

SITE DATA

EXISTING ZONING OVERLAY
 EXISTING ZONING
 PROPOSED ZONING
 GROSS SITE AREA
 RP-4 SITE AREA
 PMIX SITE AREA
 ROW SITE AREA
 NET SITE AREA

PROJECT DATA (SEC. 6.030, TABLE 6-2)

PMIX PROPOSED NUMBER OF UNITS
 RP-4 PROPOSED NUMBER OF UNITS
 TOTAL NUMBER OF UNITS
 RESIDENTIAL DENSITY (200/18.16=15.42)

RP-4 SITE DATA (LOT 1)

PROPOSED NUMBER OF APARTMENT
 PROPOSED RP-4 DENSITY PROPOSED
 DENSITY PER CODE FOR RP-4 ZONING
 NUMBER OF UNITS PER CODE FOR RP-4 ZONING
 MINIMUM LOT SIZE PER UNIT PER CODE
 MINIMUM LOT SIZE PER UNIT PROPOSED
 OPEN SPACE REQUIRED BY CODE (10%)(398,138.4X1)
 BUILDING AREA
 DRIVE AND PARKING AREA
 TOTAL IMPERVIOUS AREA (BUILDING, DRIVES, AND PARKING AREA)
 OPEN SPACE AREA

PMIX SITE DATA (LOT 2) EXCLUDES LOTS 3&4

PROPOSED NUMBER OF APARTMENT
 PROPOSED RESIDENTIAL DENSITY
 MINIMUM LOT SIZE PER UNIT PER CODE
 MINIMUM LOT SIZE PER UNIT PROPOSED
 OPEN SPACE REQUIRED BY CODE (10%)(392,911.2X1)
 BUILDING AREA
 DRIVE AND PARKING AREA
 TOTAL IMPERVIOUS AREA (BUILDING, DRIVES, AND PARKING AREA)
 OPEN SPACE AREA

M-150 CORRIDOR OVERLAY DISTRICT

CP-2 / RP-3
 PMIX / RP-4
 19.37 ACRES (843,757.01 S.F.)
 9.14 ACRES (398,138.4 S.F.)
 9.02 ACRES (392,911.2 S.F.)
 1.21 ACRES (52,707.8 S.F.)
 18.16 ACRES (791,049.8 S.F.)

155 UNITS
 125 UNITS
 280 UNITS
 15.42 DU/AC

125 UNITS
 13.68 UNITS / ACRE
 12 UNITS/ACRE
 110 UNITS
 3,500 S.F.
 N/A
 39,813.84 S.F.
 69,347 S.F.
 94,261.60 S.F.
 163,608.30 S.F. (58.9%)
 234,530.10 S.F. (58.9%)

PMIX SITE DATA (LOT 3)

BUILDING AREA
 DRIVE AND PARKING AREA
 TOTAL IMPERVIOUS AREA (BUILDING, DRIVES, AND PARKING AREA)
 OPEN SPACE AREA

8,100 S.F.
 16,712.17 S.F.
 24,812.17 S.F.
 13,085.03 S.F. (34.5%)

BUILDING SETBACKS

FRONT YARD MAJOR STREET
 FRONT YARD FROM OTHER STREETS
 SIDE YARD SETBACK PROVIDED
 REAR YARD SETBACK PROVIDED

50 FT.
 20 FT.
 10 FT.
 10 FT.

PMIX SITE DATA (LOT 4)

BUILDING AREA
 DRIVE AND PARKING AREA
 TOTAL IMPERVIOUS AREA (BUILDING, DRIVES, AND PARKING AREA)
 OPEN SPACE AREA

10,000 S.F.
 19,728.79 S.F.
 29,428.79 S.F.
 21,972.01 S.F. (42.7%)

BUILDING SETBACKS

FRONT YARD MAJOR STREET
 FRONT YARD FROM OTHER STREETS
 SIDE YARD SETBACK PROVIDED
 REAR YARD SETBACK PROVIDED

50 FT.
 20 FT.
 10 FT.
 10 FT.

PARKING DATA (SEC. 8.330, TABLE 8-1):

LOT 1 - MULTIFAMILY (RP-4):

1.5 STALLS/SU
 PROPOSED SURFACE STALLS:
 ATTACHED GARAGE STALLS:
 DETACHED GARAGE STALLS:
 TOTAL STALLS REQUIRED (125x1.5=188):
 TOTAL STALLS PROVIDED:
 156
 26
 60
 188
 242

ADA PARKING REQUIRED:
 ADA PARKING PROVIDED:
 7
 7

LOT 2 - MULTIFAMILY/RETAIL (PMIX)

1.5 STALLS/SU & 5 STALLS/PER 1000SF
 RETAIL
 PARKING REQUIRED (21,000/1000x5 = 105)
 PARKING PROVIDED
 MULTIFAMILY
 PROPOSED SURFACE STALLS:
 ATTACHED GARAGE STALLS:
 DETACHED GARAGE STALLS:
 PARKING REQUIRED (155x1.5=233):
 PARKING PROVIDED:
 105
 105
 184
 39
 243
 243

LOT 3 RETAIL (PMIX)

5 STALLS PER 1000SF
 PARKING REQUIRED (8000/1000x5 = 40)
 PARKING PROVIDED:
 40
 46

LOT 4 RETAIL (PMIX)

5 STALLS PER 1000SF
 PARKING REQUIRED (10,000/1000x5 = 40)
 PARKING PROVIDED:
 50
 53

ADA PARKING REQUIRED:
 ADA PARKING PROVIDED:
 8
 8

MODIFICATIONS REQUESTED

RP-4
 a. Density modification: from 12du/ac to 13.68 du/ac

ALL ZONING DISTRICTS - Landscaping

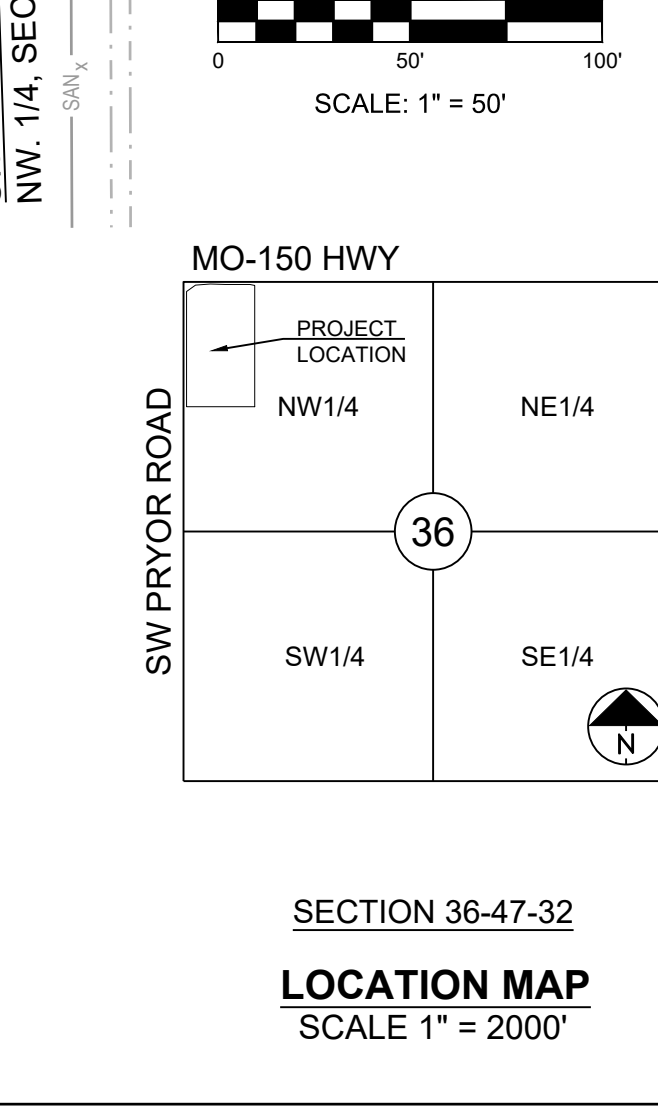
a. Reduce the caliper of the shade trees from 3 inches to 2.5 inches for the buffer screening area.
 b. Reduce the height of the evergreen trees from 8 feet to 6 feet.
 c. Reduce the caliper of the ornamental trees from 3" to 2"

LEGEND:

A/E - ACCESS EASEMENT
 B/C - BACK OF CURB
 B/B - BACK TO BACK
 BM - BENCHMARK
 BL, B.L. or S.B. - BUILDING LINE
 CO - CLEANOUT
 TJB - TELEPHONE JUNCTION BOX
 C&G - CURB AND GUTTER
 D/E - DRAINAGE EASEMENT
 E/E - ELECTRICAL EASEMENT
 G/E - GAS LINE EASEMENT
 L/E - LANDSCAPE EASEMENT
 P/L - PROPERTY LINE
 ROW or RW - RIGHT-OF-WAY
 S/E - SANITARY SEWER EASEMENT
 S/W - SIDEWALK
 U/E - UTILITY EASEMENT
 W/E - WATERLINE EASEMENT

ASPHALT PAVEMENT - PROPOSED
 CONCRETE SIDEWALK - PROPOSED
 CURB & GUTTER
 CURB & GUTTER - EXISTING
 TREELINE

EXISTING LOT AND R/W LINES
 EXISTING PLAT LINES
 P/L - PROPERTY LINES
 ROW - RIGHT-OF-WAY
 SANITARY SEWER MAIN
 SANITARY SEWER MAIN - EXIST.
 STORM SEWER
 STORM SEWER - EXISTING
 CABLE TV - EXISTING
 FIBER OPTIC CABLE - EXISTING
 TELEPHONE LINE - EXIST.
 ELECTRIC LINE - EXISTING
 OVERHEAD POWER LINE - EXIST.
 UNDERGROUND ELECTRIC - EX.
 GAS LINE - EXISTING
 WATERLINE - EXISTING PUBLIC
 LIGHT - EXISTING
 EXISTING MANHOLE
 CLEANOUT
 EXISTING SANITARY MANHOLE
 PROPOSED SANITARY MANHOLE
 EXISTING CURB INLET
 EXISTING CURB INLET
 EXISTING GRATE INLET
 EXISTING JUNCTION BOX
 EXISTING STORM MANHOLE



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**PRYOR MIXED-USE
 PRELIMINARY DEVELOPMENT/REZONING
 PLAN
 MO-150 & PRYOR ROAD LEE'S SUMMIT, MO**

REVISION DATE

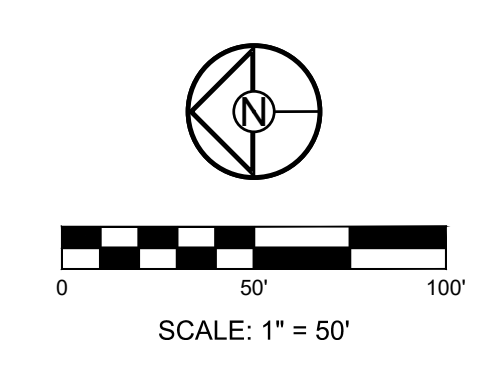
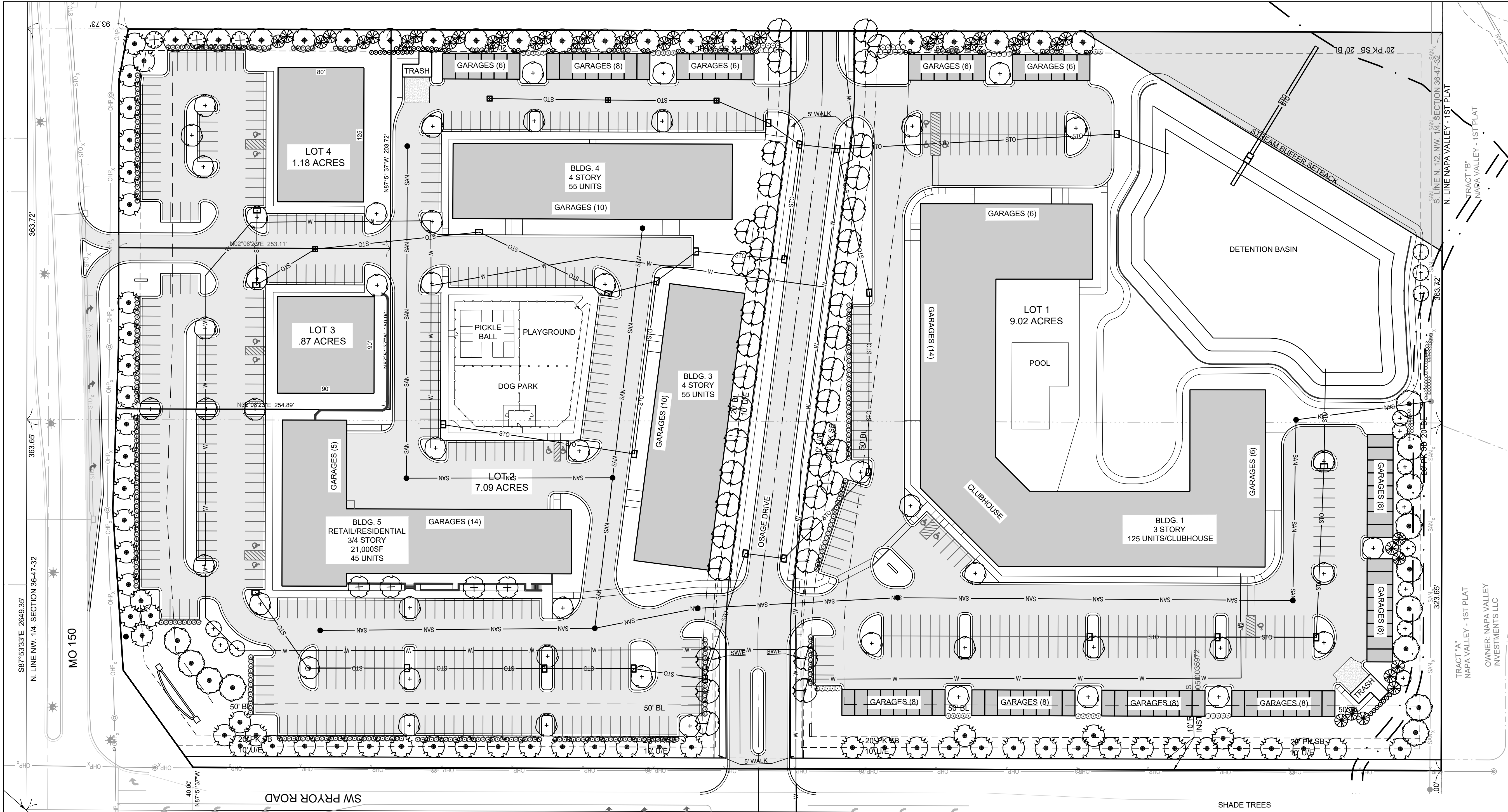
NO.	DATE	DESCRIPTION
1	04-21-2023	DATE PREPARED
2	04-21-2023	PROJ. NUMBER
3	04-21-2023	23-013

PRELIMINARY SITE PLAN

SHEET

C1.0

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NOTES:

- 1. UTILITY INFORMATION SHOWN IS DESIGNATED LOCATION OR LOCATIONS BASED ON UTILITY LOCATES. AS BUILT LOCATIONS MAY VARY...
2. NO TREE, SHRUB, OR WOODY VEGETATION WILL BE PLANTED WITHIN A DISTANCE OF 10 FEET FROM AND FIRE HYDRANT OR FIRE DEPARTMENT...
3. NO TREES WILL BE PLANTED WITHIN 15 FEET OF A STREETLIGHT...
4. QUANTITIES INDICATED ON THE PLAN ARE FOR CONVENIENCE ONLY...
5. ALL PLANT MATERIAL SHALL COMPLY WITH THE CITY OF OLATHE STANDARDS AND ANSI A60.1 THE AMERICAN STANDARD FOR NURSERY STOCK...
6. ALL TREES SHALL MEET THE SIZE REQUIREMENTS OF THE OLATHE ORDINANCE...
7. ALL SHRUBS TO BE UTILIZED FOR SCREENING SHALL BE 24" HEIGHT AT TIME OF PLANTING...
8. ALL PLANTING BEDS CONTAINING SHRUBS, GROUND COVER, PERENNIALS, ANNUALS SHALL BE IN A PLANTING BED WITH 3" MIN. DEPTH OF MULCH AND A "V-CUT" EDGE...
9. ALL TREES SHALL HAVE A MIN. 3 FT. DIA. AREA THAT HAS 3" MIN. DEPTH OF WOOD MULCH...
10. ALL TURF AREAS SHALL BE SODDED UNLESS INDICATED ON THE PLANS...
11. ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN SHALL REQUIRE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT AND THE CITY PRIOR TO INSTALLATION...
12. THE LANDSCAPE ARCHITECT AND OWNER SHALL APPROVE GRADES AND CONDITION OF SITE PRIOR TO SODDING OPERATIONS...
13. INSTALLATION AND MAINTENANCE OF LANDSCAPING SHALL COMPLY WITH THE CITY OF OLATHE STANDARDS...
14. THE PROPERTY OWNER WILL MAINTAIN LANDSCAPE AREAS IN GOOD CONDITION AND IN A WAY THAT PRESENTS A HEALTHY, NEAT AND ORDERLY APPEARANCE...
15. ALL PLANT MATERIAL SHALL BE INSTALLED TO ALLOW A MINIMUM CLEARANCE BETWEEN PLANT AND ADJACENT PAVEMENT OF 1 FT. FOR PERENNIALS AND GROUND COVER AND 1.5 FT. FOR SHRUBS...
16. AFTER COMPLETE INSTALLATION OF ALL PLANT MATERIAL AND SOD THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT THAT THE WORK IS COMPLETE AND READY FOR REVIEW...
17. AN IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATED ON A REGULAR BASIS FOR ALL LANDSCAPE AREAS...
18. IN THE EVENT OF WORK IN OR ON THE JCW SANITARY MAIN, ANY TREES OR PLANTINGS PLACED WITHIN THE SEWER EASEMENT MAY BE REMOVED WITHOUT REPLACEMENT OR COMPENSATION THERE-OF...
19. ALL EXTERIOR GROUND OR BUILDING MOUNTED EQUIPMENT (MECHANICAL, ELECTRICAL AND/OR TELEPHONE CABINETS AND METERS), TRANSFORMERS, AIR CONDITIONING UNITS, ETC. SHALL BE SCREENED FROM PUBLIC VIEW BY INSTALLING JUNIPERS EVENLY SPACED AROUND THE PERIMETER AT LEAST AS TALL AS THE UTILITY BOX AT THE TIME OF PLANTING...
20. FINAL LOCATION OF ANY EQUIPMENT SHALL BE DETERMINED AND VERIFIED WITH THE FINAL DESIGN AND PERMITTING OF THE PROJECT...
21. ALL ROOFTOP EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW WITH AN ARCHITECTURAL TREATMENT COMPATIBLE WITH THE BUILDING AND INTEGRAL TO THE OVERALL APPEARANCE OF THE BUILDING...
22. ALL EXISTING LANDSCAPING, EXCEPT THE SHRUBS ALONG THE WEST WALL OF THE EXISTING BUILDING, SHALL BE PROTECTED THROUGHOUT THE CONSTRUCTION PROCESS AND REPLACED IF DAMAGED...
23. ALL PLANTING SHOWN ON THIS PLAN SHALL BE INSTALLED PRIOR TO ISSUANCE OF FINAL CERTIFICATE OF OCCUPANCY...
24. THE CITY MAY CAUSE REMOVAL OF ANY DEAD OR DISEASED TREES, PLANTS AND SHRUBS ON PRIVATE PROPERTY WITHIN THE CITY...
25. THE DEVELOPER, ITS SUCCESSORS AND/OR SUBSEQUENT OWNERS AND THEIR AGENTS WILL MAINTAIN LANDSCAPING ON THE PROPERTY ON A CONTINUING BASIS FOR THE LIFE OF THE DEVELOPMENT...
26. PLANT MATERIALS WHICH EXHIBIT EVIDENCE OF INSECT PESTS, DISEASE AND/OR DAMAGE MUST BE APPROPRIATELY TREATED...
27. ALL LANDSCAPING IS SUBJECT TO PERIODIC INSPECTION BY THE PLANNING OFFICIAL OR DESIGNEE.

LANDSCAPE DATA

Table with 2 columns: Description and Quantity. Includes categories like STREET FRONTAGE LANDSCAPE, PRYOR RD TREES, OSAGE DRIVE TREES, LOT AREA, PARKING LOT LANDSCAPE, BUFFER SCREENING & LANDSCAPE, and SOUTH BUFFER - LOW IMPACT SCREEN TYPE C.

WEST BUFFER - MED. IMPACT SCREEN TYPE C

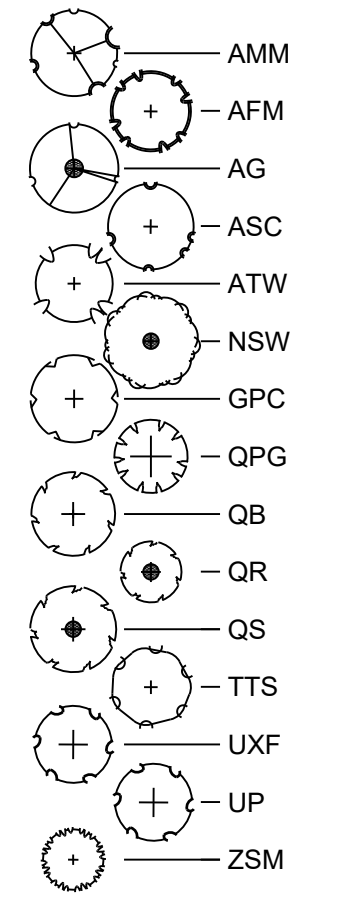
Table with 2 columns: Description and Quantity. Lists tree and shrub types and their required quantities for the West Buffer area.

*DETACHED GARAGES LINE THE PERIMETER & ARE DESIGNED W/ THE SAME ARCHITECTURAL AESTHETIC AS THE BUILDINGS (C.3 "WALL"), & THE LANDSCAPING PROVIDED UNDER SEC. 8.970.A.3 FOR STREET FRONTAGE PROVIDED WILL BE CONSOLIDATED AT THE GAPS TO MEET THE DENSITY OF C.1 "PLANTED".

MODIFICATIONS REQUESTED

- All zoning districts- Landscaping
a. Reduce the caliper of the shade trees from 3 inches to 2.5 inches for the buffer screening area.
b. Reduce the height of the evergreen trees from 8 feet to 6 feet.
c. Reduce the caliper of the ornamental trees from 3" to 2"

SHADE TREES



ORNAMENTAL TREES

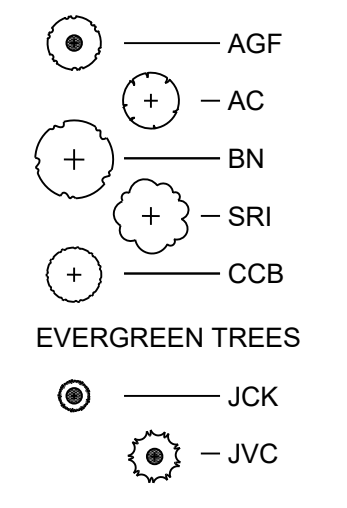


Table mapping tree symbols to species names. Includes species like Acer miyabei 'Morton', Acer x freemanii 'Marmo', Acer griseum, Acer saccharum 'Autumn Splendor', Acer truncatum 'Warrend', Nyssa sylvatica 'Wildfire', Ginkgo biloba 'Pinceton Sentry', Quercus palustris 'Green Pillar', Quercus bicolor, Quercus rubra, Quercus shumardii, Tilia tomentosa 'Sterling', Ulmus x Frontier, Ulmus parvifolia, Zelkova serrata 'Musashino', Acer ginnala 'Flame', Amelanchier canadensis, Betula nigra, Syringa reticulata 'Ivory Silk', Cercis canadensis 'Burgandy Hart', Juniperus chinensis 'Keteleeri', and Juniperus virginiana 'Canaertii'.

PRYOR MIXED-USE PRELIMINARY DEVELOPMENT/REZONING PLAN MO-150 & PRYOR ROAD LEE'S SUMMIT, MO

Table with columns: REVISION DATE, DESCRIPTION, DRAWN BY, CHECKED BY, DATE PREPARED, PROJ. NUMBER. Includes revision details for the landscape plan.

PRELIMINARY LANDSCAPE PLAN

SHEET

L1.0

