

FINAL DEVELOPMENT PLANS

FOR

LOT 5

STREETS OF WEST PRYOR

2070 NW LOWENSTEIN DR
LEE'S SUMMIT, MO

UTILITIES
Electric Service
Evergy
Nathan Michael
913-347-4310
Nathan.michael@evergy.com

Gas Service
Spire
Katie Darnell
816-969-2247
Katie.darnell@spireenergy.com

Water/Sanitary Sewer
Water Utilities Department
1200 SE Hamblen Road
Lee's Summit, Mo 64081
Jeff Thorn
816-969-1900
jeff.thorn@cityofls.net

Communication Service
AT&T Carrie Cilke
816-703-4386
cc3527@att.com

Time Warner Cable
Steve Baxter
913-643-1928
steve.baxter@charter.com

Comcast
Ryan Alkire
816-795-2218
ryan.alkire@cable.comcast.com

Google Fiber
Becky Davis
913-725-8745
rebeccadavis@google.com



UTILITY STATEMENT:

THE UNDERGROUND UTILITIES SHOWN HEREON ARE FROM FIELD SURVEY INFORMATION OF ONE-CALL LOCATED UTILITIES, FIELD SURVEY INFORMATION OF ABOVE GROUND OBSERVABLE EVIDENCE, AND/OR THE SCALING AND PLOTTING OF EXISTING UTILITY MAPS AND DRAWINGS AVAILABLE TO THE SURVEYOR AT THE TIME OF SURVEY. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. FURTHERMORE, THE SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES BY EXCAVATION UNLESS OTHERWISE NOTED ON THIS SURVEY.

SAFETY NOTICE TO CONTRACTOR

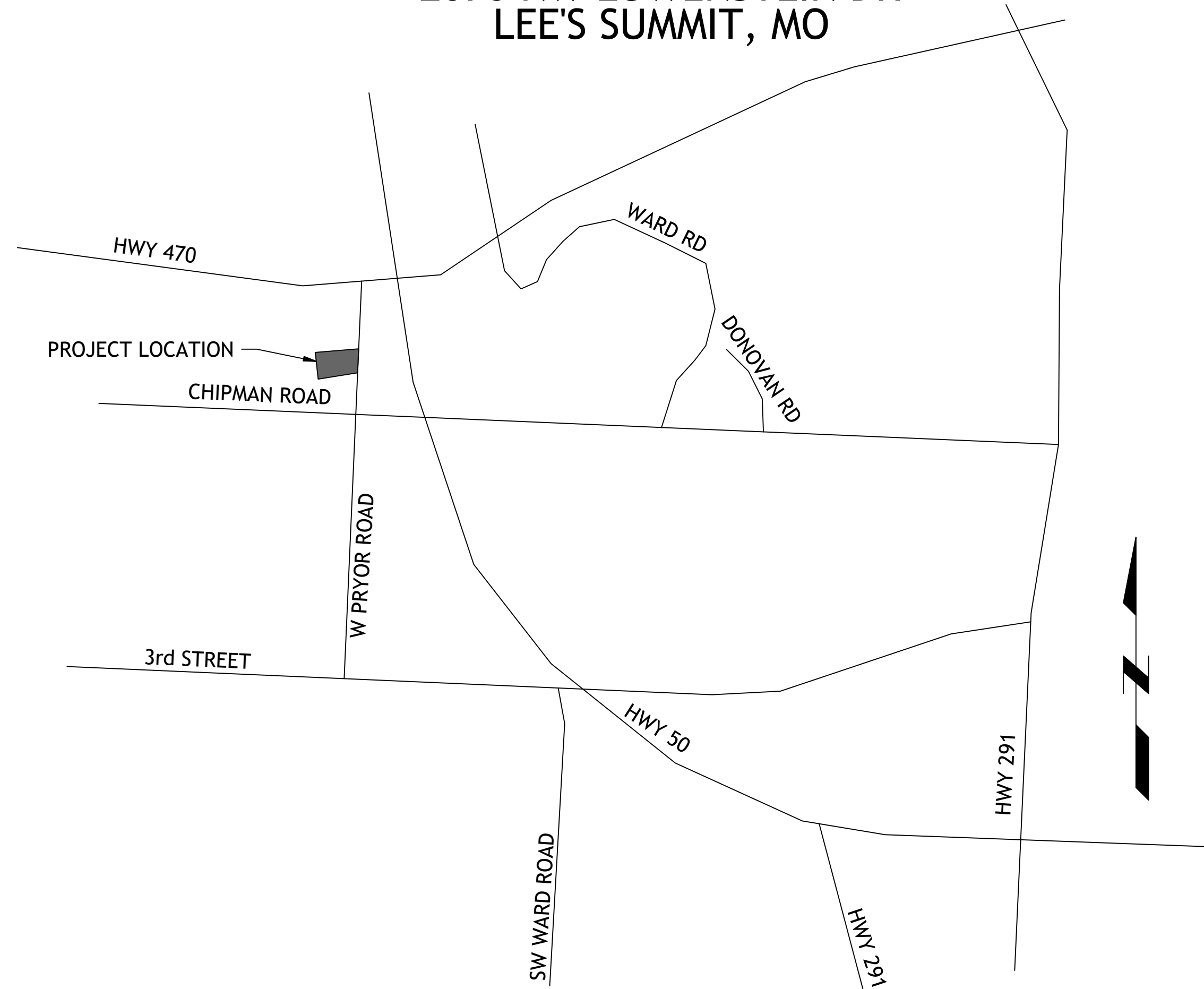
IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICE, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

WARRANTY/DISCLAIMER

THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER SM ENGINEERING NOR ITS PERSONNEL CAN OR DO WARRANTY THESE DESIGNS OR PLANS AS CONSTRUCTED, EXCEPT IN THE SPECIFIC CASES WHERE SM ENGINEERING PERSONNEL INSPECT AND CONTROL THE PHYSICAL CONSTRUCTION ON A CONTEMPORARY BASIS AT THE SITE.

CAUTION- NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. THE CONTRACTOR SHALL EXPOSE EXISTING UTILITIES AT LOCATIONS OF POSSIBLE CONFLICTS PRIOR TO ANY CONSTRUCTION.



LOCATION MAP

LEGAL DESCRIPTION:

LOT 5 STREET OF WEST PRYOR
LEE'S SUMMIT, MO, JACKSON COUNTY MISSOURI

BENCHMARKS:

#1 CHISELED "SQUARE" ON TOP OF CURB POINT OF INTERSECTION OF WEST PARK PARKING LOT AT EAST DRIVE ENTRANCE
ELEVATION 985.05

#2 CHISELED "SQUARE" ON NORTHWEST CORNER AREA INLET, 25' EAST OF CURB LINE AND ON-LINE WITH SOUTH CURB OF LOWENSTEIN DRIVE AT 90° BEND IN ROAD
ELEVATION 971.06

FLOODPLAIN NOTE:

SUBJECT PROPERTY IS SHOWN TO BE LOCATED IN "OTHER AREAS ZONE X" ON THE FLOOD INSURANCE RATE MAP FOR JACKSON COUNTY, MISSOURI AND INCORPORATED AREAS. COMMUNITY PANEL NO. 29095C0416G, REVISED JANUARY 20, 2017. "OTHER AREAS ZONE X" IS DEFINED AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUL CHANCE FLOODPLAIN". LOCATION DETERMINED BY A SCALED GRAPHICAL PLOT OF THE FLOOD INSURANCE RATE MAP.

NOTE:

THERE ARE NO GAS/OIL WELLS ON SITE
PER ALTA SURVEY

PL2023106
PRCOM20232379

INDEX OF SHEETS

- C-1 COVER SHEET
- C-2 EXISTING CONDITIONS
- C-3 DEMOLITION PLAN
- C-4 SITE PLAN
- C-5 UTILITY PLAN
- C-6 GRADING PLAN
- C-7 ADA RAMP
- C-8 EROSION CONTROL
- C-9 EROSION CONTROL DETAILS
- C-10 DETAILS
- C-11 DETAILS
- C-12 DETAILS
- C-13 LANDSCAPE PLAN

DEVELOPER

SWP III, LLC
C/O DRAKE DEVELOPMENT, LLC
7200 W 132nd ST, SUITE 150
OVERLAND PARK, KS 66213
913-662-2630

ENGINEER

SM ENGINEERING
SAM MALINOWSKY
5507 HIGH MEADOW CIRCLE
MANHATTAN KANSAS, 66503
SMCIVILENGR@GMAIL.COM
785.341.9747

SURVEYOR

ENGINEERING SOLUTIONS, LLC
50 SE 30TH STREET
LEE'S SUMMIT, MO 64082
P:(816) 623-9888

RELEASED FOR CONSTRUCTION
As Noted on Plan Review
Development Services Department
Lee's Summit, Missouri
06/13/2023



SAMUEL D. MALINOWSKY
PROFESSIONAL ENGINEER

SM Engineering
5507 High Meadow Circle
Manhattan Kansas, 66503
smcivilengr@gmail.com
785.341.9747

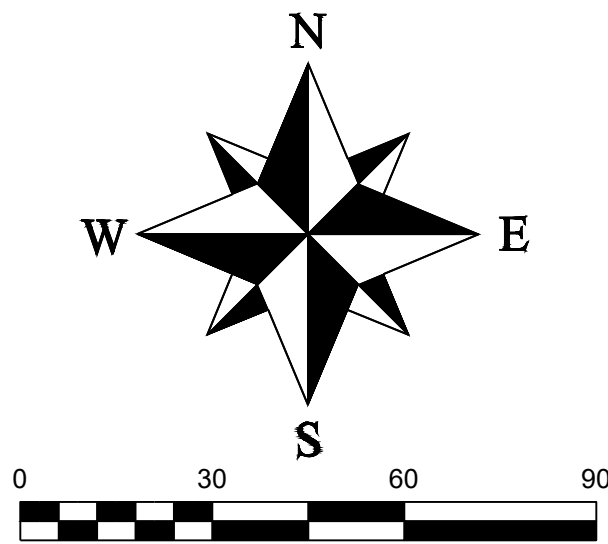
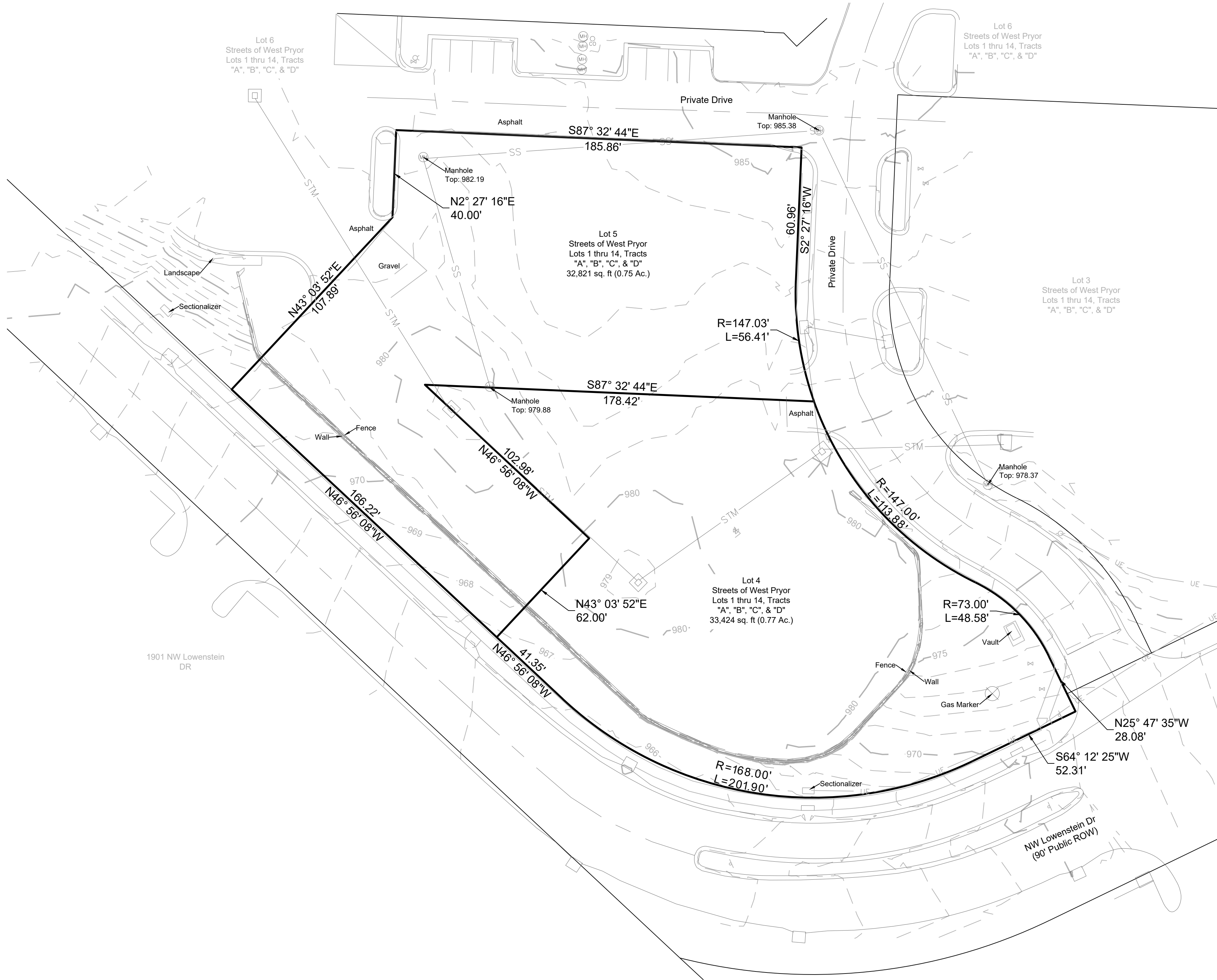
Drawings and/or Specifications are original proprietary work and property of the Engineer and intended specifically for this project. Use of items contained herein without consent of the Engineer is prohibited. Drawings illustrate best information available to the Engineer. Field verification of actual elements, conditions, and dimensions is required.

Revisions
6-1-23 CITY COMMENTS

STREETS OF W. PRYOR
LOT 5
LEE'S SUMMIT, MO.

s h e e t
C1.0
Civil
Site Improvement Plan
permit
5 MAY 2023

Topographic Survey
Streets of West Pryor Lots 4 & 5
Section 35, Township 48, Range 32
Lee's Summit, Jackson County, Missouri



LEGEND

- These standard symbols will be found in the drawing.
- Set 1/2" Rebar & Cap
 - ⊙ Found Survey Monument (As Noted)

PROPERTY DESCRIPTION

All of Lots 4 and 5 of Streets of West Pryor Lots 1 thru 14, Tracts "A", "B", "C", & "D"

SURVEYOR'S GENERAL NOTES:

- This survey is based upon the following information provided by the client or researched by this surveyor.
(A) Final Plat of Streets of West Pryor Lots 1 thru 14, Tracts "A", "B", "C", & "D", Recorded as Document No. 2019E0032538-2.
- This survey meets or exceeds the accuracy standards of a (SUBURBAN) Property Boundary Survey as defined by the Missouri Standards for Property Boundary Surveys.
- No Title report was furnished by the client.
- Bearings shown hereon are based upon bearings described in the Final Plat of Streets of West Pryor Lots 1 thru 14, Tracts "A", "B", "C", & "D", Recorded as Document No. 2019E0032538-2.
- This company assumes no responsibility in the location of existing utilities within the subject premises. This is an above-ground survey. The underground utilities, if shown, are based on information provided by the various utility companies and these locations should be considered approximate. There may be additional underground utilities not shown on this drawing.
- Subsurface and environmental conditions were not surveyed or examined or considered as a part of this survey. No evidence or statement is made concerning the existence or underground or overhead conditions, containers or facilities that may affect the use or development of this property. No attempt has been made to obtain or show data concerning existence, size, depth, conditions, capacity or location of any utility existing on the site, whether private, municipal or public owned.
- This property is located outside the 100 year flood plain, zone "X" as shown on the Firm panel 29095C0416G, dated January 20, 2017.

RELEASED FOR CONSTRUCTION
As Based on Plot Notes
Development Services Department
Lee's Summit, Missouri
06/13/2023

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY THAT I HAVE MADE A SURVEY OF THE PREMISES DESCRIBED HEREIN WHICH MEETS OR EXCEEDS THE CURRENT "MISSOURI MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS" AS JOINTLY ESTABLISHED BY THE MISSOURI BOARD FOR ARCHITECTS, PROFESSIONAL ENGINEERS, PROFESSIONAL LAND SURVEYORS, AND LANDSCAPE ARCHITECTS AND THE MISSOURI DEPARTMENT OF NATURAL RESOURCES, DIVISION OF GEOLOGICAL SURVEY AND RESOURCE ASSESSMENT AND THAT THE RESULTS OF SAID SURVEY ARE REPRESENTED ON THIS PLAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF.

MATTHEW J. SCHLICHT, MOPLS 2012000102
ENGINEERING SOLUTIONS, LLC., MO CORP LS 2005008319-D

REVISIONS

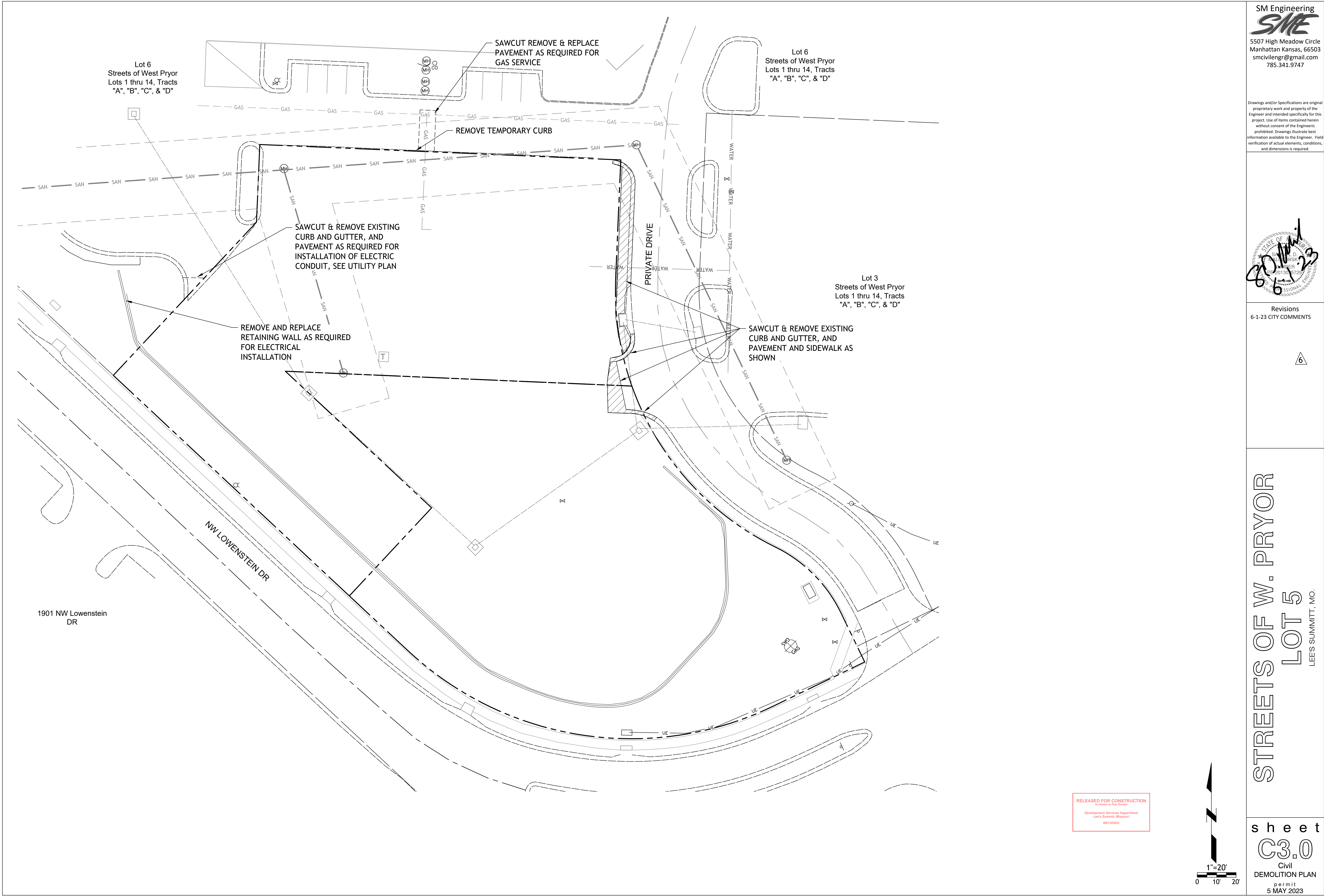
DATE	

Topographic Survey
Streets of West Pryor Lots 4 & 5
Section 35, Township 48, Range 32
Lee's Summit Jackson County Missouri

Topographic Survey

SHEET	SECTION	TOWNSHIP	RANGE	COUNTY	JOB NO.
1 OF 1	35	48	32	JACKSON	SWP Lot 4
RANGE 32					DATE OF REGISTRATION

PROFESSIONAL SEAL



SM Engineering
SM E
5507 High Meadow Circle
Manhattan Kansas, 66503
smcivilengr@gmail.com
785.341.9747

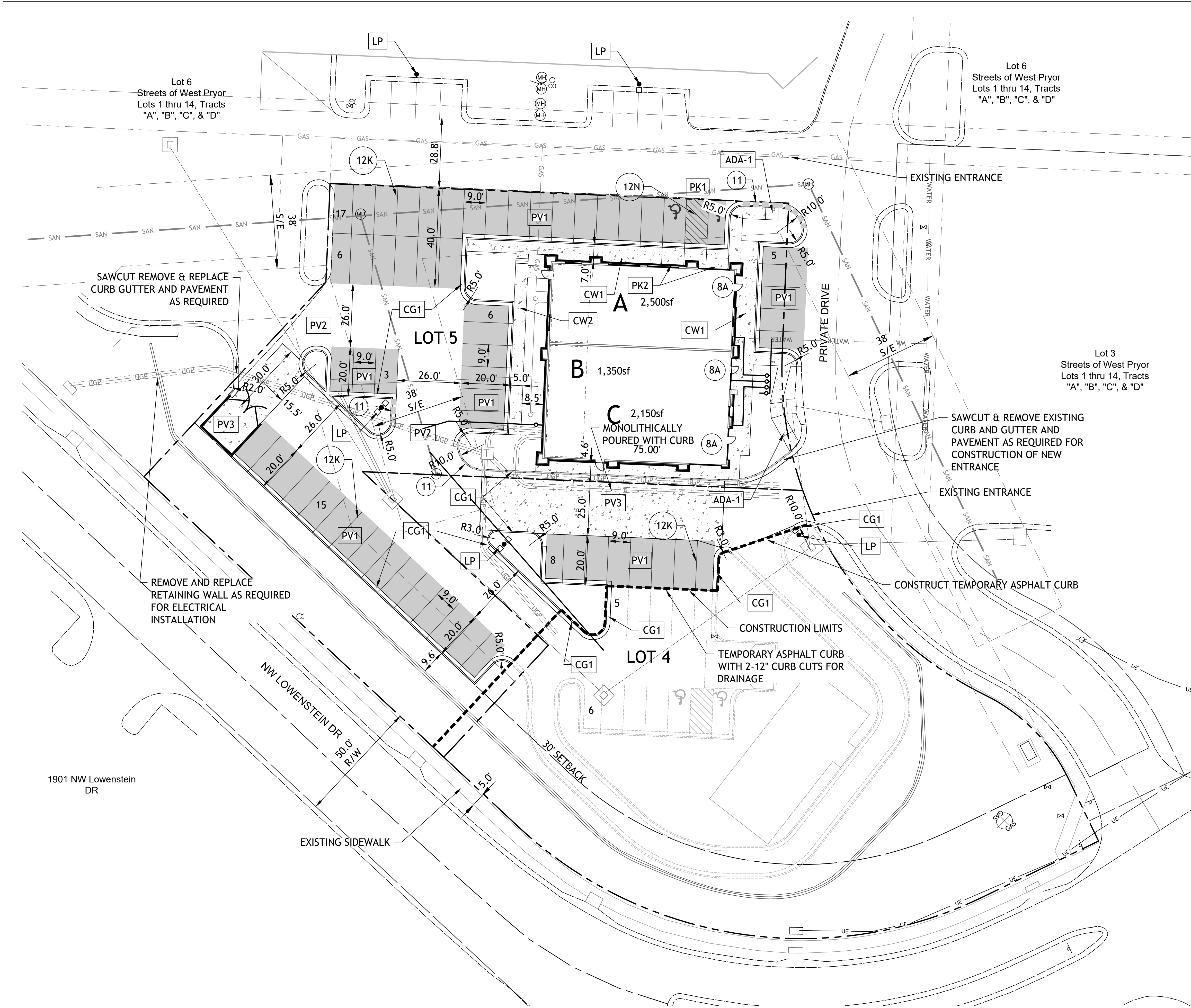
Drawings and/or Specifications are original proprietary work and property of the Engineer and intended specifically for this project. Use of items contained herein without consent of the Engineer's prohibited. Drawings illustrate best information available to the Engineer. Field verification of actual elements, conditions, and dimensions is required.

Revisions
6-1-23 CITY COMMENTS

6

STREETS OF W. PRYOR
LOT 5
LEES SUMMIT, MO.

sheet
C3.0
Civil
DEMOLITION PLAN
permit
5 MAY 2023



SITE DATA

TOTAL SITE	0.753ac (32,820sf)
TOTAL BUILDING	6,000sf
TOTAL PERVIOUS AREA	26,820sf
FLOOR AREA RATIO	0.18%
PARKING REQUIRED	30 @ 5 SPACES / 1000sf
PARKING PROVIDED	60
IMPERVIOUS AREA	20,386sf

CONSTRUCTION NOTES:

- COORDINATE START-UP AND ALL CONSTRUCTION ACTIVITIES WITH OWNER.
- CONSTRUCTION METHODS AND MATERIALS NOT SPECIFIED IN THESE PLANS ARE TO MEET OR EXCEED THE STANDARD SPECIFICATIONS.
- ALL CONSTRUCTION WORK AND UTILITY WORK OUTSIDE OF PROPERTY BOUNDARIES SHALL BE PERFORMED IN COOPERATION WITH AND IN ACCORDANCE WITH REGULATIONS OF THE AUTHORITIES CONCERNED.
- PUBLIC CONVENIENCE AND SAFETY: THE CONTRACTOR SHALL CONDUCT THE WORK IN A MANNER THAT WILL INSURE, AS FAR AS PRACTICABLE, THE LEAST OBSTRUCTION TO TRAFFIC, AND SHALL PROVIDE FOR TI-1E CONVENIENCE AND SAFETY OF THE GENERAL PUBLIC AND RESIDENTS ALONG AND ADJACENT TO STREETS IN THE CONSTRUCTION AREA.
- ALL DIMENSIONS SHOWN ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
- ACCESSIBLE STALLS SHOWN WITH A "VAN" SHALL BE 16'-0" MIN. AND SHALL HAVE A SIGN DESIGNATING "VAN-ACCESSIBLE". SEE DETAIL102.

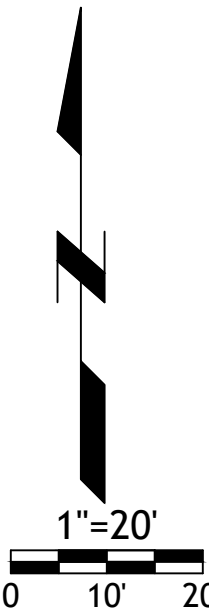
NOTE:

- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRANCE. SLOPED PAVING, EXIT PORCHES AND RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- THESE PLANS HAVE NOT BEEN VERIFIED WITH FINAL ARCHITECTURAL CONTRACT DRAWINGS. CONTRACTOR SHALL VERIFY AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES. CONTRACTOR IS FULLY RESPONSIBLE FOR REVIEW AND COORDINATION OF ALL DRAWINGS AND CONTRACTOR DOCUMENTS.
- ALL DIMENSIONS ARE PERPENDICULAR TO PROPERTY LINE.
- ACTUAL SIGN LOCATIONS TO BE COORDINATED WITH CONSTRUCTION MANAGER.

- SEE DETAIL SHEET FOR THE FOLLOWING DETAILS:
- PK1 96" ACCESSIBLE & VAN ACCESSIBLE SPACE STRIPING
 - PK2 ACCESSIBLE SIGN (MOUNTED TO BUILDING)
 - CG1 CURB AND GUTTER
 - C1 STRAIGHT BACK CURB
 - PV1 REGULAR DUTY PAVEMENT
 - PV2 HEAVY DUTY ASPHALT PAVEMENT
 - PV3 HEAVY DUTY CONCRETE PAVEMENT
 - CW1 CURB WALK AT BUILDING
 - CW2 SIDEWALK
 - ADA-1 HANDICAP RAMP SEE GEN-3A DETAIL
 - LP LIGHT POLE BASE

- NOTES:
- 8A DOOR (SEE ARCH. PLANS)
 - 12K YELLOW PARKING LOT STRIPING (SHERWIN-WILLIAMS TM 2160 LEAD FREE OR APPROVED EQUAL)
 - 12N 4" YELLOW STRIPES 3'-0" O.C
 - 11 PAINT CURB RED "NO PARKING FIRE LANE"

RELEASED FOR CONSTRUCTION
As Noted on Plan Review
Development Services Department
Lee's Summit, Missouri
06/13/2023



SM Engineering
SM E
5507 High Meadow Circle
Manhattan Kansas, 66503
smcivilengr@gmail.com
785.341.9747

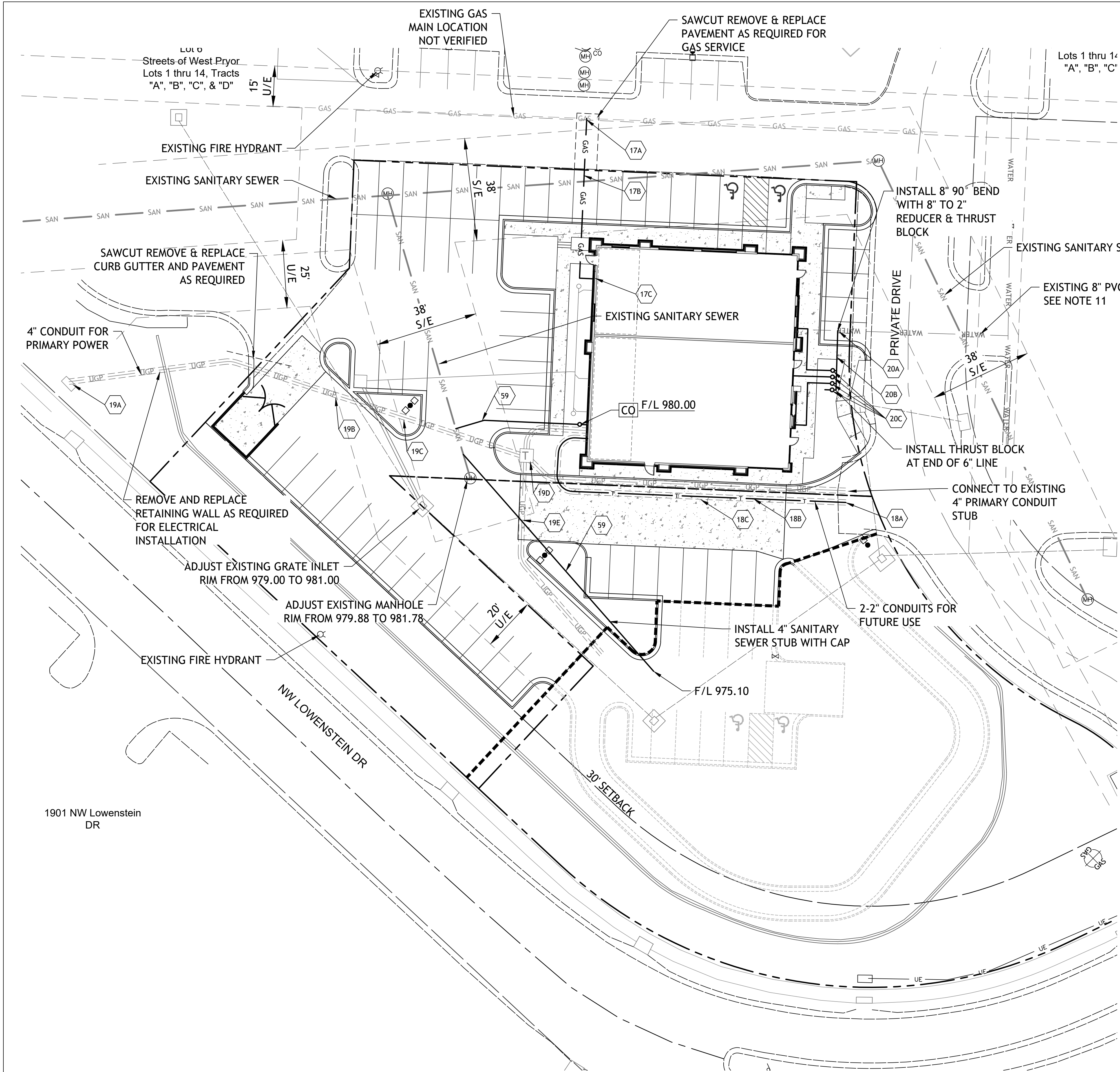
Drawings and/or Specifications are original
proprietary work and property of the
Engineer and intended specifically for this
project. Use of items contained herein
without consent of the Engineer is
prohibited. Drawings illustrate best
information available to the Engineer. Field
verification of actual elements, conditions,
and dimensions is required.

Revisions
6-1-23 CITY COMMENTS

6

STREETS OF W. PRYOR
LOT 5
LEES SUMMITT, MO.

sheet
C4.0
Civil
SITE PLAN
permit
5 MAY 2023



UTILITY NOTES:

1. ALL UTILITY AND STORM SEWER TRENCHES CONSTRUCTED UNDER AREAS THAT RECEIVE PAVING SHALL BE BACKFILLED TO 18 INCHES ABOVE THE TOP OF THE PIPE WITH SELECT GRANULAR MATERIAL PLACED ON EIGHT-INCH LIFTS, AND COMPACTED TO 95% MODIFIED PROCTOR DENSITY.
2. CONTRACTOR SHALL NOT OPEN, TURN OFF, INTERFERE WITH, OR ATTACH ANY PIPE OR HOSE TO OR TAP ANY WATER MAIN BELONGING TO THE CITY UNLESS DULY AUTHORIZED TO DO SO BY THE CITY. ANY ADVERSE CONSEQUENCE OF ANY SCHEDULED OR UNSCHEDULED DISRUPTIONS OF SERVICE TO THE PUBLIC ARE TO BE THE LIABILITY OF THE CONTRACTOR. SM ENGINEERING AND OWNER ARE TO BE HELD HARMLESS.
3. ALL WATER AND SANITARY SEWER SYSTEMS THAT ARE TO BE PUBLIC LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH SPECIFICATIONS PREVIOUSLY APPROVED BY THE CITY OF LEE'S SUMMIT AND THE STATE OF MISSOURI AND SHALL BE INSPECTED BY THE CITY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ASSURE THAT THIS INSPECTION OCCURS.
4. LOCATIONS SHOWN FOR PROPOSED WATER LINES ARE APPROXIMATE. VARIATIONS MAY BE MADE, WITH APPROVAL OF THE ENGINEER, TO AVOID CONFLICTS.
5. CONTRACTOR TO INSTALL TRACING TAPE ALONG ALL NON-METALLIC WATER MAINS AND SERVICE LINES PER SPECIFICATIONS.
6. CONTRACTOR SHALL EXPOSE EXISTING UTILITIES AT LOCATIONS OF POSSIBLE CONFLICT AND POINTS OF CONNECTION PRIOR TO ANY CONSTRUCTION OF NEW UTILITIES.
7. WATER LINES SHALL HAVE A MINIMUM COVER OF 42 INCHES. ALL VALVES ON MAINS AND FIRE HYDRANT LEADS SHALL BE WITH VALVE BOX ASSEMBLIES. THE SIZE OF VALVE BOX ASSEMBLY TO BE INSTALLED IS DETERMINED BY THE TYPE AND SIZE OF VALVE. VALVE BOX CAPS SHALL HAVE THE WORD "WATER".
8. A MINIMUM HORIZONTAL DISTANCE OF 10 FEET SHALL BE MAINTAINED BETWEEN PARALLEL WATER AND SANITARY SEWER LINES. WHEN IT IS NECESSARY FOR ANY WATER LINE TO CROSS A SANITARY SEWER LINE, THE SEWER LINE SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE AT LEAST 10 FEET EITHER SIDE OF THE WATER LINE UNLESS THE WATER LINE IS AT LEAST 2 FEET CLEAR DISTANCE ABOVE THE SANITARY SEWER LINE.
9. INSTALL 2" TYPE "K" COPPER FROM THE MAIN AT LEAST 10' BEYOND THE METER AND EITHER TYPE "K" OR POLYETHYLENE PLASTIC TUBING (PE 3608) FROM METER TO STOP AND WASTE VALVE INSIDE BUILDING.
10. CONTRACTOR RESPONSIBLE FOR PROVIDING CASEMENT FOR ELECTRICAL SERVICE PER EVERGY
11. CONTRACTOR TO REMOVE EXISTING STUB AS REQUIRED TO CLEAR BUILDING CONSTRUCTION

DETAILS

MS1	TRENCH AND BEDDING DETAILS
DCO	DOUBLE CLEANOUT
WAT-11	WATER SERVICE CONNECTION
CO	CLEANOUT

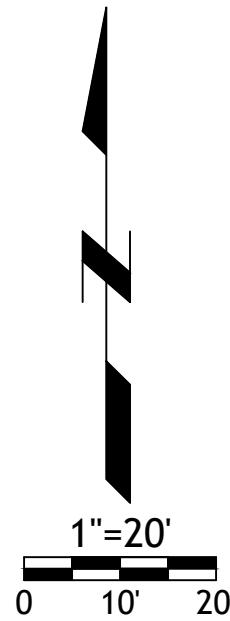
NOTES

- 17A POINT OF CONNECTION - GAS SERVICE
- 17B GAS SERVICE (BY GAS COMPANY)
- 17C GAS METER
- 18A POINT OF CONNECTION - TELEPHONE SERVICE - COORDINATE WITH TELEPHONE COMPANY
- 18B UNDERGROUND TELEPHONE SERVICE PER LOCAL TELEPHONE COMPANY
- 18C 2-2" CONDUIT INSTALLED BY CONTRACTOR - TELEPHONE SERVICE
- 19A POINT OF CONNECTION - ELECTRICAL SERVICE
- 19B ELECTRICAL SERVICE (SEE NOTE 10)
- 19C 4" CONDUIT INSTALLED BY CONTRACTOR - ELECTRIC SERVICE
- 19D TRANSFORMER - PER EVERGY DETAIL 700-103
- 19E 2-3" CONDUITS FOR FUTURE ELECTRICAL SERVICE FOR FUTURE SERVICE
- 20A POINT OF CONNECTION - WATER SERVICE
- 20B 6" SERVICE LINE
- 20C 4-1" METERS
- 59 4" SANITARY SEWER SERVICE LINE SDR-26 PVC CONNECTION SHALL BE A CUT-IN WYE

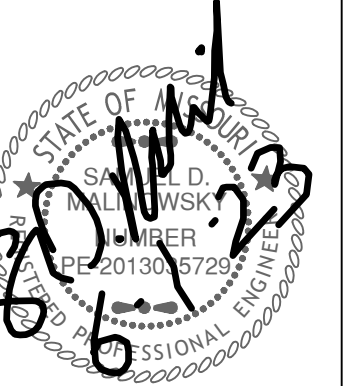
UTILITY STATEMENT:

THE UNDERGROUND UTILITIES SHOWN HEREON ARE FROM FIELD SURVEY INFORMATION OF ONE-CALL LOCATED UTILITIES, FIELD SURVEY INFORMATION OF ABOVE GROUND OBSERVABLE EVIDENCE, AND/OR THE SCALING AND PLOTTING OF EXISTING UTILITY MAPS AND DRAWINGS AVAILABLE TO THE SURVEYOR AT THE TIME OF SURVEY. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. FURTHERMORE, THE SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES BY EXCAVATION UNLESS OTHERWISE NOTED ON THIS SURVEY.

RELEASED FOR CONSTRUCTION
As Noted on Plan Review
Development Services Department
Lee's Summit, Missouri
06/13/2023



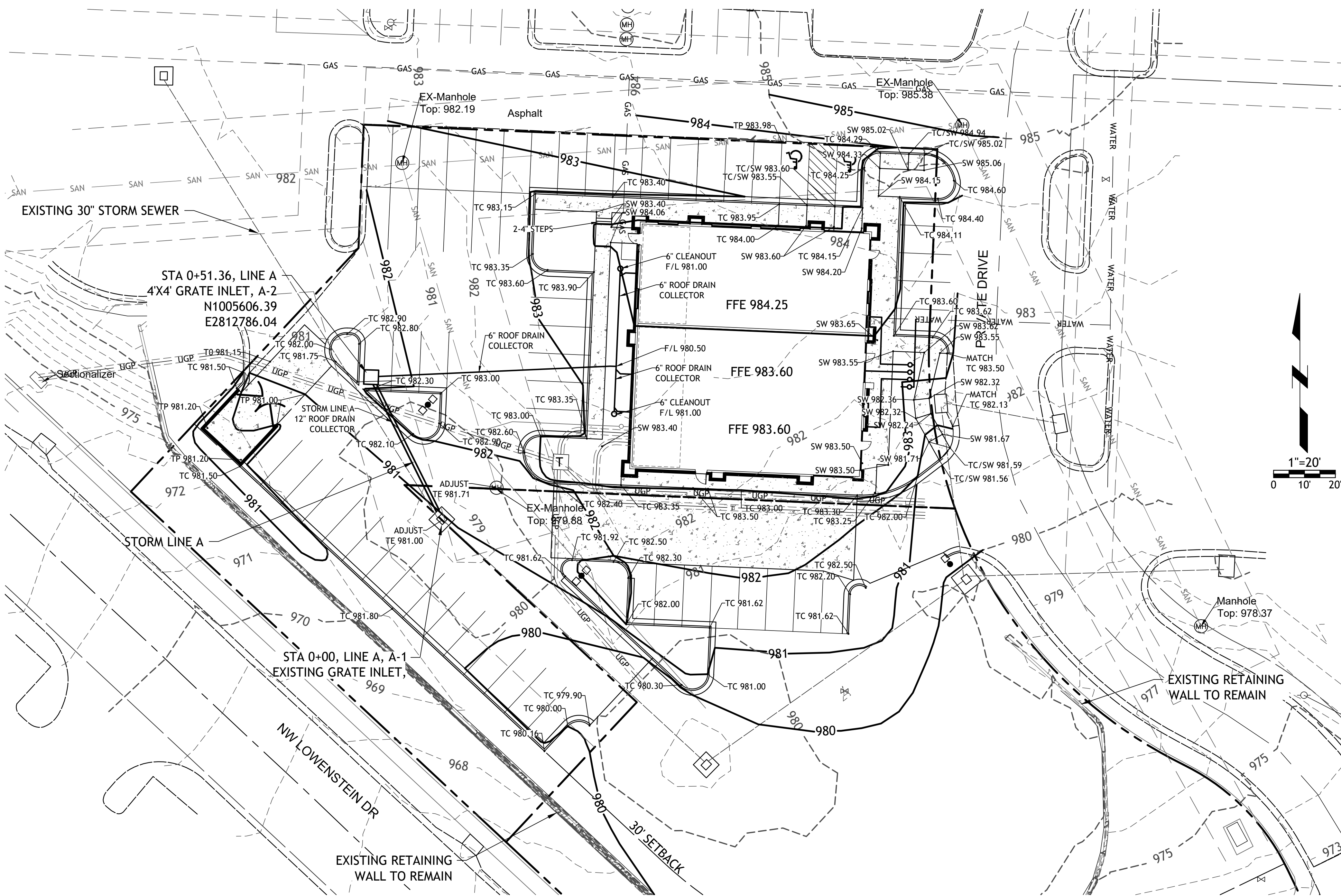
Drawings and/or Specifications are original proprietary work and property of the Engineer and intended specifically for this project. Use of items contained herein without consent of the Engineer is prohibited. Drawings illustrate best information available to the Engineer. Field verification of actual elements, conditions, and dimensions is required.



Revisions

STREETS OF W. PRYOR
LOT 5
LEE'S SUMMIT, MO.

sheet
C6.0
Civil
GRADING
permit
5 MAY 2023



GRADING NOTES:

1. EARTHWORK UNDER THE BUILDING SHALL COMPLY WITH THE PROJECT ARCHITECTURAL PLANS. OTHER FILL MATERIAL SHALL BE MADE IN LIFTS NOT TO EXCEED EIGHT INCHES DEPTH COMPACTED TO 95% STANDARD PROCTOR DENSITY. FILL MATERIAL MAY INCLUDE ROCK FROM ON-SITE EXCAVATION IF CAREFULLY PLACED SO THAT LARGE STONES ARE WELL DISTRIBUTED AND VOIDS ARE COMPLETELY FILLED WITH SMALLER STONES, EARTH, SAND OR GRAVEL TO FURNISH A SOLID EMBANKMENT. NO ROCK LARGER THAN THREE INCHES IN ANY DIMENSION NOR ANY SHALE SHALL BE PLACED IN THE TOP 12 INCHES OF EMBANKMENT.

2. AREAS THAT ARE TO BE CUT TO SUBGRADE LEVELS SHALL BE PROOF ROLLED WITH A MODERATELY HEAVY LOADED DUMP TRUCK OR SIMILAR APPROVED CONSTRUCTION EQUIPMENT TO DETECT UNSUITABLE SOIL CONDITIONS.

3. IN ALL AREAS OF EXCAVATION, IF UNSUITABLE SOIL CONDITIONS ARE ENCOUNTERED. A QUALIFIED GEOTECHNICAL ENGINEER SHALL RECOMMEND TO THE OWNER THE METHODS OF UNDERCUTTING AND REPLACEMENT OF PROPERLY COMPACTED, APPROVED FILL MATERIAL. ALL PROOF ROLLING AND UNDERCUTTING SHOULD BE PERFORMED DURING A PERIOD OF DRY WEATHER.

4. CONTRACTOR SHALL USE SILT FENCE OR OTHER MEANS OF CONTROLLING EROSION ALONG THE EDGE OF THE PROPERTY OR OTHER BOTTOM OF SLOPE LOCATIONS.

5. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS.

6. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.

7. IT IS NOT THE DUTY OF THE ENGINEER OR THE OWNER TO REVIEW THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE AT ANY TIME DURING CONSTRUCTION.

8. PIPE LENGTHS ARE CENTER TO CENTER OF STRUCTURE OR TO END OF END SECTIONS.

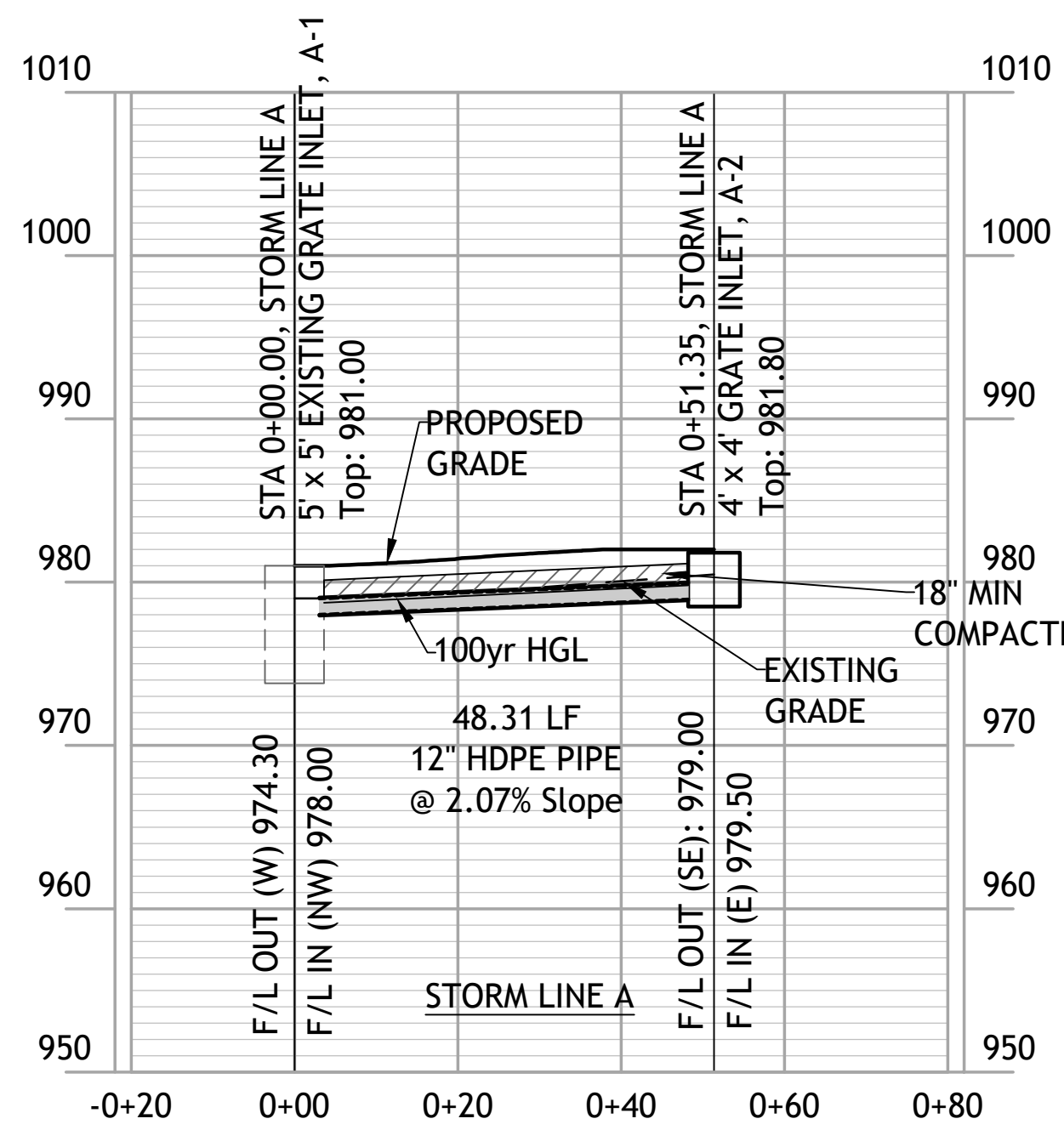
9. HANDICAP STALLS SHALL MEET ADA REQUIREMENTS AND SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION AT THE BUILDING ENTRY AND ACCESSIBLE PARKING STALLS. SLOPES EXCEEDING 2.0% WILL BE REPLACED AT THE CONTRACTOR'S EXPENSE.

10. CONTRACTOR TO ADJUST DEPTHS OF EXISTING SERVICE LINES AS NECESSARY

11. ALL CONSTRUCTION TRAFFIC, TEMPORARY TRAFFIC CONTROL DEVICES AND PAVEMENT MARKINGS SHALL CONFORM TO REQUIREMENTS OF THE LATEST MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.

12. SITE BEING ROUGH GRADED TO 12.5" BELOW FINISHED GRADE

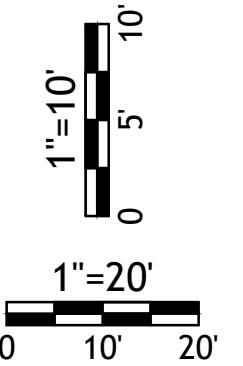
13. CONTRACTOR TO PLACE 8" LOW PERMEABILITY LVC FOR BUILDING PAD

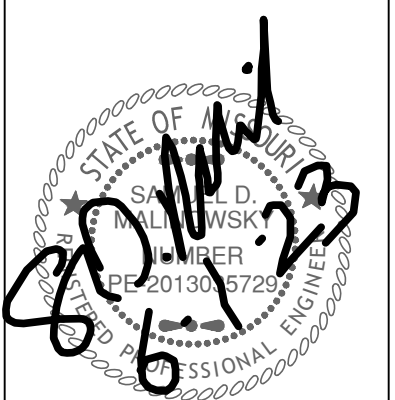


100 Yr Storm Sewer Calculations

Station	Station	Length	Drainage Area	Drainage Area	Runoff Coeff	C x Area	C x Area	Tc	Tc	Intensity	Intensity	Runoff	Runoff	Addl Flow	Total Flow	Cap Full	Ave Vel	Line	Line	Invert Elev	Invert Elev	HGL Elev	HGL Elev
Line	To Line		Incr	Total		Incr	Total	Inlet	System	Incr	Total	Incr	Total					Size	Slope	Up	Dn	Up	Dn
		(ft)	(ac)	(ac)	(C)			(min)	(min)	(in/hr)	(in/hr)	(cfs)	(cfs)	(cfs)	(cfs)	(cfs)	(ft/s)	(in)	(%)	(ft)	(ft)	(ft)	(ft)
A1 - A2	Outfall	48.00	0.280	0.280	0.90	0.25	0.25	5.0	5.0	12.90	12.90	3.25	3.25	0.00	3.25	5.14	4.59	12	2.08	979.00	978.00	979.76	979.00

RELEASED FOR CONSTRUCTION
As Noted on Plan Review
Development Services Department
Lee's Summit, Missouri
06/13/2023

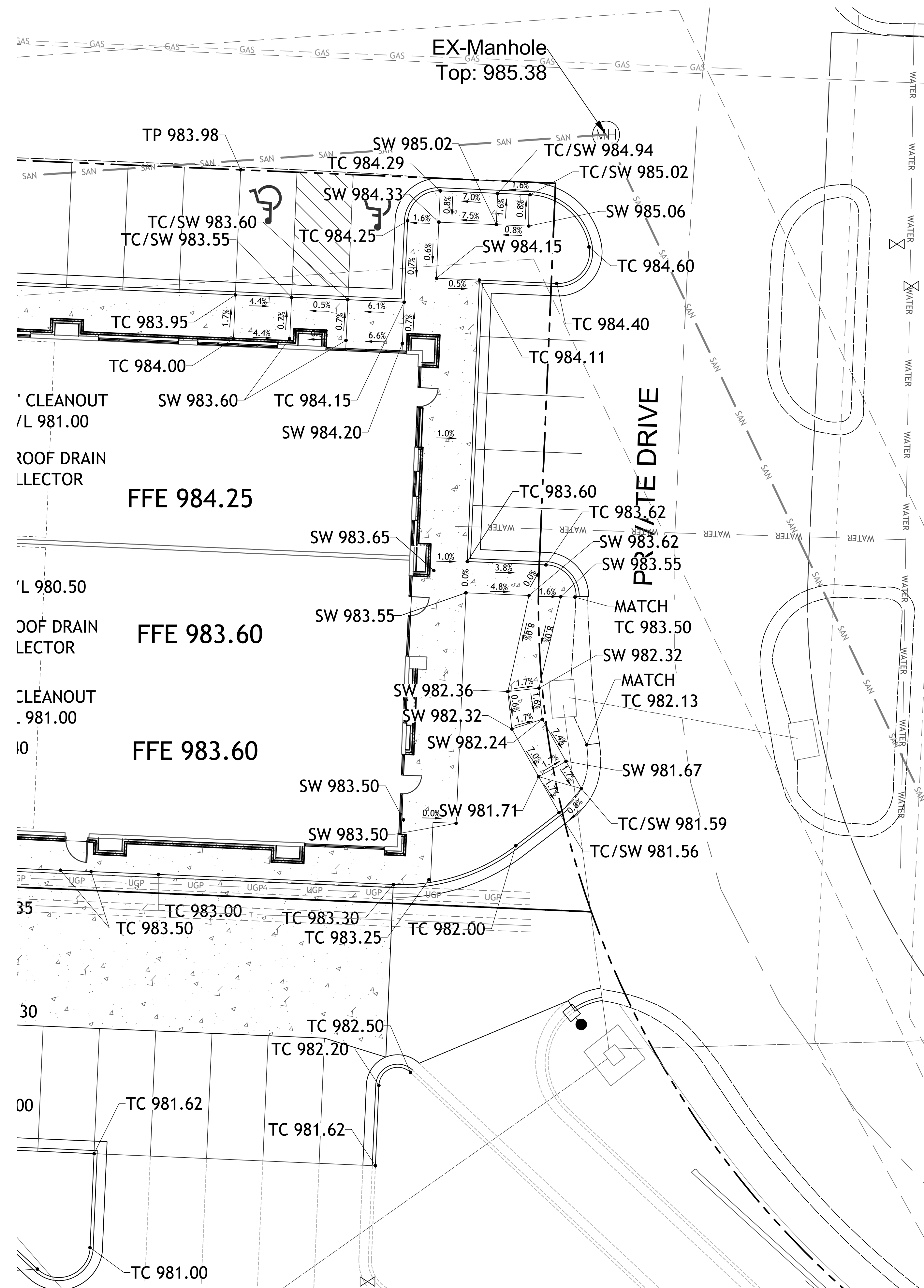




Revisions

STREETS OF W. PRYOR
LOT 5
LEES SUMMIT, MO.

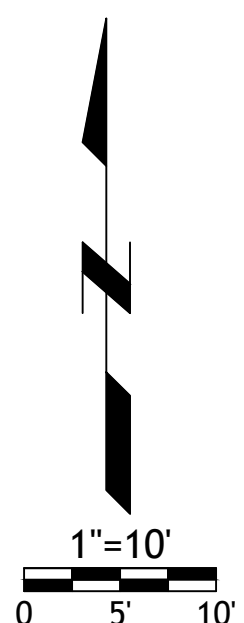
s h e e t
C7.0
Civil
ADA RAMPS
permit
5 MAY 2023

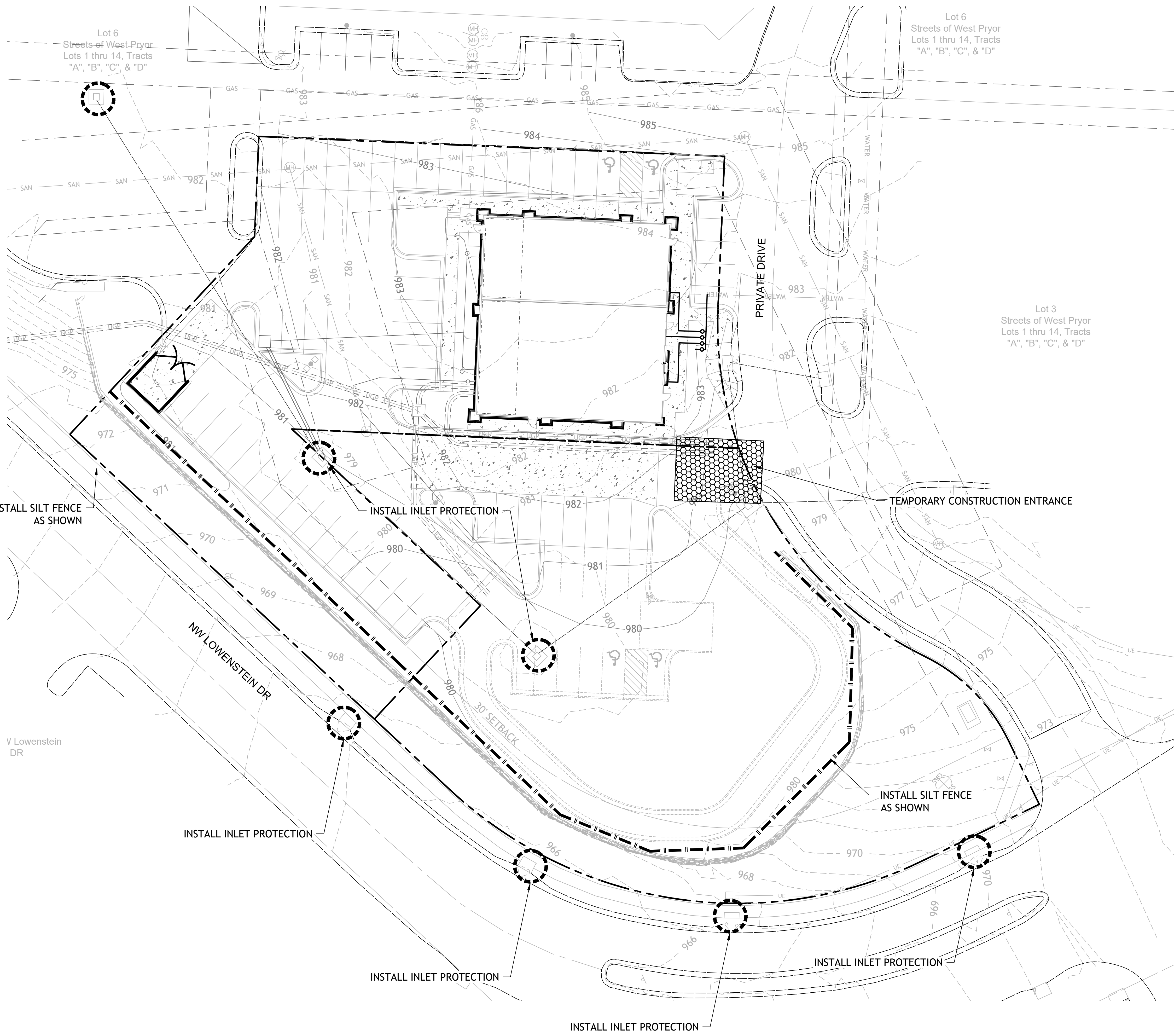


RELEASED FOR CONSTRUCTION
As Noted on Plan Review

Development Services Department
Lee's Summit, Missouri

06/13/2023





NOTES:

1. Prior to Land Disturbance activities, the following shall occur:

- a) Identify the limits of construction on the ground with easily recognizable indications such as construction staking, construction fencing and placement of physical barriers or other means acceptable to the City Inspector and in conformance with the erosion and pollution control plan;
- b) Construct a stabilized entrance/parking/staging area;
- c) Install perimeter controls and protect any existing stormwater inlets;
- d) Request an initial inspection of the installed Phase I pollution control measures designated on the approved erosion and pollution control plan. Land disturbance work shall not proceed until there is a passed inspection

2. The site shall comply with all requirements of the MoDNR general requirements

- a) Immediate initiation of temporary stabilization BMPs on disturbed areas where construction activities have temporarily ceased on that portion of the project site if construction activities will not resume for a period exceeding 14 calendar days. Temporary stabilization may include establishment of vegetation, geotextiles, mulches or other techniques to reduce or eliminate erosion until either final stabilization can be achieved or until further construction activities take place to re-disturb the area. This stabilization must be completed within 14 calendar days;
- b) Inspection of erosion and sediment control measures shall be performed to meet or exceed the minimum inspection frequency in the MoDNR General Permit. At a minimum, inspections shall be performed during all phases of construction at least once every 14 days and within 24 hours of each precipitation event.
- c) An inspection log shall be maintained and shall be available for review by the regulatory authority;
- d) The erosion and pollution control plan shall be routinely updated to show all modifications and amendments to the original plan. A copy of the erosion and pollution control plan shall be kept on site and made available for review by the regulatory authority.

3. Temporary seeding shall only be used for periods not to exceed 12 months. For final stabilization, temporary seeding shall only be used to establish vegetation outside the permanent seeding or sodding dates as specified in the Standard Specifications. Final stabilization requires a uniform perennial vegetative cover with a density of 70% over 100% of disturbed area.

4. Erosion and pollution control shall be provided for the duration of a project. All installed erosion and pollution control BMPs shall be maintained in a manner that preserves their effectiveness. If the City determines that the BMPs in place do not provide adequate erosion and pollution control at any time during the project, additional or alternate measures that provide effective control shall be required.

5. Concrete wash or rinse water from concrete mixing equipment. Tools and/or ready-mix trucks, etc. may not be discharged into or be allowed to run to any existing water body or portion of the storm water system. One or more locations for concrete washout will be designated on site, such that discharges during concrete washout will be contained in a small area where waste concrete can solidify in place. Proper signage will be installed to direct users to the concrete washout. Concrete washouts must be handled prior to pouring any concrete.

6. Silt fences and sediment control BMPs which are shown along the back of curb must be installed within two weeks of curb backfill and prior to placement of base asphalt. Exact locations of these erosion control methods may be field adjusted to minimize conflicts with utility construction. However, anticipated disturbance by utility construction shall not delay installation.

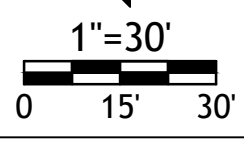
7. Required sediment basins and traps shall be installed as early as possible during mass grading. Sediment basins and traps shall be cleaned out when the sediment capacity has been reduced by 20% of its original design volume.

8. All manufactured BMPs such as erosion control blankets, TRMs, biodegradable logs, filter socks, synthetic sediment barriers and hydraulic erosion control shall be installed as directed by the manufacturer.

9. The above requirements are the responsibility of the permittee for the site. Responsibility may be transferred to another party by the permittee, but the permittee shall remain liable by the City of Lee's Summit if any of the above conditions are not met.

- LEGEND
- SILT FENCE
 - INLET PROTECTION
 - TEMPORARY CONSTRUCTION ENTRANCE

RELEASED FOR CONSTRUCTION
As Noted on Plan Review
Development Services Department
Lee's Summit, Missouri
06/13/2023



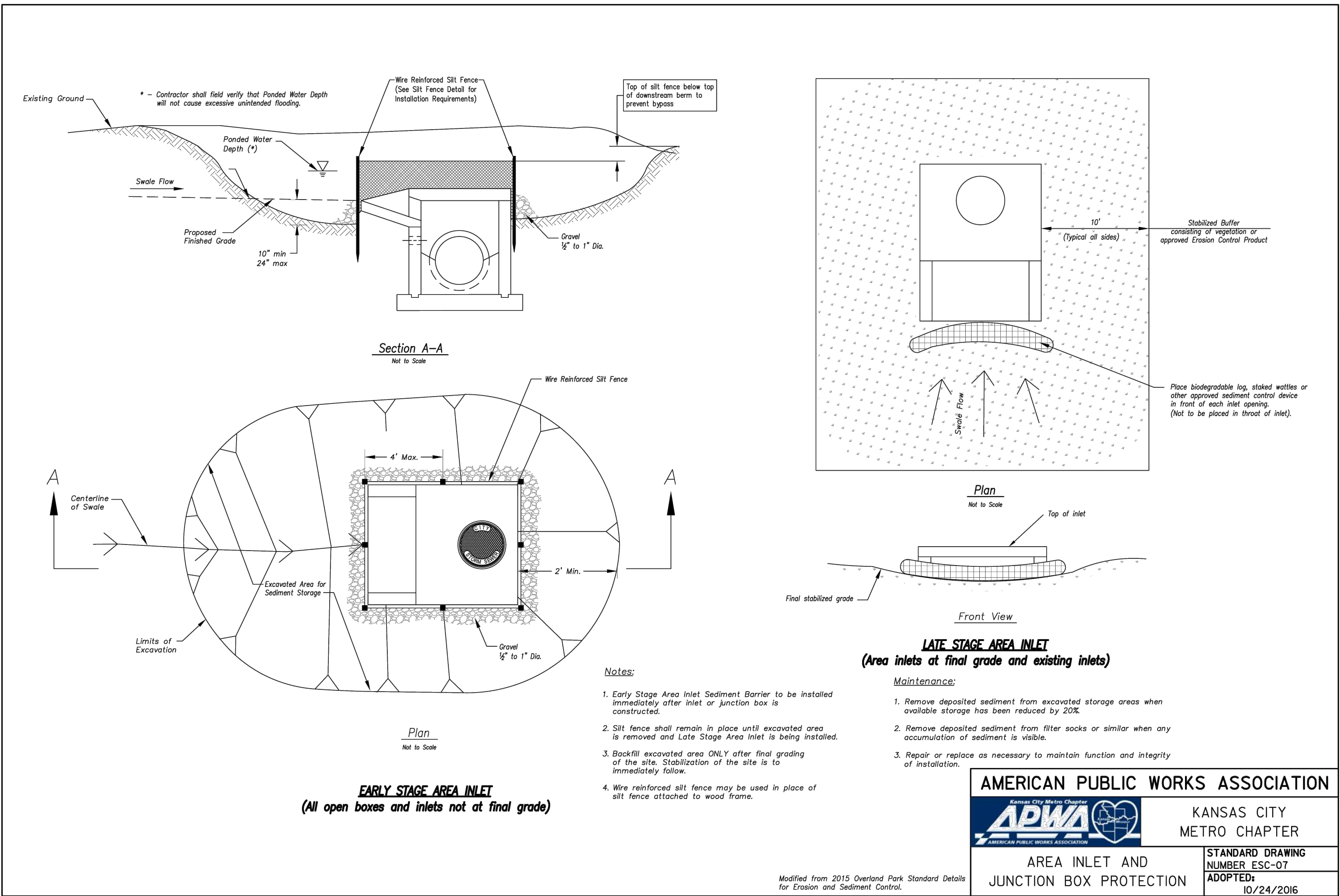
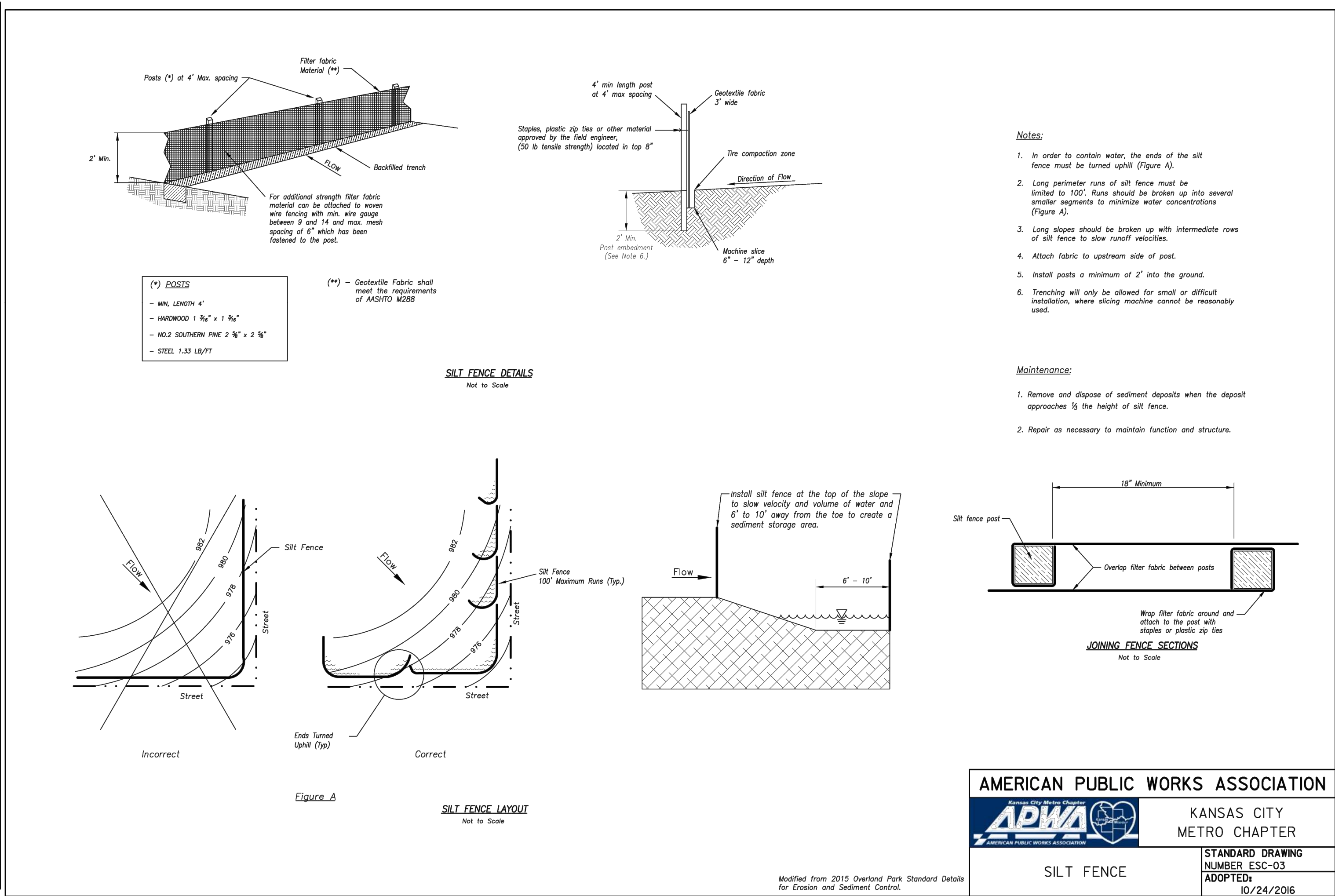
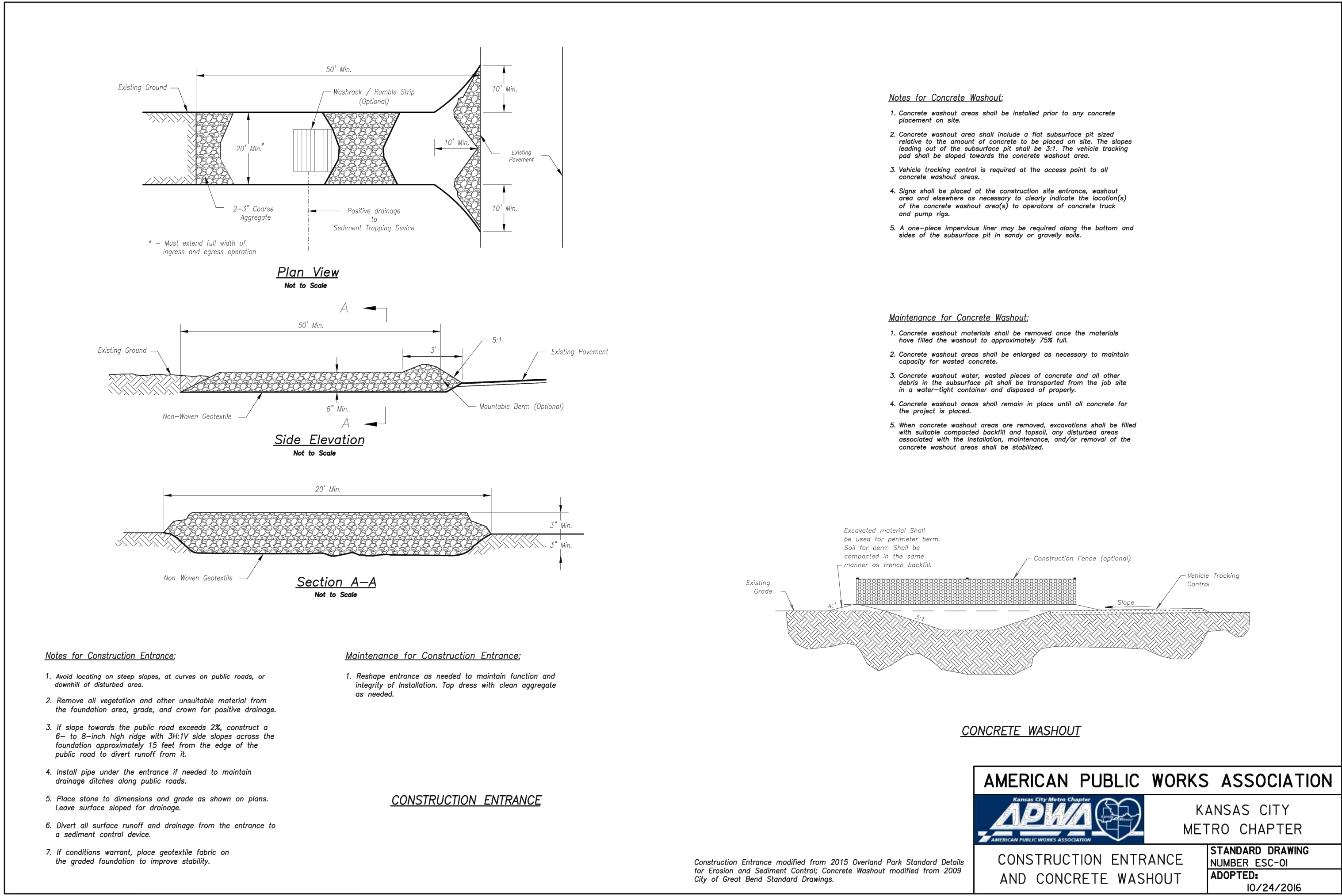
SM Engineering
SME
5507 High Meadow Circle
Manhattan Kansas, 66503
smcivilengr@gmail.com
785.341.9747

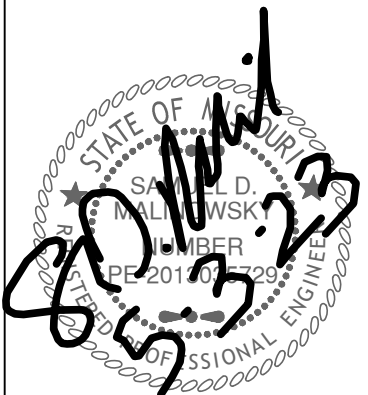
Drawings and/or Specifications are original proprietary work and property of the Engineer and intended specifically for this project. Use of items contained herein without consent of the Engineer is prohibited. Drawings illustrate best information available to the Engineer. Field verification of actual elements, conditions, and dimensions is required.

Revisions
6-1-23 CITY COMMENTS

STREETS OF W. PRYOR
LOT 5
LEES SUMMIT, MO.

sheet
C8.0
Civil
EROSION CONTROL
permit
5 MAY 2023



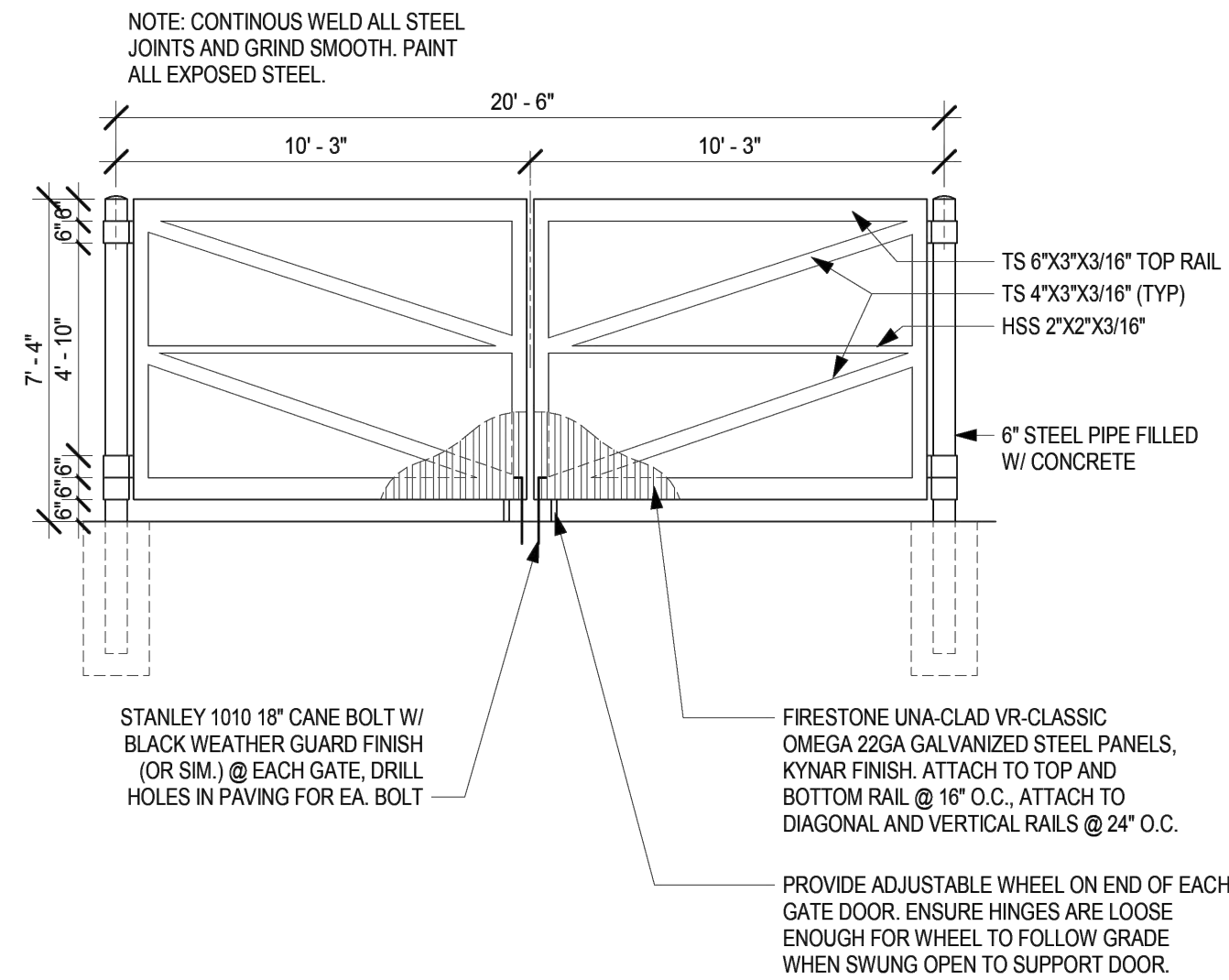


Revisions

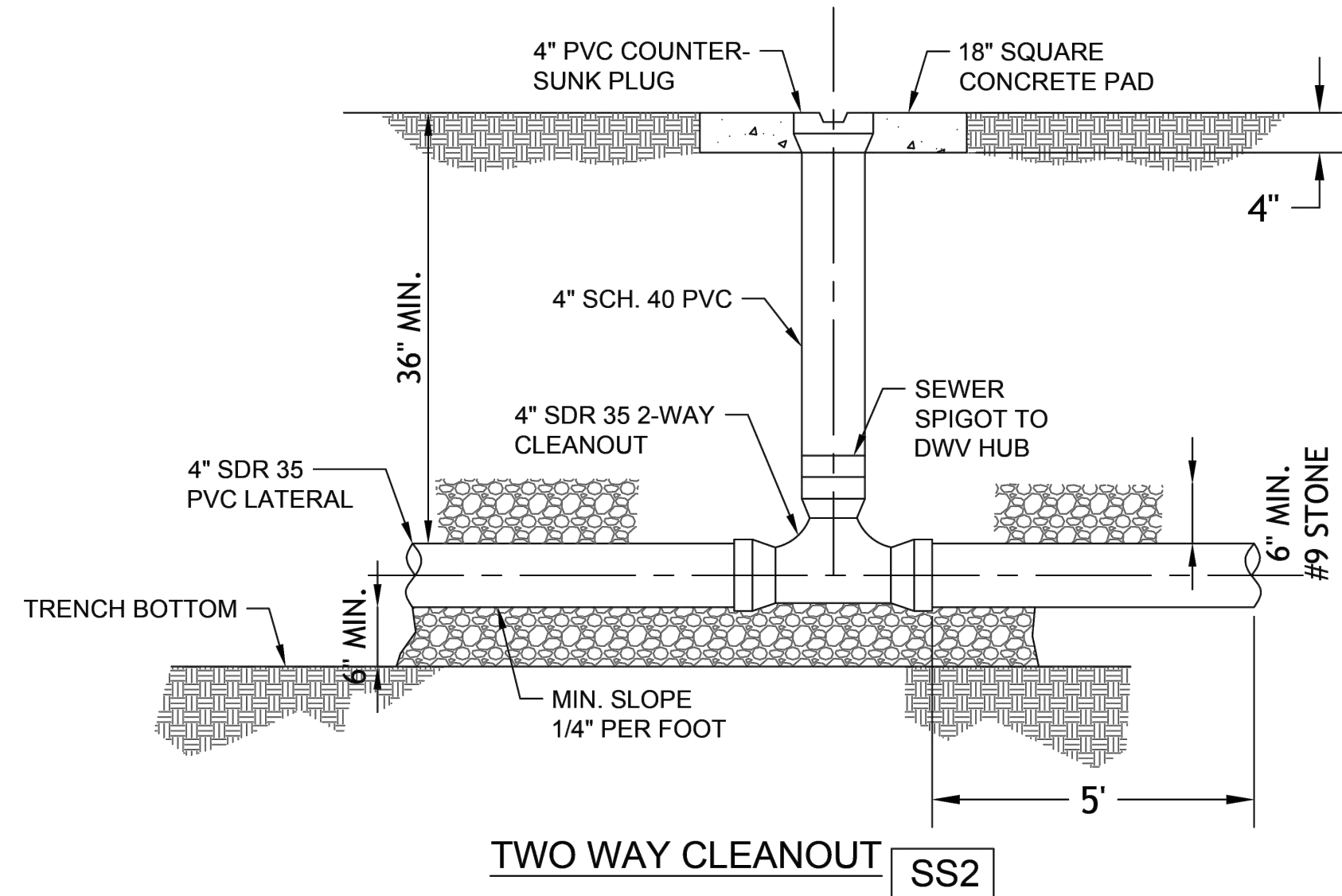
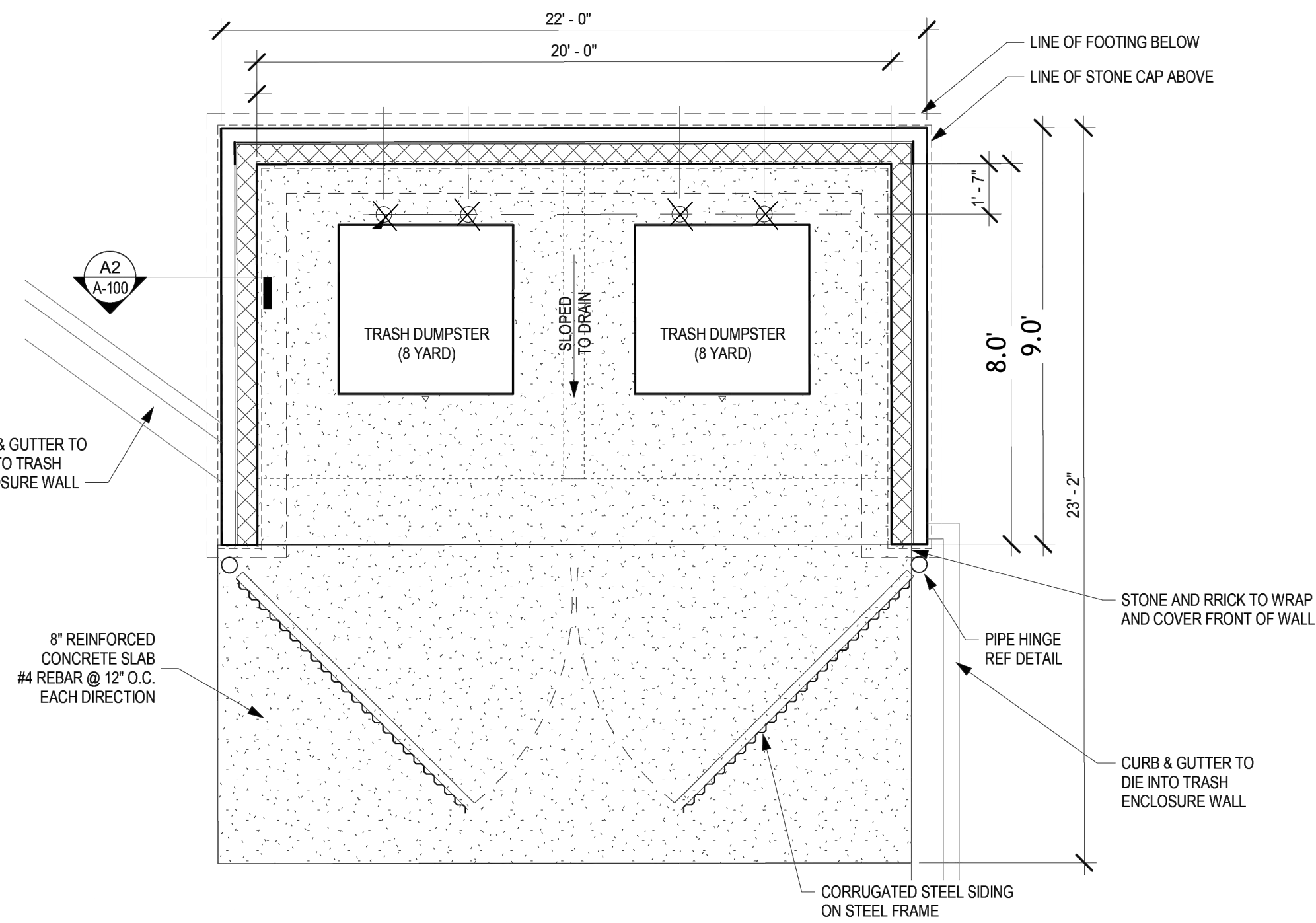
STREETS OF W. PRYOR
LOT 5
LEES SUMMITT, MO.

RELEASED FOR CONSTRUCTION
As Noted on Plan Review
Development Services Department
Lee's Summit, Missouri
06/13/2023

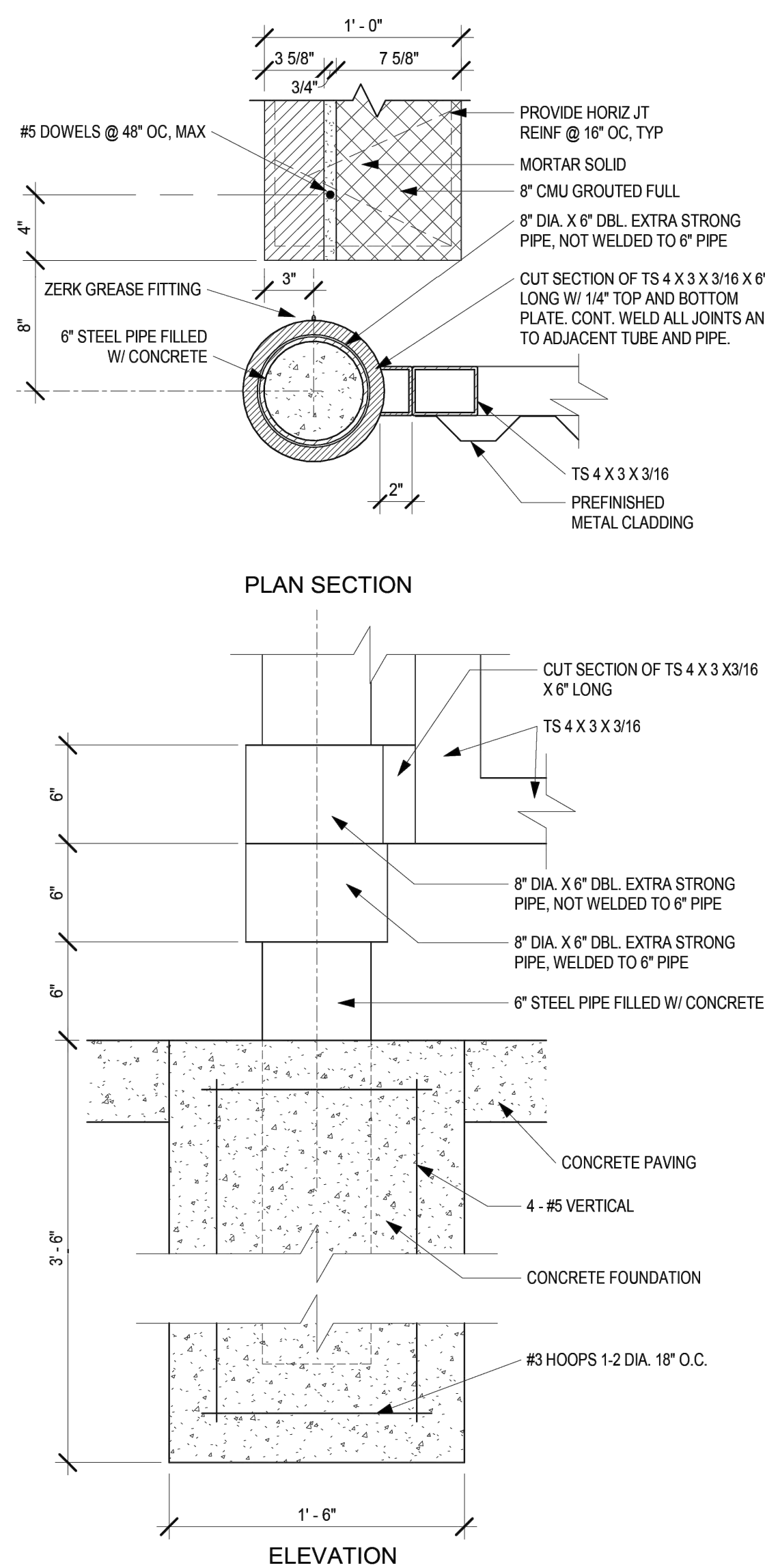
C1 TRASH ENCLOSURE GATE ELEVATION
SCALE: 1/4" = 1'-0"



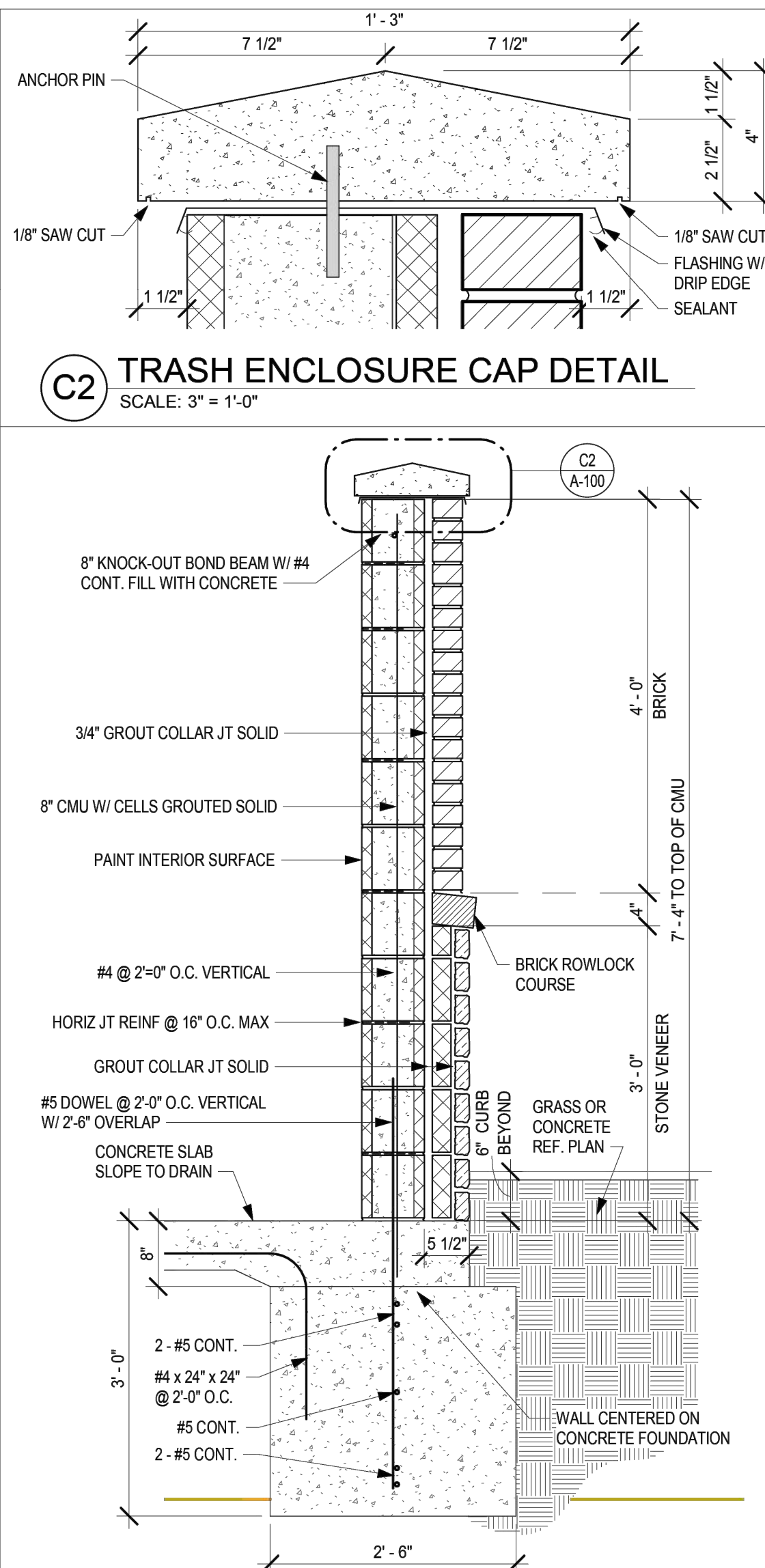
TRASH ENCLOSURE



C2 TRASH ENCLOSURE CAP DETAIL
SCALE: 3" = 1'-0"

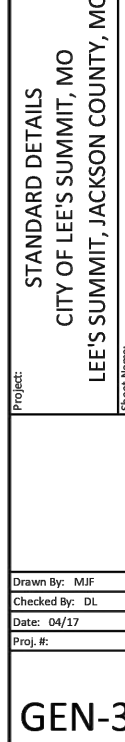


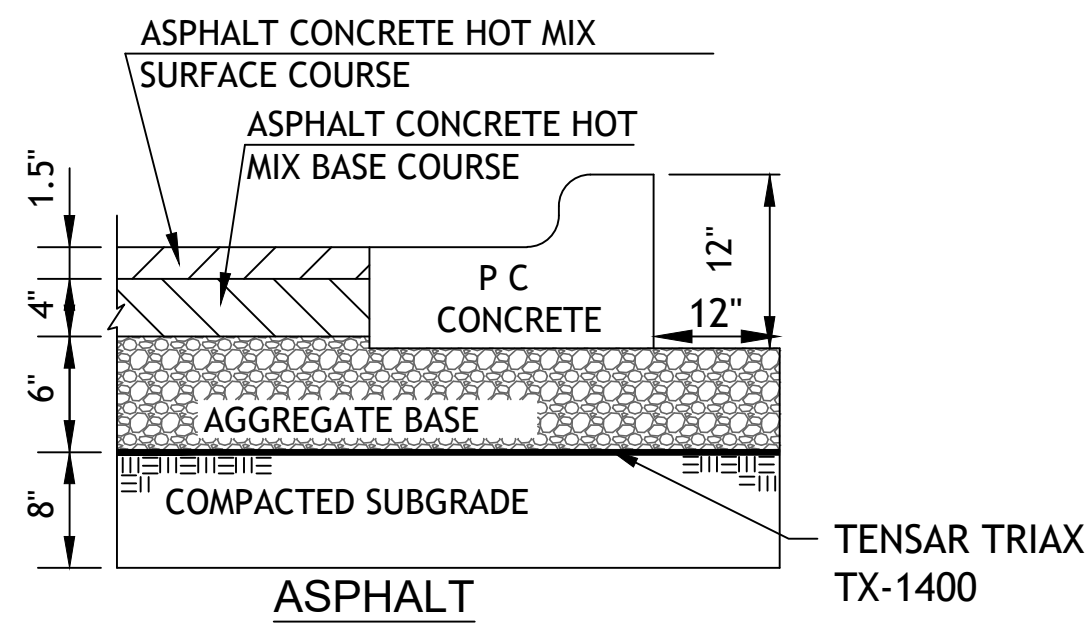
A1 ENCLOSURE GATE HINGE DETAIL
SCALE: 1 1/2" = 1'-0"



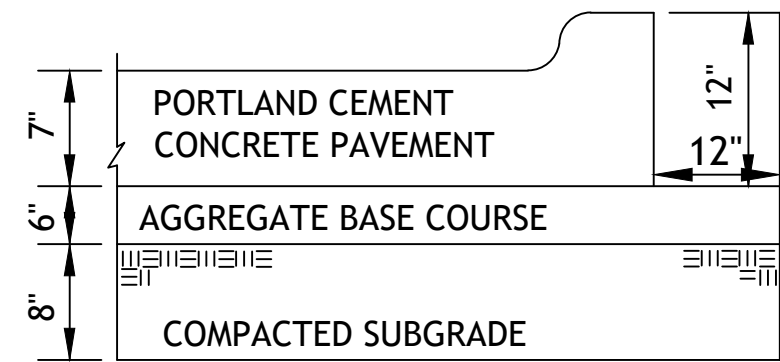
A2 TRASH ENCLOSURE WALL SECTION
SCALE: 3/4" = 1'-0"

NOTES:
BRICK- YANKEE HILL DARK IRON SPOT
MORTAR- SPEC MIX SM770 (SUBMIT TO OWNER FOR APPROVAL)
STONE- GLEN GEARY GLENN RIDGE BLACK/GRANITE



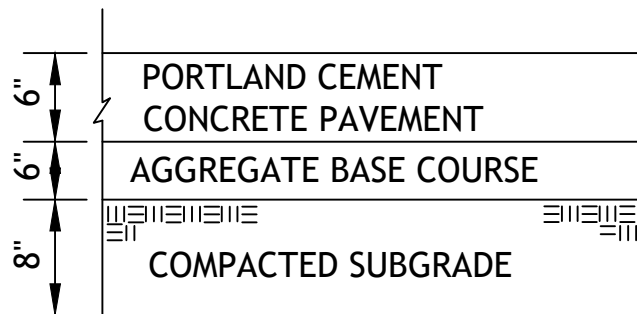


REGULAR DUTY PAVING PV1

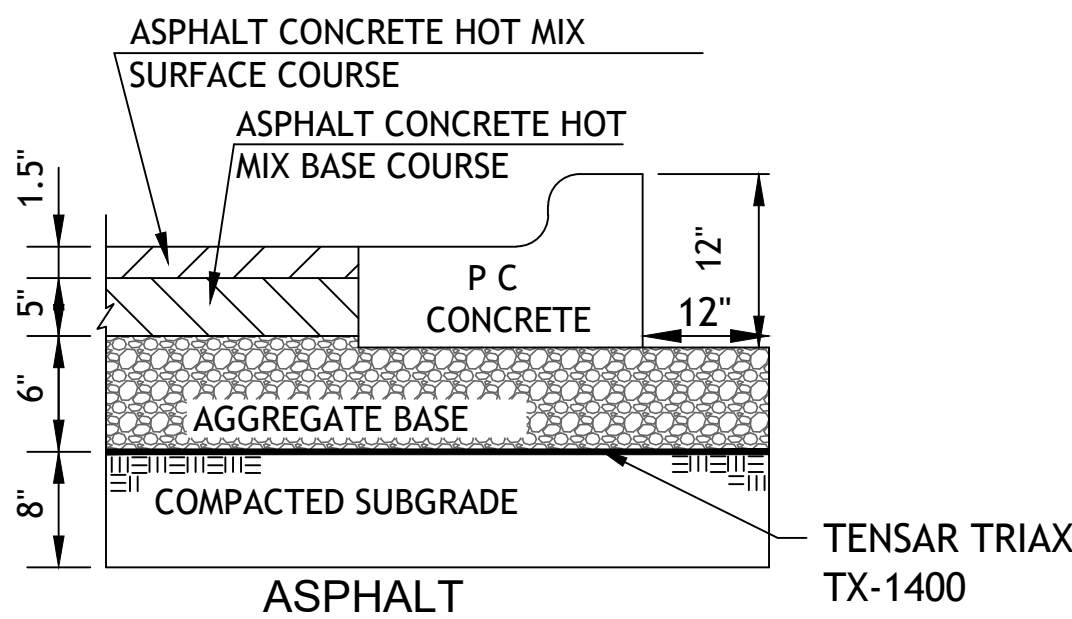


HEAVY DUTY CONCRETE PV3

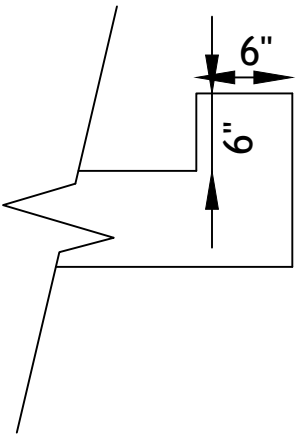
1. FLEXIBLE PAVEMENT SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MISSOURI DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.
- ASPHALT SURFACE COURSE - APWA TYPE 3-01
ASPHALT BASE COURSE - APWA TYPE 2-01
AGGREGATE BASE MoDOT TYPE 5 OR EQUIVALENT
2. PORTLAND CEMENT CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS WITH 6% ENTRAINED AIR $\pm 2\%$ AND SHALL MEET OR EXCEED THE SPECIFICATIONS SET FORTH IN THE LATEST EDITION OF THE MISSOURI DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.



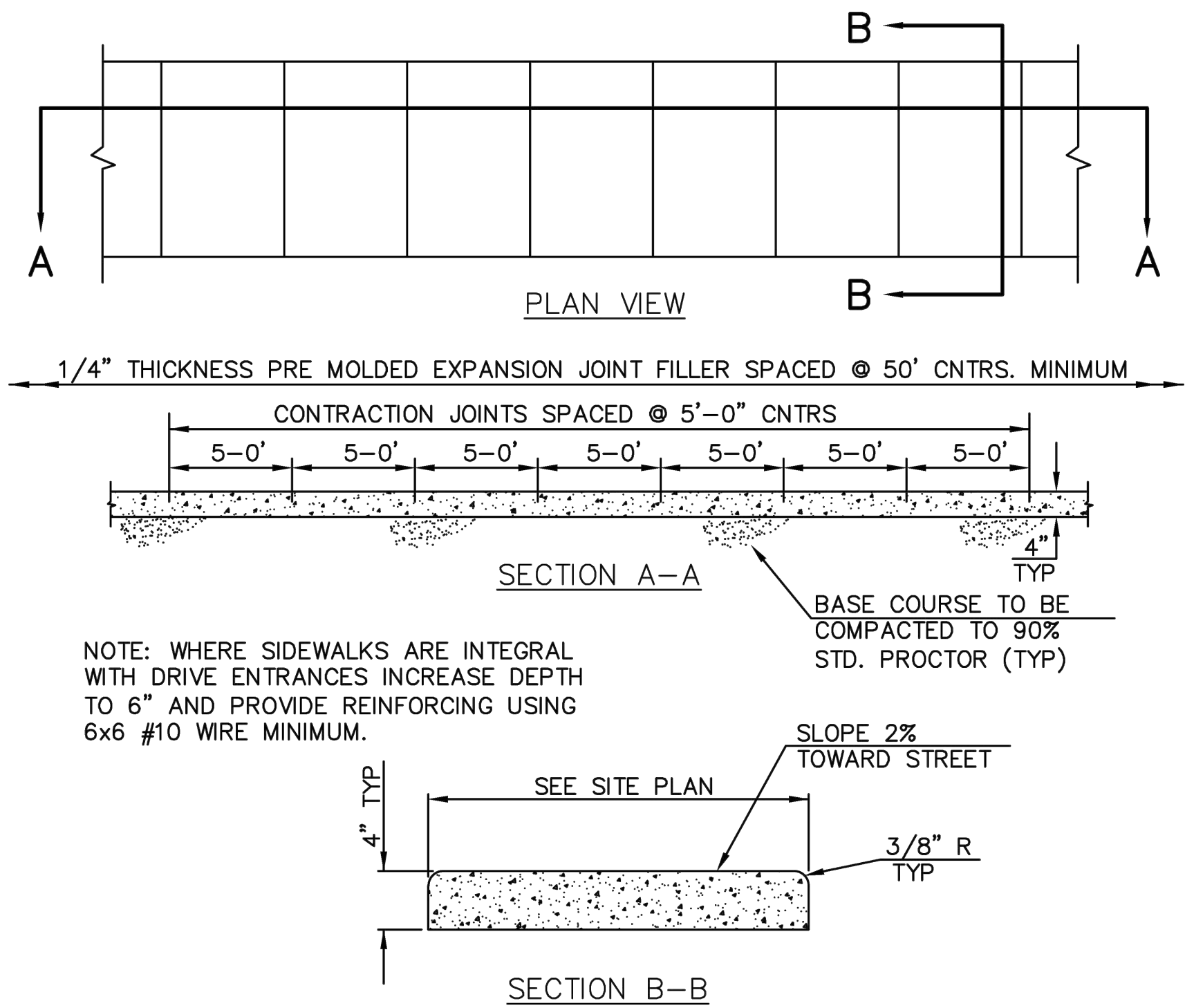
TRAIL PAVING TP



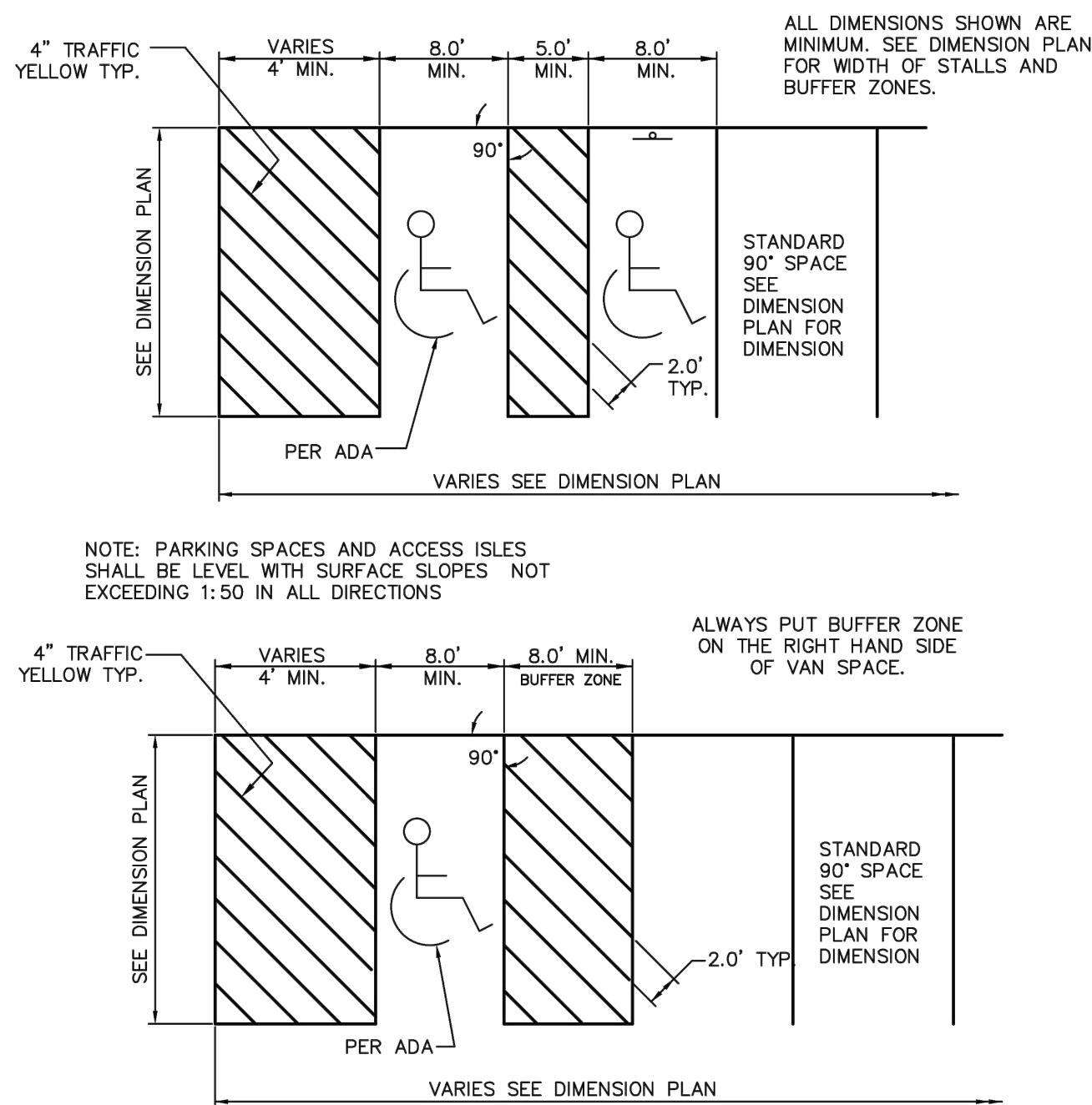
HEAVY DUTY ASPHALT PAVING PV2



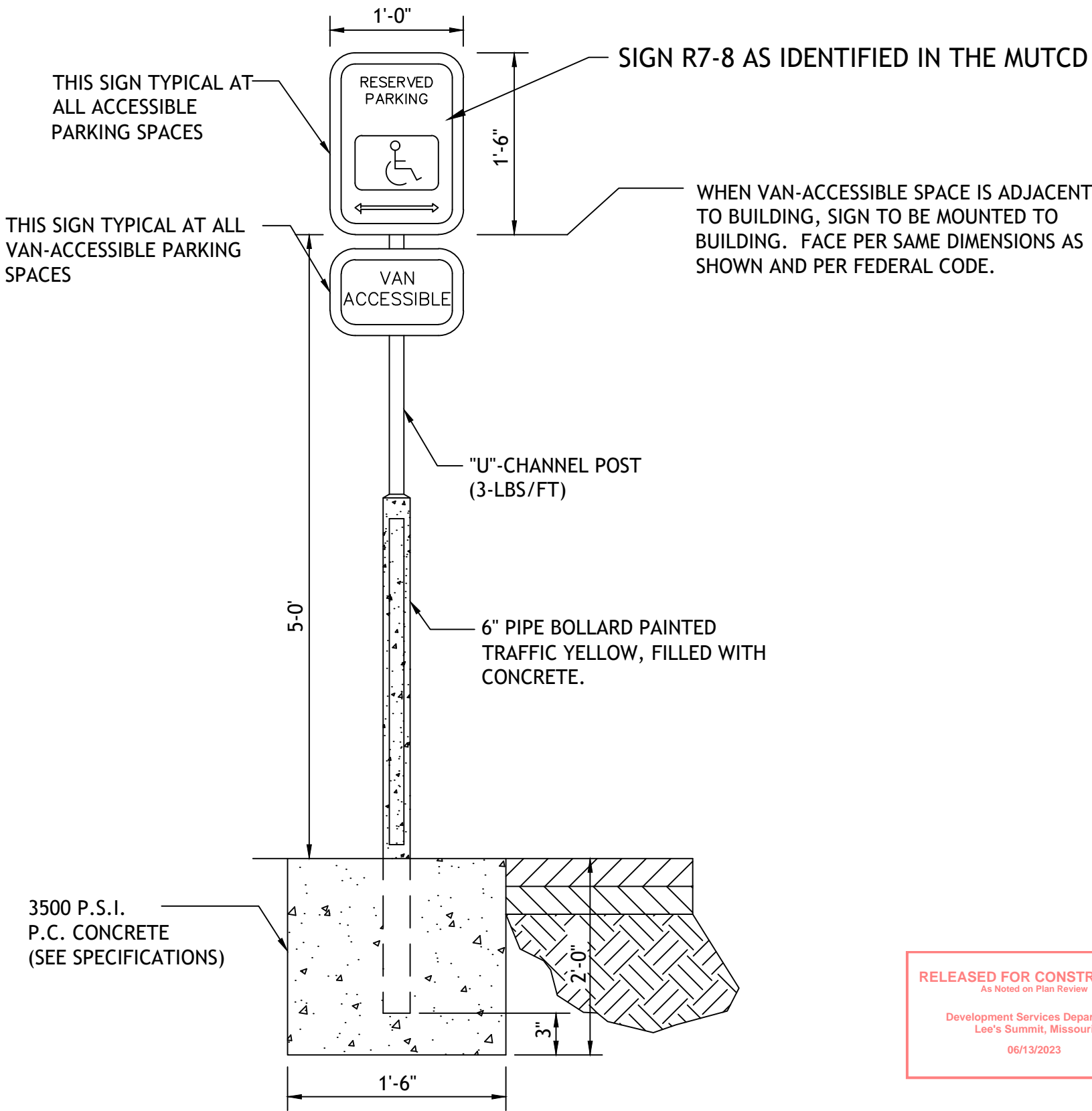
TEMPORARY ASPHALT CURB



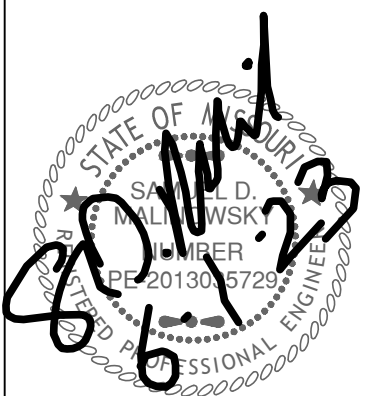
CONCRETE SIDEWALK CW2

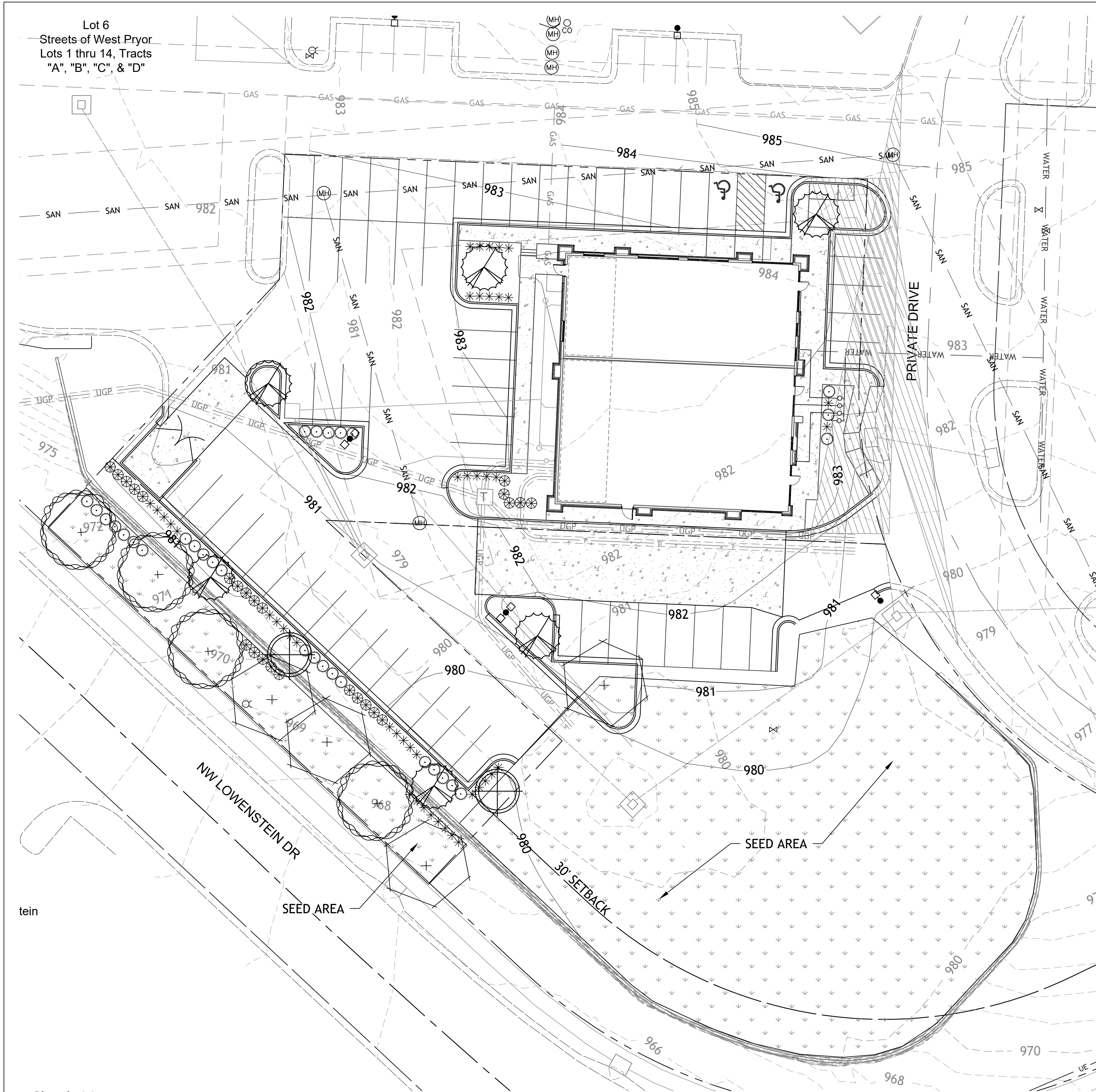


90° ACCESSIBLE & VAN ACCESSIBLE SPACE STRIPING PK1



ACCESSIBLE PARKING SIGN PK2





LOT 2 SITE DATA:

LOWENSTEIN	166'
REQUIRED:	
STREET TREES 1/30'	= 6
PARKING LOT SHRUBS 12/40'	= 50
PROVIDED:	
SHADE TREES	= 6
SHRUBS	= 50
PRIVATE DRIVE	117'
REQUIRED:	
STREET TREES 1/30'	= 4
PARKING LOT SHRUBS 12/40'	= 35
PROVIDED:	
ORNAMENTAL	= 1
SHADE TREES	= 0 (4 ADDED TO OPEN SPACE TREES)
SHRUBS	= 5 (30 ADDED TO OPEN SPACE SHRUBS)
INTERIOR PARKING	
TOTAL PARKING SURFACE =	14,386 sf
REQUIRED	
5% LANDSCAPE AREA	= 719 sf
PROVIDED	= 917 sf
OPEN SPACE TREES	
TOTAL SITE	0.753ac (32,820sf)
TOTAL BUILDING	6,000sf
TOTAL OPEN SPACE	26,820sf
REQUIRED	
1 / 5,000sf	= 5
PROVIDED	
ORNAMENTALS	= 7
OPEN SPACE SHRUBS	
REQUIRED	
2 / 5,000sf	= 27
PROVIDED	= 50

LANDSCAPE NOTES
CONTRACTOR REQUIRED TO LOCATE ALL UTILITIES BEFORE INSTALLATION TO BEGIN.

CONTRACTOR SHALL VERIFY ALL LANDSCAPE MATERIAL QUANTITIES AND SHALL REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

NO PLANT MATERIAL SUBSTITUTIONS ARE ALLOWED WITHOUT LANDSCAPE ARCHITECT OR OWNERS APPROVAL.

CONTRACTOR SHALL GUARANTEE ALL LANDSCAPE WORK AND PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE OF THE WORK BY THE OWNER. ANY PLANT MATERIAL WHICH DIES DURING THE ONE YEAR GUARANTEE PERIOD SHALL BE REPLACED BY THE CONTRACTOR DURING NORMAL PLANTING SEASONS.

CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE PLANTS UNTIL COMPLETION OF THE JOB AND ACCEPTANCE BY THE OWNER.

ALL PLANT MATERIAL SHALL BE SPECIMEN QUALITY STOCK AS DETERMINED IN THE "AMERICAN STANDARDS FOR NURSERY STOCK" PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMAN, FREE OF PLANT DISEASES AND PEST, OF TYPICAL GROWTH OF THE SPECIES AND HAVING A HEALTHY, NORMAL ROOT SYSTEM.

SIZES INDICATED ON THE PLANT LIST ARE THE MINIMUM, ACCEPTABLE SIZE. IN NO CASE WILL SIZES LESS THAN SPECIFIED BE ACCEPTED.

ALL SHRUB BEDS WITHIN LAWN AREAS TO RECEIVE A MANICURED EDGE.

ALL SHRUB BEDS SHALL BE MULCHED WITH 3" OF SHREDDED CEDAR MULCH.

ALL AREAS TO BE FERTILIZED & SODDED WITH A TURF-TYPE-TALL FESCUE SEED BLEND.

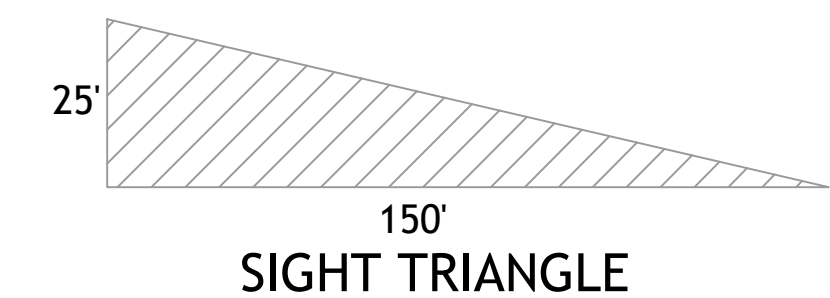
ALL AREAS TO BE FERTILIZED & SEEDDED WITH A TURF-TYPE-TALL FESCUE SEED BLEND.

IRRIGATION NOTE

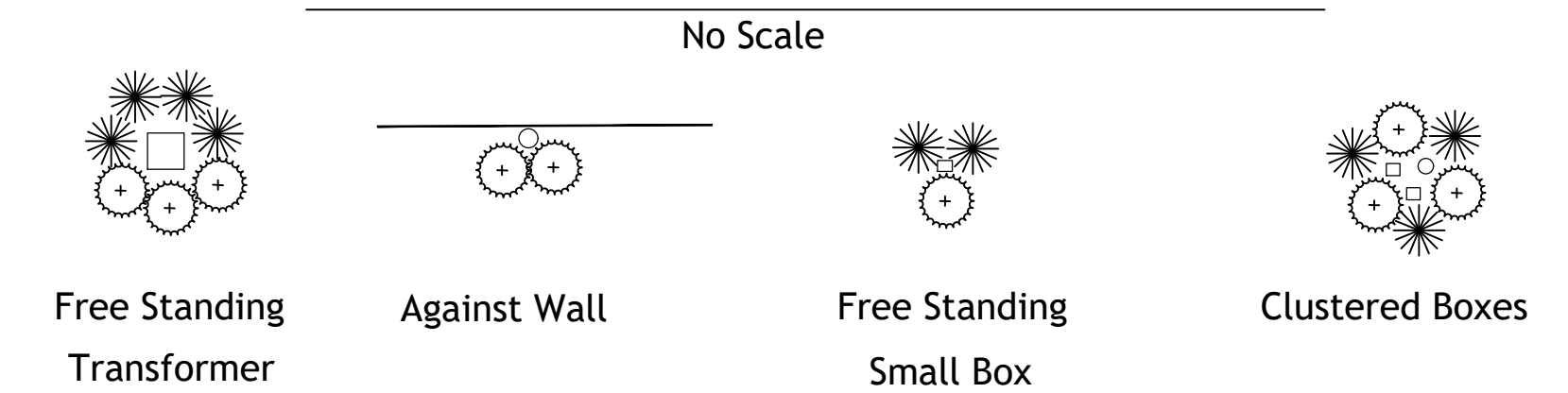
- SUCCESSFUL LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR DESIGN THAT COMPLIES WITH MINIMUM IRRIGATION REQUIREMENTS, AND INSTALLATION OF AN IRRIGATION SYSTEM. IRRIGATION SYSTEM TO BE APPROVED BY THE OWNER BEFORE STARTING ANY INSTALLATION.
- IRRIGATION SYSTEM SHALL PROVIDE A CONSTANT ON ON ZONE FOR FOUNTAIN
- IRRIGATION CONTROLLER TO BE MOUNTED ON OUTSIDE WALL OF BUILDING. PROVIDE TEMPORARY SUPPORT PRIOR TO BUILDING CONSTRUCTION.
- ALL AREAS WITHIN LOT 5 BOUNDARY TO BE IRRIGATED

MOWING NOTE

CONTRACTOR SHALL BE RESPONSIBLE FOR FIRST 2 MOWINGS OF ALL AREAS OF GRASS



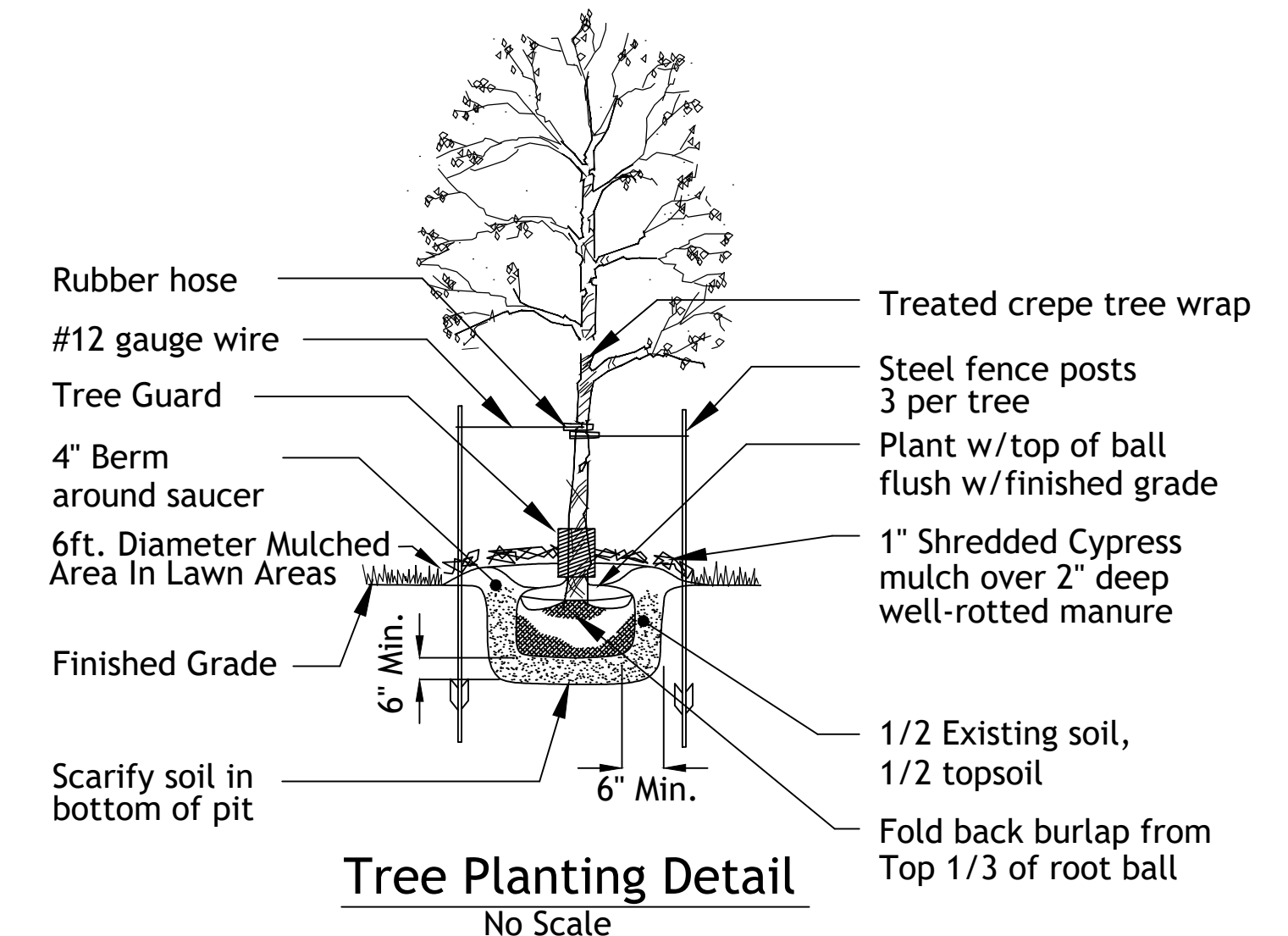
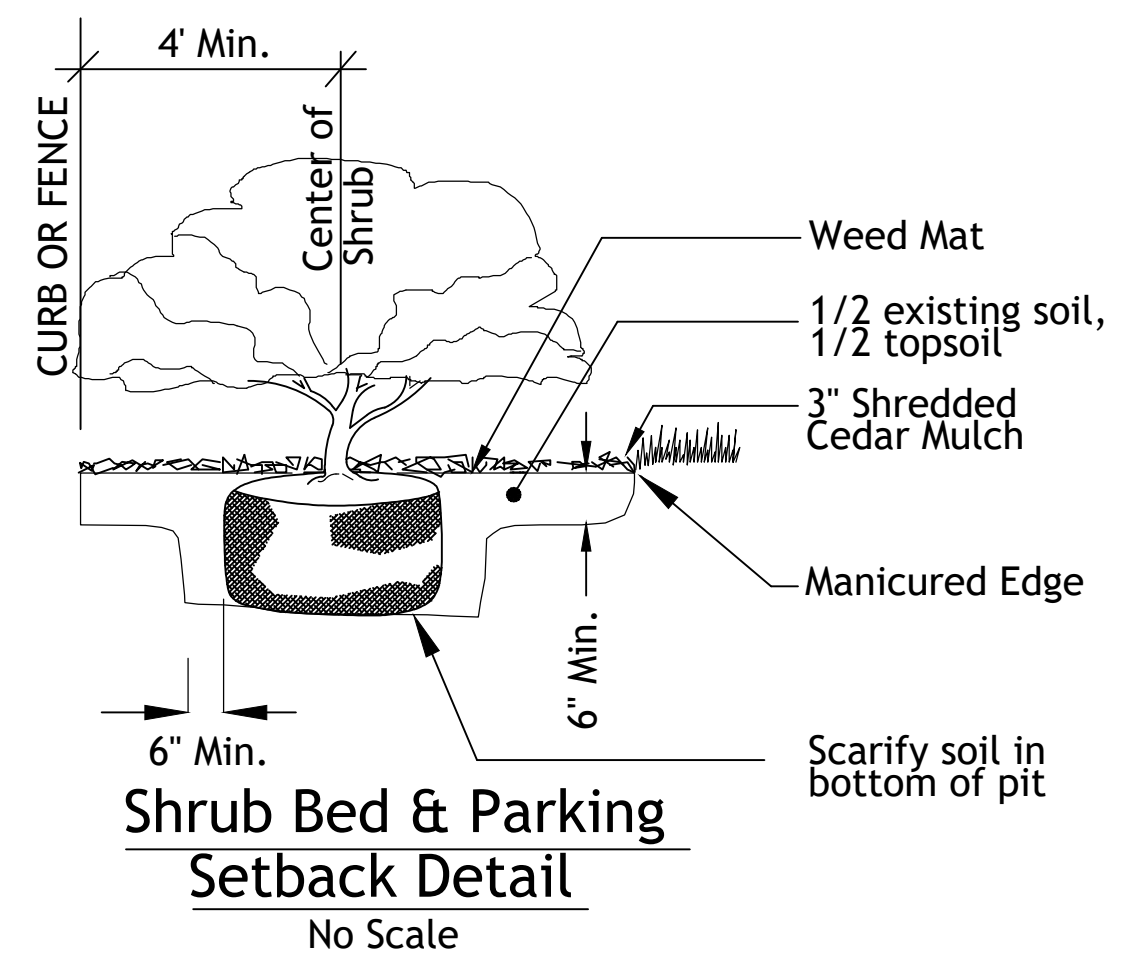
Typical Utility Box Screening Details



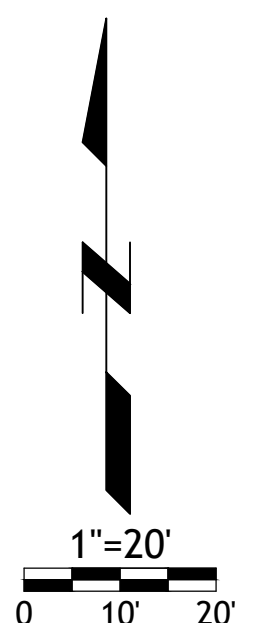
UTILITY BOXES SHALL BE CLUSTERED AS MUCH AS POSSIBLE

Shrub List						
Symbol	Quantity	Common Name	Botanical Name	Size	Condition	Spacing
	30	Seagreen Juniper	Juniperus Chinensis 'Seagreen'	18"-24"sp.	Cont.	4'o.c.
	25	Dwarf Winged Euonymus	Euonymus Alatus 'Compactus'	18"-24"sp.	Cont.	4'o.c.
	45	Morning Light Maiden Grass	Miscanthos Sinensis 'Morning Light'	18"-24"sp.	Cont.	4'o.c.

Tree List						
Symbol	Quantity	Common Name	Botanical Name	Size	Condition	Spacing
	4	October Glory Maple	Acer Rubrum 'October Glory'	3" cal	BB	As Shown
	4	Skyline Honeylocust	Gleditsia Triacanthos 'Skyline'	3" cal	BB	As Shown
	6	Golden Raintree	Koelreuteria Paniculata	3"cal	BB	As Shown
	2	Golden Raintree	Koelreuteria Paniculata	3"cal	BB	As Shown



RELEASED FOR CONSTRUCTION
As Noted on Plan Review
Development Services Department
Lee's Summit, Missouri
06/13/2023



Drawings and/or Specifications are original proprietary work and property of the Engineer and intended specifically for this project. Use of items contained herein without consent of the Engineer is prohibited. Drawings illustrate best information available to the Engineer. Field verification of actual elements, conditions, and dimensions is required.



Revisions
6-1-23 CITY COMMENTS

STREETS OF W. PRYOR
LOT 5
LEES SUMMITT, MO.

1. COORDINATE CONSTRUCTION OF OPENINGS AND PENETRATING ITEMS TO ENSURE THAT THROUGH-PENETRATION FIRESTOP SYSTEMS ARE INSTALLED ACCORDING TO SPECIFIED AND APPLICABLE UL REQUIREMENTS.
2. COORDINATE SIZING OF SLEEVES, OPENINGS, CORE-DRILLED HOLES, OR CUT OPENINGS TO ACCOMMODATE THROUGH-PENETRATION FIRESTOP SYSTEMS.
3. DO NOT COVER UP THROUGH-PENETRATION FIRESTOP SYSTEM INSTALLATIONS EXAMINED BY INSPECTOR, IF REQUIRED BY AUTHORITIES HAVING JURISDICTION.
4. COMPATIBILITY: PROVIDE THROUGH-PENETRATION FIRESTOP SYSTEMS THAT ARE COMPATIBLE WITH ONE ANOTHER, WITH THE SUBSTRATES FORMING OPENINGS; AND WITH THE ITEMS, IF ANY, PENETRATING THROUGH PENETRATIONS. THROUGH-PENETRATION SYSTEMS, INCLUDING SERVICE AND APPLICATION, AS DEMONSTRATED BY THROUGH-PENETRATION FIRESTOP SYSTEM MANUFACTURER BASED ON TESTING AND FIELD EXPERIENCE.
5. PROVIDE COMPONENTS FOR EACH THROUGH-PENETRATION FIRESTOP SYSTEM AND MATERIALS TO INSTALL FIRE RATED MATERIALS. USE ONLY COMPONENTS SPECIFIED BY THROUGH-PENETRATION FIRESTOP SYSTEM MANUFACTURER AND APPROVED BY QUALIFIED TESTING AND INSPECTING AGENCY FOR FIRESTOP SYSTEMS INDICATED.
6. PROVIDE SLEEVES THROUGH ALL FIRE-RATED WALLS AND FLOOR VOIDS. SLEEVES SHALL BE WELD-TO SLEEVES AROUND PERIMETER OF FIRE STOP PUTTY WITH UL LISTED 3 HOUR RATING INSTALLED AS PER MANUFACTURERS RECOMMENDATIONS.
7. FIRE SEAL ALL PIPING, CONDUIT, CABLE, ETC PENETRATIONS ROUTED THROUGH FIRE RATED WALLS.
8. PROVIDE FIRE RATED ENCLOSURES OR WRAPS ON LIGHT EXITS, ELEVATOR SHAFTS, AND PENETRATING FIRE RATED WALLS, FLOOR/CEILING/ CEILING/ROOF ASSEMBLIES TO MAINTAIN UL LISTING FOR CONSTRUCTION.

1. COMPLETE INSTALLATION SHALL BE IN ACCORDANCE WITH THE LATEST ADAPTED VERSION OF THE NATIONAL ELECTRICAL CODE, LOCAL AND STATE CODES, AND REQUIREMENTS OF THE AHJ.
2. COORDINATE LOCATIONS OF RECEPTACLES, SWITCHES, ETC. WITH ARCHITECTURAL CASEWORK AND ELEVATIONS.
3. REFER TO MOUNTING HEIGHTS DETAIL FOR MOUNTING HEIGHTS OF ALL DEVICES NOT INDICATED OTHERWISE.
4. PULL THE ALL EMPTY CONDUITS WITH PULL STRINGS AND BUSHED ENDS.
5. CONTRACTOR SHALL CONCEAL ALL CONDUIT, FITTINGS, AND DEVICES FROM VIEW WHERE REASONABLY POSSIBLE.

1. SOME ROOM NAMES MAY NOT BE SHOWN FOR PURPOSE OF CLARIFYING PLAN. REFER TO ARCHITECTURAL PLANS FOR REFERENCE TO ROOM NAMES NOT SHOWN.
2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN THE EXISTING RECORD DRAWING SET DATE OF "RECORD DRAWINGS" SHOWING ALL CHANGES FROM THE ORIGINAL PLANS. THE CONTRACTOR SHALL DELIVER THE "RECORD DRAWINGS" TO THE ENGINEER AT THE CONCLUSION OF THE PROJECT AND TO THE OWNER AT THE END OF THE PROJECT.
3. THESE DRAWINGS ARE DIAGRAMMATIC. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS (NEW AND EXISTING), DIMENSIONS, AND CLEARANCES PRIOR TO THE COMMENCEMENT OF WORK AND SHALL INCLUDE ALL COSTS, EQUIPMENT, MATERIAL, AND LABOR TO COMPLETE THE PROJECT, INCLUDING ALL FUNCTIONAL AND CODE COMPLIANT INSTALLATION.
4. FINAL LOCATIONS OF ALL DEVICES, LIGHT FIXTURES, EQUIPMENT ETC. SHALL BE INDICATED ON THE ARCHITECTURAL DRAWINGS. ALL DIMENSIONAL INFORMATION SHALL BE OBTAINED FROM THE FIELD. ALL DIMENSIONAL INFORMATION SHALL BE OBTAINED FROM MAP DRAWINGS.
5. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS, APPROVALS, LICENSES, ETC. AS NEEDED FOR THE COMPLETE INSTALLATION AND PROJECT. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER FOR ALL FEES AND DATA NEEDED FOR THIS.

1. COMPLETE INSTALLATION SHALL BE IN ACCORDANCE WITH THE LATEST ADAPTED VERSION OF THE INTERNATIONAL MECHANICAL CODE, LOCAL STATE CODES, AND REQUIREMENTS OF THE A/E.
2. AN ELECTRICAL CONTRACTOR SHALL BE PROVIDED BY THE A/E, AS INDICATED ON ELECTRICAL PLANS, ANY ADDITIONAL LINE VOLTAGE OR LOW VOLTAGE POWER REQUIRED BY THE M/C OR SUBCONTRACTORS TO HAVE A FULLY FUNCTIONING SYSTEM SHALL BE PROVIDED BY THE M/C CONTRACTOR OR SUBS.
3. ALL EQUIPMENT SHALL BE ADEQUATELY AND PROPERLY SUPPORTED AND FASTENED FROM STRUCTURE.
4. ALL EQUIPMENT AND ACCESSORIES INSTALLED IN CONCEALED SPACES REQUIRE ACCESS SHALL BE PROVIDED WITH ACCESS DOORS MEETING ANY FIRE REQUIREMENTS OF THE WALL/CEILING THEY ARE INSTALLED.
5. EACH AIR HANDLING UNIT OVER 2000CFM SHALL BE PROVIDED WITH A SMOKE DETECTOR TO SHUT DOWN THE UNIT PER IMC 606 AS REQUIRED BY A/E. COORDINATE WITH OTHER TRADES.
6. START AND PAUSE TOOLS, EQUIPMENT AND TRUCKS, ALL MECHANICAL SYSTEMS OPERATE IN ACCORDANCE WITH THEIR INTENDED PURPOSES. SUBMIT BALANCE AND START UP REPORTS TO THE A/E. REFER TO SPECIFICATIONS FOR ANY ADDITIONAL REQUIREMENTS.

1. COMPLETE INSTALLATION SHALL BE IN ACCORDANCE WITH THE LATEST ADAPTED VERSION OF THE INTERNATIONAL PLUMBING CODE, LOCAL AND STATE CODES, AND REQUIREMENTS OF THE AHA.
2. NO PREHEATING SHALL BE INSTALLED HEREIN. SHALL SUBJECT TO FREEZING TEMPERATURES. PIPING TO EXTERIOR WALLS SHALL BE INSTALLED ON THE WARM SIDE OF BUILDING INSULATION, INSULATED AND THE CHASE SHALL BE VENTILATED WITH GRILLES ALLOWING INDOOR AMBIENT CONDITIONS TO CIRCULATE THROUGH THE CHASE.
3. PROVIDE CLEANOUTS IN THE FOLLOWING LOCATIONS:
 - 3.1. IN ALL HORIZONTAL BRANS (WITHIN THE BUILDING) NOT MORE THAN 100 FEET APART
 - 3.2. IN BUILDING SEWERS LOCATED NO MORE THAN 100 FEET APART MEASURED FROM THE UPSTREAM ENTRANCE OF THE CLEANOUT.
 - 3.3. EACH CHANGE OF DIRECTION OF THE BUILDING DRAIN OR HORIZONTAL WASTE OR SOIL LINES GREATER THAN 45 DEGREES WHERE THE DRAIN OR WASTE CHANGES DIRECTION OR IN A RUN OF PIPING, ONLY ONE CLEANOUT SHALL BE REQUIRED FOR EACH 40 FEET OF DEVELOPED LENGTH OF THE DRAINAGE PIPING.
- 3.4. AT THE BASE OF EACH WASTE OR SOIL STACK.
- 3.5. NEAR THE JUNCTION OF THE BUILDING DRAIN AND BUILDING SEWER.

1. COORDINATE REQUIREMENTS FOR INSTALLATION OF SYSTEMS AND EQUIPMENT WITH ALL OTHER TRADES.
2. THE CONTRACTOR SHALL COORDINATE THE ROUTING AND PATH OF ALL CONDUITS, PIPES, DUCTS, ETC. WITH THE POSITION AND LAYOUT OF THE STRUCTURE. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING NECESSARY OFFSETS, TURNS, RISERS AND DROPS FOR SYSTEMS AND COMPONENTS AS NEEDED TO INSTALL THE REQUIRED SYSTEMS. CLEARANCE FROM RISERS, ETC. AND OTHER SYSTEMS IS POTENTIAL CONFLICT WITH ROUTING.
3. COORDINATE WORK WITH OTHER TRADES TO INSTALL SYSTEMS ABOVE CEILING HEIGHTS INDICATED ON ARCHITECTURAL PLANS.
4. CHECK SPACE REQUIREMENTS WITH OTHER TRADES AND STRUCTURAL ENGINEER TO INSURE THAT ALL MATERIALS AND EQUIPMENT CAN BE INSTALLED IN THE SPACE ALLOTTED INCLUDING FINISHED SUSPENDED CEILINGS AND OTHER SPACES, CHASES, ETC. WITHIN THE BUILDING. MAKE MODIFICATIONS THERETO AS REQUIRED AND AS NECESSARY.
5. TRANSMIT TO OTHER TRADES ALL INFORMATION REQUIRED FOR WORK TO BE PROVIDED UNDER THEIR RESPECTIVE SECTIONS IN AMPLE TIME FOR INSTALLATION.
6. COORDINATE WORK INTERCONNECTS WITH WORK OF OTHER TRADES. WHEREVER WITH THOSE TRADES TO INSURE THAT ALL SUCH INTERCONNECTS HAVE THE NECESSARY WORK TO BE DONE. THEY MAY PROPERLY INSTALL ALL CONNECTIONS AND EQUIPMENT. IDENTIFY ALL ITEMS OF WORK THAT REQUIRE ACCESS SO THAT THE CEILING TRADE WILL KNOW WHERE TO INSTALL ACCESS DOORS AND PANELS.
7. COORDINATE, PROJECT AND SCHEDULE WORK WITH OTHER TRADES IN ACCORDANCE WITH THE CONSTRUCTION SEQUENCE.
8. DRAWINGS SHOW THE GENERAL RUNS OF CONDUITS, PIPING AND DUCTS AND APPROXIMATE LOCATION OF OUTLETS. ANY SUGGESTED CHANGES TO THE DRAWING ITEM, NECESSARY TO MEET FIELD CONDITIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT/ENGINEER AND RECEIVE HIS APPROVAL BEFORE SUCH ALTERATIONS ARE MADE. ALL SUCH MODIFICATIONS SHALL BE MADE WITHOUT ADDITIONAL COST TO THE OWNER.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF SURFACES, AREAS AND PROPERTY THAT MAY BE DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES.
10. ADJUST LOCATION OF PIPING, DUCTWORK, ETC. TO PREVENT INTERFERENCE, BOTH ANTICIPATED AND ENCOUNTERED, DETERMINE THE ROUTE OF THE PIPING, DUCTWORK, ETC. TO THE EQUIPMENT TO BE FABRICATED. MAKE OFFSETS, TRANSITIONS AND CHANGES IN DIRECTION IN SYSTEMS AS REQUIRED TO MAINTAIN ADEQUATE CLEARANCES AND HEADROOM.
11. WHEREVER THE WORK IS OF SUFFICIENT COMPLEXITY, PREPARE AND OBTAIN DRAWINGS AND ORGANIZE ON-SITE MEETINGS WITH ALL RELATED SUBCONTRACTORS TO COORDINATE THE WORK BETWEEN TRADES. DRAWINGS SHALL CLEARLY SHOW THE WORK AND ITS RELATION TO THE WORK OF OTHER TRADES, AND BE SUBJECT TO REVIEW PRIOR TO COMMENCING SHOP FABRICATION OR ERECTION IN THE FIELD.
12. COORDINATE WITH LOCAL UTILITY PROVIDERS FOR THEIR REQUIREMENTS FOR SERVICE CONNECTIONS AND PROVIDE ALL NECESSARY MATERIALS, LABOR AND TESTING TO ACCOMPLISH THE WORK.

NOTES LEGEND

- 1- PROVIDE WET LOCATION RATED FIXTURE
- 2- PROVIDE COLD LOCATION RATED DRIVER
- 3- PROVIDE SQUARE STRAIGHT STEEL POLE RATED FOR 100 MPH WIND GUSTS, PRIMED AND PAINTED TO MATCH FIXTURE
- 4- PROVIDE EMERGENCY BATTERY
- 5- PROVIDE ALL ACCESSORIES FOR A COMPLETE INSTALLATION.
- 6- PROVIDE WEATHER PROOF JUNCTION BOX FOR DRIVERS AND ELECTRICAL CONNECTIONS ABOVE SOFFIT.



RELEASED FOR CONSTRUCTION
As Noted on Plan Review

Development Services Department
Lee's Summit, Missouri

06/13/2023



2231 sw wanamaker rd suite 303
topeka, kansas 66614-4275
phone: 785.273.7540
fax: 785.273.7579

500 north broadway suite 200
oklahoma city, ok 73102
phone: 405.231.3105
fax: 405.231.3115



Bryan Leinwetter - Engineer
MO# PE-2020020297

**CORE & SHELL BUILDING
STREETS OF WEST PRYOR LOT 5
LEES SUMMIT, MISSOURI**

SUBMISSION DATES
MAY 23, 2023
JUNE 12, 2023-REV 1

SHEET TITLE
SITE PHOTOMETRIC
PLAN AND GENERAL
NOTES

PROJECT NUMBER
230117

SHEET NUMBER
ME-201