

DISCOVERY PARK REZONING & PRELIMINARY DEVELOPMENT PLAN - ZONES 1 & 2

LEE'S SUMMIT, MISSOURI

OLSSON PROJECT NUMBER: A21-04643

INTRINSIC DEVELOPMENT L.L.C.

CONTACT: BRIAN MAENNER

3622 ENDEAVOR AVE. STE. 101

COLUMBIA, MISSOURI 65201

573.881.0280

OWNER:



3622 ENDEAVOR AVE., STE. 101
COLUMBIA, MO 65201
TEL 573.881.0280
<https://www.intrinsicdevelopment.com>

LANDSCAPE ARCHITECT:



1814 MAIN STREET
KANSAS CITY, MO 64111
TEL 816.842.8844
www.olsson.com

CIVIL ENGINEER:



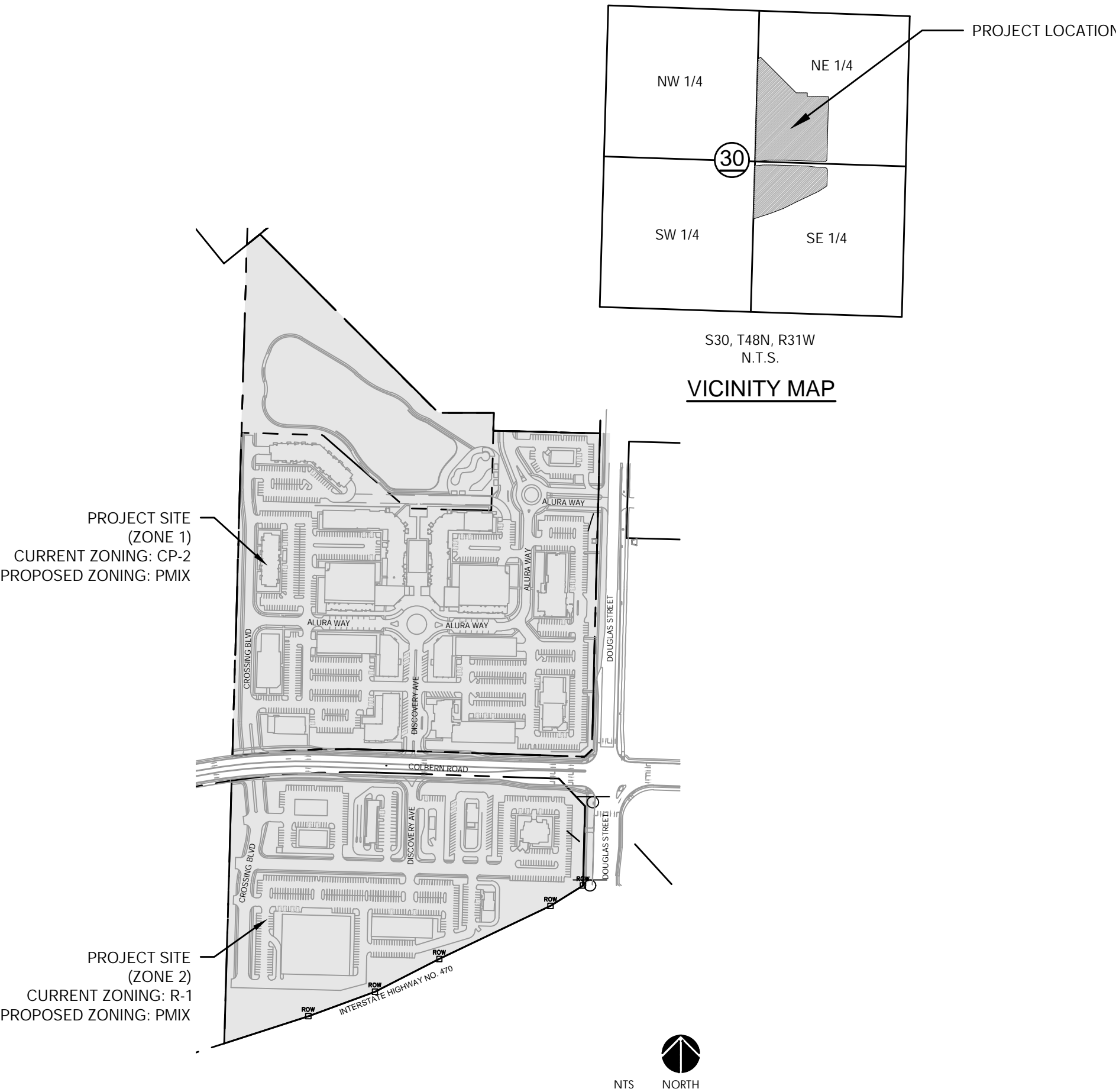
1301 BURLINGTON STREET
NORTH KANSAS CITY, MO 64116
TEL 816.361.1177
www.olsson.com

ZONE 1 - REZONING AND PRELIMINARY DEVELOPMENT PLAN:

A TRACT OF LAND IN THE NORTHEAST QUARTER OF SECTION 30 TOWNSHIP 48 NORTH, RANGE 31 WEST OF THE 5TH PRINCIPAL MERIDIAN IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI BEING BOUNDED AND DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF SAID NORTHEAST QUARTER SECTION: THENCE SOUTH 01°37'50" WEST, ON THE WEST LINE OF SAID QUARTER SECTION, 853.75 FEET TO A POINT ON THE SOUTHEAST LOT LINE OF LOT 1, LEE'S SUMMIT ROAD PUMP STATION, A SUBDIVISION RECORDED IN BOOK 1 51 AT PAGE 90 IN THE JACKSON COUNTY RECORDER OF DEEDS OFFICE, AND THE POINT OF BEGINNING OF THE TRACT OF LAND TO BE HEREIN DESCRIBED: THENCE NORTH 50°41'15" EAST, ON SAID SOUTHEAST LOT LINE, 59.22 FEET; THENCE LEAVING SAID LOT LINE, SOUTH 45°00'00" EAST, 889.18 FEET; THENCE NORTH 90°00'00" EAST, 195.68 FEET; THENCE SOUTH 01°27'27" WEST, 62.94 FEET; THENCE SOUTH 88°32'29" EAST, 375.74 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF NE DOUGLAS STREET AS ESTABLISHED BY DOCUMENT NUMBER 2015E0017982 IN THE JACKSON COUNTY RECORDER OF DEEDS OFFICE; THENCE ON SAID WESTERLY RIGHT-OF-WAY LINE, SOUTH 01°27'31" WEST, 1,114.58 FEET; THENCE SOUTH 46°40'17" WEST, 35.22 FEET TO THE INTERSECTION OF THE NORTHERLY RIGHT-OF-WAY LINE OF NE COLBURN ROAD AS ESTABLISHED BY A SURVEY PROVIDED BY HAMILTON STERRETT AND DOOLEY, PROJECT NUMBER 99021: THENCE ON SAID NORTHERLY RIGHT-OF-WAY LINE NORTH 88°06'56" WEST, 730.85 FEET; THENCE WESTERLY ALONG A CURVE TO THE LEFT HAVING AN INITIAL TANGENT BEARING OF NORTH 87°33'04" WEST WITH A RADIUS OF 2,904.93 FEET, A CENTRAL ANGLE OF 10°06'02" AND AN ARC DISTANCE OF 512.10 FEET TO THE SOUTHWEST CORNER OF THE SAID NORTHEAST QUARTER; THENCE NORTH 01°37'22" EAST, ON THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 30, A DISTANCE OF 1,328.05 FEET TO THE NORTHWEST CORNER OF THE SOUTHWEST QUARTER OF THE SAID NORTHEAST QUARTER; THENCE CONTINUING ON THE SAID WEST LINE, NORTH 01°37'50" EAST, 473.96 FEET TO THE POINT OF BEGINNING. CONTAINING 1,717,197 SQUARE FEET OR 39.42 ACRES, MORE OR LESS. TRACT OF LAND IS CURRENTLY ZONED AS CP-2.

ZONE 2 - REZONING AND PRELIMINARY DEVELOPMENT PLAN:

A TRACT OF LAND IN THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 30 TOWNSHIP 48 NORTH, RANGE 31 WEST OF THE 5TH PRINCIPAL MERIDIAN IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI BEING BOUNDED AND DESCRIBED BY OR UNDER THE DIRECT SUPERVISION OF JASON S ROUDEBUSH, P.L.S. 2002014092 AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHEAST QUARTER, SAID POINT ALSO BEING THE SOUTHEAST CORNER OF SAID SOUTHWEST QUARTER OF SAID SECTION 30: THENCE NORTH 01°36'54" EAST ON THE WEST LINE OF SAID SOUTHEAST QUARTER, SAID LINE ALSO BEING THE EAST LINE OF SAID SOUTHWEST QUARTER, 1,633.15 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF INTERSTATE HIGHWAY NO. 470 AS ESTABLISHED BY THE REPORT OF COMMISSIONERS, CASE 741042, RECORDED AS DOCUMENT NO. 197110086010, IN BOOK 1258 AT PAGE 1207, SAID POINT ALSO BEING THE POINT OF BEGINNING OF THE TRACT OF LAND TO BE HEREIN DESCRIBED: THENCE CONTINUING NORTH 01°36'54" EAST ON THE WEST LINE OF SAID SOUTHEAST QUARTER, AND THE EAST LINE OF SAID SOUTHWEST QUARTER, 925.47 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF NW COLBURN ROAD AS ESTABLISHED BY DOCUMENT NO. 19300284624: THENCE EASTERLY ON A CURVE TO THE RIGHT HAVING AN INITIAL TANGENT BEARING OF NORTH 81°50'55" EAST WITH A RADIUS OF 2,924.93 FEET, A CENTRAL ANGLE OF 10°02'09" AND AN ARC DISTANCE OF 512.33 FEET; THENCE SOUTH 88°06'56" EAST, ON SAID SOUTHERLY RIGHT-OF-WAY LINE, 642.13 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF NE DOUGLAS STREET ESTABLISHED BY SAID REPORT OF COMMISSIONERS CASE 741042, RECORDED AS DOCUMENT NO. 197110086010, IN BOOK 1258 AT PAGE 1207; THENCE SOUTH 43°46'24" EAST, ON SAID WESTERLY RIGHT-OF-WAY LINE, 133.40 FEET; THENCE SOUTH 01°29'58" WEST, ON SAID WESTERLY RIGHT-OF-WAY LINE, 280.00 FEET TO A POINT ON THE AFORESAID NORTHWESTERLY RIGHT-OF-WAY LINE OF INTERSTATE HIGHWAY NO. 470: THENCE SOUTH 57°43'10" WEST, ON SAID NORTHWESTERLY RIGHT-OF-WAY LINE, 134.56 FEET; THENCE SOUTH 64°30'32" WEST, ON SAID NORTHWESTERLY RIGHT-OF-WAY LINE, 434.06 FEET; THENCE SOUTH 63°04'56" WEST, ON SAID NORTHWESTERLY RIGHT-OF-WAY LINE, 254.50 FEET; THENCE SOUTH 69°50'03" WEST, 250.20 FEET; THENCE SOUTH 72°07'30" WEST, 311.41 FEET TO THE POINT OF BEGINNING. CONTAINING 863,837 SQUARE FEET OR 19.831 ACRES MORE OR LESS. TRACT OF LAND IS CURRENTLY ZONED AS R-1.



DRAWING DATE

01/20/2023	PRELIMINARY DEVELOPMENT PLANS
04/04/2023	PRELIMINARY DEVELOPMENT PLANS 2ND SUBMITTAL
04/25/2023	PRELIMINARY DEVELOPMENT PLANS 3RD SUBMITTAL

DWG: F:\2021\04501-05000\021-04643-A\40-Design\AutoCAD\Preliminary Plans\Sheets\OSTU\L_CVR01_A2104643.dwg
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SHEET INDEX

Sheet #	Sheet Description	Preliminary Development Plans 01/20/2023	Preliminary Development Plans 2nd Submittal 04/04/2023	Preliminary Development Plans 3rd Submittal 04/25/2023		
	COVER SHEET	X	X	X		
L000	PROJECT SHEET	X	X	X		
L100	EXISTING CONDITIONS - ZONE 1	X	X	X		
L101	EXISTING CONDITIONS - ZONE 2	X	X	X		
L102	GENERAL LAYOUT - ZONE 1	X	X	X		
L103	GENERAL LAYOUT - ZONE 2	X	X	X		
L104	FIRE TRUCK ACCESS PLAN - ZONE 1	X	X	X		
L105	FIRE TRUCK ACCESS PLAN - ZONE 2	X	X	X		
L200	OVERALL SITE PLAN	X	X	X		
L201	SITE PLAN - ZONE 1	X	X	X		
L202	SITE PLAN - ZONE 2	X	X	X		
L300	OVERALL LANDSCAPE PLAN	X	X	X		
L301	LANDSCAPE & SCREENING REQUIREMENTS DATA	X	X	X		
L302	LANDSCAPE PLAN - ZONE 1	X	X	X		
L303	LANDSCAPE PLAN - ZONE 2	X	X	X		
C100	OVERALL GRADING PLAN	X	X	X		
C101	GRADING PLAN - ZONE 1	X	X	X		
C102	GRADING PLAN - ZONE 2	X	X	X		
C200	OVERALL UTILITY PLAN	X	X	X		
C201	UTILITY PLAN - ZONE 1	X	X	X		
C202	UTILITY PLAN - ZONE 2	X	X	X		
MEP1	MECHANICAL ELECTRICAL PLUMBING COVER SHEET	X	X	X		
MEP2	OVERALL SITE PLAN	X	X	X		
MEP3	SITE LIGHTING PLAN	X	X	X		
E501	ELECTRICAL DETAILS 7 SCHEDULES	X	X	X		
A100	ARCHITECTURAL RENDERING - LOTS 3 & 5	X	X	X		
A101	ARCHITECTURAL RENDERING - LOT 1	X	X	X		
A102	ARCHITECTURAL RENDERING - LOTS 1 & 4	X	X	X		
A103	ARCHITECTURAL RENDERING - LOT 2	X	X	X		
A104	ARCHITECTURAL RENDERING - LOT 2	X	X	X		
A105	ARCHITECTURAL RENDERING - LOT 2	X	X	X		
A106	ARCHITECTURAL RENDERING - LOT 3	X	X	X		
A107	ARCHITECTURAL RENDERING - LOTS 8, 9, & 10	X	X	X		
A108	ARCHITECTURAL RENDERING - LOTS 9 & 10	X	X	X		
A109	ARCHITECTURAL RENDERING - LOTS 8 & 10	X	X	X		
A110	ARCHITECTURAL RENDERING - LOT 11	X	X	X		
A111	ARCHITECTURAL RENDERING - LOT 12	X	x	x		
A112	ARCHITECTURAL RENDERING - POOL AREA		x	x		

PROJECT DESIGN CRITERIA:

CODE EDITIONS USED:

2018 INTERNATIONAL BUILDING CODE
2018 INTERNATIONAL PLUMBING CODE
2018 INTERNATIONAL MECHANICAL CODE
2018 INTERNATIONAL FUEL GAS CODE
2018 INTERNATIONAL RESIDENTIAL CODE
2018 INTERNATIONAL FIRE CODE
2017 NATIONAL ELECTRICAL CODE
ICC/ANSI A117.1-2009, ACCESSIBLE AND USEABLE BUILDING AND FACILITIES

UTILITY SERVICE NUMBERS:

NAME: LEE'S SUMMIT PUBLIC WORKS
PHONE: 816-969-1800

NAME: LEE'S SUMMIT WATER UTILITIES DEPARTMENT
PHONE: 816-969-1900

NAME: SPIRE (MGE)
PHONE: 314-342-0500

NAME: AT&T
PHONE: 800-286-8313

NAME: EVERGY
PHONE: 816-471-5275

NAME: SPECTRUM (TWC)
PHONE: 877-772-2253

NAME: GOOGLE FIBER
PHONE: 877-454-6959

GENERAL NOTES

- ALL PAVING DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
- REFER TO DETAIL SHEET FOR INSTALLATION OF SIGNS.
- CONTRACTOR SHALL MATCH EXISTING PAVEMENT IN GRADE AND ALIGNMENT TO PROVIDE SMOOTH SURFACE TRANSITIONS BETWEEN NEW ENTRANCE DRIVES AND EXISTING STREETS.
- CONTRACTOR SHALL MATCH EXISTING CURB & GUTTER IN GRADE, SIZE, TYPE, AND ALIGNMENT AT CONNECTIONS TO EXISTING STREETS.
- ALL WORK ON THIS PLAN SHALL BE DONE IN STRICT ACCORDANCE WITH THE OWNER'S SITE WORK SPECIFICATIONS.
- ALL TRAFFIC CONTROL SIGNS SHALL BE FABRICATED AS SHOWN IN THE NATIONAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREET AND HIGHWAYS.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULE, SLOPED PAVING, EXIT PORCHES, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS, SIDEWALK AND SPECIFIC BUILDING AREA TREATMENTS AND IMPROVEMENTS. FOR EXACT BUILDING DIMENSIONS, SEE ARCHITECTURAL PLANS. CONTRACTOR TO STAKE AND CONSTRUCT FOUNDATIONS AND FOOTINGS FROM STRUCTURAL PLAN. BUILDING DIMENSIONS ON THIS PLAN ARE FOR REFERENCE ONLY.
- ALL DIMENSIONS SHOWN ON BUILDING ARE TO OUTSIDE FACE OF BUILDING.
- ALL ACCESSIBLE PARKING SIGNAGE AND STRIPING SHALL BE IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) REQUIREMENTS.
- THE CONTRACTOR SHALL SUPPLY THE OWNER WITH A LIST OF ALL SUBCONTRACTORS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION.
- ALL ASPHALT PAVING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF LEES SUMMIT DESIGN AND CONSTRUCTION MANUAL SECTION 2200.
- ALL CURB RETURN RADII ARE 4.0' UNLESS OTHERWISE NOTED.
- SITE TOPOGRAPHY TAKEN FROM FIELD WORK BY OLSSON ON THE SURVEY DATED 10-2016 AND UPDATED ON ~~10/20/2016~~ ALONG NORTH PROPERTY LINE. CONTRACTOR TO VERIFY EXISTING CONDITIONS OF THE SITE THAT MAY NOT BE REPRESENTATIVE OF THE CONSTRUCTION PLANS.

FLOOD CERTIFICATION:

1. THE ENTIRE SITE IS LOCATED WITHIN ZONE X, "AREAS OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN" AS DEPICTED ON THE FEMA FLOOD INSURANCE RATE MAP (FIRM) MAP NUMBER 290174 0412G, REVISION DATE JANUARY 20, 2017

OIL/GAS WELLS:

NO OIL OR GAS WELLS LOCATED WITHIN THE PROJECT LIMITS.

INFORMATION OBTAINED FROM THE MISSOURI DEPARTMENT OF NATURAL RESOURCES, GEOLOGICAL SURVEY GEOSCIENCES TECHNICAL RESOURCE ASSESSMENT TOOL (GEOSTRAT).

AIRPORT PROXIMITY:

THE PROPOSED DEVELOPMENT SITE IS LOCATED ADJACENT (WITHIN 1 MILE) TO THE LEE'S SUMMIT MUNICIPAL AIRPORT AND AS SUCH IS SUBJECT TO NOISE AND VIBRATION GENERATED FROM THE AIRPORT PROPERTY ASSOCIATED WITH THE NORMAL USE OF SAID FACILITY.

LEGEND	
GENERAL	SURVEY MARKERS
ACU	BMK BENCHMARK
AST	CPT CONTROL POINT
ATL	FND FOUND MONUMENT
ATR	ROW ROW MARKER
BLB	SCR SECTION CORNER
BOV	SET SET MONUMENT
BSH	BOUNDARIES
COL	SECTION LINE
CTR	EXISTING PROPERTY BOUNDARY
DRN	PROPOSED PROPERTY BOUNDARY
DTR	EXISTING LOT LINE
FLP	PROPOSED LOT LINE
GDP	EXISTING RIGHT-OF-WAY
GPL	PROPOSED RIGHT-OF-WAY
GTP	UTILITIES
GUY	CAB CABLE BOX
HCP	CAV CABLE VAULT
LST	TVP TELEVISION PEDESTAL
MLB	TVR TELEVISION RISER
MP	EOTV EXISTING CABLE TV, OVERHEAD
MWL	ECV EXISTING CABLE TV, UNDERGROUND
PIV	CTV PROPOSED CABLE TV, OVERHEAD
PPT	CTV PROPOSED CABLE TV, UNDERGROUND
RAT	FOB FIBER OPTIC BOX
SAD	FOM FIBER OPTIC MANHOLE
SCV	FOP FIBER OPTIC PEDESTAL
SGN	FOV FIBER OPTIC VAULT
SLB	EFOH EXISTING FIBER OPTIC, OVERHEAD
SLC	EFO EXISTING FIBER OPTIC, UNDERGROUND
SPB	FOH PROPOSED FIBER OPTIC, OVERHEAD
SPH	FO PROPOSED FIBER OPTIC, UNDERGROUND
STP	FDC FIRE DEPT. CONNECTION
SVL	EFP EXISTING FIRE PROTECTION SYSTEM LINE
TCB	FP PROPOSED FIRE PROTECTION SYSTEM LINE
TSA	EFL EXISTING FUEL LINE
TSC	FPL PROPOSED FUEL LINE
TSMH	GAR GAS RISER
TSP	GMH GAS MANHOLE
	GMK GAS MARKER
	GMT GAS METER
	GRG GAS REGULATOR
	GVL GAS VALVE
	EG EXISTING NATURAL GAS LINE
	EN PROPOSED NATURAL GAS LINE
	TEC TELEPHONE CABINET
	TEP TELEPHONE PEDESTAL
	TER TELEPHONE RISER
	TEV TELEPHONE VAULT
	TMH TELEPHONE MANHOLE
	ETEL OH EXISTING TELEPHONE LINE, OVERHEAD
	ETEL EXISTING TELEPHONE LINE, UNDERGROUND
	TEL OH PROPOSED TELEPHONE LINE, OVERHEAD
	TEL PROPOSED TELEPHONE LINE, UNDERGROUND
	GLT GROUND LIGHT
	LTP LIGHT POLE
	PWP POWER POLE
	TRF ELECTRIC TRANSFORMER
	EBX ELECTRIC BOX
EASEMENTS & SETBACKS	ELC ELECTRIC CABINET
A.E.	ELR ELECTRIC RISER
B.M.P.	EMH ELECTRIC MANHOLE
B.L.	EMT ELECTRIC METER
C.T.V.E.	ESC ELECTRIC SECTIONALIZER
C.E.	EVT ELECTRIC VAULT
C.G.E.	YDL YARD LIGHT
F.P.E.	EEOH EXISTING POWER/ELECTRIC LINE, OVERHEAD
F.O.E.	EE EXISTING POWER/ELECTRIC LINE, UNDERGROUND
F.P.S.E.	SCO SEWER CLEANOUT
F.L.E.	SSMH SANITARY MANHOLE
L.S.E.	SS EXISTING SANITARY SEWER
G.E.	SS PROPOSED SANITARY SEWER
T.E.	SS FUTURE SANITARY SEWER
E.E.	ESL EXISTING STEAM LINE
P.S.	SL PROPOSED STEAM LINE
S.B.	SDMH STORM SEWER MANHOLE
S.D.E.	FES FLARED END SECTION
SIGHT DIST. ESMT.	RDN ROOF DRAIN
S.E.	
S.L.E.	
D.E.	
S.W.M.E.	FH FIRE HYDRANT
T.C.D.S.E.	WMH WATER MANHOLE
TEMP. ESMT.	WMK WATER MARKER
TRAIL ESMT.	WMT WATER METER
U.E.	WVL WATER VALVE
W.E.	W EXISTING WATER LINE
F.Y.S.	W PROPOSED WATER LINE
R.Y.S.	
S.Y.S.	
CONTOURS	
100	EXISTING INDEX CONTOURS
100	EXISTING INTERMEDIATE CONTOURS
100	PROPOSED INDEX CONTOURS
100	PROPOSED INTERMEDIATE CONTOURS

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MISSOURI CERTIFICATE OF AUTHORITY #2005000285
1814 Main St.
Kansas City, MO 64108
TEL 816.842.8844
www.olsson.com

BY

REVISIONS DESCRIPTION

DATE

REV. NO.

2023

PROJECT SHEET

DISCOVERY PARK REZONING & PRELIMINARY DEVELOPMENT PLAN
ZONES 1 & 2

LEE'S SUMMIT, MISSOURI

drawn by: EW

checked by: CP

approved by: CP

QA/QC by: BM

project no.: A21-04643

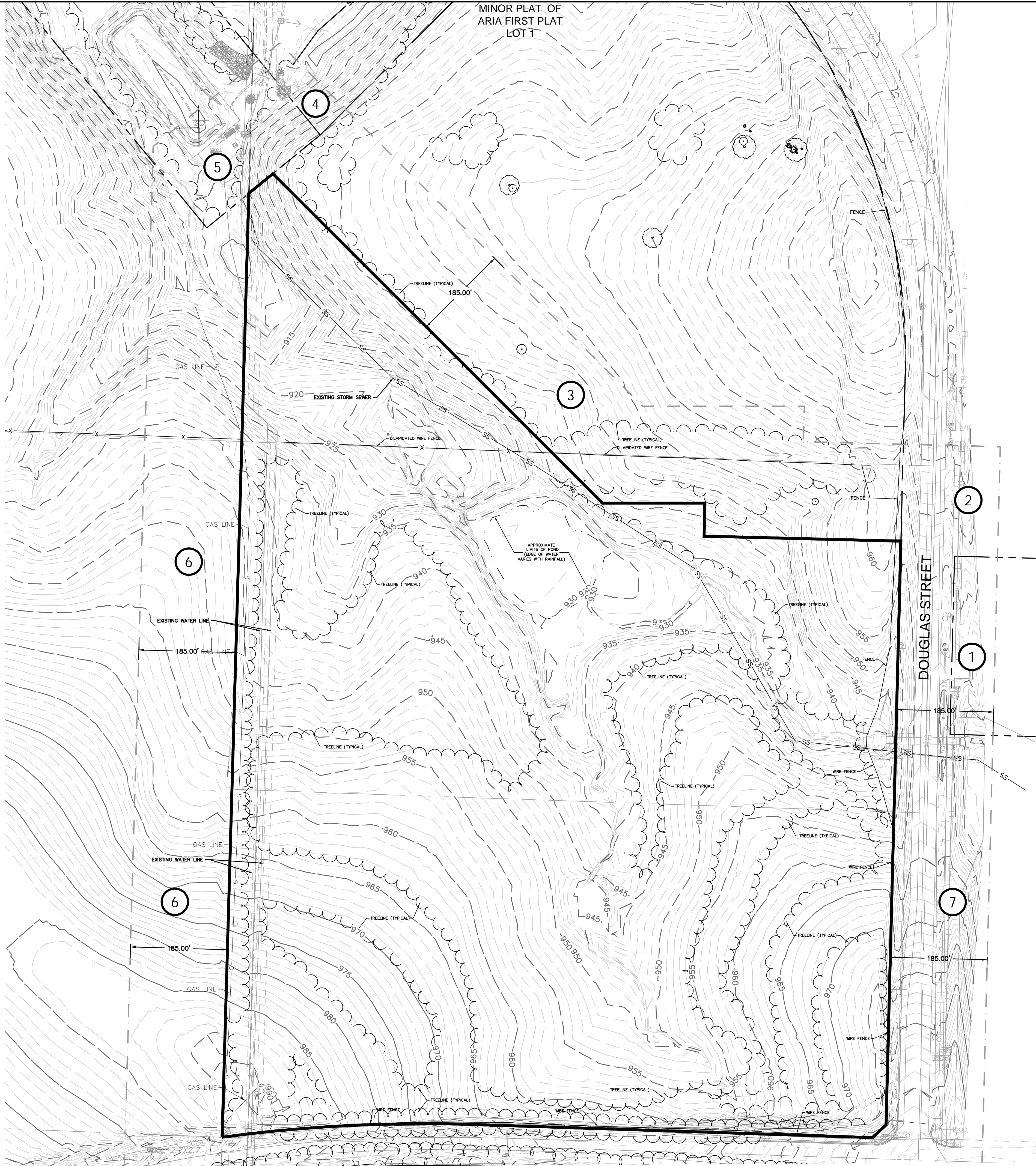
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date: 01.20.2023

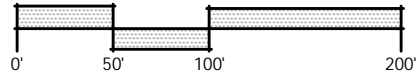
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1 EXISTING CONDITIONS - ZONE 1



PROPERTY OWNERS WITHIN 185'			
KEY	PROPERTY ADDRESS	OWNER / OWNER ADDRESS	LAND USE / ZONING
1	2721 NE DOUGLAS ST LEES SUMMIT, MO 64064	CITY OF LEE'S SUMMIT 220 S MAIN LEE'S SUMMIT, MO 64063	N/A / AIRPORT ZONE
2	2721 NE DOUGLAS ST LEES SUMMIT, MO 64064	CITY OF LEE'S SUMMIT 220 S MAIN LEE'S SUMMIT, MO 64063	N/A / AIRPORT ZONE
3	NO ADDRESS ASSIGNED BY THE CITY	DISCOVERY PARK LEE'S SUMMIT, LLC 4220 PHILIPS FARM RD COLUMBIA, MO 65201	VACANT AG LAND / AG
4	NO ADDRESS ASSIGNED BY THE CITY	UNITY SCHOOL OF CHRISTIANITY 150 E COLBERN RD UNITY VILLAGE, MO 64064	VACANT AG LAND / AG
5	2290 NW LEES SUMMIT RD LEES SUMMIT, MO 64064	CITY OF LEE'S SUMMIT PO BOX 1600 LEE'S SUMMIT, MO 64063-7600	VACANT AG LAND / AG
6	150 E COLBERN RD UNITY VILLAGE, MO 64064	UNITY SCHOOL OF CHRISTIANITY 150 E COLBERN RD UNITY VILLAGE, MO 64064	AG HOMESITE / AG
7	2721 NE DOUGLAS ST LEES SUMMIT, MO 64064	CITY OF LEE'S SUMMIT 220 S MAIN LEE'S SUMMIT, MO 64063	N/A / AIRPORT ZONE
8	NO ADDRESS ASSIGNED BY THE CITY	DISCOVERY PARK LEE'S SUMMIT, LLC 4220 PHILIPS FARM RD COLUMBIA, MO 65201	VACANT AG LAND / PMIX
9	201 NE COLBERN RD LEES SUMMIT, MO 64086	CITY OF LEE'S SUMMIT 207 SW MARKET LEE'S SUMMIT, MO 64063	N/A / AIRPORT ZONE

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MISSOURI CERTIFICATE OF AUTHORITY #2005000285
1814 Main St.
Kansas City, MO 64108 TEL 816.842.8844 www.olsson.com

STATE OF MISSOURI
CHRISTOPHER HOLMQUIST
PROFESSIONAL LANDSCAPE ARCHITECT
NUMBER PLA-2019026430
2023.04.25

BY

REV. NO.

DATE

REVISIONS DESCRIPTION

REVISIONS

EXISTING CONDITIONS - ZONE 1

DISCOVERY PARK REZONING & PRELIMINARY DEVELOPMENT PLAN
ZONES 1 & 2

LEE'S SUMMIT, MISSOURI

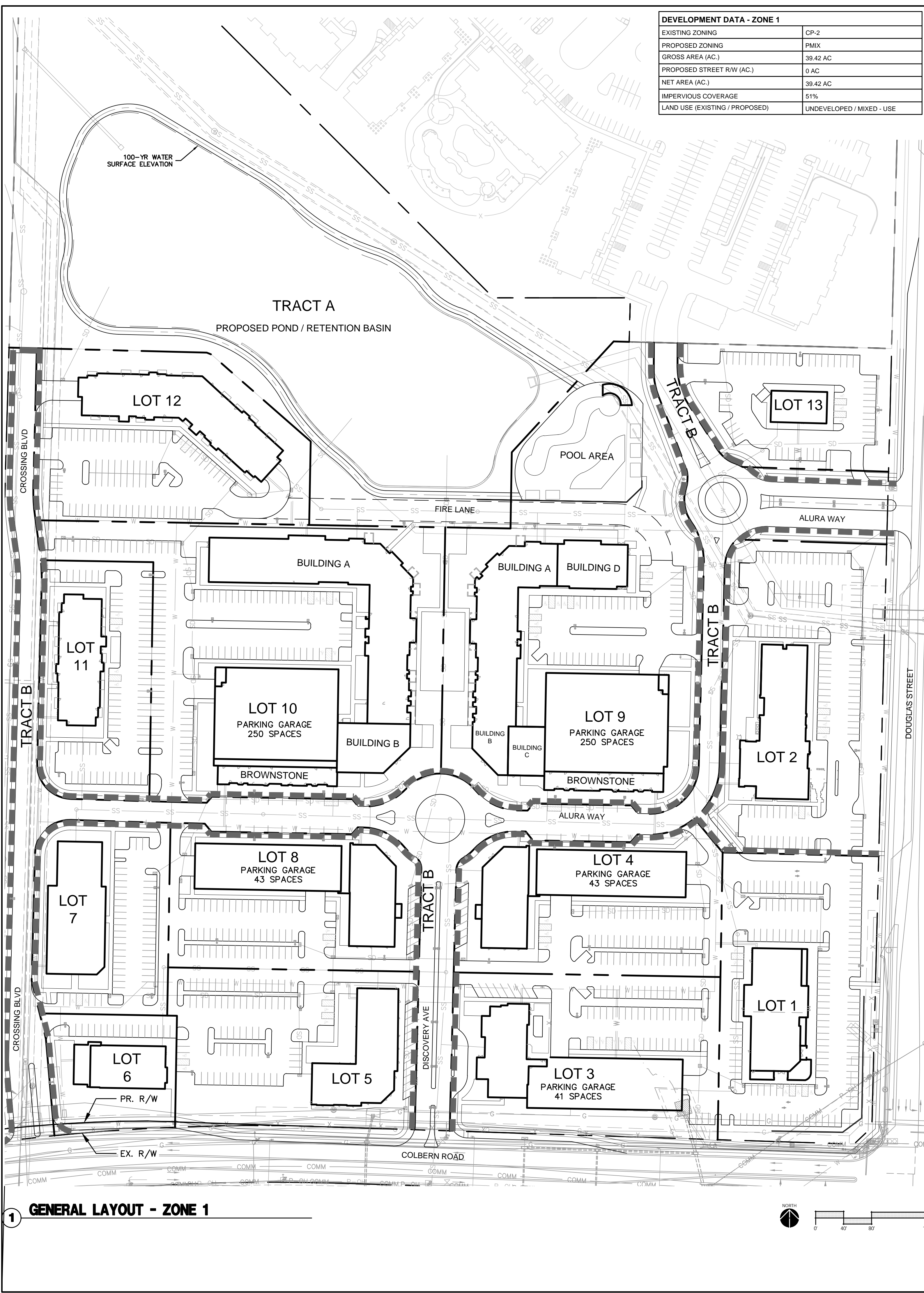
drawn by: EW
checked by: CB
approved by: CP
QA/QC by: BM
project no.: A21-04643
drawing no.: L_EXC01_A2104643
date: 01.20.2023

2023

SHEET
L100



PROPERTY OWNERS WITHIN 185'			
KEY	PROPERTY ADDRESS	OWNER / OWNER ADDRESS	LAND USE / ZONING
①	2721 NE DOUGLAS ST LEES SUMMIT, MO 64064	CITY OF LEE'S SUMMIT 220 S MAIN LEE'S SUMMIT, MO 64063	N/A / AIRPORT ZONE
②	2721 NE DOUGLAS ST LEES SUMMIT, MO 64064	CITY OF LEE'S SUMMIT 220 S MAIN LEE'S SUMMIT, MO 64063	N/A / AIRPORT ZONE
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④	NO ADDRESS ASSIGNED BY THE CITY	UNITY SCHOOL OF CHRISTIANITY 150 E COLBERN RD UNITY VILLAGE, MO 64064	VACANT AG LAND / AG
⑤	2290 NW LEES SUMMIT RD LEES SUMMIT, MO 64064	CITY OF LEE'S SUMMIT PO BOX 1600 LEE'S SUMMIT, MO 64063-7600	VACANT AG LAND / AG
⑥	150 E COLBERN RD UNITY VILLAGE, MO 64064	UNITY SCHOOL OF CHRISTIANITY 150 E COLBERN RD UNITY VILLAGE, MO 64064	AG HOMESITE / AG
⑦	2721 NE DOUGLAS ST LEES SUMMIT, MO 64064	CITY OF LEE'S SUMMIT 220 S MAIN LEE'S SUMMIT, MO 64063	N/A / AIRPORT ZONE
⑧	NO ADDRESS ASSIGNED BY THE CITY	DISCOVERY PARK LEE'S SUMMIT, LLC 4220 PHILIPS FARM RD COLUMBIA, MO 65201	VACANT AG LAND / PMIX
⑨	201 NE COLBERN RD LEES SUMMIT, MO 64086	CITY OF LEE'S SUMMIT 207 SW MARKET LEE'S SUMMIT, MO 64063	N/A / AIRPORT ZONE



DEVELOPMENT DATA - ZONE 1	
EXISTING ZONING	CP-2
PROPOSED ZONING	PMIX
GROSS AREA (AC.)	39.42 AC
PROPOSED STREET R/W (AC.)	0 AC
NET AREA (AC.)	39.42 AC
IMPERVIOUS COVERAGE	51%
LAND USE (EXISTING / PROPOSED)	UNDEVELOPED / MIXED - USE

DEVELOPMENT DATA CONTINUED - ZONE 1																
LOT #	PHASE	LOT SIZE (SF)	LOT SIZE (AC)	BUILDING COVERAGE (SF)	# OF FLOORS	FLOOR NUMBER	LAND USE	FLOOR SIZE (SF)	TOTAL GROSS FLOOR AREA (SF)	F.A.R.	RESIDENTIAL UNITS	UNITS/ACRE	UDO REQUIRED PARKING SPACES	PROVIDED GARAGE PARKING SPACES	PROVIDED SURFACE PARKING SPACES	PROVIDED ACCESSIBLE PARKING
LOT 1						1ST FLOOR	RESTAURANT / RETAIL / OFFICE	12,500					63			
						2ND FLOOR	OFFICE	12,500					50			
SUBTOTAL:	3	90,831	2.09	12,500	2				25,000	0.28	N/A		113		131	5
LOT 2						4 STORY	HOTEL	15,380								
SUBTOTAL:	2	103,257	2.37	15,380	4				61,500	0.60	N/A		107		107	6
LOT 3						4 STORY	HOTEL	20,075	80,300	0.92	N/A					
SUBTOTAL:	3	87,478	2.01	20,075	4								123	41	64	6
LOT 4						1ST FLOOR	RETAIL / OFFICE	8,600								
						1ST FLOOR	PARKING GARAGE	14,700								
						2ND FLOOR	RESIDENTIAL	23,300			23		46			
						3RD FLOOR	RESIDENTIAL	23,300			23		46			
SUBTOTAL:	3	72,771	1.67	23,300	3				69,900	0.96	46	28	92	43	65	3
LOT 5						1ST FLOOR	RETAIL / OFFICE	13,800					69			
						2ND FLOOR	RESIDENTIAL	13,800			20		40			
						3RD FLOOR	RESIDENTIAL	13,800			20		40			
SUBTOTAL:	3	78,340	1.8	13,800	3				41,400	0.53	40	22	149		73	5
LOT 6						1 STORY	ANIMAL HOSPITAL	7,984					20			
SUBTOTAL:	3	30,336	0.7	7,984	1				7,984	0.26			20		17	0
LOT 7						1 STORY	PET DAY CARE	11,425					29			
SUBTOTAL:	3	52,901	1.21	11,425	1				11,425	0.22			29		48	2
LOT 8						1ST FLOOR	RETAIL / OFFICE	8,600					43			
						1ST FLOOR	PARKING GARAGE	14,700								
						2ND FLOOR	RESIDENTIAL	23,300			23		44			
						3RD FLOOR	RESIDENTIAL	23,300			23		44			
SUBTOTAL:	3	70,318	1.61	23,300	3				69,900	0.99	46	29	131	43	75	2
LOT 9																
					BUILDING A-4	4 STORY	APARTMENTS				124		260			
					BUILDING B-4	TBD	COMMERCIAL	2,800					14			
					BUILDING C-4	TBD		3,800								
					BUILDING D-1	1 STORY	COMMERCIAL	6,500								
					BROWNSTONE		RESIDENTIAL				8		16			
SUBTOTAL:	3	243,540	5.59	60,150					240,600	0.99	132	24	290	250	44	7
LOT 10																
					BUILDING A-4	4 STORY	APARTMENTS				138		276			
					BUILDING B-4	1ST FLOOR	RESTAURANT	6,500								
						2ND FLOOR	APARTMENTS	6,500			5					
						3RD FLOOR	APARTMENTS	6,500			5					
						4TH FLOOR	APARTMENTS	6,500			5					
					BROWNSTONE		RESIDENTIAL				8		16			
SUBTOTAL:	3	163,047	3.74	65,200					260,800	1.60	161	43	292	250	107	6
LOT 11						4 STORY	APARTMENTS	11,300			80		80			
SUBTOTAL:	3	54,720	1.26	11,300	4				45,200	0.83	80	63	80		70	4
LOT 12						4 STORY	APARTMENTS	31,625			80		80			
SUBTOTAL:	3	96,775	2.22	31,625	4				126,500	1.31	80	36	80		72	4
LOT 13						1 STORY	RESTAURANT	3,600					18			
SUBTOTAL:	3	49,127	1.13	3,600	1				3,600	0.07	N/A		18		51	3
TRACT A	1	344,250	7.9	N/A	N/A	N/A	N/A	N/A	N/A		N/A				N/A	
TRACT B	3	152,987	3.51	N/A	N/A	N/A	N/A	N/A	N/A		N/A				32	
TOTAL:		1,690,678	38.81	299,639					1,044,109	0.62	585		1,524	627	956	31

*** PARKING SPACE REQUIREMENTS TO BE CALCULATED BASED ON FINAL DETERMINATION OF USE AND TO BE PROVIDED FOR FDF
 ** REFER TO ADDITIONAL TABLE FOR SHARED PARKING DATA

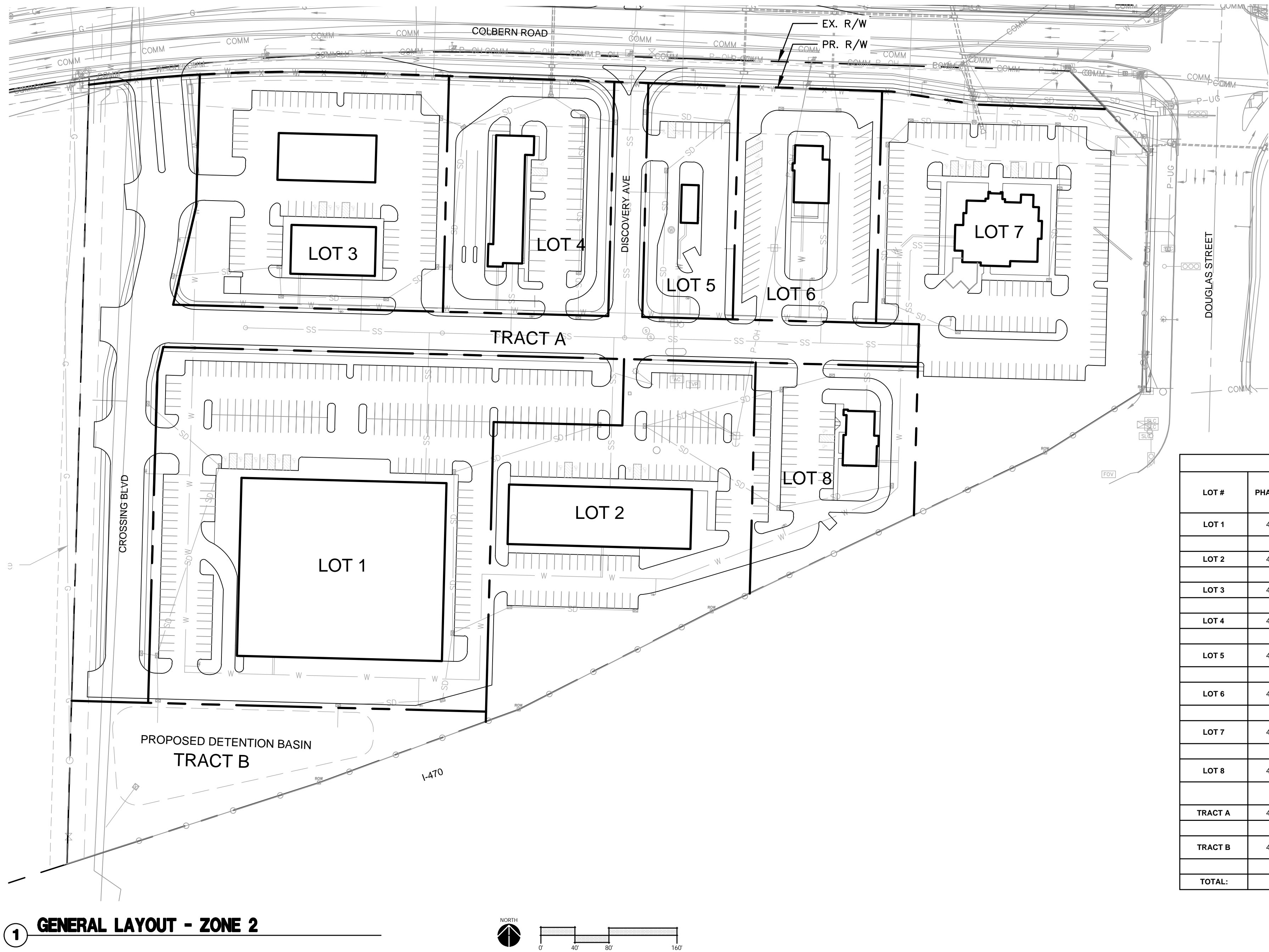
RESIDENTIAL UNITS PER LOT DATA			
LOT 4		LOT 10	
APARTMENTS - STUDIO	6	APARTMENTS - STUDIO	29
APARTMENTS - 1 BED	26	APARTMENTS - 1 BED	78
APARTMENTS - 2 BED	14	APARTMENTS - 2 BED	46
TOTAL	46	BROWNSTONES	8
		TOTAL	161
LOT 5			
APARTMENTS - STUDIO	40	LOT 11	
APARTMENTS - 1 BED	0	APARTMENTS - STUDIO	0
APARTMENTS - 2 BED	0	APARTMENTS - 1 BED	40
TOTAL	40	APARTMENTS - 2 BED	40
		TOTAL	80
LOT 8			
APARTMENTS - STUDIO	6	LOT 12	
APARTMENTS - 1 BED	26	APARTMENTS - STUDIO	0
APARTMENTS - 2 BED	14	APARTMENTS - 1 BED	40
TOTAL	46	APARTMENTS - 2 BED	40
		TOTAL	80
LOT 9			
APARTMENTS - STUDIO	24	OVERALL TOTAL	
APARTMENTS - 1 BED	67	APARTMENTS - STUDIO	105
APARTMENTS - 2 BED	33	APARTMENTS - 1 BED	277
BROWNSTONES	8	APARTMENTS - 2 BED	187
TOTAL	132	BROWNSTONES	16
		TOTAL	585

Shared Parking Demand Summary																			
Land Use		Peak Month: LATE DECEMBER										Peak Period: 12 PM, WEEKEND							
		Weekday					Weekend					Weekday				Weekend			
		Project Data		Base Rate	Driving Adj	Non-Captive Ratio	Project Ratio	Unit/Floor Ratio	Base Rate	Driving Adj	Non-Captive Ratio	Project Ratio	Unit/Floor Ratio	Peak Hr Adj	Peak Mo Adj	Estimated Parking	Peak Hr Adj	Peak Mo Adj	Estimated Parking
Quantity		Unit											12 PM	Jan Decemb		12 PM	Decemb		
Retail																			
Retail (<400 sqf)		50,000	sf GLA	2.90	100%	98%	2.83	1sf GLA	3.20	100%	97%	3.11	1sf GLA	90%	85%	108	80%	100%	156
Employee		0	100	0.70	100%	99%	0.69		0.80	100%	98%	0.78		100%	95%	33	100%	100%	39
Supermarket/Grocery		4,800	100%	sf GLA	0.80	100%	98%	0.36	3.90	1sf GLA	0.78	100%	95%	85%	100%	13	100%	100%	16
Employee				0.75	100%	98%	0.75		0.75	100%	98%	0.73		100%	100%	3	100%	100%	3
Food and Beverage																			
Family Restaurant		12,500	sf GLA	15.25	100%	76%	11.63	1sf GLA	15.00	100%	79%	11.79	1sf GLA	100%	95%	138	100%	100%	148
				2.15	100%	99%	2.12		2.10	100%	98%	2.06		100%	97%	27	100%	100%	27
Fast Casual/Fast Food		2,800	sf GLA	12.40	100%	100%	1.24	1sf GLA	12.70	100%	100%	1.27	1sf GLA	100%	95%	3	100%	96%	3
Employee				2.00	100%	99%	1.97		2.00	100%	98%	1.96		100%	100%	6	100%	100%	6
Entertainment and Institutions																			
Hotel and Residential																			
Hotel-Business			keys	1.00	59%	100%	0.59	key	1.00	69%	100%	0.69	key	55%	55%	-	55%	60%	-
Hotel-Leisure		230	keys	1.00	50%	100%	0.50	key	1.00	50%	100%	0.50	key	65%	100%	75	65%	50%	37
Hotel-Employees		230	keys	0.15	100%	100%	0.15	key	0.15	100%	100%	0.15	key	100%	100%	35	100%	100%	35
Restaurant/Lounge			seats	6.67	63%	90%	3.78	1sf GLA	7.67	54%	30%	1.24	1sf GLA	100%	95%	100%	100%	100%	-
Meeting/Banquet (0 to 200 sq ft/ky)			sf GLA	0.00	68%	60%	0.00	1sf GLA	0.00	68%	70%	0.00	1sf GLA	65%	100%	-	65%	100%	-
Meeting/Banquet (200 to 500 sq ft/ky)			sf GLA	0.00	68%	60%	0.00	1sf GLA	0.00	68%	70%	0.00	1sf GLA	65%	100%	-	65%	100%	-
Meeting/Banquet (500 to 1000 sq ft/ky)			sf GLA	0.00	68%	60%	0.00	1sf GLA	0.00	68%	70%	0.00	1sf GLA	65%	100%	-	65%	100%	-
Convention (200 to 200 sq ft/ky)			sf GLA	0.00	68%	60%	0.00	1sf GLA	5.50	68%	70%	2.62	1sf GLA	100%	0%	-	100%	100%	-
Convention (> 200 sq ft/ky)			sf GLA	5.50	68%	60%	2.24	1sf GLA	5.50	68%	70%	2.62	1sf GLA	100%	0%	-	100%	100%	-
Residential/Meeting Employees			sf GLA	0.00	100%	100%	0.00	1sf GLA	0.00	100%	100%	0.00	1sf GLA	100%	100%	-	100%	100%	-
Residential: Suburban			units	0.00	100%	100%	0.00	unit	0.00	100%	100%	0.00	unit	100%	100%	-	100%	100%	-
Studio/Efficiency		105	units	0.00	100%	100%	0.00	unit	0.00	100%	100%	0.00	unit	40%	100%	-	68%	100%	-
1 Bedroom		277	units	0.00	100%	100%	0.00	unit	0.00	100%	100%	0.00	unit	40%	100%	-	68%	100%	-
2 Bedrooms		187	units	0.00	100%	100%	0.00	unit	0.00	100%	100%	0.00	unit	40%	100%	-	68%	100%	-
3+ Bedrooms		16	units	0.00	100%	100%	0.00	unit	0.00	100%	100%	0.00	unit	40%	100%	-	68%	100%	-
Reserved		100%	res spaces	1.17	100%	100%	1.17	unit	1.17	100%	100%	1.17	unit	100%	100%	688	100%	100%	688
Visitor		585	units	0.10	100%	100%	0.10	0.10	0.15	100%	100%	0.15	unit	20%	100%	12	20%	100%	18
Office																			
Additional Land Uses																			
														Customer/Visitor	349	Customer	377		
														Employee/Resident	103	Employee/Resident	92		
														Reserved	688	Reserved	688		
														Total	1,104	Total	1,157		

** SHARED PARKING DATA WAS BASED ON THE ULI SHARED PARKING 3RD EDITION BOOK.

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USER: cholinquist

1 GENERAL LAYOUT - ZONE 2



DEVELOPMENT DATA - ZONE 2	
EXISTING ZONING	R-1
PROPOSED ZONING	PMIX
GROSS AREA (AC.)	19.83 AC
PROPOSED STREET R/W (AC.)	0 AC
NET AREA (AC.)	19.83 AC
IMPERVIOUS COVERAGE	48%
LAND USE (EXISTING / PROPOSED)	UNDEVELOPED / MIXED - USE

DEVELOPMENT DATA CONTINUED - ZONE 2															
LOT #	PHASE	LOT SIZE (SF)	LOT SIZE (AC)	BUILDING COVERAGE (SF)	# OF FLOORS	FLOOR NUMBER	LAND USE	GROSS FLOOR AREA (SF)	BUILDING COVERAGE (SF)	F.A.R.	RESIDENTIAL UNITS	UNITS/ACR E	UDO REQUIRED PARKING SPACES	PROVIDED SURFACE PARKING SPACES	PROVIDED ACCESSIBLE PARKING
LOT 1	4	177,093	4.07	50,000	1	1ST FLOOR	GROCERY STORE	50,000	50,000	0.28	N/A	N/A	200	200	6
LOT 2	4	97,015	2.23	15,000	1	1ST FLOOR	RETAIL	15,000	15,000	0.15	N/A	N/A	75	105	4
LOT 3	4	81,454	1.87	7,000	1	1ST FLOOR	GAS STATION	5,700	7,000	0.07	N/A	N/A	29	76	4
LOT 4	4	53,544	1.23	6,000	1	1ST FLOOR	CAR WASH	6,000	6,000	0.11	N/A	N/A	8	27	2
LOT 5	4	29,044	0.67	1,000	1	1ST FLOOR	DRIVE-THRU RESTAURANT	1,000	1,000	0.03	N/A	N/A	8	8	2
LOT 6	4	45,864	1.05	3,000	1	1ST FLOOR	FAST-FOOD RESTAURANT	2,400	3,000	0.05	N/A	N/A	34	35	3
LOT 7	4	125,404	2.88	7,000	1	1ST FLOOR	SIT-DOWN RESTAURANT	7,000	7,000	0.06	N/A	N/A	98	138	6
LOT 8	4	42,524	0.83	3,000	1	1ST FLOOR	FAST-FOOD RESTAURANT	2,400	3,000	0.06	N/A	N/A	34	41	2
TRACT A	4	130,935	3.01	N/A		N/A	N/A	N/A	N/A		N/A	N/A		N/A	
TRACT B	4	50,895	1.17	N/A		N/A	N/A	N/A	N/A		N/A	N/A		N/A	
TOTAL:		833,772	19.01					89,500		0.11			485	630	23

drawn by: EW
checked by: CB
approved by: CP
QA/QC by: BM
project no.: A21-04643
drawing no.: L_GEN01_A2104643
date: 01.20.2023

GENERAL LAYOUT - ZONE 2
DISCOVERY PARK REZONING & PRELIMINARY DEVELOPMENT PLAN
ZONES 1 & 2
LEE'S SUMMIT, MISSOURI

2023

BY

REVISIONS DESCRIPTION

DATE

REV. NO.

REVISIONS

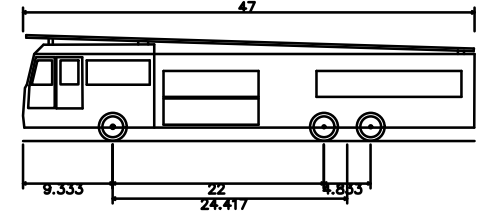
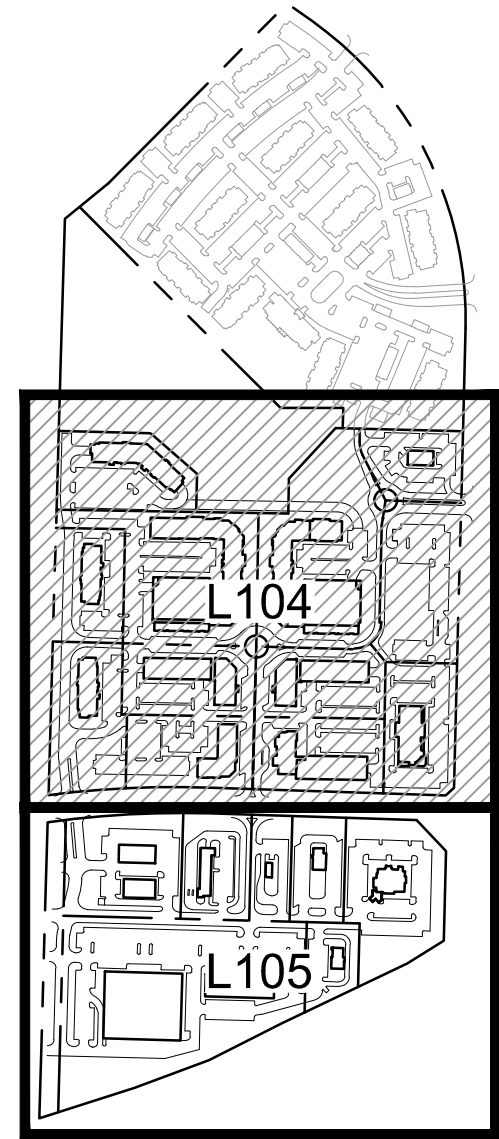
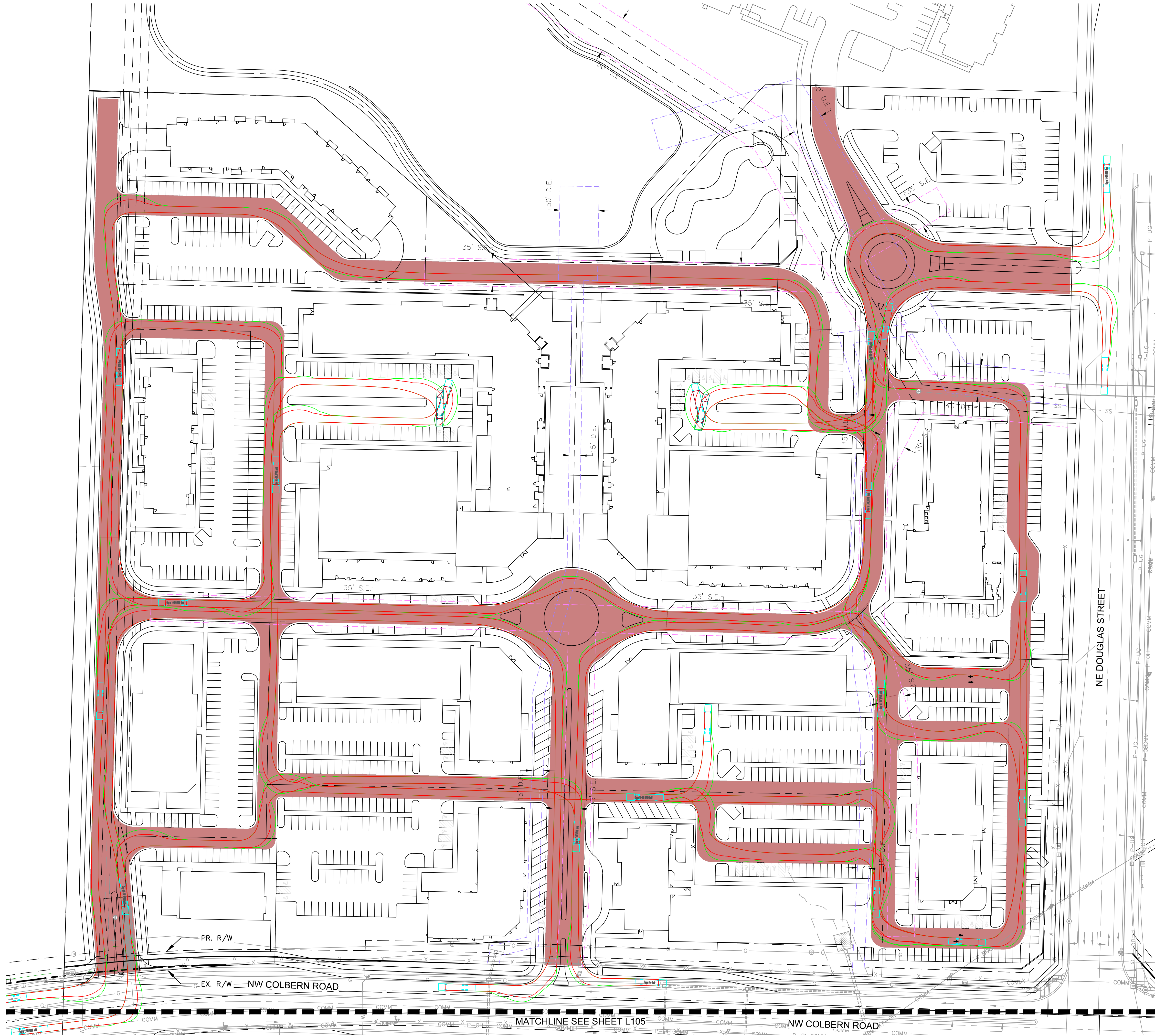
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2023.04.25

SHEET
L103

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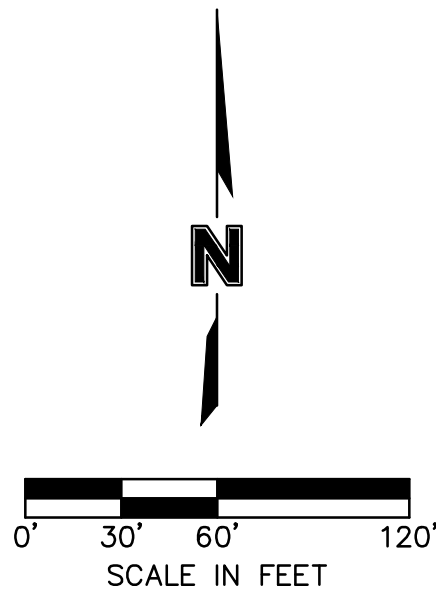


FIRE TRUCK DIMENSIONS
N.T.S.

- NOTES
1. VEHICLE TRAVEL PATH SHOWN IS FOR A FIRE TRUCK. SEE DIMENSIONS ABOVE.
 2. ALL FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS AND SHALL BE SURFACED SO AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. ALL FIRE APPARATUS DRIVE LANES SHALL BE CAPABLE OF SUPPORTING A 75,000-POUND APPARATUS.
 3. WHERE REQUIRED BY THE FIRE CODE OFFICIAL, APPROVED SIGNS OR OTHER APPROVED NOTICES OR MARKINGS THAT INCLUDE THE WORDS NO PARKING—FIRE LANE SHALL BE PROVIDED FOR FIRE APPARATUS ACCESS ROADS TO IDENTIFY SUCH ROADS OR PROHIBIT THE OBSTRUCTION THEREOF. THE MEANS BY WHICH FIRE LANES ARE DESIGNATED SHALL BE MAINTAINED IN A CLEAN AND LEGIBLE CONDITION AT ALL TIMES AND BE REPLACED OR REPAIRED WHEN NECESSARY TO PROVIDE ADEQUATE VISIBILITY. FIRE LANES MAY BE MARKED IN ONE OR A COMBINATION OF METHODS AS APPROVED BY THE FIRE CODE OFFICIAL. CURBS, ALL CURBS AND CURB ENDS SHALL BE PAINTED RED WITH FOUR INCH (4") WHITE LETTERING STATING "FIRE LANE—NO PARKING". WORDING MAY NOT BE SPACED MORE THAN FIFTEEN FEET (15') APART. WHERE NO CURB EXISTS OR A ROLLED CURB IS INSTALLED, A 6-INCH (6") WIDE PAINTED RED STRIPE APPLIED TO THE CONCRETE OR ASPHALT WITH FOUR INCH (4") WHITE LETTERING STATING "FIRE LANE—NO PARKING". SIGNS, IN AREAS WHERE FIRE LANES ARE REQUIRED, BUT NO CONTINUOUS CURB IS AVAILABLE, ONE OF THE FOLLOWING METHODS SHALL BE USED TO INDICATE THE FIRE LANE. OPTION 1 : A SIGN TWELVE INCHES (12") WIDE AND EIGHTEEN INCHES (18") IN HEIGHT SHALL BE MOUNTED ON A METAL POST SET IN CONCRETE A MINIMUM OF DEPTH OF EIGHTEEN INCHES (18") SET BACK ONE FOOT (1') IN FROM THE EDGE OF THE ROADWAY WITH THE BOTTOM OF THE SIGN BEING SEVEN FEET (7") FROM FINISHED GRADE. SIGNS SHALL FACE ONCOMING TRAFFIC. SPACING OF SIGNS SHALL NOT EXCEED FIFTY FEET (50') BETWEEN SIGNS. SIGNS SHALL BE REFLECTIVE MATERIAL WITH A WHITE COLOR BACKGROUND WITH SYMBOLS, LETTERS AND BORDER IN RED COLOR. "FIRE LANE—NO PARKING". OPTION 2 : A SIGN TWELVE INCHES (12") WIDE AND EIGHTEEN INCHES (18") IN HEIGHT SHALL BE MOUNTED ON THE SIDE OF A STRUCTURE OR OTHER PERMANENT FIXTURE APPROVED BY THE FIRE CODE OFFICIAL. THE BOTTOM OF THE SIGN BEING SEVEN FEET (7") FROM FINISHED GRADE. SPACING OF SIGNS SHALL NOT EXCEED FIFTY FEET (50') BETWEEN SIGNS. SIGNS SHALL BE REFLECTIVE MATERIAL WITH A WHITE COLOR BACKGROUND WITH SYMBOLS, LETTERS AND BORDER IN RED COLOR. "FIRE LANE—NO PARKING"

LEGEND

- PROPERTY BOUNDARIES
- LOT LINE
- EASEMENT LINE
- FIRE TRUCK BODY LIMITS (FORWARD)
- FIRE TRUCK WHEEL LIMITS (FORWARD)
- FIRE TRUCK BODY LIMITS (REVERSE)
- FIRE TRUCK WHEEL LIMITS (REVERSE)
- FIRE TRUCK ACCESSIBLE LANES



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Missouri Certificate of Authority #001592
1301 Burlington Street
North Kansas City, MO 64116
TEL 816.361.1177
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STATE OF MISSOURI
BROCK M. WORTHLEY
PE-2019000237
4/25/2023
PROFESSIONAL ENGINEER

BY

REVISIONS DESCRIPTION

DATE

REV. NO.

FIRE TRUCK ACCESS PLAN - ZONE 1

DISCOVERY PARK REZONING & PRELIMINARY DEVELOPMENT PLAN

LEE'S SUMMIT, MISSOURI

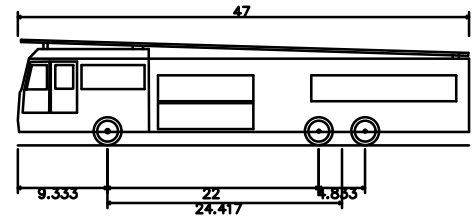
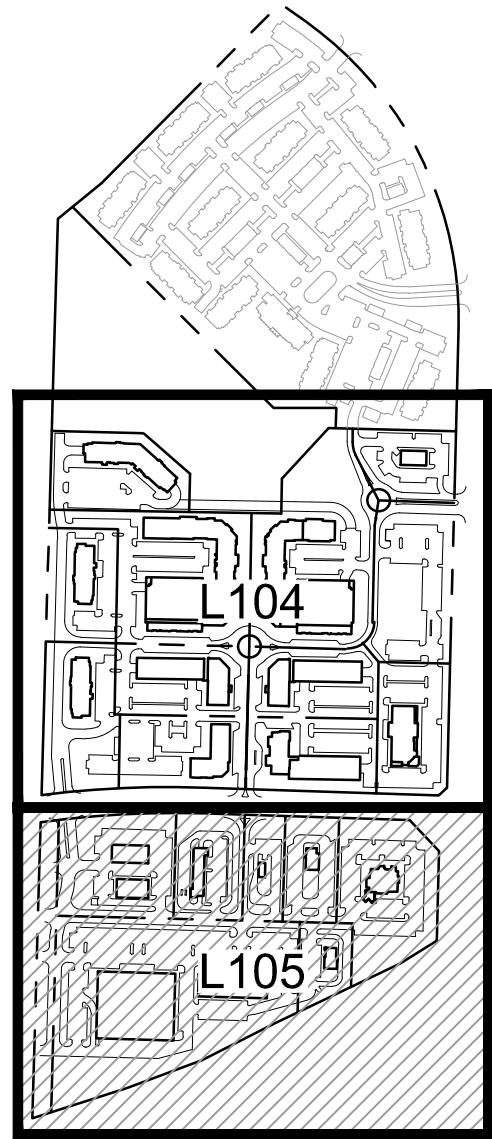
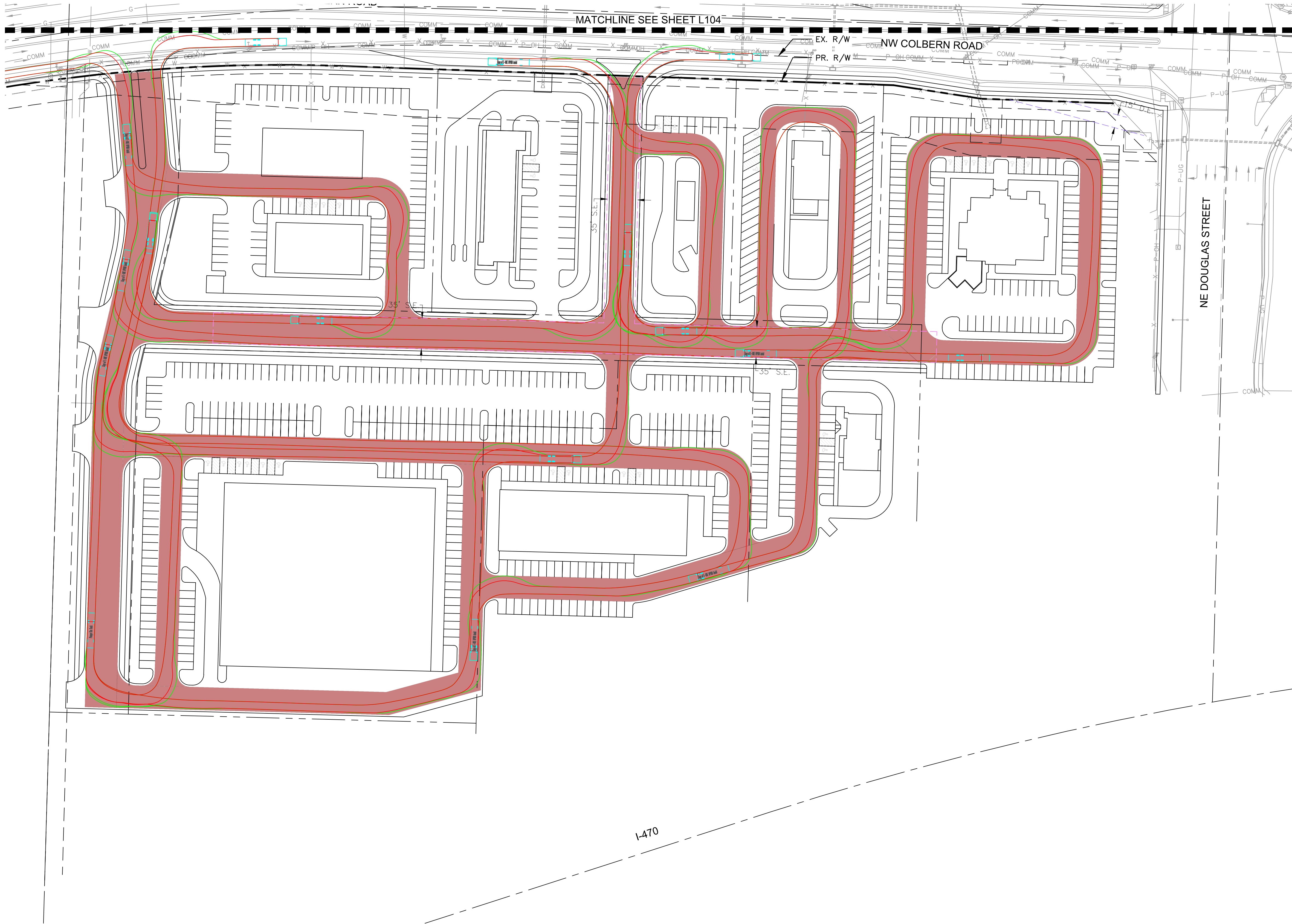
2022

REVISIONS

drawn by: BMW
checked by: BMW
approved by: NDH
QA/QC by: NDH
project no.: A21-04643
drawing no.: C_TRN01_A2104643
date: 01.20.2023

SHEET
L104

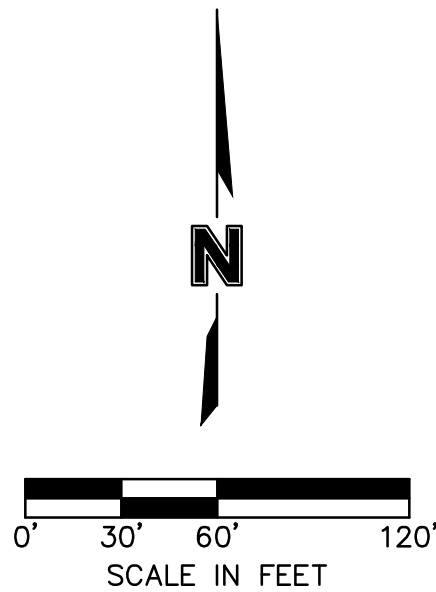
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Professional Engineer
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2022

FIRE TRUCK ACCESS PLAN - ZONE 2

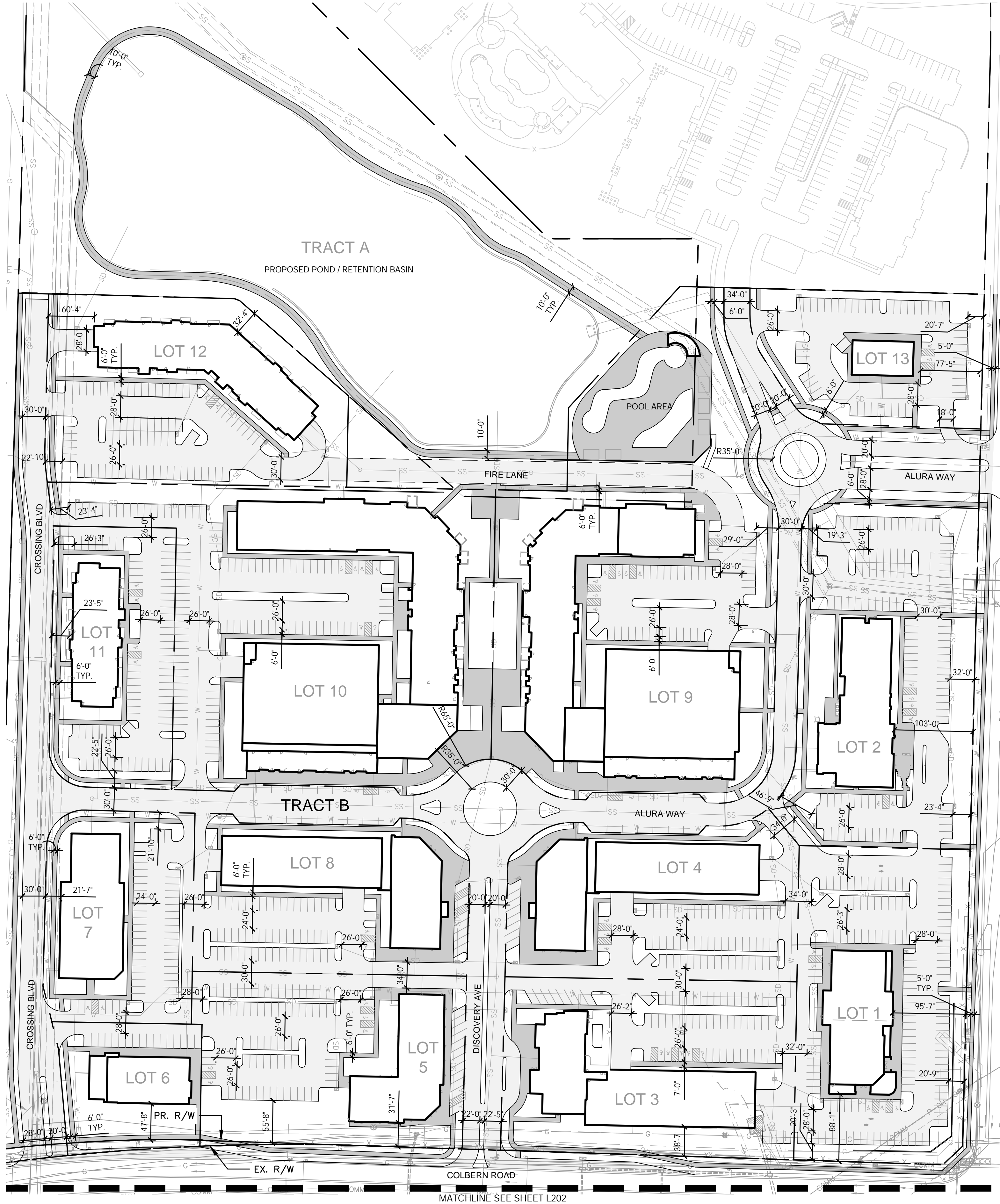
DISCOVERY PARK REZONING & PRELIMINARY DEVELOPMENT PLAN

LEE'S SUMMIT, MISSOURI

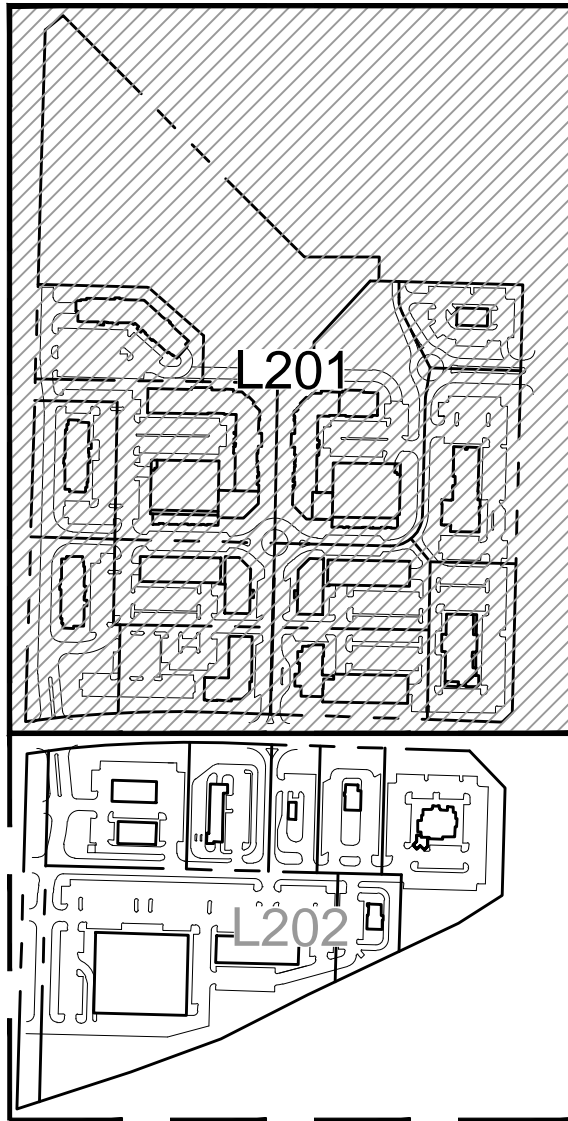
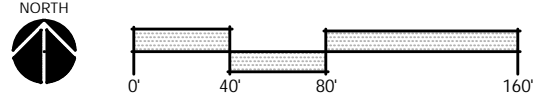
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checked by: BMW
approved by: NDH
QA/QC by: NDH
project no.: A21-04643
drawing no.: C_TRN01_A2104643
date: 01.20.2023

SHEET
L105

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1 SITE PLAN - ZONE 1



KEYMAP

SITE PLAN LEGEND:

- RIGHT OF WAY / PROPERTY LINE
- SHEET MATCHLINE
- PROPOSED SIDEWALK & TRAIL
- PROPOSED VEHICULAR PAVEMENT

SITE PLAN NOTES:

- ALL PROPOSED PARKING SPACES SHALL MEET MINIMUM DIMENSIONS AS SPECIFIED IN LEE'S SUMMIT UDO SEC. 8.620.
- SPECIFIC LOT TRASH ENCLOSURES SHALL MATCH MATERIALS OF ADJACENT BUILDINGS AND SHALL COMPLY WITH REQUIREMENTS PER UDO SEC. 9.790 C.
- PARKING LOT PAVING SHALL MEET THE DESIGN STANDARDS UNDER UDO SECTION 8.620.

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STATE OF MISSOURI
CHRISTOPHER HOLMQUIST
PROFESSIONAL LANDSCAPE ARCHITECT
NUMBER PLA-2019026430
2023.04.25

BY

REVISIONS DESCRIPTION

DATE

REV. NO.

REVISIONS

SITE PLAN - ZONE 1

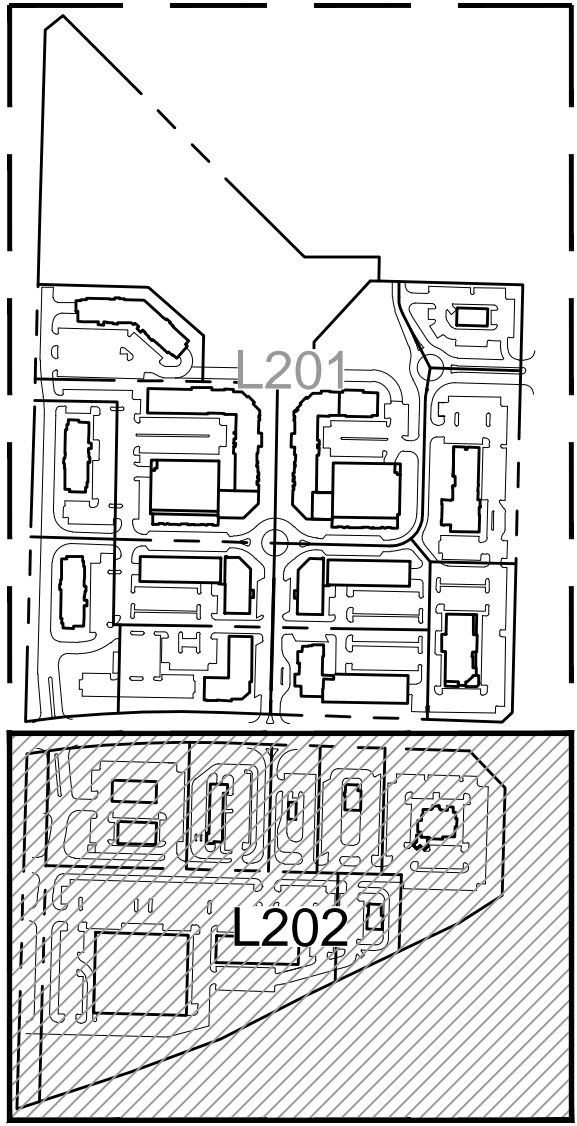
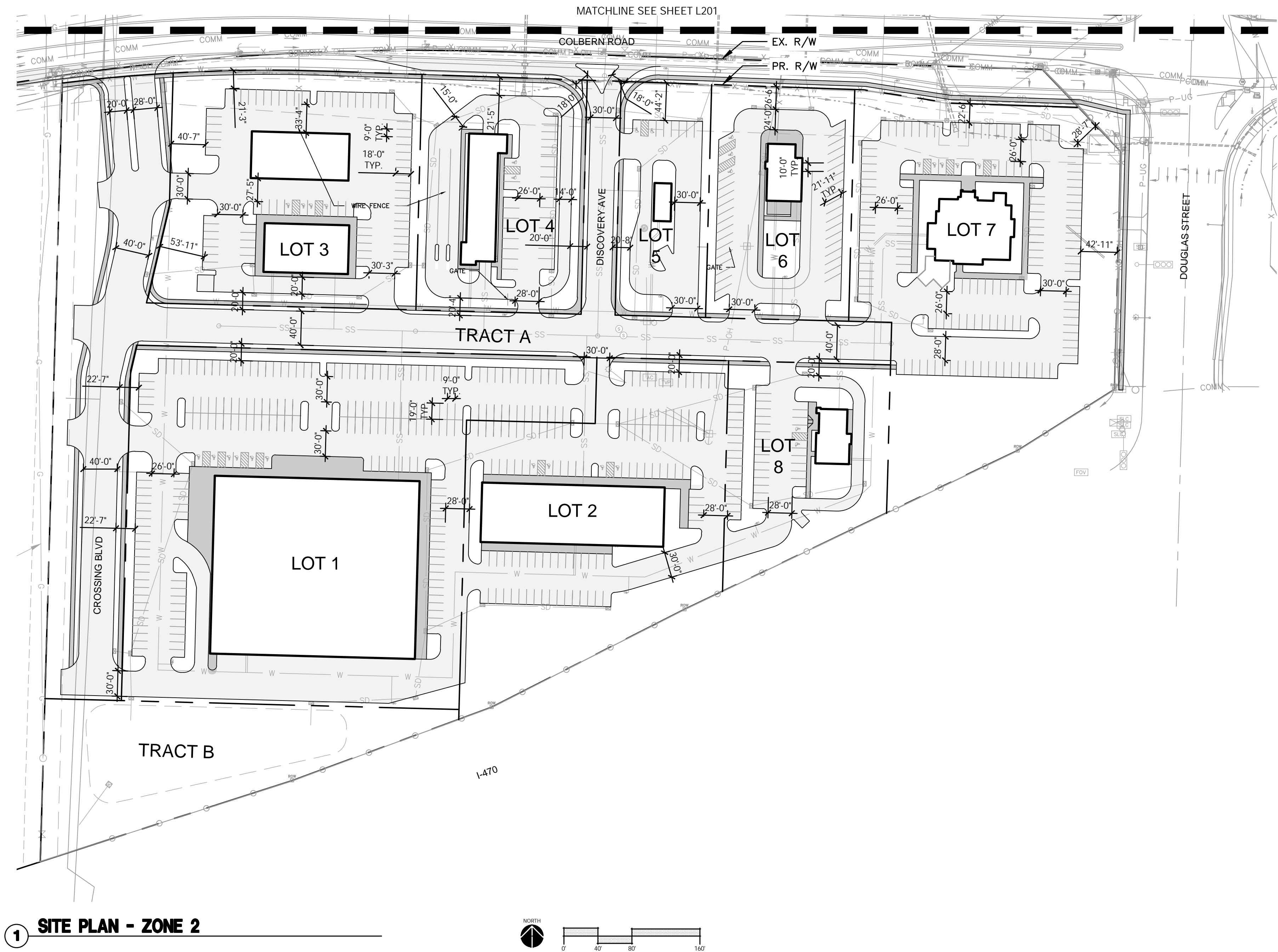
DISCOVERY PARK REZONING & PRELIMINARY DEVELOPMENT PLAN
ZONES 1 & 2

LEE'S SUMMIT, MISSOURI

drawn by: EW
checked by: CB
approved by: CP
QA/QC by: BM
project no.: A21-04643
drawing no.: L_SIT01_A2104643
date: 01.20.2023

2023

SHEET
L201



KEYMAP

SITE PLAN LEGEND:

- RIGHT OF WAY / PROPERTY LINE
- SHEET MATCHLINE
- PROPOSED SIDEWALK & TRAIL
- PROPOSED VEHICULAR PAVEMENT

SITE PLAN NOTES:

- ALL PROPOSED PARKING SPACES SHALL MEET MINIMUM DIMENSIONS AS SPECIFIED IN LEE'S SUMMIT UDO SEC. 8.620.
- SPECIFIC LOT TRASH ENCLOSURES SHALL MATCH MATERIALS OF ADJACENT BUILDINGS AND SHALL COMPLY WITH REQUIREMENTS PER UDO SEC. 9.790 C.
- PARKING LOT PAVING SHALL MEET THE DESIGN STANDARDS UNDER UDO SECTION 8.620.

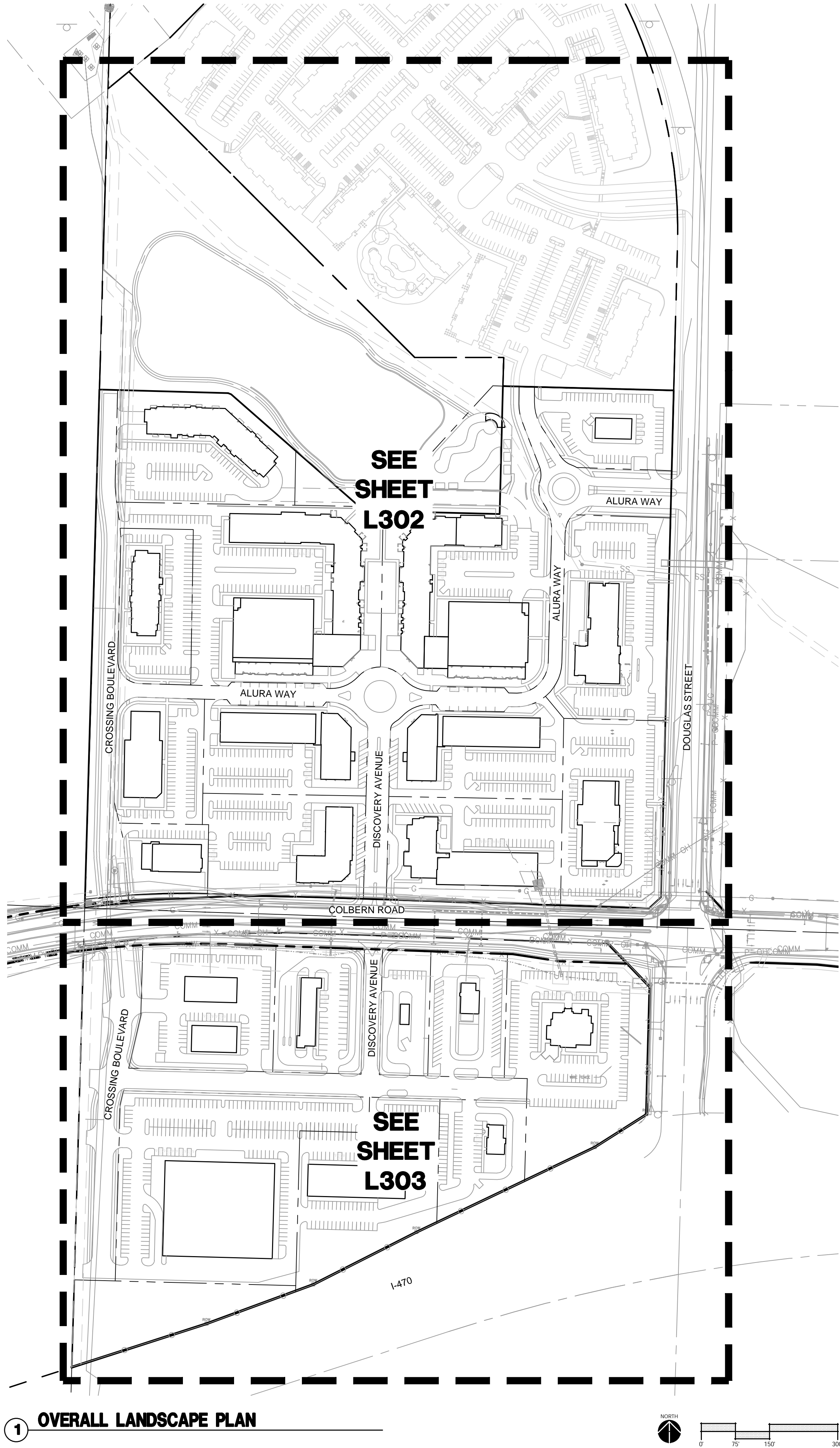
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LEE'S SUMMIT, MISSOURI				
2023		REVISIONS		
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checked by: CB				
approved by: CP				
QA/QC by: BM				
project no.: A21-04643				
drawing no.: L_SIT01_A2104643				
date: 01.20.2023				
SHEET				
L202				

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STATE OF MISSOURI
CHRISTOPHER HOLMQUIST
PROFESSIONAL LANDSCAPE ARCHITECT
NUMBER PLA-2019026430
2023.04.25

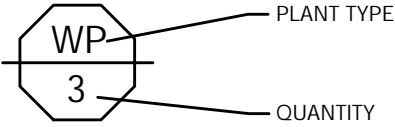
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L_SIT_GEN_NOTES_A2104643
L_PLSCP_A2104643



1 OVERALL LANDSCAPE PLAN

LANDSCAPE GENERAL NOTES:

- THE CONSTRUCTION COVERED BY THESE PLANS SHALL CONFORM TO ALL APPLICABLE STANDARDS AND SPECIFICATIONS OF THE CITY OF LEE'S SUMMIT, MISSOURI IN CURRENT USAGE. ALL STANDARDS NOT COVERED BY THE CITY SHALL BE APWA STANDARDS IN CURRENT USAGE UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL VERIFY EXACT LOCATION OF ALL EXISTING UTILITIES, DRAIN LINES AND IRRIGATION PIPING PRIOR TO COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES, DRAIN LINES AND IRRIGATION PIPING.
- CONTRACTOR SHALL VERIFY AND COORDINATE ALL FINAL GRADES WITH LANDSCAPE ARCHITECT PRIOR TO COMPLETION.
- DEBRIS SHALL NOT BE ALLOWED TO ACCUMULATE AND SHALL BE REMOVED AT FREQUENT INTERVALS. AT COMPLETION OF WORK IN EACH AREA, THE CONTRACTOR SHALL GATHER AND REMOVE ALL DEBRIS, EQUIPMENT, AND EXCESS MATERIAL FROM THAT AREA. AT FINAL COMPLETION OF ALL WORK HE SHALL REMOVE ALL SUCH ITEMS FROM THE PREMISES.
- LOCATION AND PLACEMENT OF ALL PLANT MATERIAL SHALL BE COORDINATED WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- THE LANDSCAPE PLANTING: PLAN GRAPHICALLY ILLUSTRATES OVERALL PLANT MASSINGS. EACH PLANT SPECIES SHALL BE PLACED IN THE FIELD TO UTILIZE THE GREATEST COVERAGE OF THE GROUND PLANE. THE FOLLOWING APPLIES FOR INDIVIDUAL PLANTINGS:
 - ALL EVERGREEN SHRUBS AND CREEPING GROUNDCOVERS SHALL BE MINIMUM OF 2' FROM ANY PAVING EDGE.
 - ALL PLANTS OF THE SAME SPECIES SHALL BE EQUALLY SPACED AND SITED FOR THE BEST AESTHETIC VIEWING.
 - ALL TREES, EVERGREEN OR DECIDUOUS, SHALL BE A MINIMUM OF 4' FROM ANY PAVING EDGE.
- ANY SUBSTITUTION OF SPECIFIED PLANT MATERIAL WILL NOT BE ALLOWED WITHOUT WRITTEN AUTHORIZATION FROM LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- MULCH ALL PLANTING AREAS TO A DEPTH OF 3" DEPTH ACCORDING TO PLANS AND SPECIFICATIONS. SAMPLES SHALL BE APPROVED BY LANDSCAPE ARCHITECT.
- ALL PLANT MATERIAL WILL BE HEALTHY, VIGOROUS AND FREE OF DISEASE AND INSECTS PER AAN STANDARDS. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY INFERIOR OR OTHERWISE UNSUITABLE PLANT MATERIAL PROPOSED FOR USE ON THE PROJECT.
- ALL PLANTING BEDS NOT FULLY CONTAINED BY CONCRETE CURBS OR WALKS SHALL BE EDGED ACCORDING TO PLANS AND SPECIFICATIONS.
- PLANTS AND LANDSCAPE MATERIALS SHALL BE INSTALLED AS DETAILED ON PLANS.
- PLANT BACKFILL FOR TREES AND SHRUBS SHALL BE PER SPECIFICATIONS.
- ALL PLANTING BEDS SHALL BE TREATED WITH DACTHAL PRE-EMERGENT HERBICIDE AT MANUFACTURER RECOMMENDED RATES AND SHALL BE COVERED WITH SPECIFIED MULCH APPLICATION. APPLY LIGHTER APPLICATION OF DACTHAL HERBICIDE TO TOP OF MULCH LAYER.
- ALL AREAS DISTURBED DURING CONSTRUCTION THAT ARE NOT DESIGNATED AS PLANTING BEDS OR PAVEMENT AREAS SHALL BE SEEDED WITH A TURF TYPE TALL FESCUE PER SPECIFICATIONS.
- ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER OWNERS FINAL ACCEPTANCE OF FINISHED JOB. ALL DEAD AND DAMAGED PLANT MATERIAL SHALL BE REPLACED BY LANDSCAPE CONTRACTOR AT THEIR EXPENSE. LANDSCAPE CONTRACTOR SHALL MAINTAIN PLANT MATERIAL UNTIL FINAL ACCEPTANCE.
- ALL LANDSCAPE BEDS SHALL BE MOUNDED AS SHOWN ON PLANS AND DETAILS.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ACTUAL PLANT QUANTITIES REQUIRED TO COMPLETE THE PROJECT AS SHOWN ON THE PLANS, AND BASE THEIR BID ACCORDINGLY.
- PLANT KEY DESCRIPTION.



- MECHANICAL SCREENING SHALL BE PROVIDED IN ACCORDANCE WITH UDO SECTION 8.180.E AND 8.180.F.

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STATE OF MISSOURI
CHRISTOPHER HOLMQUIST
PROFESSIONAL LANDSCAPE ARCHITECT
NUMBER PLA-2019026430
2023.04.25

REV. NO.	DATE	REVISIONS DESCRIPTION	BY

OVERALL LANDSCAPE PLAN

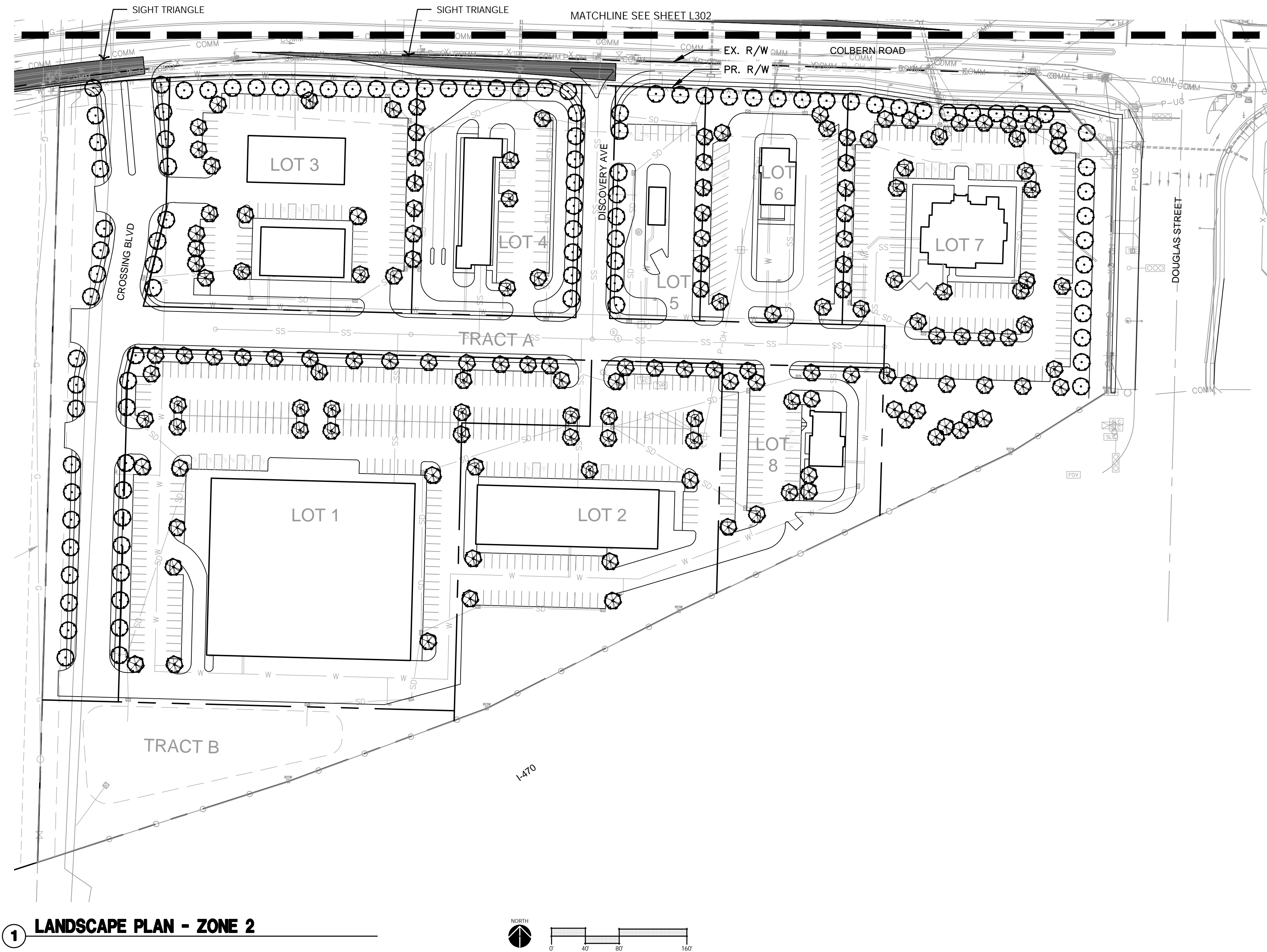
DISCOVERY PARK REZONING & PRELIMINARY DEVELOPMENT PLAN
ZONES 1 & 2

LEE'S SUMMIT, MISSOURI

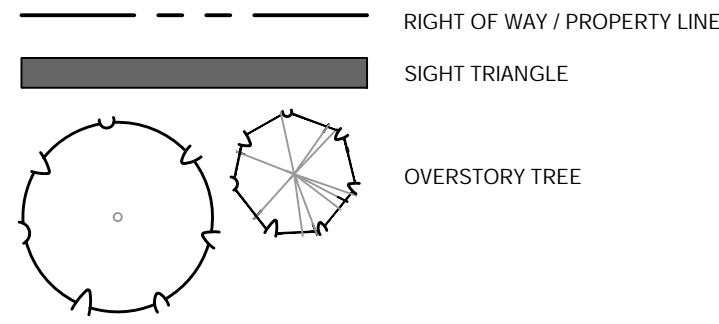
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drawn by: EW
checked by: CP
approved by: CP
QA/QC by: BM
project no.: A21-04643
drawing no.: L_OVR01_A2104643
date: 01.20.2023



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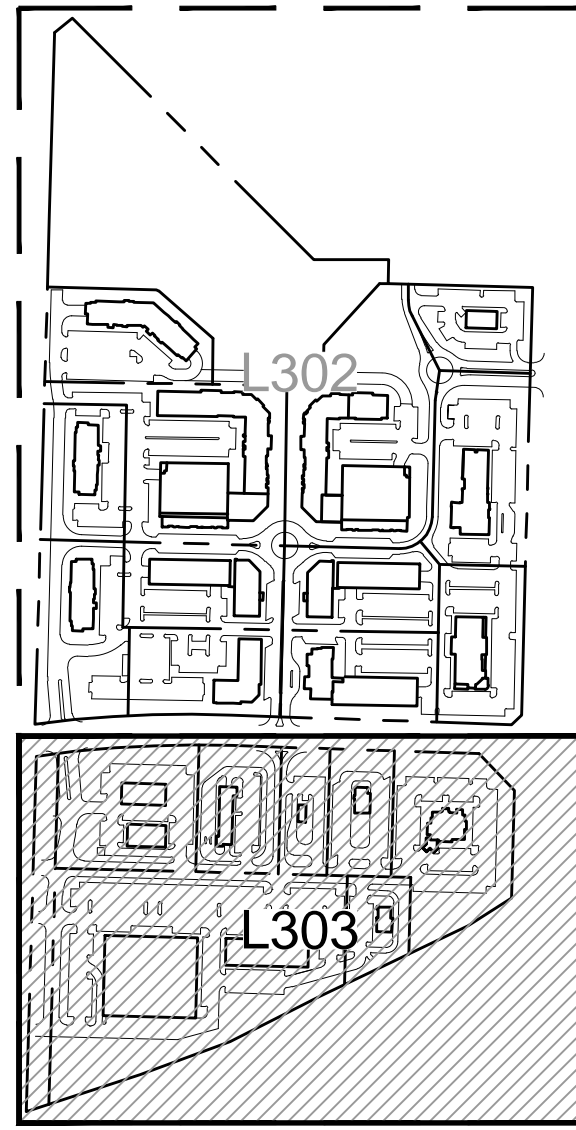


LANDSCAPE LEGEND:



PRELIMINARY PLANT SCHEDULE

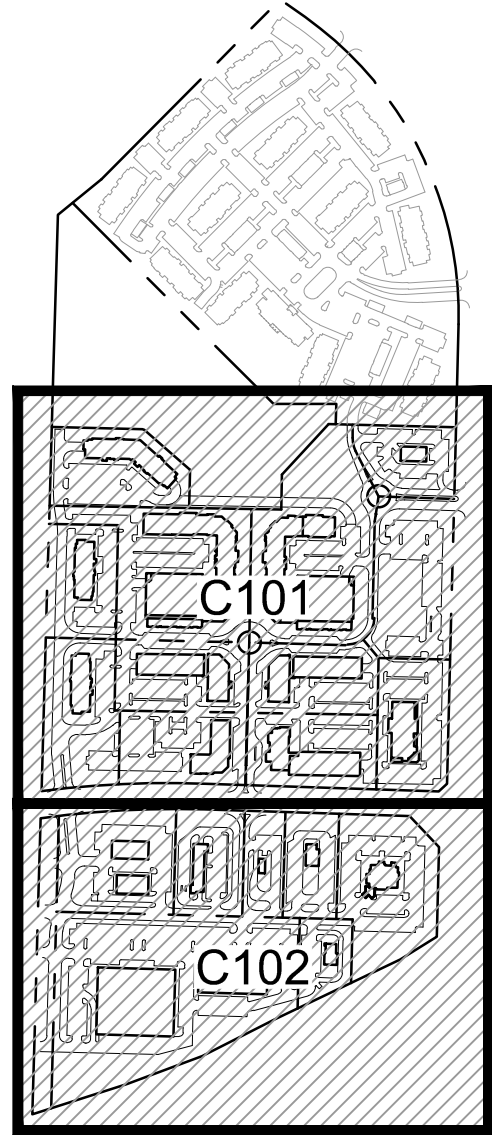
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	<u>OPEN YARD AREA TREE</u> DECIDUOUS: B&B, 3' CAL ORNAMENTAL: B&B, 3' CAL EVERGREEN: B&B, 8' HT.	TOTAL: 154



KEYMAP

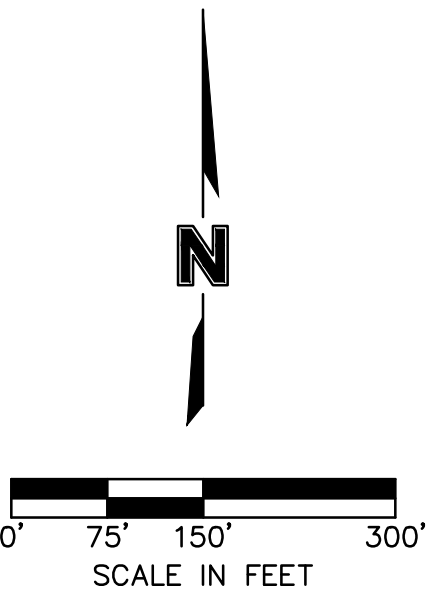
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USER: bworthley



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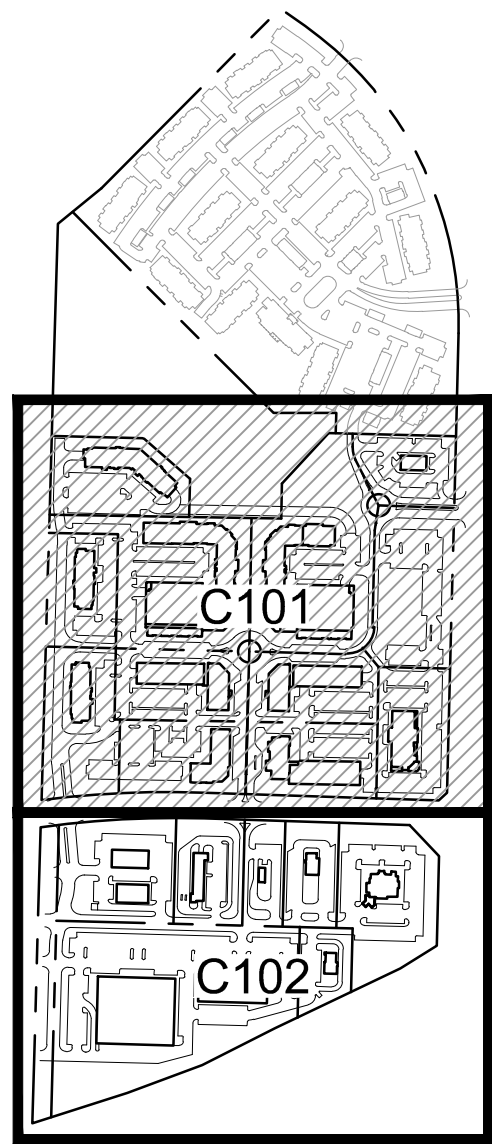
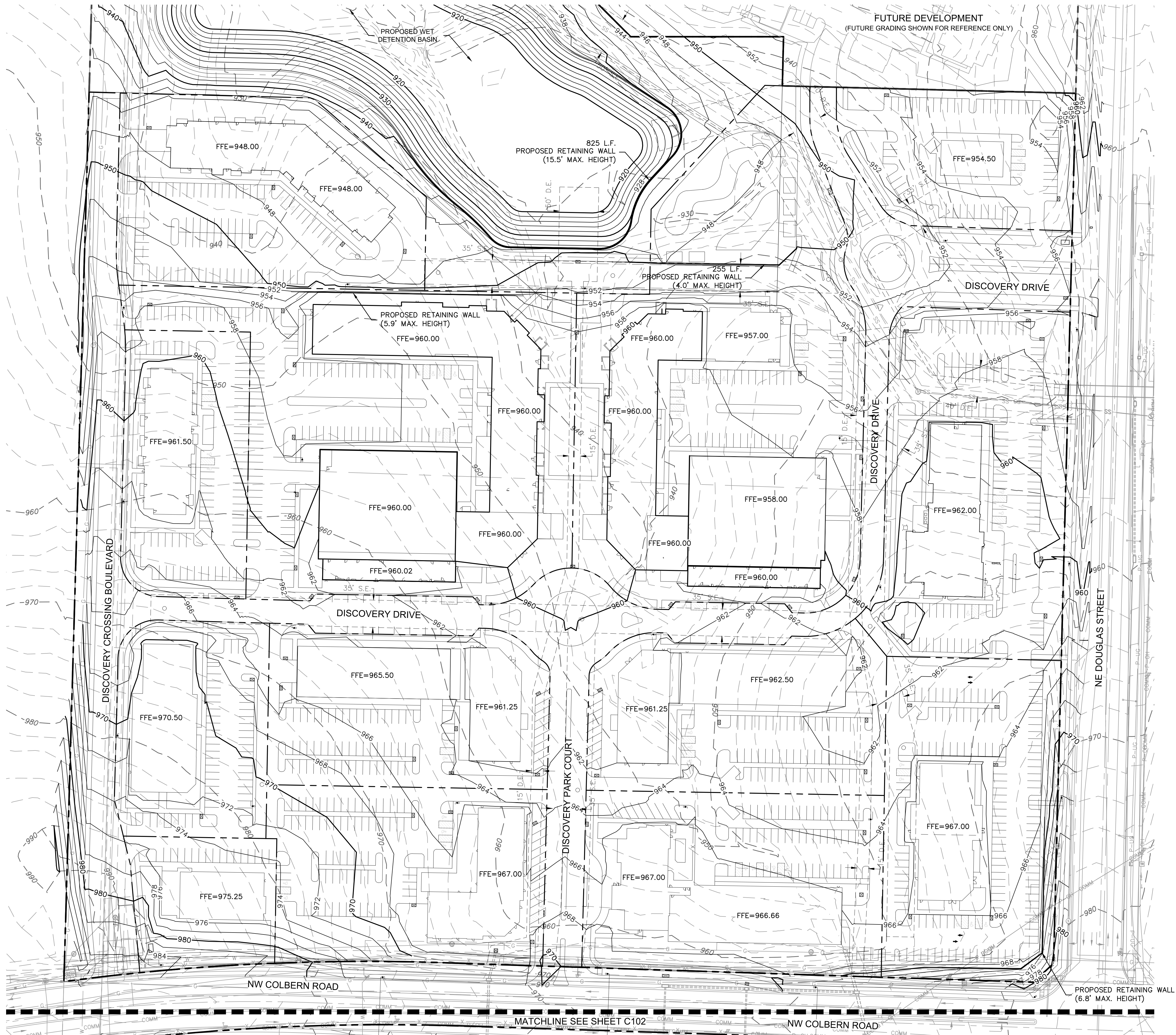
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- PROPERTY BOUNDARIES
 - - - LOT LINE
 - - - EASEMENT LINE
 - ## S.E. SANITARY SEWER EASEMENT
 - ## D.E. STORM DRAINAGE EASEMENT
 - FO EXISTING FIBER OPTIC LINE
 - G EXISTING GAS LINE
 - T EXISTING TELEPHONE LINE
 - P-UG EXISTING UNDERGROUND POWER LINE
 - EXISTING STORM SEWER
 - SS EXISTING SANITARY SEWER
 - W EXISTING WATER LINE
 - 999- EXISTING MAJOR CONTOUR (10' INTERVAL)
 - 999- EXISTING MINOR CONTOUR (2' INTERVAL)
 - 999- PROPOSED MAJOR CONTOUR (10' INTERVAL)
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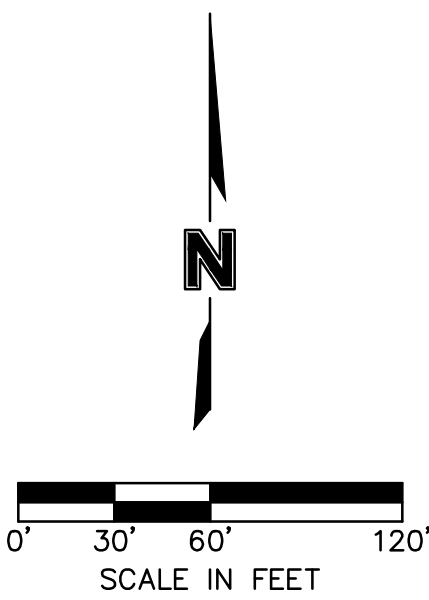
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DISCOVERY PARK REZONING & PRELIMINARY DEVELOPMENT PLAN		REVISIONS	
LEE'S SUMMIT, MISSOURI		2022	
drawn by: <u>BMW</u>		checked by: <u>BMW</u>	
approved by: <u>NDH</u>		QA/QC by: <u>NDH</u>	
project no.: <u>A21-04643</u>		drawing no.: <u>C_GRD01_A2104643</u>	
date: <u>01.20.2023</u>			
SHEET C100			

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USER: bworthy



- LEGEND**
- PROPERTY BOUNDARIES
 - LOT LINE
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 - ## S.E. SANITARY SEWER EASEMENT
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 - FO EXISTING FIBER OPTIC LINE
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 - 999 EXISTING MAJOR CONTOUR (10' INTERVAL)
 - 999 EXISTING MINOR CONTOUR (2' INTERVAL)
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 - 999 PROPOSED MINOR CONTOUR (2' INTERVAL)
 - 999 FUTURE MAJOR CONTOUR (10' INTERVAL)
 - 999 FUTURE MINOR CONTOUR (2' INTERVAL)



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STATE OF MISSOURI
BROCK M. WORTHLEY
PE-2019000237
4/25/2023
PROFESSIONAL ENGINEER

BY

REVISIONS DESCRIPTION

DATE

REV. NO.

REVISIONS

GRADING PLAN - ZONE 1

DISCOVERY PARK REZONING & PRELIMINARY DEVELOPMENT PLAN

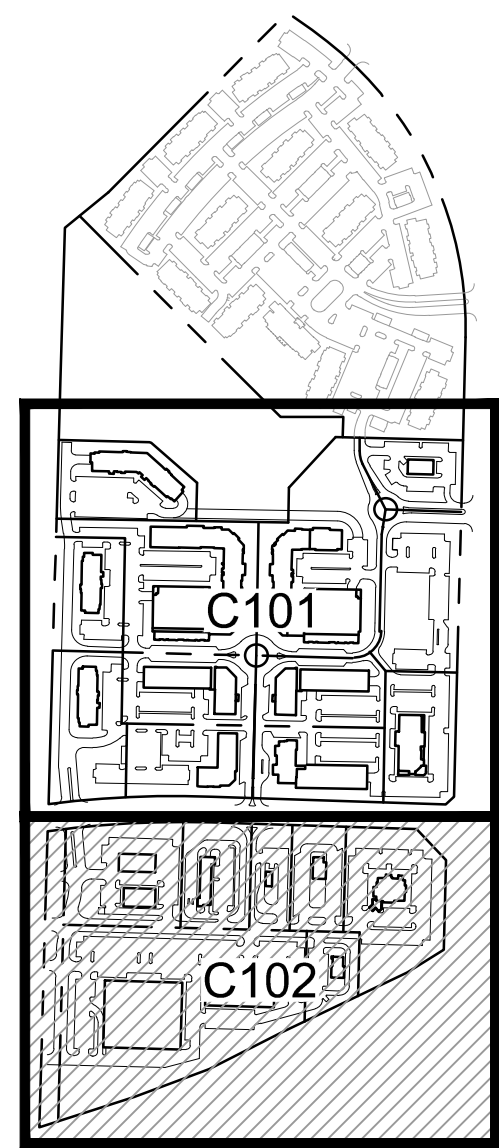
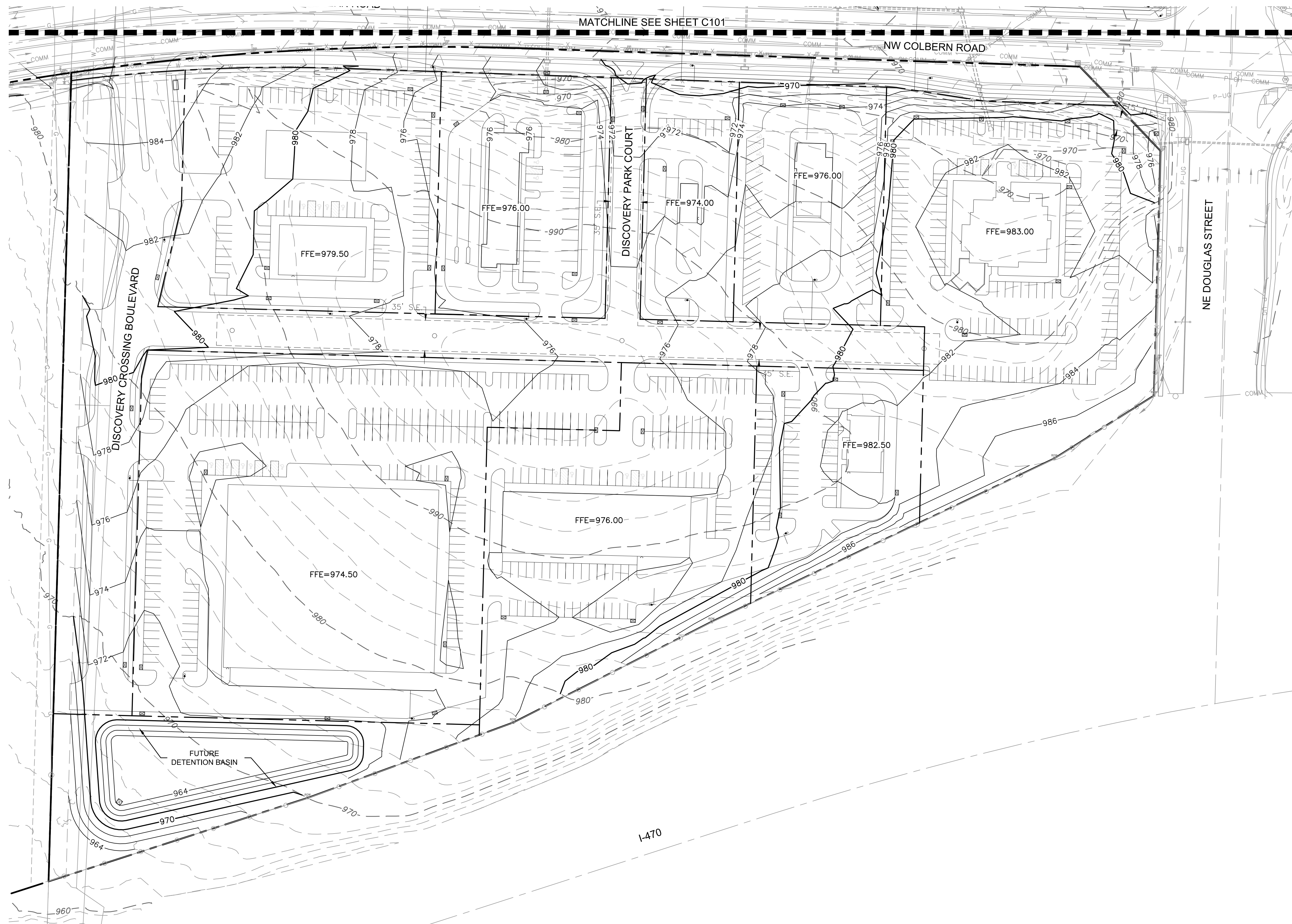
LEE'S SUMMIT, MISSOURI

2022

SHEET
C101


drawn by: BMW
checked by: BMW
approved by: NDH
QA/QC by: NDH
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drawing no.: C_GRD01_A2104843
date: 01.20.2023

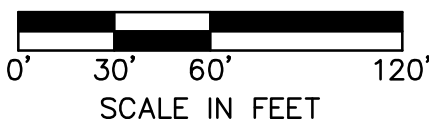
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KEYMAP

LEGEND

- | | |
|---|---------------------------------------|
| — — — — — | PROPERTY BOUNDARIES |
| — — — — — | LOT LINE |
| — — — — — | EASEMENT LINE |
| ##' S.E. | SANITARY SEWER EASEMENT |
| ##' D.E. | STORM DRAINAGE EASEMENT |
| — FO — | EXISTING FIBER OPTIC LINE |
| — G — | EXISTING GAS LINE |
| — T — | EXISTING TELEPHONE LINE |
| — P-UG — | EXISTING UNDERGROUND POWER LINE |
|  — — — — — | EXISTING STORM SEWER |
| SS | EXISTING SANITARY SEWER |
| W | EXISTING WATER LINE |
| 999 — — — — — | EXISTING MAJOR CONTOUR (10' INTERVAL) |
| 999 — — — — — | EXISTING MINOR CONTOUR (2' INTERVAL) |
| 999 — — — — — | PROPOSED MAJOR CONTOUR (10' INTERVAL) |
| 999 — — — — — | PROPOSED MINOR CONTOUR (2' INTERVAL) |
| 999 — — — — — | FUTURE MAJOR CONTOUR (10' INTERVAL) |
| 999 — — — — — | FUTURE MINOR CONTOUR (2' INTERVAL) |

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GRADING PLAN - ZONE 2	
DISCOVERY PARK REZONING & PRELIMINARY DEVELOPMENT PLAN	
LEE'S SUMMIT, MISSOURI	2022

drawn by: _____ BMW
checked by: _____ BMW
approved by: _____ NDH
QA/QC by: _____ NDH
project no.: _____ A21-04643
drawing no.: C GRD01 A2104643
date: _____ 01.20.2023

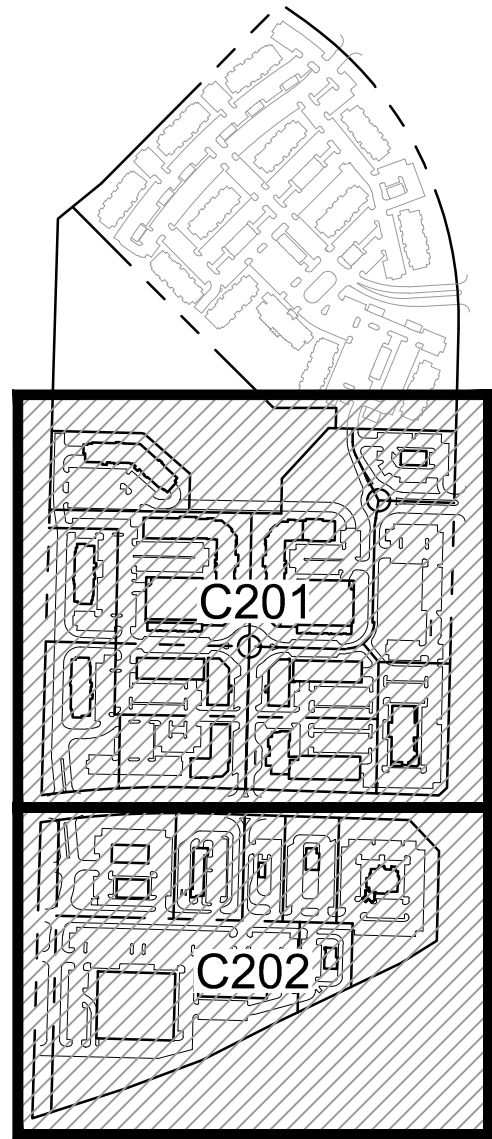
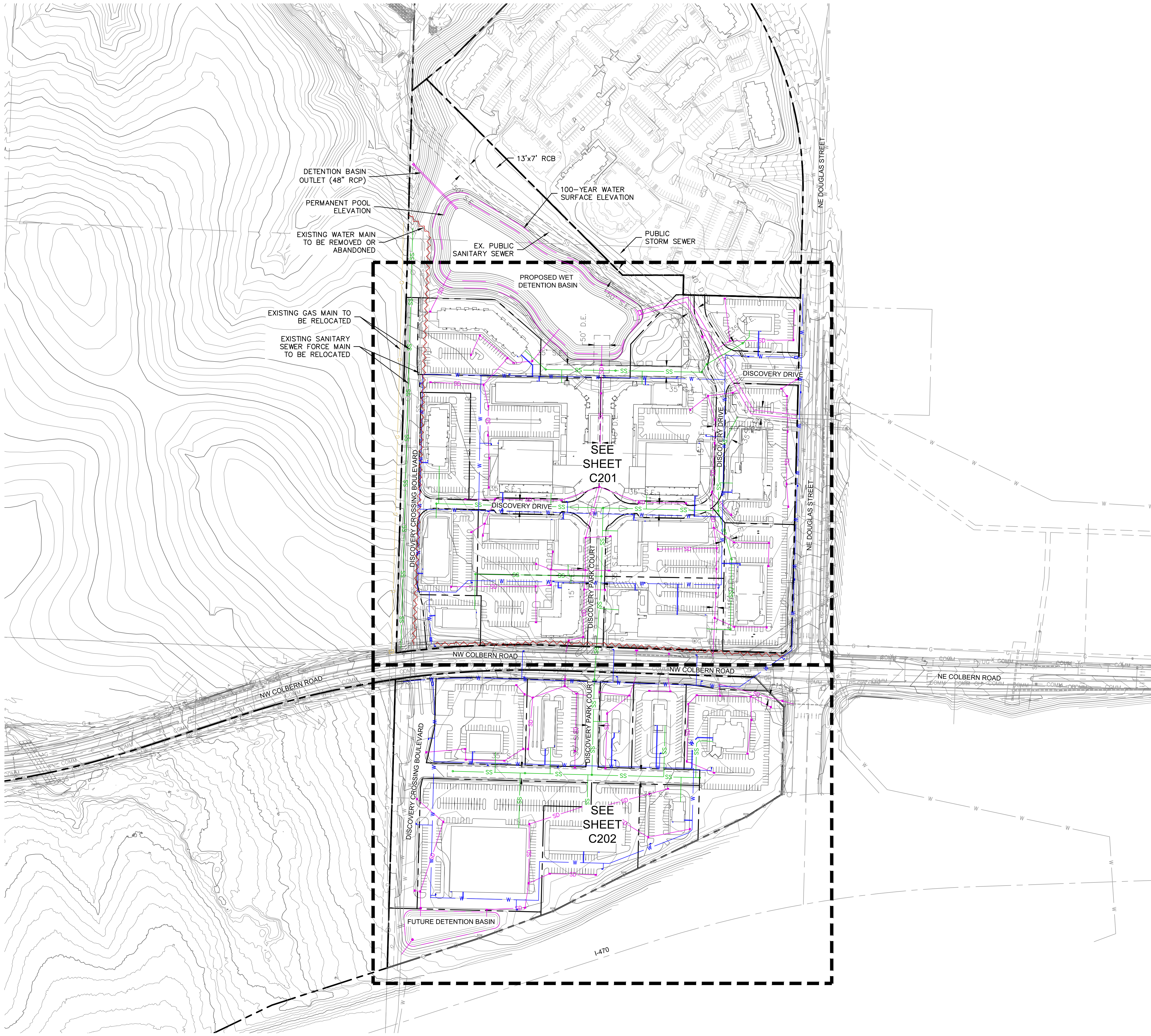
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USER: bworthley



KEYMAP

- LEGEND**
- PROPERTY BOUNDARIES
 - LOT LINE
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 - ## S.E. SANITARY SEWER EASEMENT
 - ## D.E. STORM DRAINAGE EASEMENT
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 - P-UG EXISTING UNDERGROUND POWER LINE
 - SS EXISTING STORM SEWER
 - SS EXISTING SANITARY SEWER
 - W EXISTING WATER LINE
 - G PROPOSED GAS LINE
 - SD PROPOSED STORM SEWER
 - SS PROPOSED SANITARY SEWER
 - W PROPOSED WATER LINE
 - PROPOSED LIGHT POLE
 - EXISTING PIPE REMOVAL/ABANDONMENT
 - 1000 FINISHED MAJOR CONTOUR (10' INTERVAL)
 - 998 FINISHED MINOR CONTOUR (2' INTERVAL)



0' 75' 150' 300'
SCALE IN FEET

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REVISIONS

OVERALL UTILITY PLAN

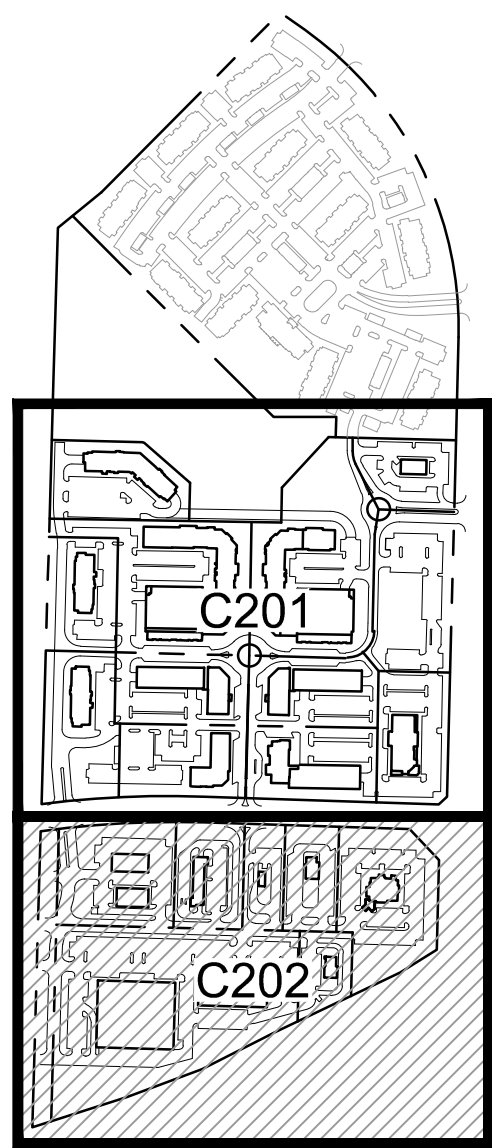
DISCOVERY PARK REZONING & PRELIMINARY DEVELOPMENT PLAN

LEE'S SUMMIT, MISSOURI

2022

drawn by: BMW
checked by: BMW
approved by: NDH
QA/QC by: NDH
project no.: A21-04643
drawing no.: C_UTL01_A2104643
date: 01.20.2023

SHEET
C200



LEGEND

	PROPERTY BOUNDARIES
	LOT LINE
	EASEMENT LINE
##' S.E.	SANITARY SEWER EASEMENT
##' D.E.	STORM DRAINAGE EASEMENT
	EXISTING FIBER OPTIC LINE
	EXISTING GAS LINE
	EXISTING TELEPHONE LINE
	EXISTING UNDERGROUND POWER LINE
	EXISTING STORM SEWER
	EXISTING SANITARY SEWER
	EXISTING WATER LINE
	PROPOSED GAS LINE
	PROPOSED STORM SEWER
	PROPOSED SANITARY SEWER
	PROPOSED WATER LINE
	PROPOSED LIGHT POLE
	EXISTING PIPE REMOVAL/ABANDONMENT
	FINISHED MAJOR CONTOUR (10' INTERVAL)
	FINISHED MINOR CONTOUR (2' INTERVAL)

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UTILITY PLAN - ZONE 2	DISCOVERY PARK REZONING & PRELIMINARY DEVELOPMENT PLAN
LEE'S SUMMIT, MISSOURI	
drawn by: _____ checked by: _____ approved by: _____ QA/QC by: _____ project no.: _____ drawing no.: C-UTL01-A2104643 date: 01.20.2023	BMW BMW NDH NDH A21-04643 A2104643
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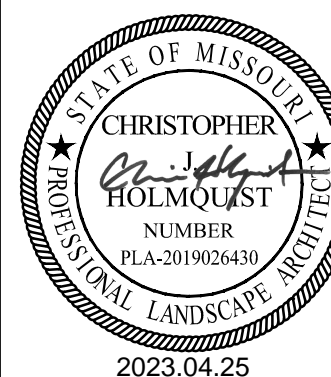
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1814 Main St

TEI 816 842 8844

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ARCHITECTURAL RENDERING - LOTS 3 & 5

DISCOVERY PARK REZONING & PRELIMINARY DEVELOPMENT PLAN ZONES 1 & 2

LEE'S SUMMIT MISSOURI

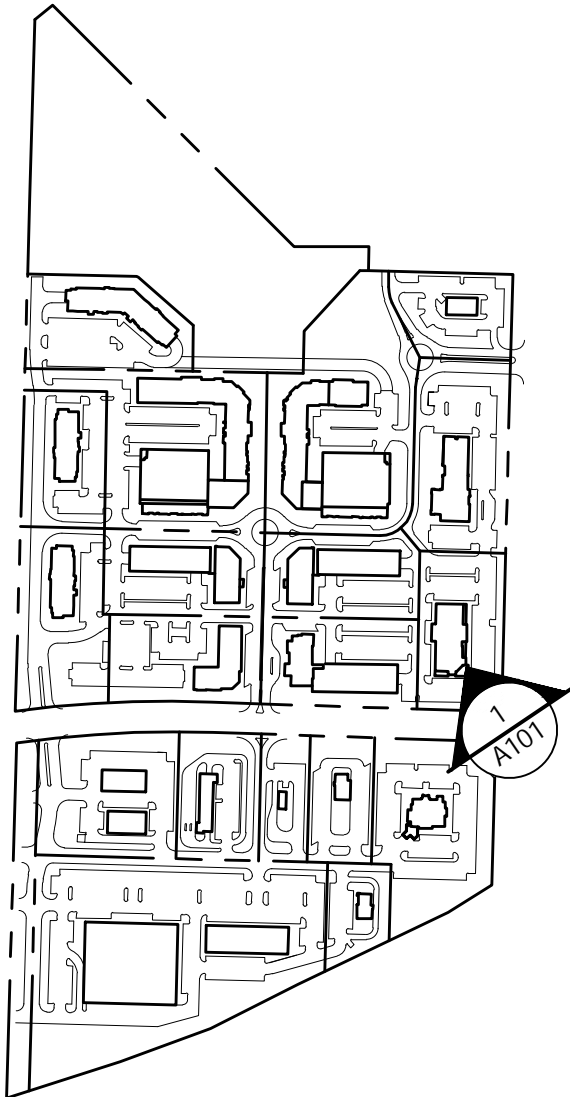
2023

drawn by: _____ E
checked by: _____ C
approved by: _____ C
QA/QC by: _____ E
project no.: _____ A21-046
drawing no. A_ARCH01 A21046
date: _____ 01.20.20

SHEET
A100



1 ARCHITECTURAL RENDERING - LOT 1



KEYMAP



BY

REVISIONS DESCRIPTION

ATE

REV.

ARCHITECTURAL RENDERING - LOT 1

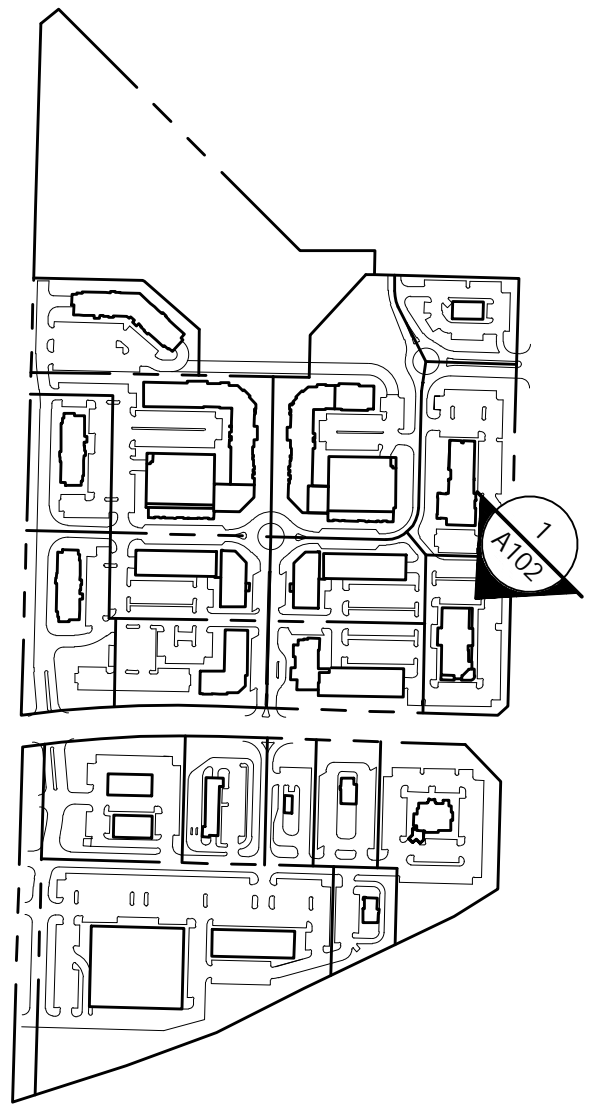
DISCOVERY PARK REZONING & PRELIMINARY DEVELOPMENT PLAN ZONES 1 & 2

LEE'S SUMMIT, MISSOURI

2023

drawn by: _____ EV
checked by: _____ CF
approved by: _____ CF
QA/QC by: _____ BM
project no.: _____ A21-04643
drawing no. A_ARCH01_A2104643
date: 01.20.2023

SHEET
A101

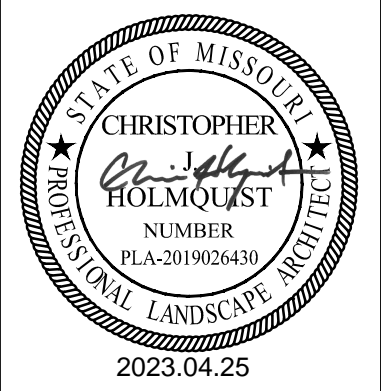


KEYMAP

1 ARCHITECTURAL RENDERING - LOTS 1 & 4

olsson studio

MISSOURI CERTIFICATE OF AUTHORITY #2005000285
1814 Main St.
Kansas City, MO 64108 TEL 816.842.8844 www.olsi.org

[illegible]

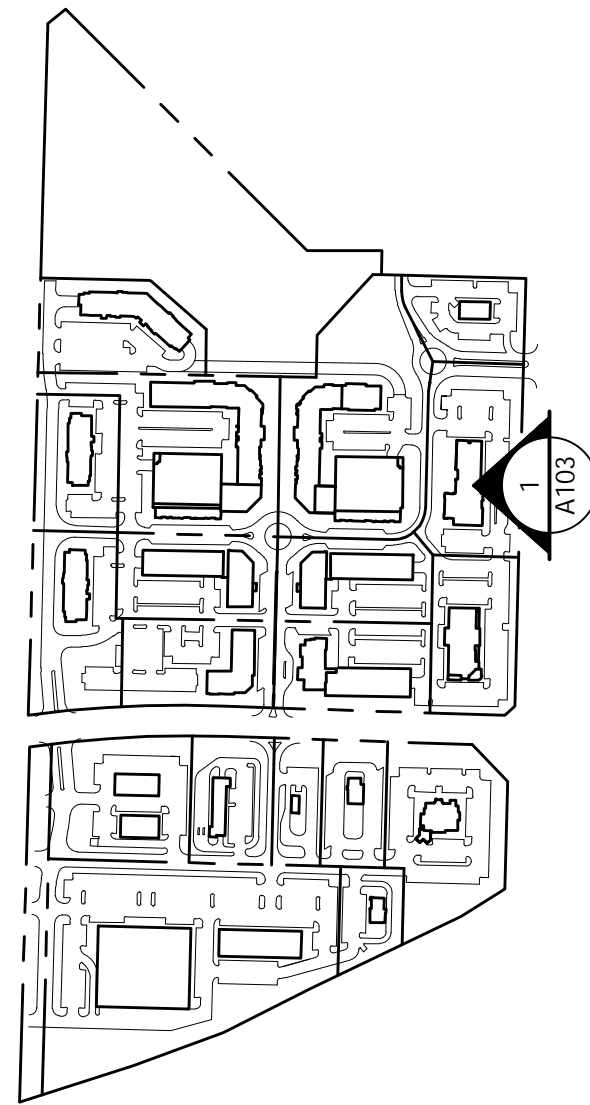
ARCHITECTURAL RENDERING - LOTS 1 & 4	
DISCOVERY PARK REZONING & PRELIMINARY DEVELOPMENT PLAN ZONES 1 & 2	
LEE'S SUMMIT, MISSOURI	2023

drawn by: _____ EW
checked by: _____ CP
approved by: _____ CP
QA/QC by: _____ BM
project no.: _____ A21-04643
drawing no. A_ARCH01_A2104643
date: _____ 01.20.2023

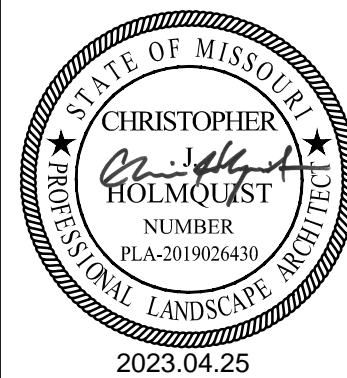
SHEET
A102



1 ARCHITECTURAL RENDERING - LOT 2



KEYMAP

[illegible]

ARCHITECTURAL RENDERING - LOT 2	
DISCOVERY PARK REZONING & PRELIMINARY DEVELOPMENT PLAN ZONES 1 & 2	
LEE'S SUMMIT - MISSOURI	2023

drawn by: _____ EV
checked by: _____ CF
approved by: _____ CF
QA/QC by: _____ BM
project no.: _____ A21-0464
drawing no. A_ARCH01_A210464
date: _____ 01.20.2023

SHEET
A103

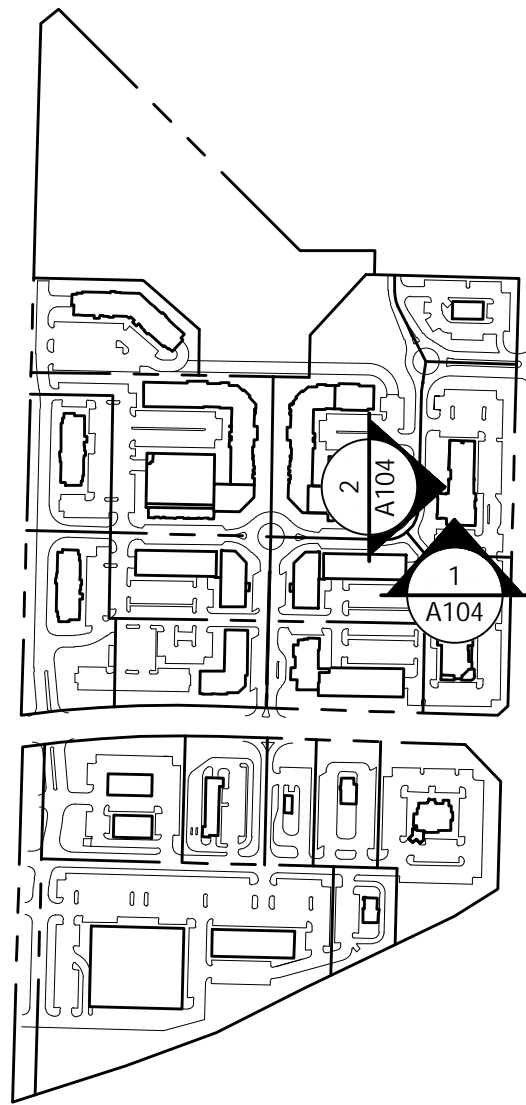
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DATE: Apr 25, 2023 4:22pm XREFS: L_PTBULK_2104643 L_KEY_MAP_A2104643 USER: chholmquist



1 ARCHITECTURAL RENDERING - LOT 2



2 ARCHITECTURAL RENDERING - LOT 2



KEYMAP

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Kansas City, MO 64108 TEL 816.842.8844 www.olsson.com

STATE OF MISSOURI
CHRISTOPHER HOLMQUIST
NUMBER PLA-2019026430
PROFESSIONAL LANDSCAPE ARCHITECT
2023.04.25

BY

REVISIONS DESCRIPTION

DATE

REV. NO.

REVISIONS

ARCHITECTURAL RENDERING - LOT 2

DISCOVERY PARK REZONING & PRELIMINARY DEVELOPMENT PLAN
ZONES 1 & 2

LEE'S SUMMIT, MISSOURI

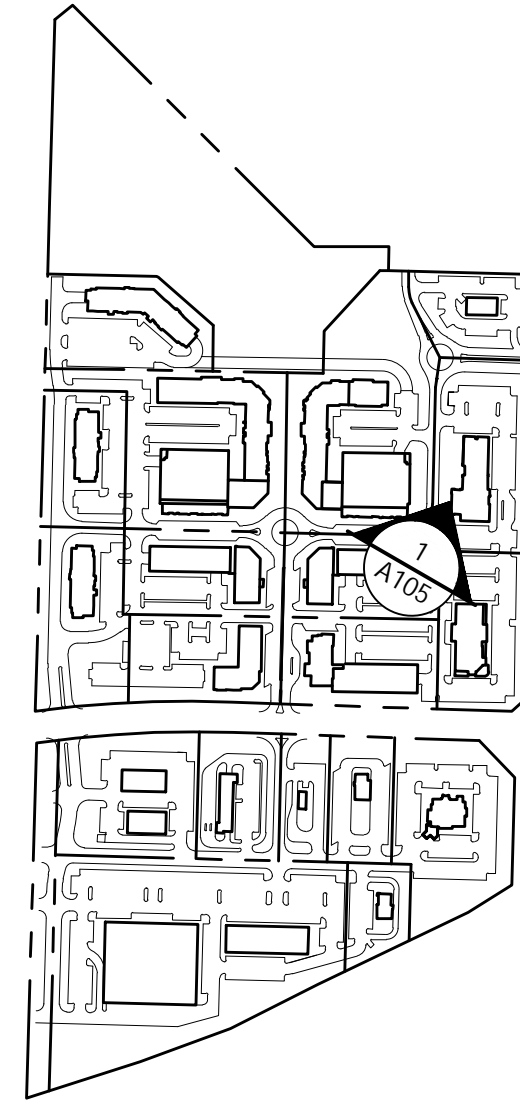
2023

drawn by: EW
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approved by: BM
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project no.: A21-04643
drawing no. A_ARCH01_A2104643
date: 01.20.2023

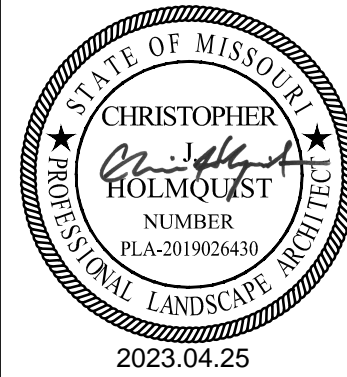
SHEET
A104



1 ARCHITECTURAL RENDERING - LOT 2



KEYMAP



BY

REVISIONS DESCRIPTION

DATE _____

REV.

ARCHITECTURAL RENDERING - LOT 2

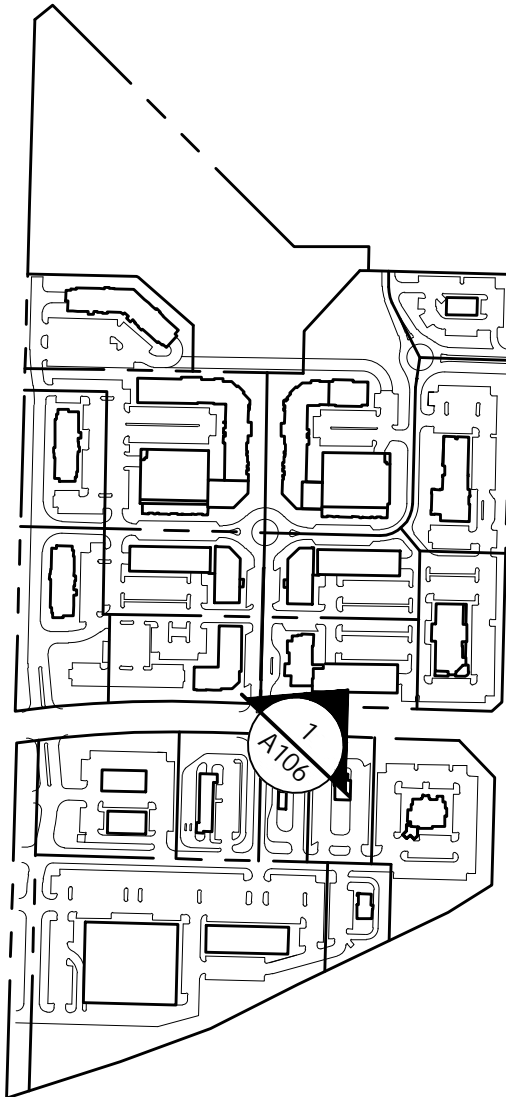
DISCOVERY PARK REZONING & PRELIMINARY DEVELOPMENT PLAN
ZONES 1 & 2

LEE'S SUMMIT, MISSOURI

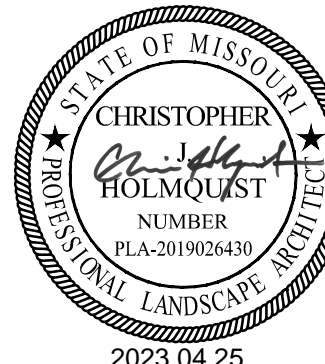
2023

drawn by: _____ EW
checked by: _____ CF
approved by: _____ CF
QA/QC by: _____ BM
project no.: _____ A21-0464
drawing no. A_ARCH01_A210464
date: _____ 01.20.2023

SHEET
A105



KEYMAP



by

INTELLIGENCE DEVELOPMENT

ATT

REV.

ARCHITECTURAL RENDERING - LOT 3

DISCOVERY PARK REZONING & PRELIMINARY DEVELOPMENT PLAN ZONES 1 & 2

LEE'S SUMMIT, MISSOURI

2023

DEVISIONS

drawn by: _____ EW
checked by: _____ CP
approved by: _____ CP
QA/QC by: _____ BM
project no.: _____ A21-04643
drawing no. A_ARCH01_A2104643
date: _____ 01.20.2023

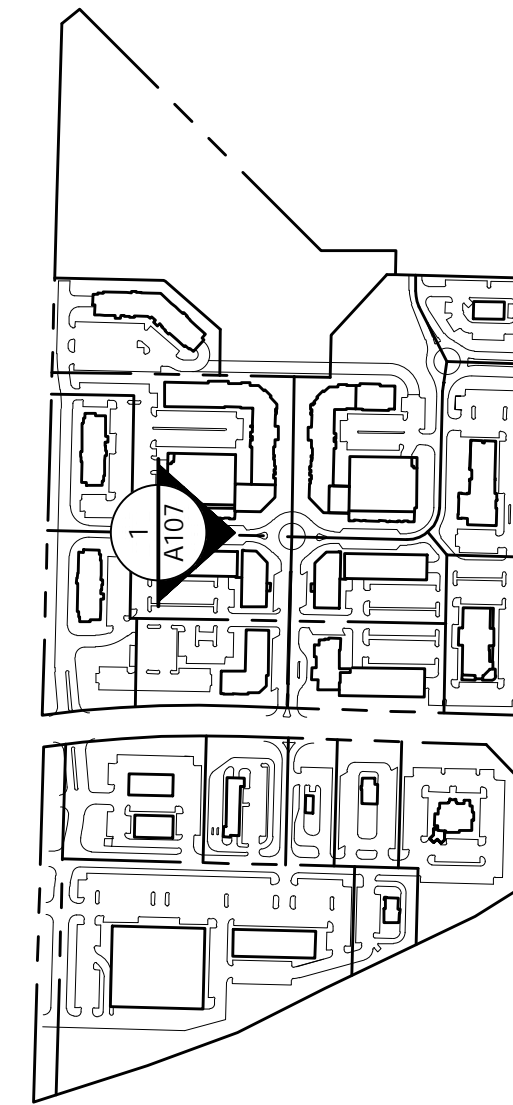
SHEET
A106

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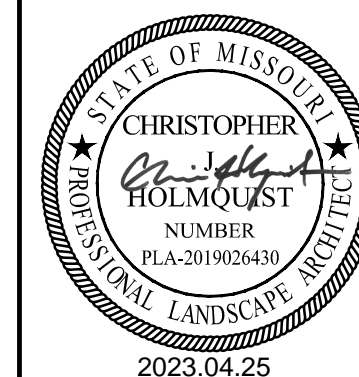
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1 ARCHITECTURAL RENDERING - LOTS 8, 9, & 10



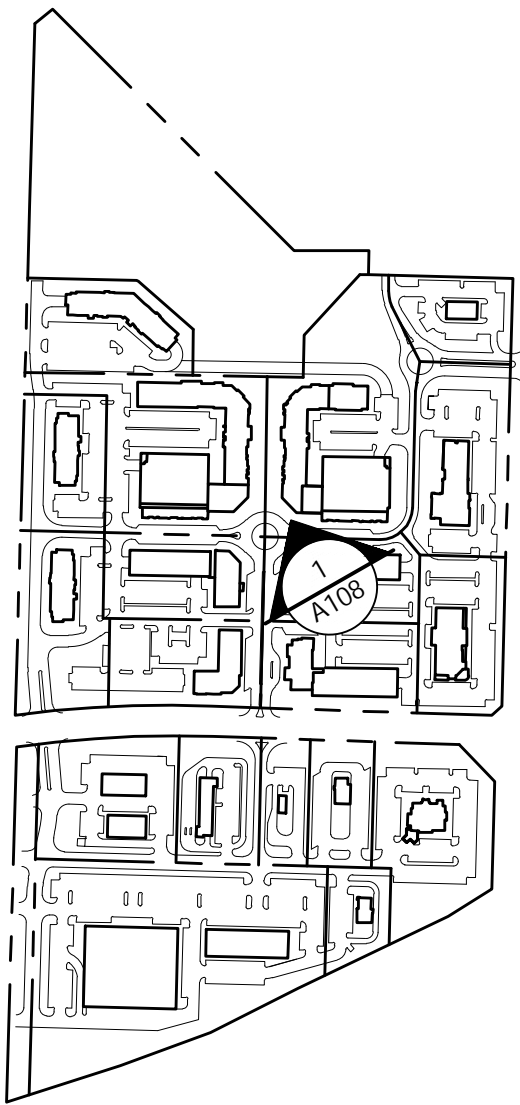
KEYMAP

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ARCHITECTURAL RENDERING - LOTS 8, 9, & 10	
DISCOVERY PARK REZONING & PRELIMINARY DEVELOPMENT PLAN ZONES 1 & 2	
DISCOVERY PARK REZONING & PRELIMINARY DEVELOPMENT PLAN ZONES 1 & 2	0000

drawn by: _____ EV
checked by: _____ C
approved by: _____ C
QA/QC by: _____ B
project no.: _____ A21-0464
drawing no. A_ARCH01_A210464
date: _____ 01.20.2021

SHEET
A107



KEYMAP



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Kansas City, MO 64108

[illegible]

ARCHITECTURAL RENDERING - LOTS 9 & 10	
DISCOVERY PARK REZONING & PRELIMINARY DEVELOPMENT PLAN ZONES 1 & 2	
LEE'S SUMMIT, MISSOURI	2023

drawn by: _____ EW
checked by: _____ CP
approved by: _____ CP
QA/QC by: _____ BM
project no.: _____ A21-04643
drawing no. A_ARCH01_A2104643
date: _____ 01.20.2023

SHEET
A108

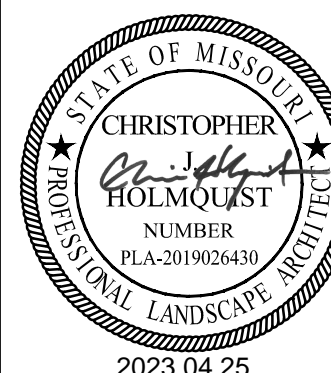


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[illegible]

ARCHITECTURAL RENDERING - LOTS 8 & 10

DISCOVERY PARK REZONING & PRELIMINARY DEVELOPMENT PLAN ZONES 1 & 2

LEE'S SUMMIT MISSOURI

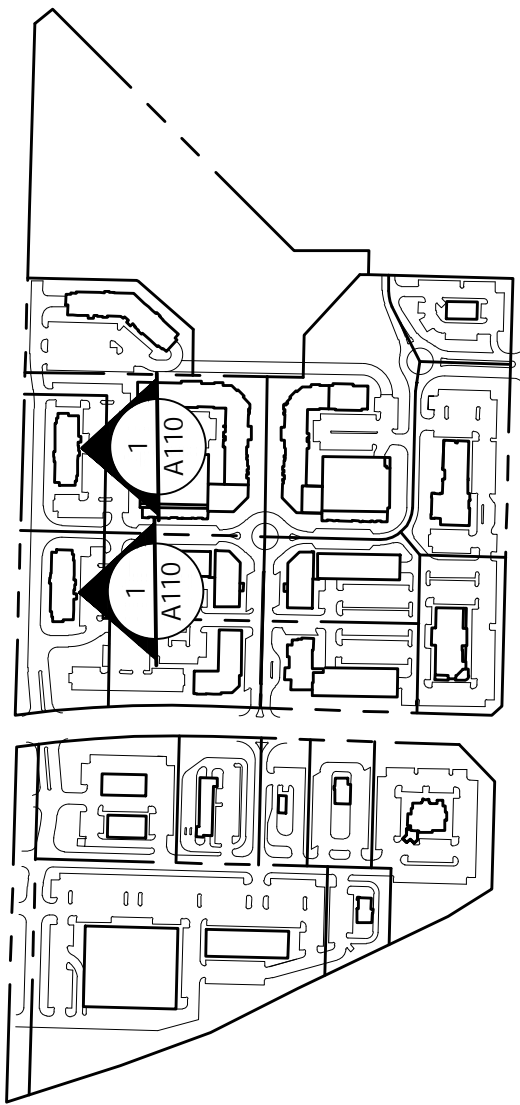
2023

drawn by: _____ EW
checked by: _____ CP
approved by: _____ CP
QA/QC by: _____ BM
project no.: _____ A21-04643
drawing no. A_ARCH01_A2104643
date: _____ 01.20.2023

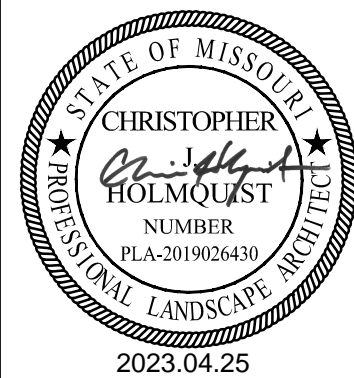
SHEET
A109



1 ARCHITECTURAL RENDERING - LOT 11



KEYMAP

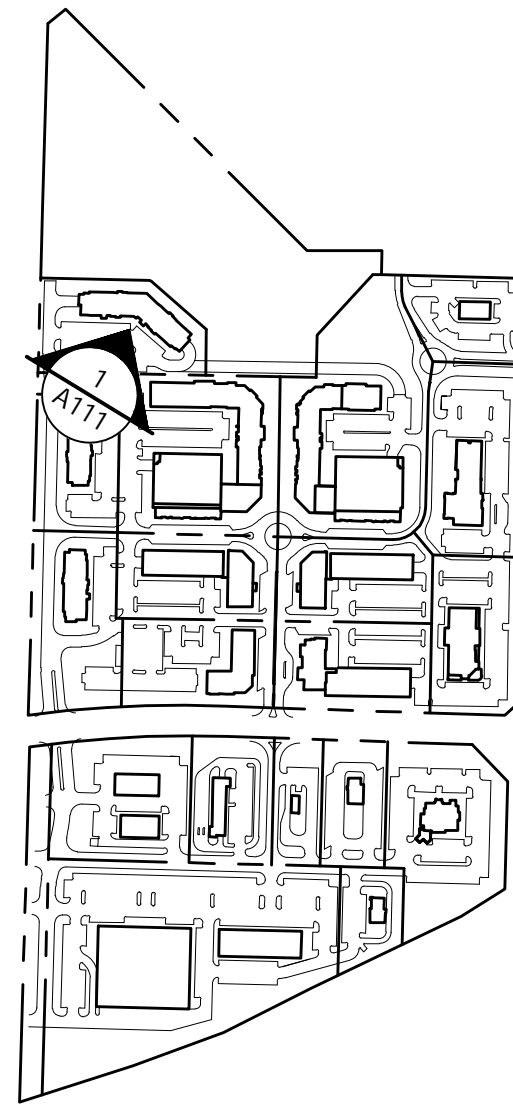
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ARCHITECTURAL RENDERING - LOT 11	
DISCOVERY PARK REZONING & PRELIMINARY DEVELOPMENT PLAN ZONES 1 & 2	
LEE'S SUMMIT MISSOURI	2023

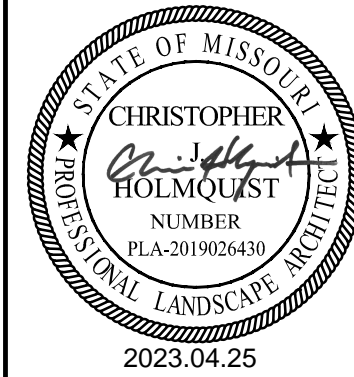
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checked by: _____ CP
approved by: _____ CP
QA/QC by: _____ BM
project no.: _____ A21-04643
drawing no. A_ARCH01_A2104643
date: _____ 01.20.2023



1 ARCHITECTURAL RENDERING - LOT 12



KEYMAP

[illegible]

ARCHITECTURAL RENDERING - LOT 12	
DISCOVERY PARK REZONING & PRELIMINARY DEVELOPMENT PLAN ZONES 1 & 2	
LEE'S SUMMIT, MISSOURI	2023

drawn by: _____ EW
checked by: _____ CF
approved by: _____ CF
QA/QC by: _____ BM
project no.: _____ A21-04643
drawing no. A_ARCH01_A2104643
date: _____ 01.20.2023

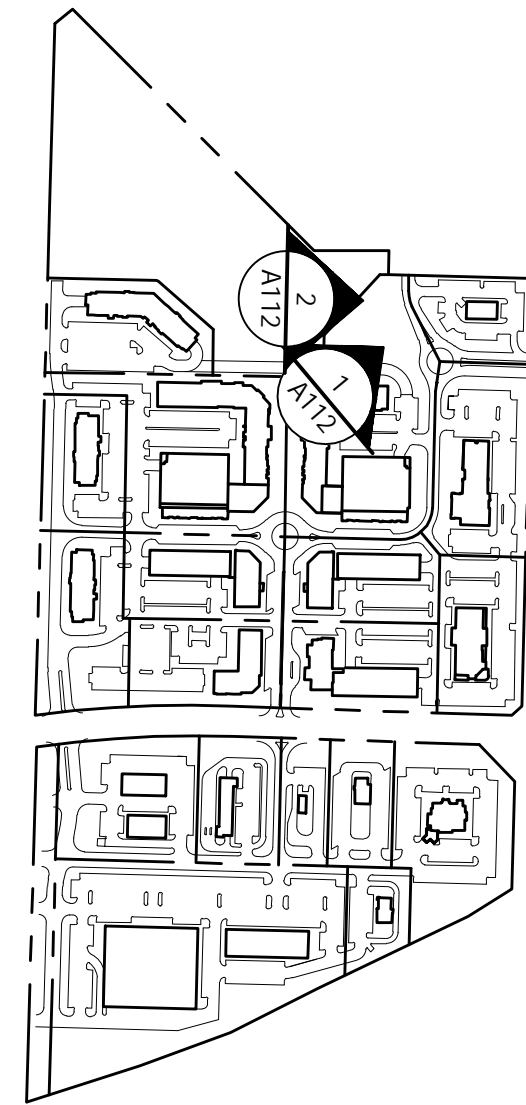
SHEET
A111



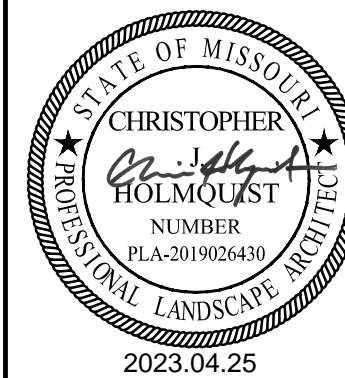
1 ARCHITECTURAL RENDERING - POOL AREA



2 ARCHITECTURAL RENDERING - POOL AREA



KEYMAP

[illegible]

ARCHITECTURAL RENDERING - POOL AREA	
DISCOVERY PARK REZONING & PRELIMINARY DEVELOPMENT PLAN ZONES 1 & 2	
DISCOVERY PARK REZONING & PRELIMINARY DEVELOPMENT PLAN ZONES 1 & 2	

drawn by: _____ EV
checked by: _____ C
approved by: _____ C
QA/QC by: _____ B
project no.: _____ A21-0464
drawing no. A_ARCH01_A210464
date: _____ 01.20.2021

SHEET
A112

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