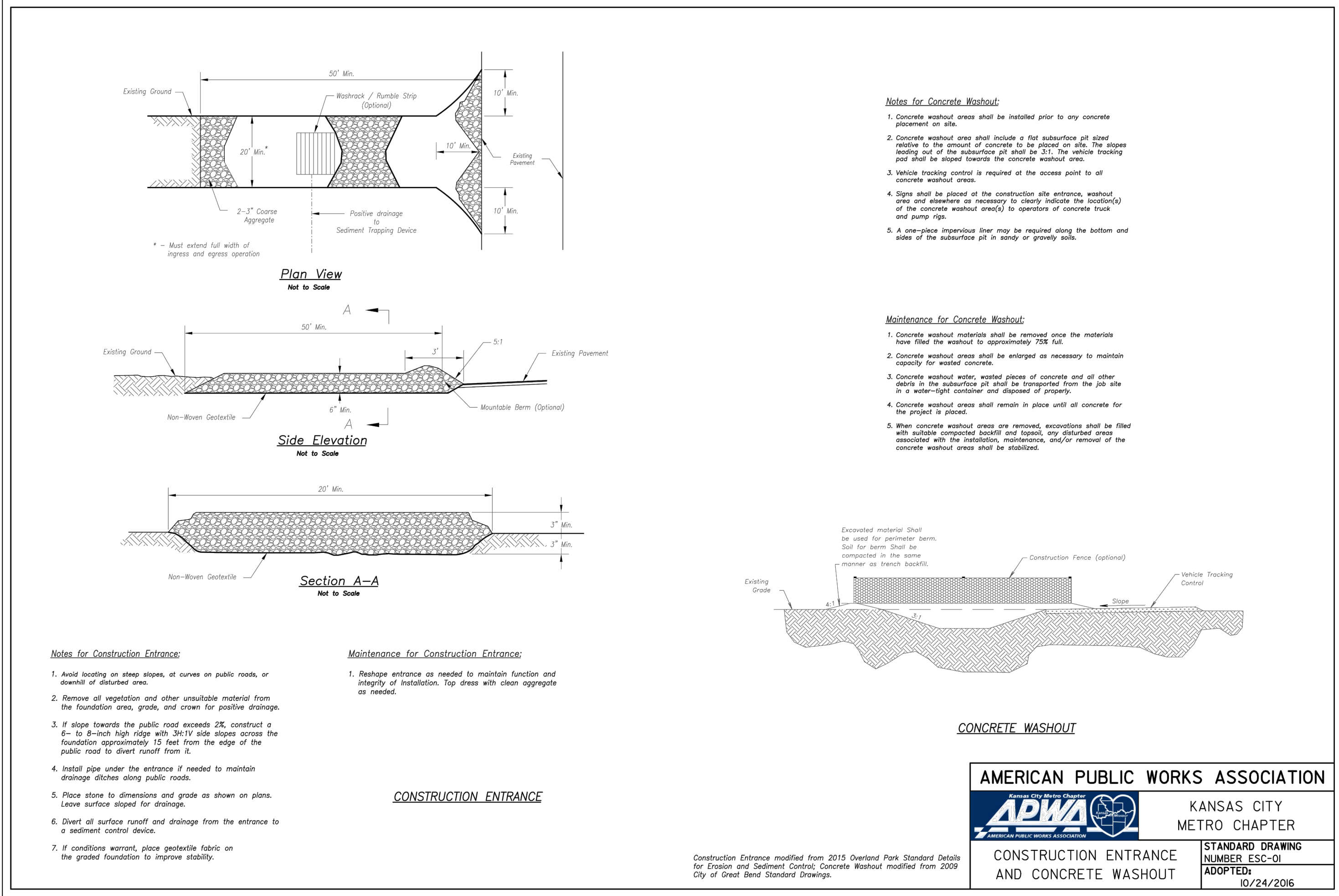
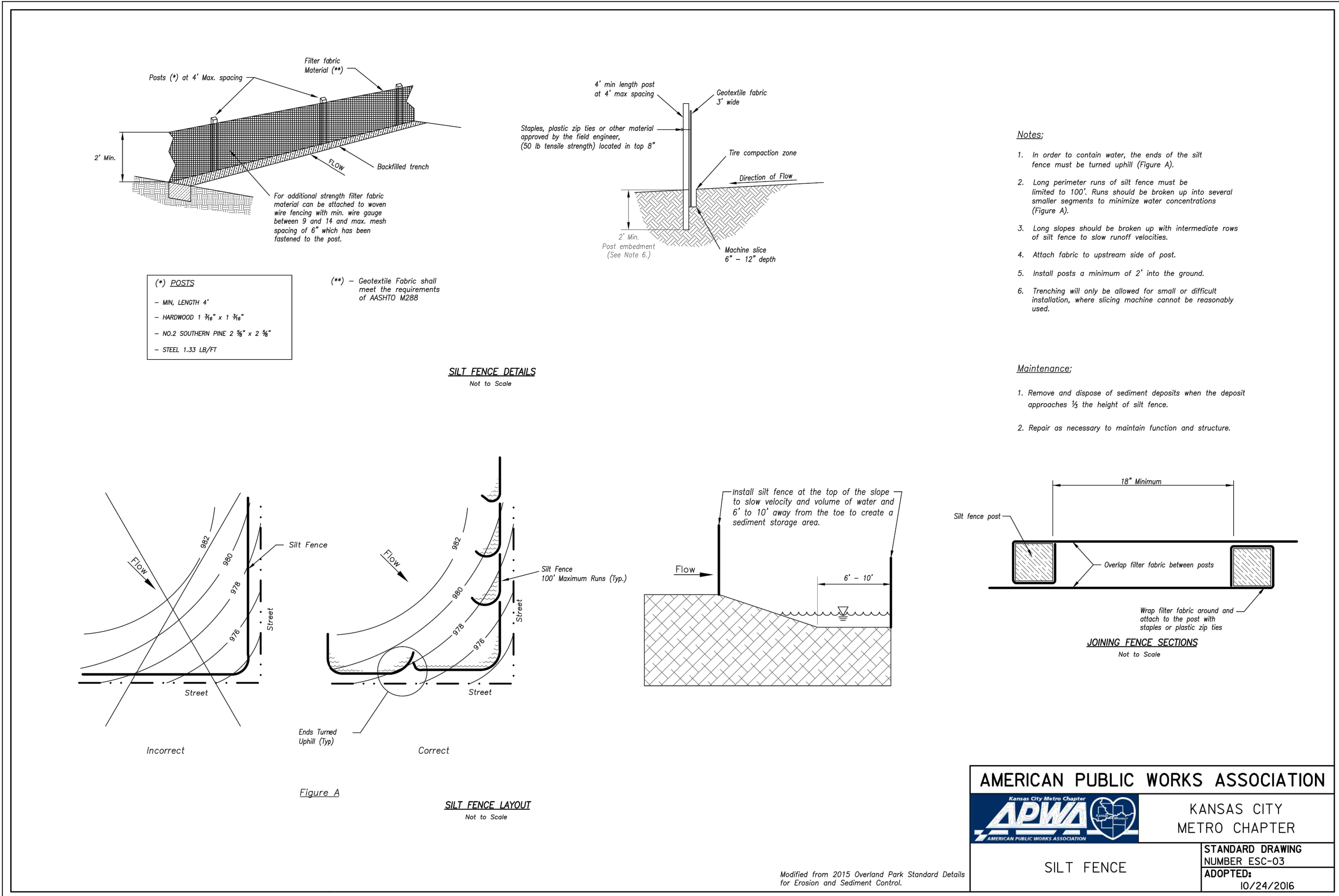
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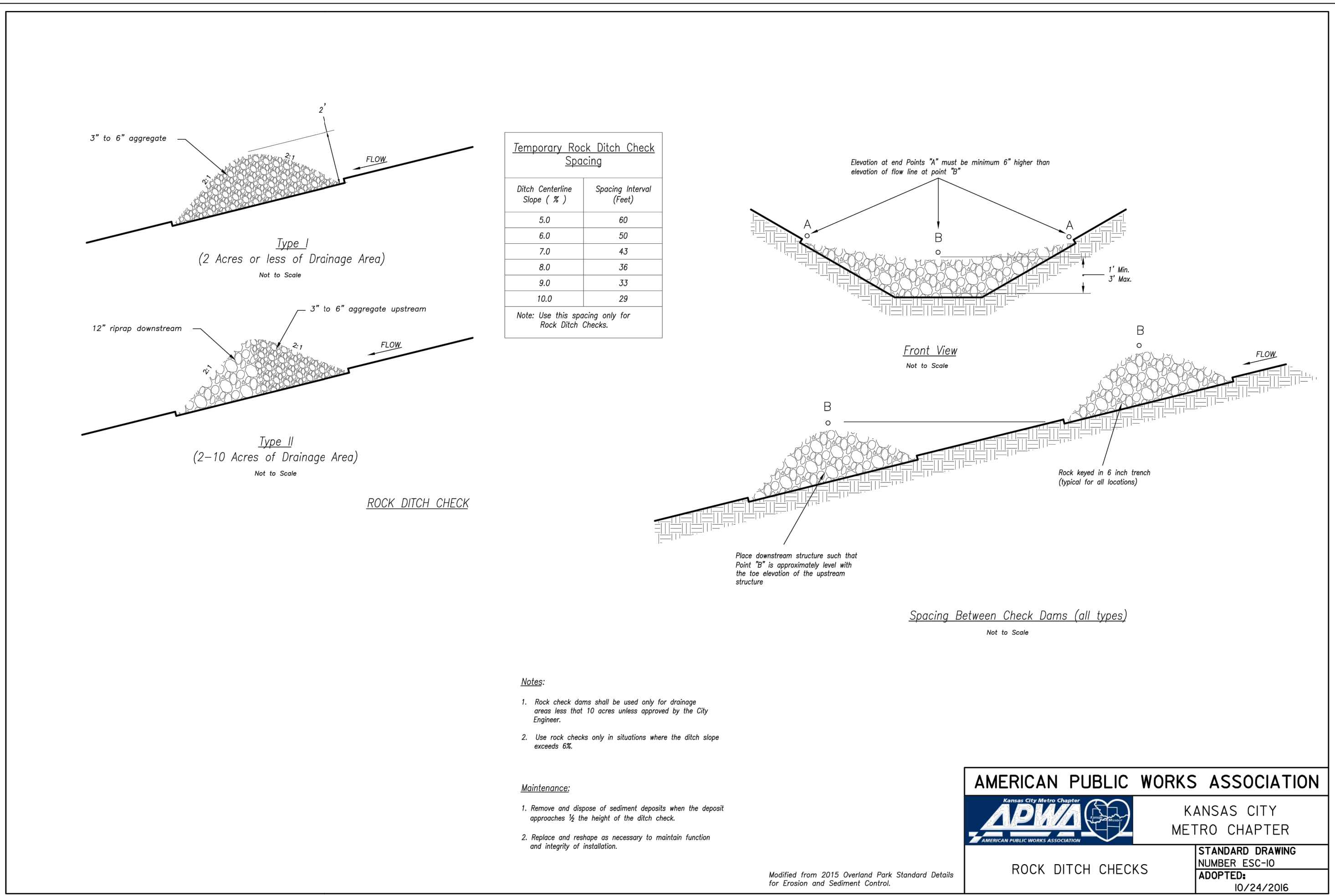
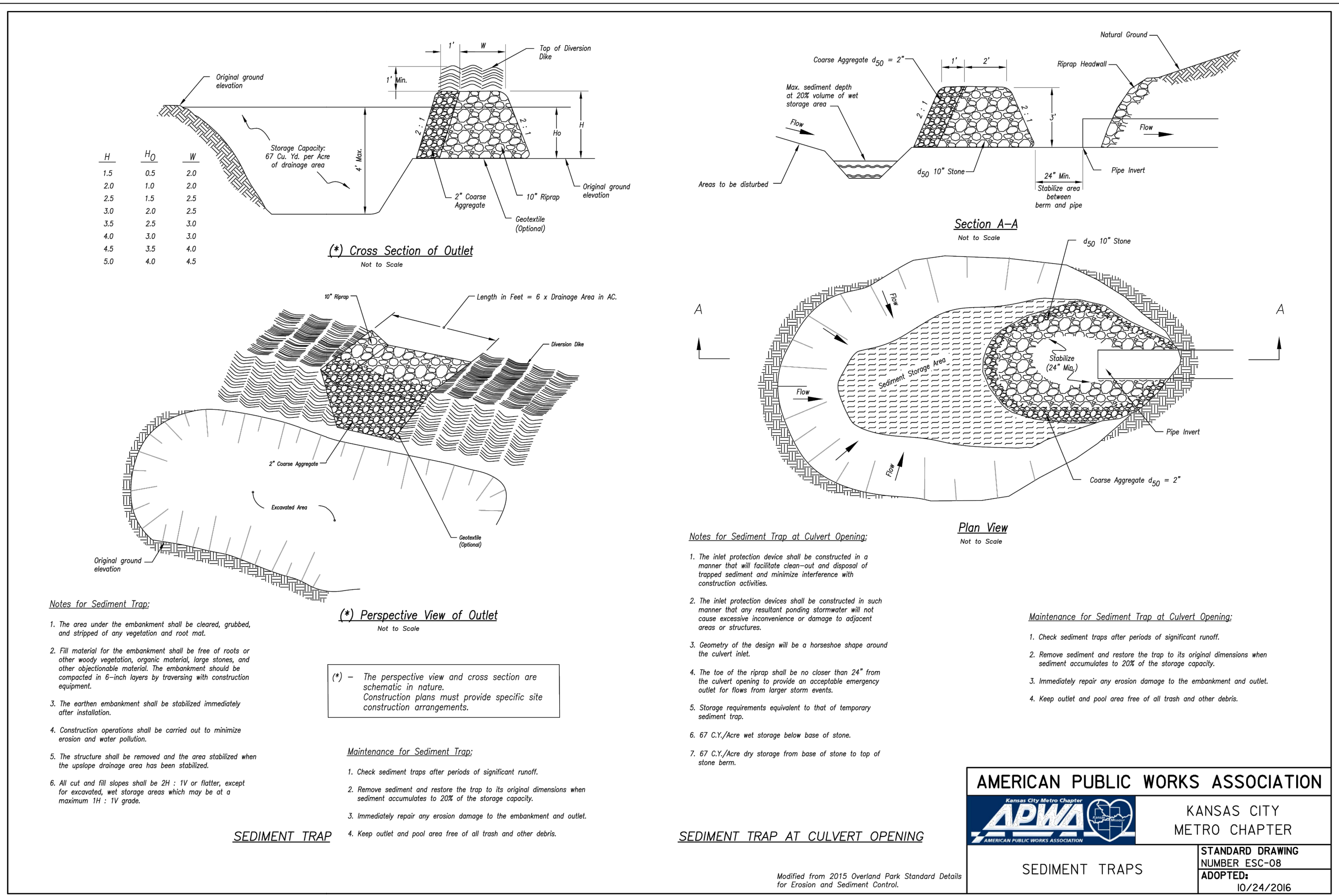
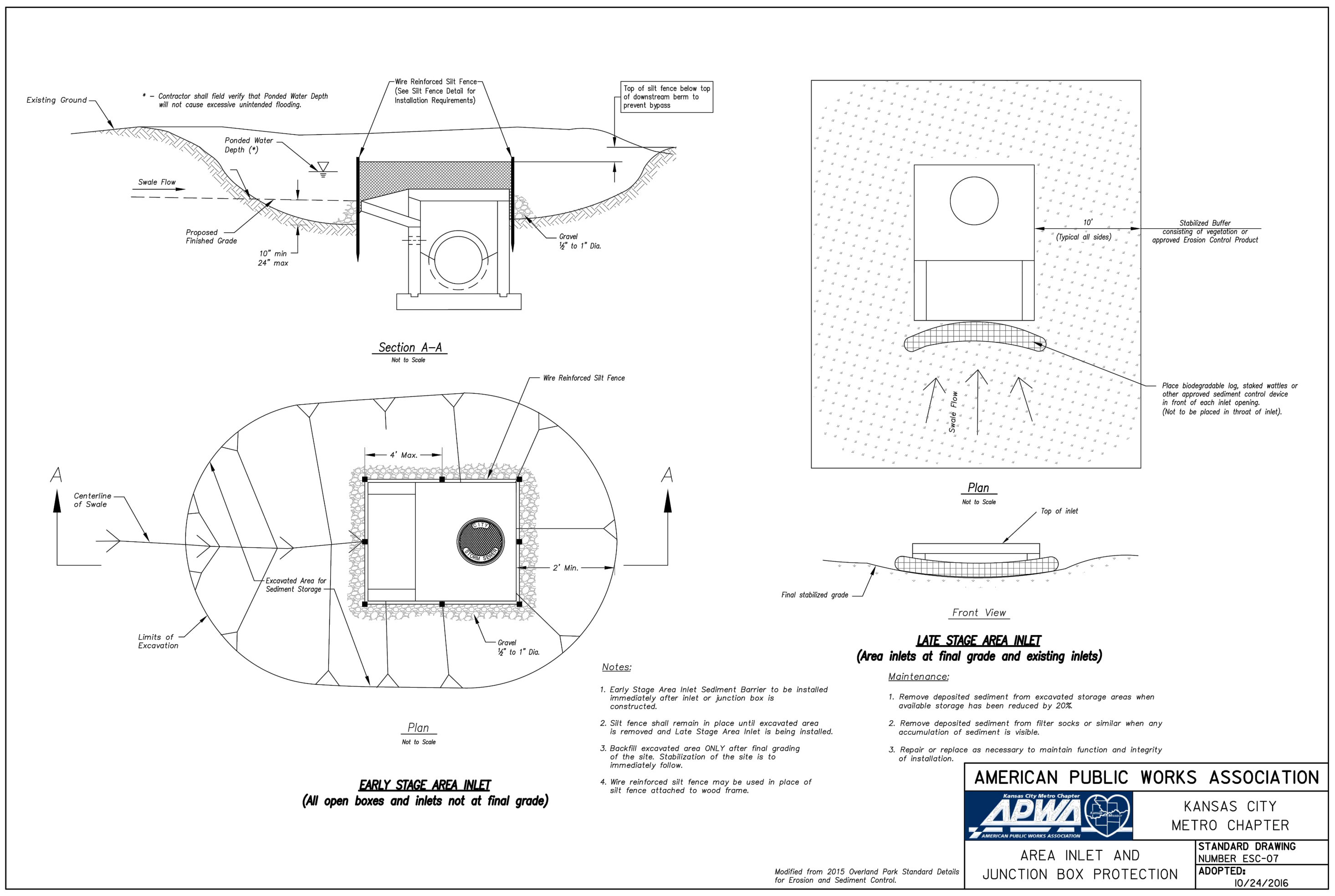
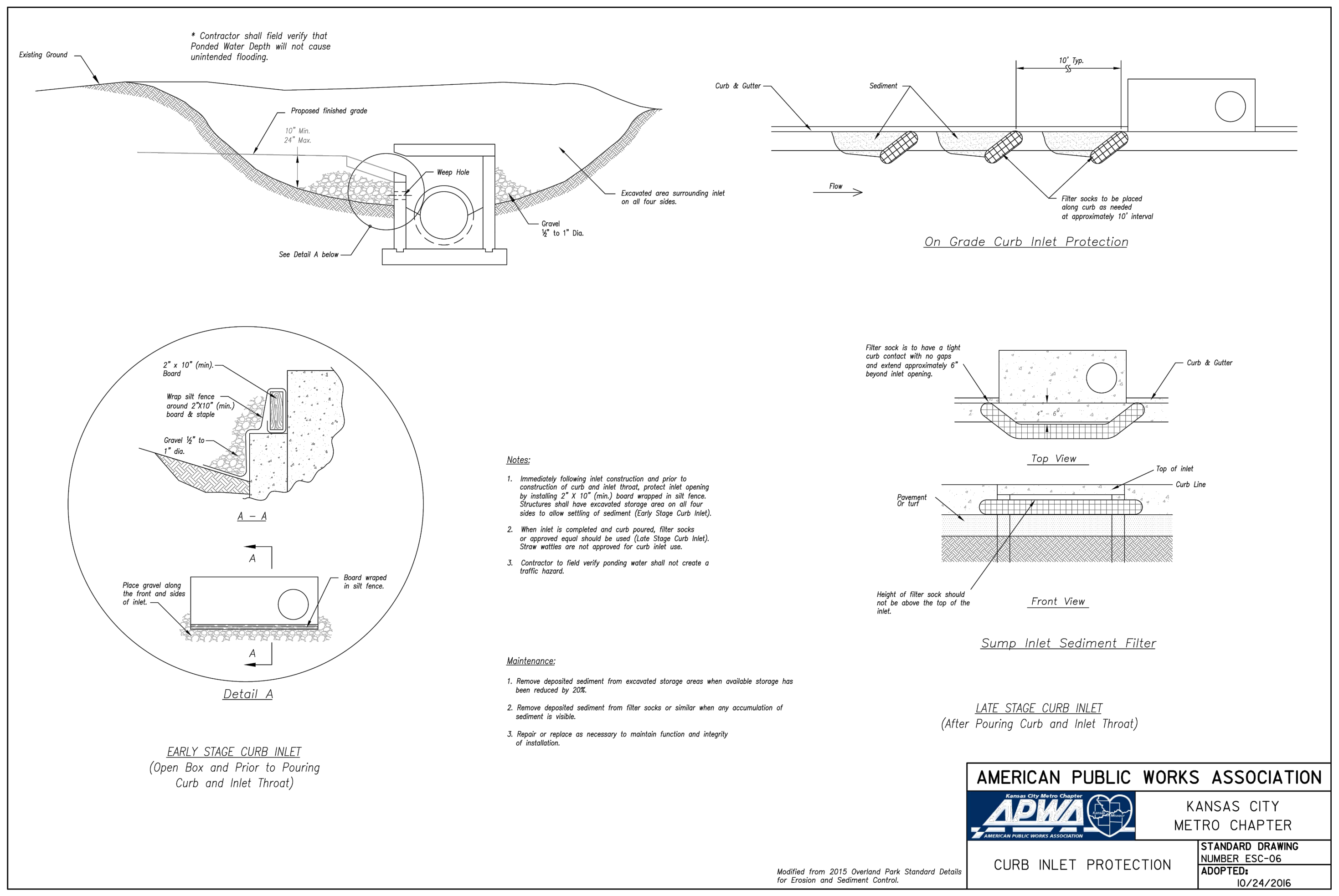


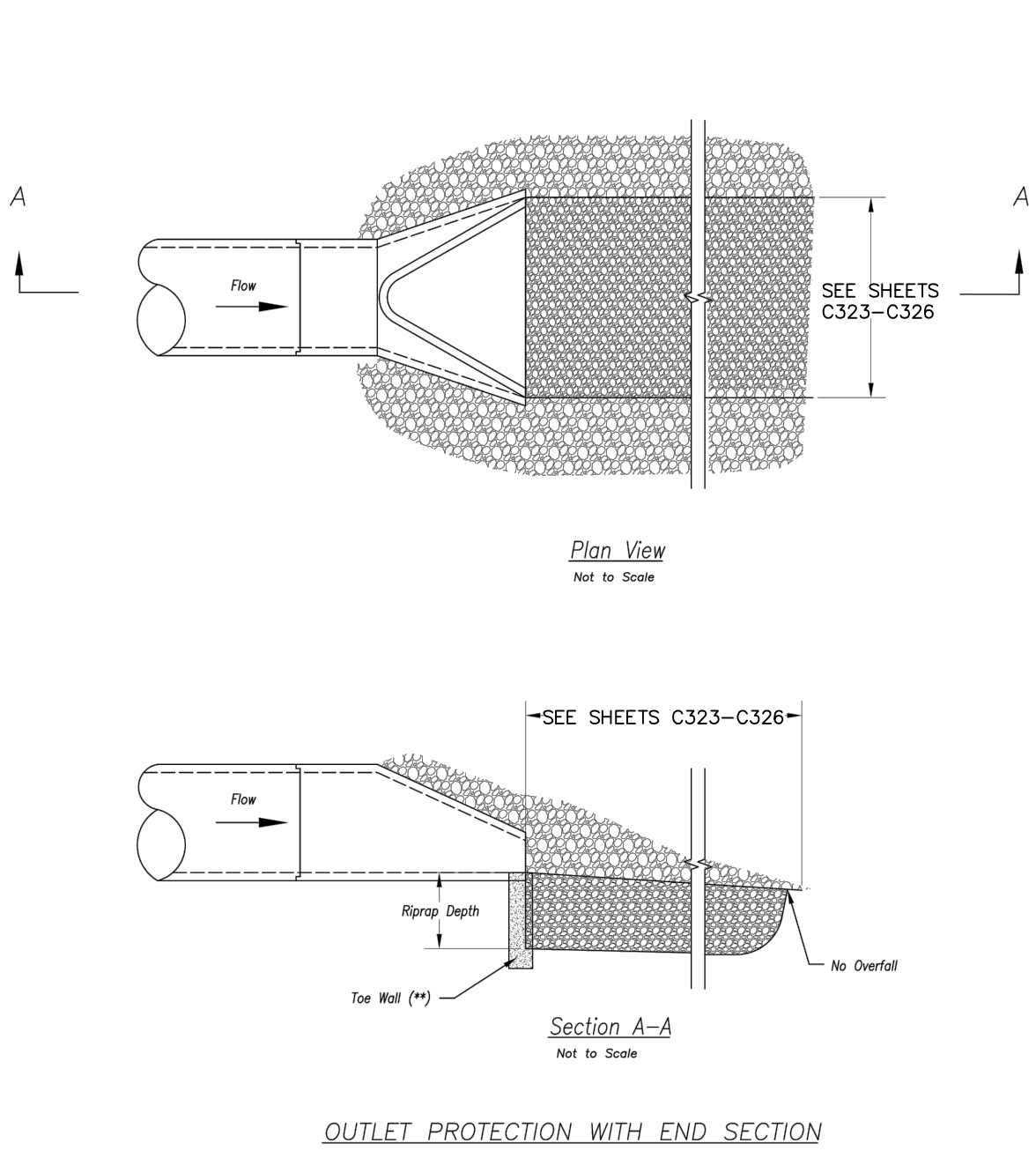
1. THE SITE DISTURBANCE PLANS INDICATE THE FINAL PLACEMENT OF EROSION CONTROL DEVICES. THE CONTRACTOR(S) MAY PROCEED WITH THE CONSTRUCTION PRIOR TO FINAL PLACEMENT OF THESE DEVICES BY PROVIDING ADDITIONAL DEVICES TO CONTROL EROSION ON THEIR ITEMS OF WORK. THESE DEVICES SHALL BE MAINTAINED UNTIL THE FINAL DEVICES ARE IN PLACE.
2. ALL EROSION CONTROL DEVICES SHALL BE INSTALLED PER THE AMERICAN PUBLIC WORKS ASSOCIATION, KANSAS CITY METRO CHAPTER DIVISION III STANDARD DRAWINGS, EROSION AND SEDIMENT CONTROL, 2016 VERSION.

—————999—————	FINISHED GRADE MAJOR CONTOUR
—————999—————	FINISHED GRADE MINOR CONTOUR
- - - - -999- - - - -	EXISTING GRADE MAJOR CONTOUR
- - - - -999- - - - -	EXISTING GRADE MINOR CONTOUR
-	DRAINAGE AREA
————— << —————	DIVERSION BERM









DAVID EICKMAN, P.E.
MO# 2009015436

[illegible]

DETAIL SHEET ((CONTD))
MASS GRADING PLANS

THE VILLAGE AT DISCOVERY PARK & ARIA APARTMENTS
NW COLBURN RD & NE DOUGLAS ST

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