

May 1, 2023

Planning Department
Attn: Hector Soto
City of Lee's Summit
220 SE Green Street, Lee's Summit, MO 64063

RE: Kensington Farms PDP

Dear Mr. Soto,

Inspired Homes is pleased to present to the City of Lee's Summit revised elevations and new floorplans for our community Kensington Farms. Kensington Farms has an existing preliminary development plan (PDP) that was originally approved in 2005. In 2014, the PDP was revised to accommodate market trends including revisions to the phasing plans, setbacks, community districts, and updated elevations. Our current request for amendment to the existing PDP is to seek approval of additional exterior elevations only. Zoning, density, setbacks, phasing, community districts, and lot sizes will all remain without change.

As is expected in the home construction industry, trends in materials and style of home construction have evolved since the original approval of the PDP in 2005. Building on our company's vision to stay current in market trends and to remain a leader in home construction in the KC Metro, we have updated the previously approved elevations for Kensington Farms. The revised elevations reflect current design styles while complimenting the existing homes in the neighborhood to ensure cohesiveness. Additionally, we are excited to offer new floorplans for our Kensington Farms Community.

Inspired Homes is dedicated in our continued investment in Lee's Summits' sustainable growth by providing quality homes that meet the needs of a wide range of buyers. Whether it is a home that supports the growth of a young family, or a maintenance provided home that accommodates a lock and leave lifestyle, we offer a diverse portfolio of floorplans. We want to thank you for your time and consideration as you review our proposed elevations.

Please feel free to reach out with any questions.

Sincerely,

Raegan Long, PE
Director of Land Development

General Project Information:

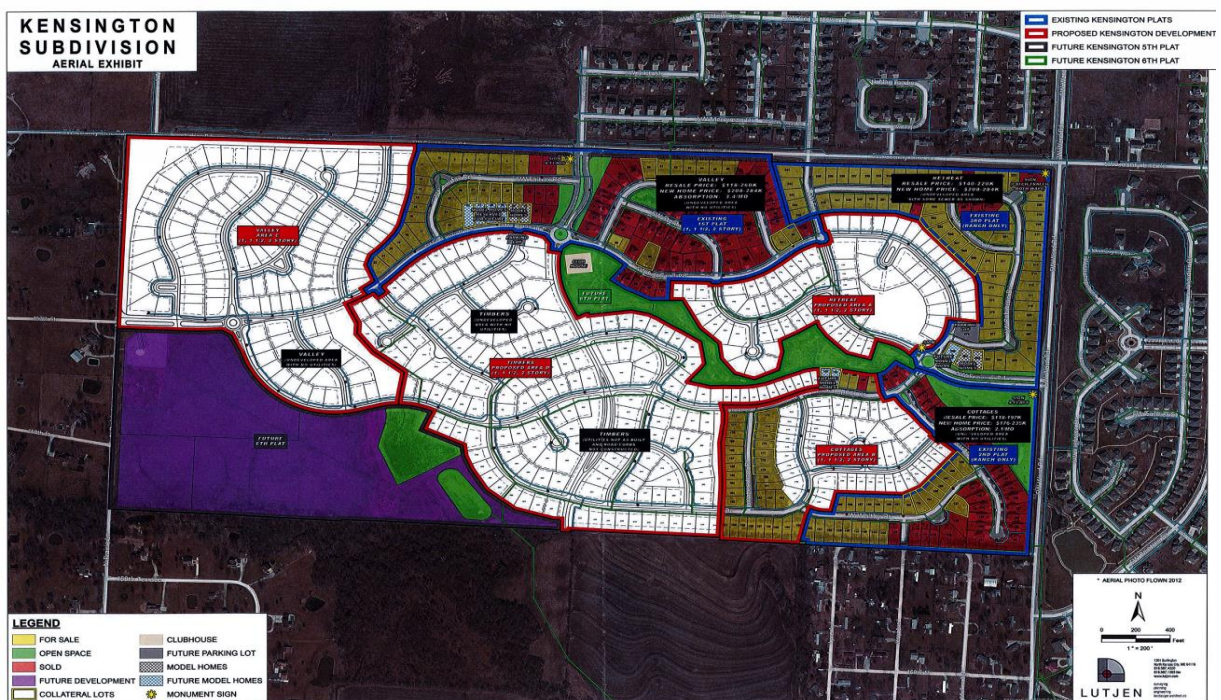
The following elevations use a variety of materials on the front facade to ensure a diverse yet cohesive look throughout the community. The rear and side elevations will be constructed of LP Smartside vertical paneled siding. This is the standard material used for single family home construction in the KC metro for homes in the Kensington Farms price range. The use of LP Smartside provides a sustainable material while also helping to keep home costs at a more attainable price point.

The revised elevations will replace previously approved elevations that were part of the original PDP. Many of the updated elevations mirror styles that honor the original intent of the initial homes constructed in Kensington Farms, while incorporating more modern trim details, stone materials, and roof lines.

As part of this PDP amendment, Inspired Homes is not requesting to alter any of the approved district areas. Our current developed lots in the Retreat District will continue to only allow the construction of ranch and reverse 1 ½ story homes. This is the maintenance provided portion of Kensington Farms and we plan to continue to offer a smaller home for buyers looking to downsize or to take advantage of a lock and leave lifestyle.

Inspired Homes owns an additional 11 acres in the Cottages that we plan to develop in the future. The Cottages District allows for 1, 1 ½, and 2 story home construction. It is our intent to leave this district as previously approved and not request any changes. This area will be more market driven and allowing a broad spectrum of home types and styles provides needed flexibility. The capacity to construct multiple floorplans and elevations also ensures a unique streetscape with a mix of heights and material usage.

The below map identifies the different housing districts within Kensington Farms and future and existing plat boundaries. The map is from 2014; therefore, the lot information shown is not correct.



Below is an updated version of the 2014 map that shows the status of developed lots within Kensington Farms and the existing undeveloped area that was part of the original masterplan. Inspired Homes only own the undeveloped area shown in light blue below. It is an 11-acre parcel and will be developed in the future into approximately 52 single family lots. All the areas shown in white below are not developed and are not owned by Inspired Homes. Areas shown in red represent sold lots. An enlarged Legend for the below map is provided that identifies the status of each individual platted lot.



Map

Legend:

	Available Lot
	Sold Lot
	Future Inspired Homes Development: Cottages - approx 52 lots
	Spec Home
	Land not owned by Inspired Homes
	Sold Home
	Open Space
	City of Lee's Summit

The following tables summarizes the current lot count:

Sold Homes	230
Unsold Lots	36
Sold Lots	1
Spec Homes	11
Total Platted Lots	278

The following pages include the proposed elevations for each floorplan and describe in more detail the materials that will be used.

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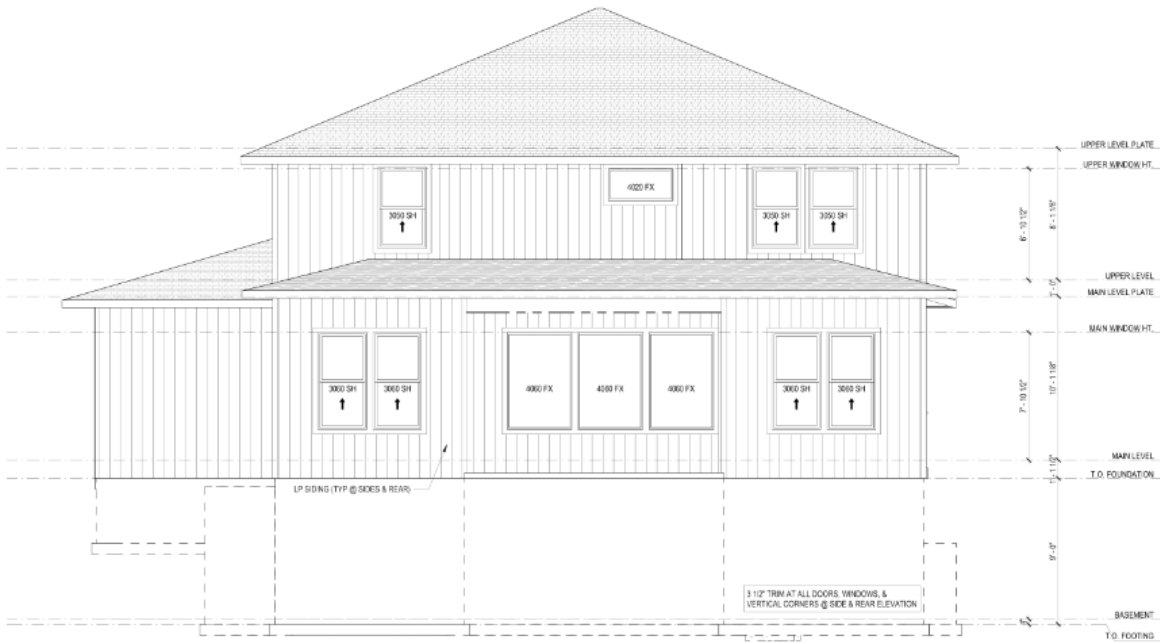
CALISTOGA:

The Calistoga is a 2,990 square foot 2-Story home with 5 elevations. Materials to be used include stucco, stone and/or brick veneer, lap siding, board and batten, shack siding, standing seam metal roof details, and cedar roof details, shutters, and posts. Final color palette to be selected by homeowner.



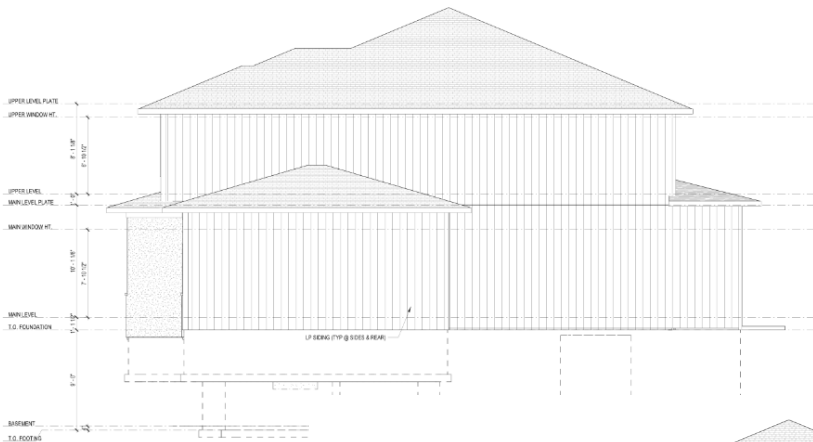






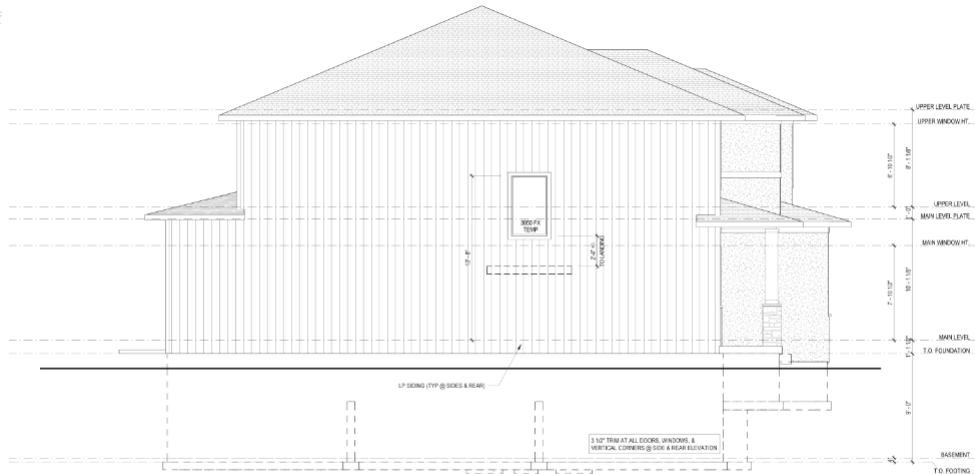
1 REAR ELEVATION

A201 1/4" = 1'-0" WHEN PRINTED ON 24"X36" / ARCH D PAPER SIZE



2 RIGHT ELEVATION

A201 1/4" = 1'-0" WHEN PRINTED ON 24"X36" / ARCH D PAPER SIZE



2 LEFT ELEVATION

A200 1/4" = 1'-0" WHEN PRINTED ON 24"X36" / ARCH D PAPER SIZE

CARDINALE:

The Cardinale is a 2,640 square foot reverse 1 ½-Story home with 4 elevations. Materials to be used include stone and/or brick veneer, lap siding, board and batten, shack siding, standing seam metal roof details, and cedar roof details, shutters, and posts. Final color palette to be selected by homeowner.





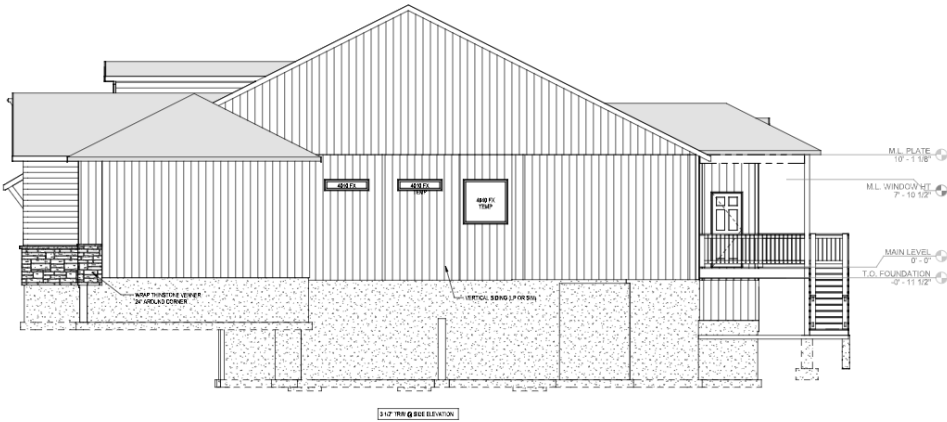
Craftsman



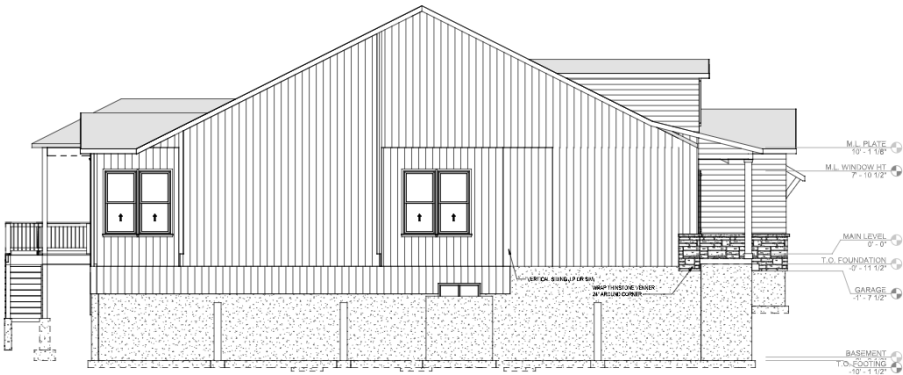
Cape Cod



1 BACK
1/4" = 1'-0"



2 RIGHT
1/4" = 1'-0"



3 LEFT
1/4" = 1'-0"

Danbury:

The Danbury is a 2,140 square foot reverse 1 ½ story home with 4 elevations. Materials to be used include stone and/or brick veneer, lap siding, board and batten, shack siding, standing seam metal roof details, and cedar roof details, shutters, and posts. Final color palette to be selected by homeowner.

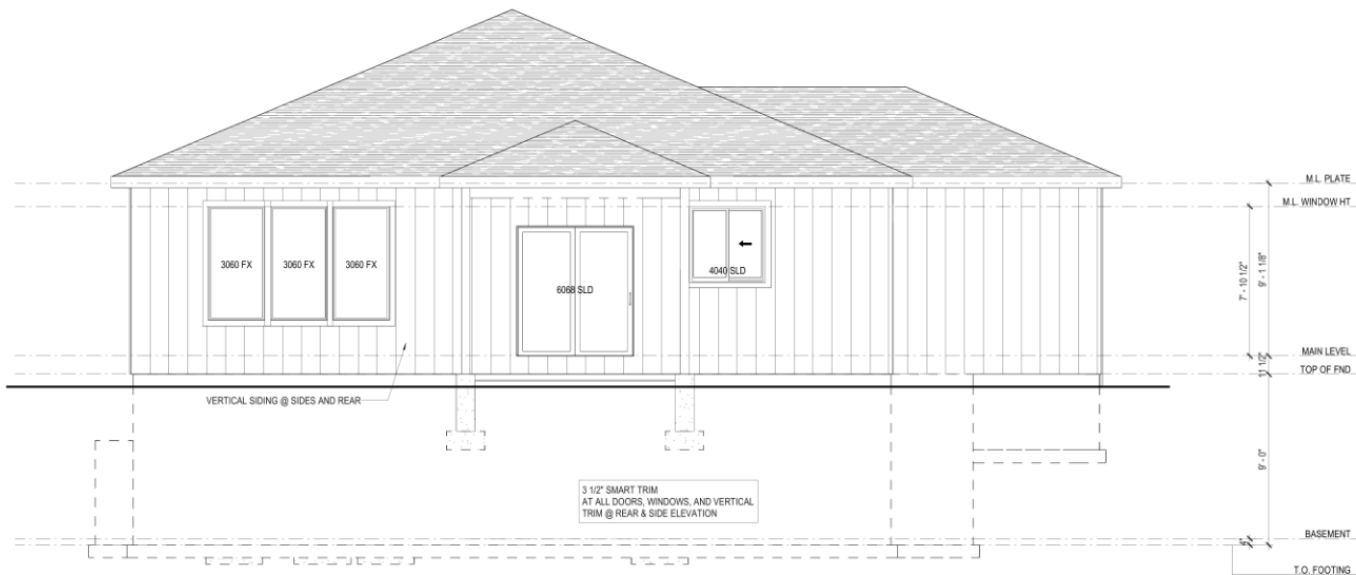




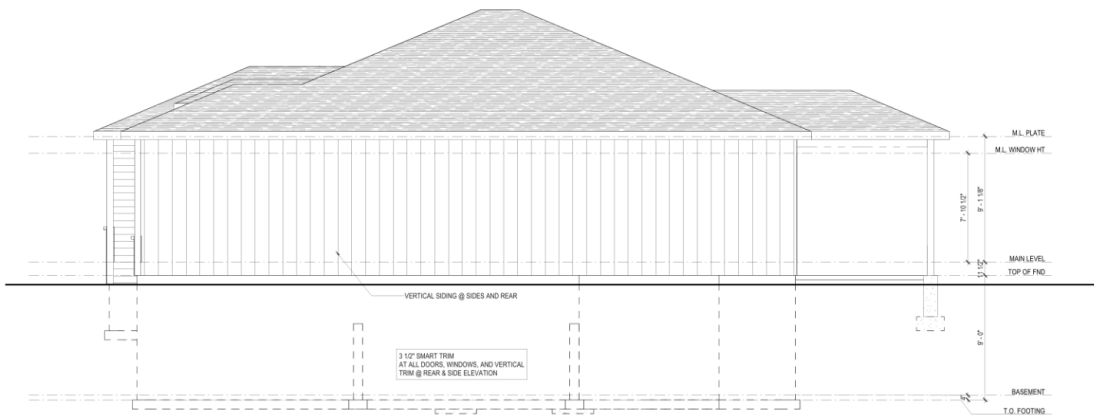
Craftsman



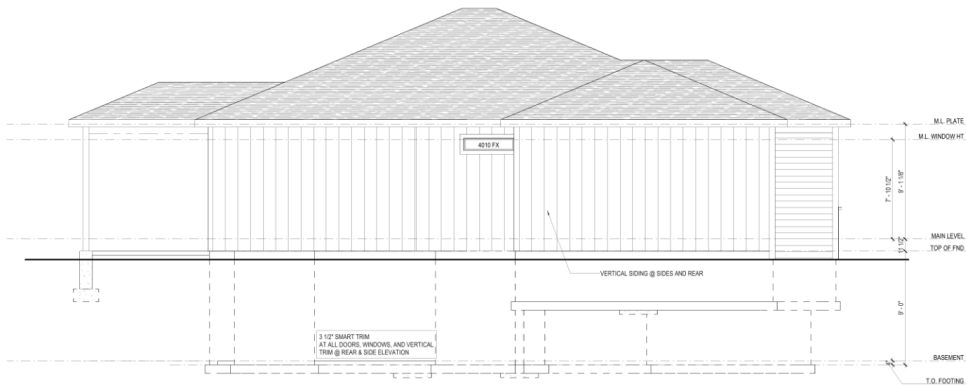
Modern Farmhouse



1 REAR ELEVATION
1/4" = 1'-0"



2 RIGHT ELEVATION
1/4" = 1'-0"



2 LEFT ELEVATION
1/4" = 1'-0"

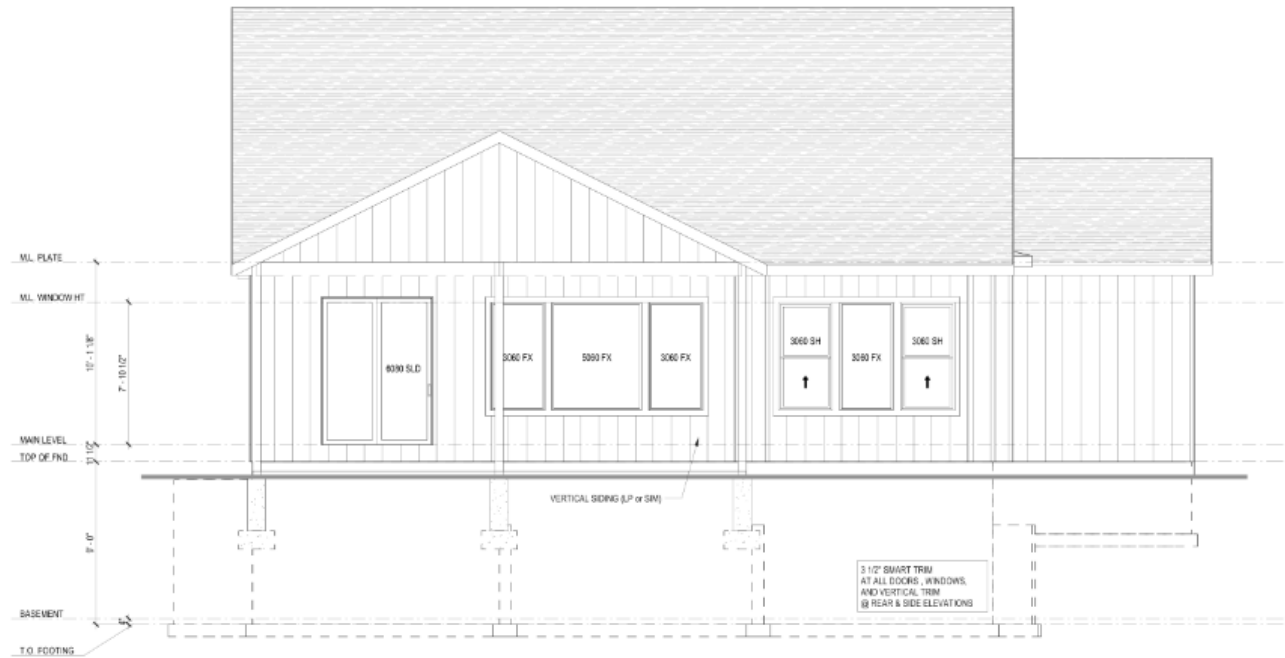
Fairfield:

The Fairfield is a 2,720 square foot reverse 1 ½-Story home with 3 elevations. Materials to be used include stone and/or brick veneer, lap siding, board and batten, shack siding, standing seam metal roof details, and cedar roof details, shutters and posts. Final color palette to be selected by homeowner.

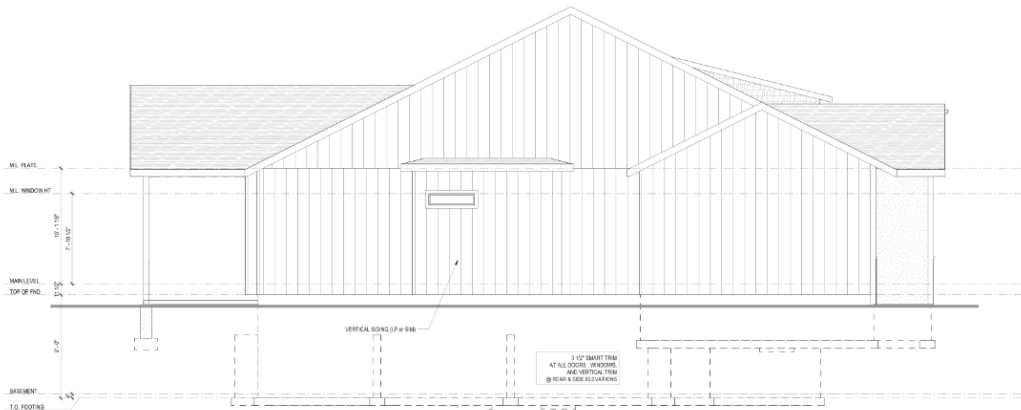




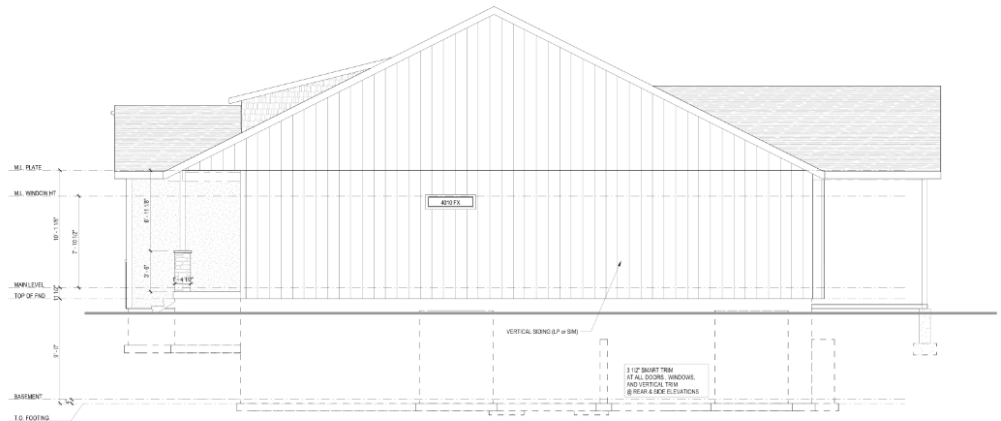
Craftsman



1 REAR ELEVATION
1/4" = 1'-0"



2 RIGHT ELEVATION
1/4" = 1'-0"



3 LEFT ELEVATION
1/4" = 1'-0"

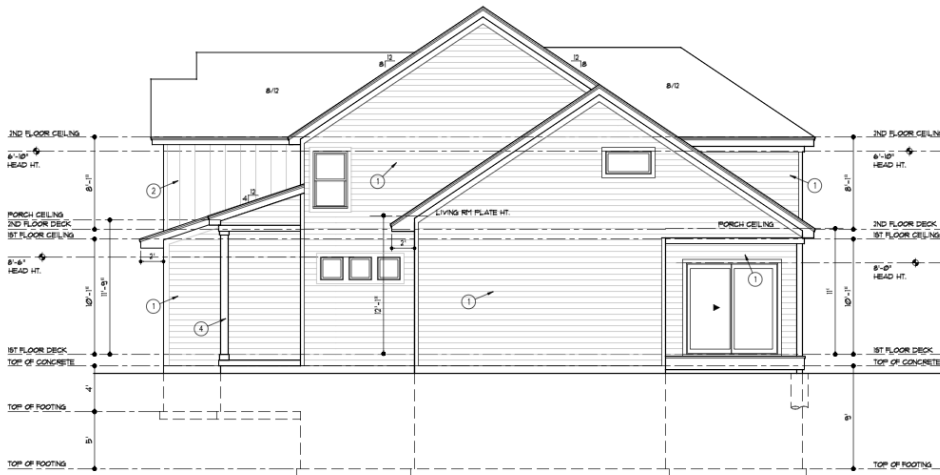
Glenwood:

The Glenwood is a 2,975 square foot 2-Story home with 1 elevation. Materials to be used include lap siding and board and batten. Final color palette to be selected by homeowner.





REAR ELEVATION
1/4" = 1'-0"



RIGHT SIDE ELEVATION
1/4" = 1'-0"



LEFT SIDE ELEVATION
1/4" = 1'-0"

Inglenook:

The Inglenook is a 2,488 square foot 2-Story home with 5 elevations. Materials to be used include stucco, stone and/or brick veneer, lap siding, board and batten, shack siding, standing seam metal roof details, and cedar roof details, shutters, and posts. Final color palette to be selected by homeowner.



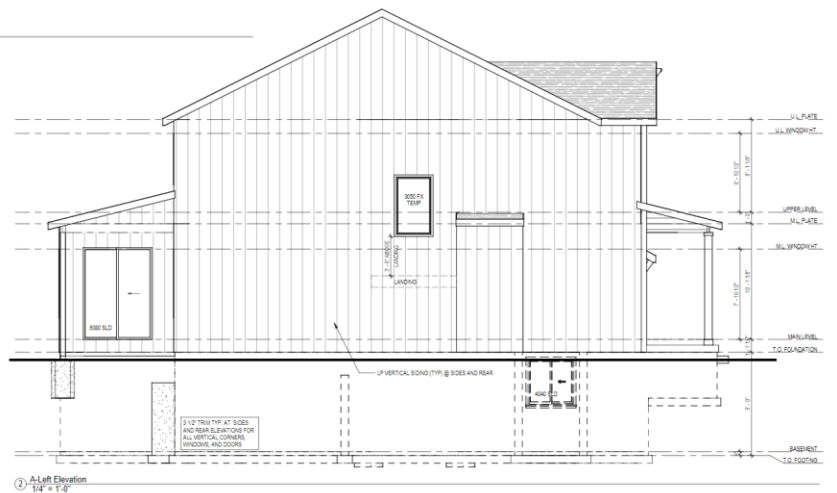
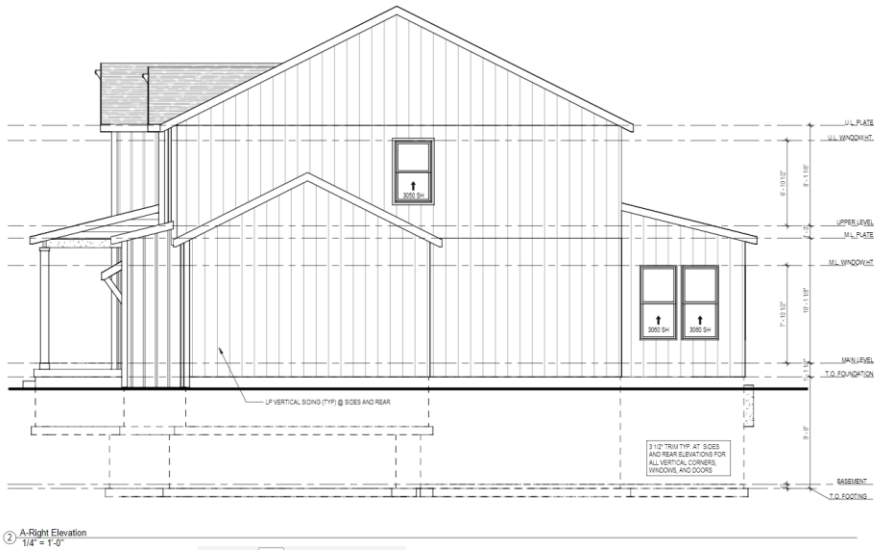
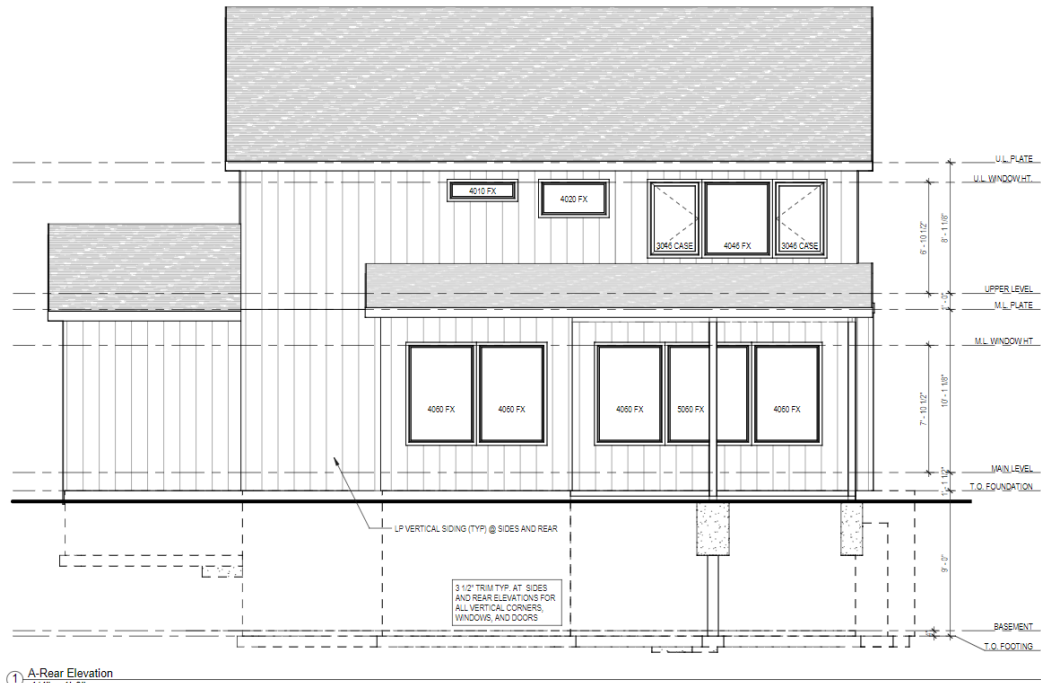


Farmhouse



Contemporary





Monterey:

The Monterey is a 2,771 square foot 1 ½ -Story home with 4 elevations. Materials to be used include stucco, stone and/or brick veneer, lap siding, board and batten, shack siding, standing seam metal roof details, and cedar roof details, shutters, and posts. Final color palette to be selected by homeowner.



Modern Farmhouse

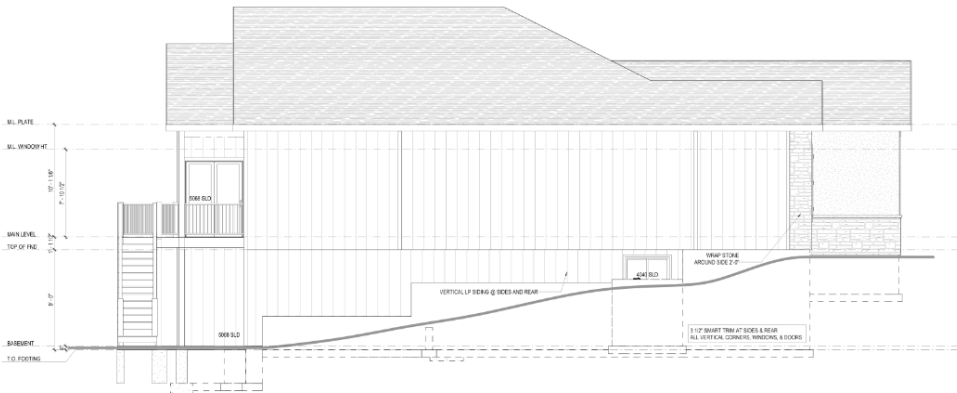


Heritage

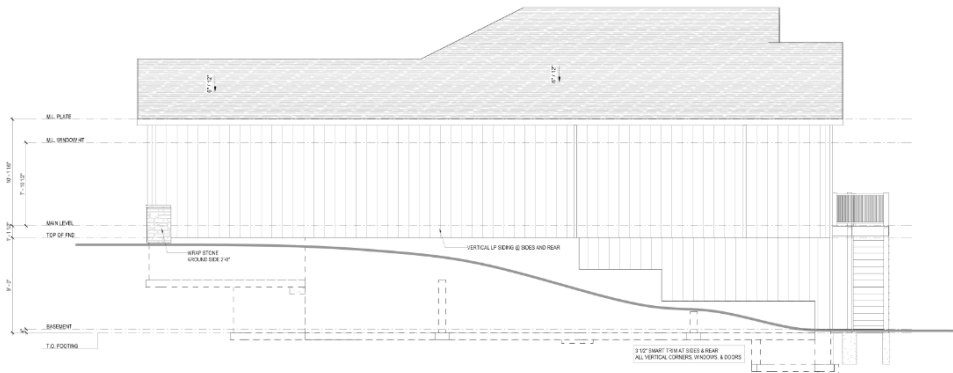




1 REAR ELEVATION
1/4" = 1'-0"



2 RIGHT ELEVATION
1/4" = 1'-0"



2 LEFT ELEVATION
1/4" = 1'-0"

Opus:

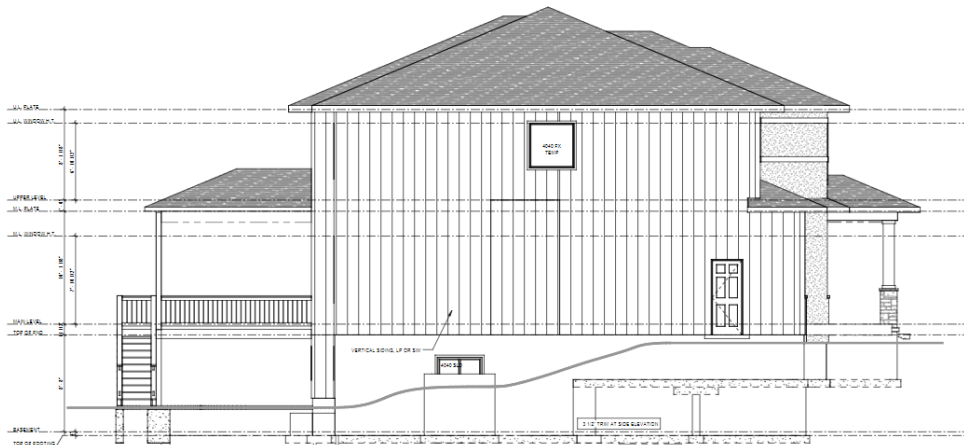
The Opus is a 3,300 square foot 2-Story home with 3 elevations. Materials to be used include stucco, stone and/or brick veneer, lap siding, board and batten, shack siding, standing seam metal roof details, and cedar roof details, shutters and posts. Final color palette to be selected by homeowner.







1 REAR ELEVATION
1/2" = 1'-0"



2 RIGHT ELEVATION
1/2" = 1'-0"



3 LEFT ELEVATION
1/2" = 1'-0"

Rutherford:

The Rutherford is a 2,060 square foot 2-Story home with 4 elevations. Materials to be used include stucco, stone and/or brick veneer, lap siding, board and batten, shack siding, standing seam metal roof details, and cedar roof details, shutters, and posts. Final color palette to be selected by homeowner.



Prairie

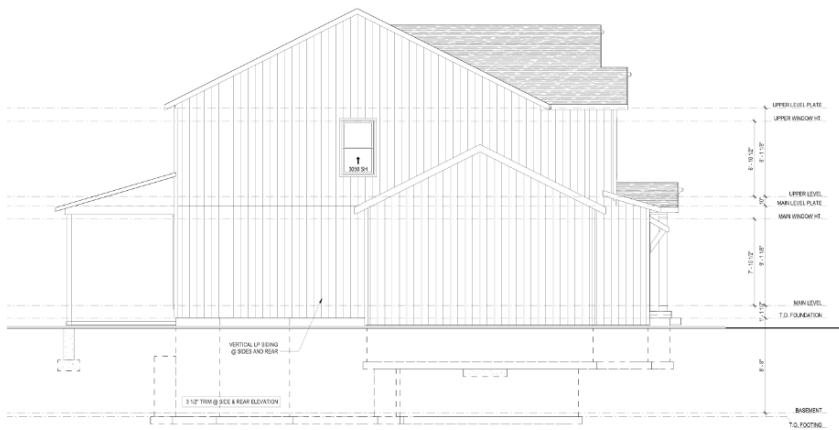


Farmhouse

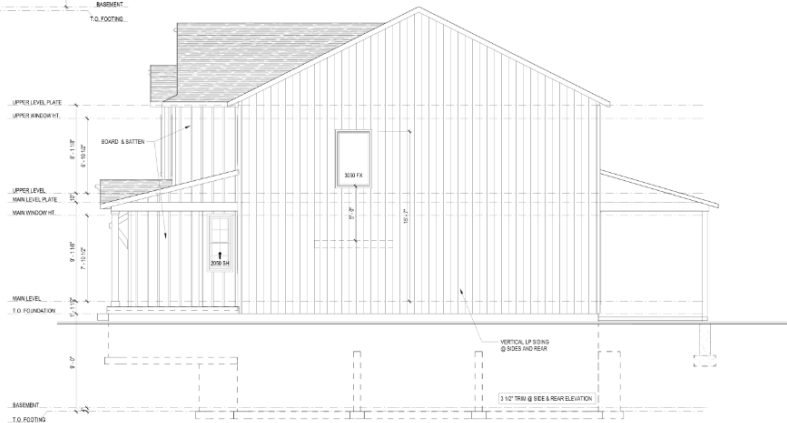




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2 RIGHT ELEVATION
A202 1/4" = 1'-0" WHEN PRINTED ON 24"x36" / ARCH D PAPER SIZE



2 LEFT ELEVATION
A203 1/4" = 1'-0" WHEN PRINTED ON 24"x36" / ARCH D PAPER SIZE

Sonoma:

The Sonoma is a 2,960 square foot Ranch home with 3 elevations. Materials to be used include stone and/or brick veneer, lap siding, board and batten, shack siding, standing seam metal roof details, and cedar roof details, shutters and posts. Final color palette to be selected by homeowner.

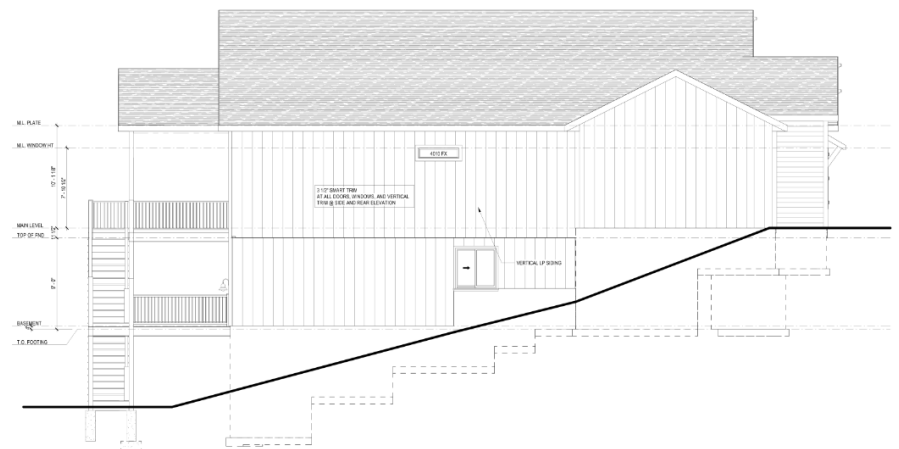
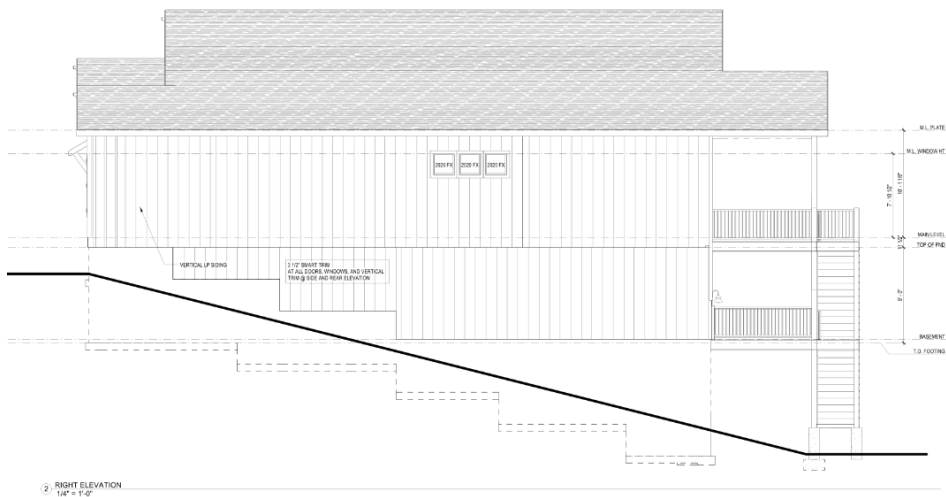
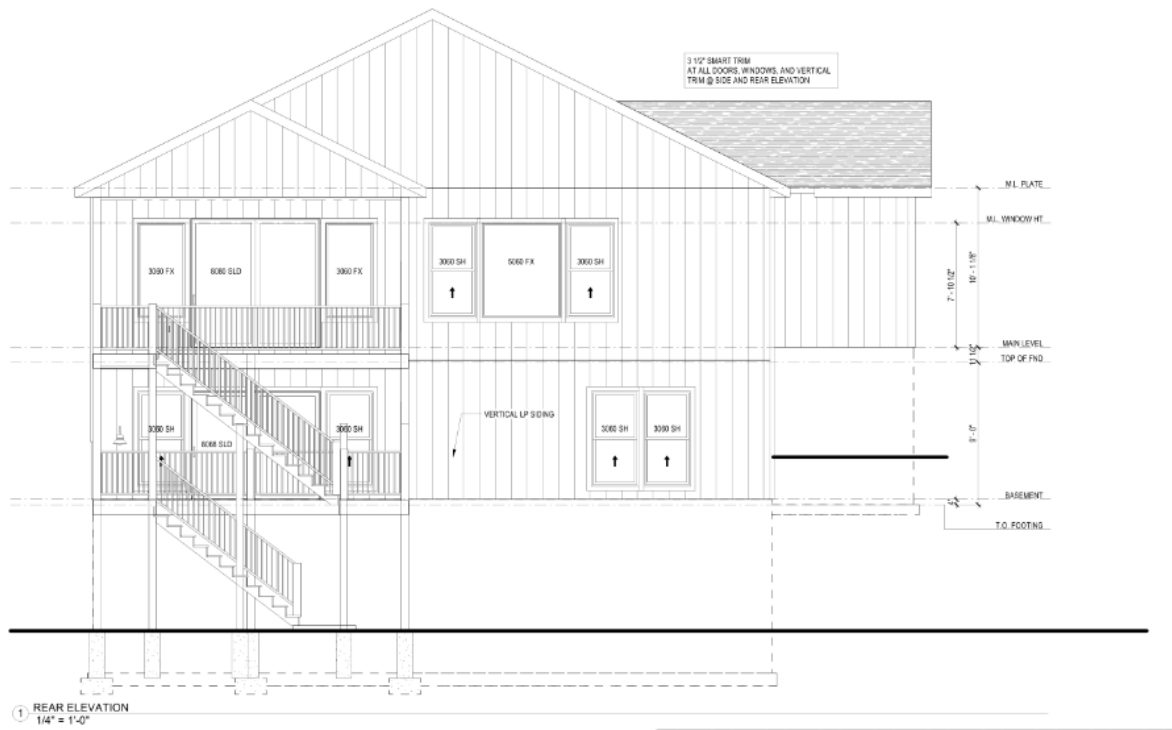


Modern Farmhouse



Farmhouse





Windsor:

The Windsor is a 3,460 square foot 1 ½ -Story home with 4 elevations. Materials to be used include stucco, stone and/or brick veneer, lap siding, board and batten, shack siding, standing seam metal roof details, and cedar roof details, shutters, and posts. Final color palette to be selected by homeowner.





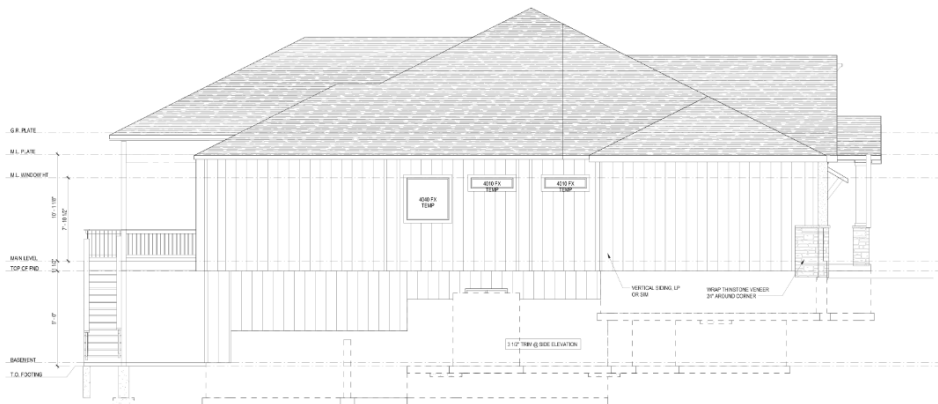
Craftsman



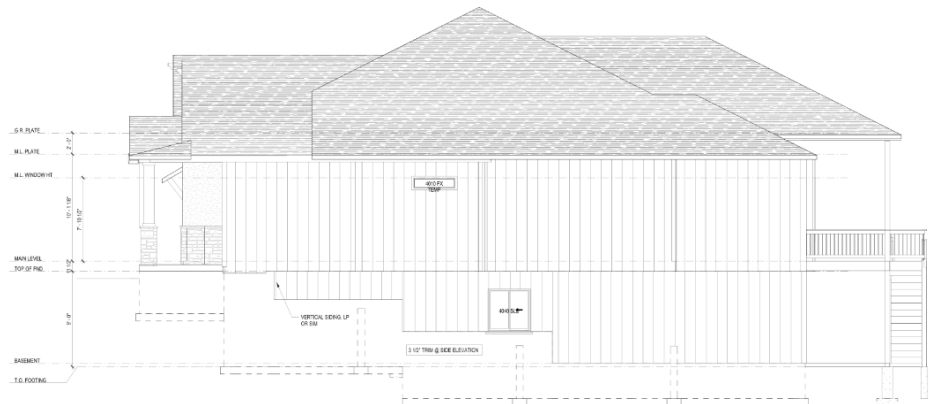
Contemporary



1 REAR ELEVATION
1/4" = 1'-0"



2 RIGHT ELEVATION
1/4" = 1'-0"



3 LEFT ELEVATION
1/4" = 1'-0"