

PRELIMINARY DEVELOPMENT PLANS  
FOR  
LOT 1, 2 & 3  
ARBOR WALK WEST  
LEE'S SUMMIT, MO

UTILITIES  
Electric Service  
Evergy  
Nathan Michael  
913-347-4310  
Nathan.michael@evergy.com

Gas Service  
Spire  
Katie Darnell  
816-969-2247  
Katie.darnell@spireenergy.com

Water/Sanitary Sewer  
Water Utilities Department  
1200 SE Hamblen Road  
Lee's Summit, Mo 64081  
Jeff Thorn  
816-969-1900  
jeff.thorn@cityofls.net

Communication Service  
AT&T Carrie Cilke  
816-703-4386  
cc3527@att.com

Time Warner Cable  
Steve Baxter  
913-643-1928  
steve.baxter@charter.com

Comcast  
Ryan Alkire  
816-795-2218  
ryan.alkire@cable.comcast.com

Google Fiber  
Becky Davis  
913-725-8745  
rebeccadavis@google.com

UTILITY STATEMENT:  
THE UNDERGROUND UTILITIES SHOWN HEREON ARE FROM FIELD SURVEY INFORMATION OF ONE-CALL LOCATED UTILITIES, FIELD SURVEY INFORMATION OF ABOVE GROUND OBSERVABLE EVIDENCE, AND/OR THE SCALING AND PLOTTING OF EXISTING UTILITY MAPS AND DRAWINGS AVAILABLE TO THE SURVEYOR AT THE TIME OF SURVEY. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. FURTHERMORE, THE SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES BY EXCAVATION UNLESS OTHERWISE NOTED ON THIS SURVEY.  
SAFETY NOTICE TO CONTRACTOR  
IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICE, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

WARRANTY/DISCLAIMER  
THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENEDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER SM ENGINEERING NOR ITS PERSONNEL CAN OR DO WARRANTY THESE DESIGNS OR PLANS AS CONSTRUCTED, EXCEPT IN THE SPECIFIC CASES WHERE SM ENGINEERING PERSONNEL INSPECT AND CONTROL THE PHYSICAL CONSTRUCTION ON A CONTEMPORARY BASIS AT THE SITE.

CAUTION- NOTICE TO CONTRACTOR  
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. THE CONTRACTOR SHALL EXPOSE EXISTING UTILITIES AT LOCATIONS OF POSSIBLE CONFLICTS PRIOR TO ANY CONSTRUCTION.



LEGAL DESCRIPTION:  
TRACT 4:  
ALL THAT PART OF THE SOUTHWEST QUARTER OF SECTION 25, TOWNSHIP 47, RANGE 32, IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, LYING NORTH OF THE NORTH LINE OF MISSOURI HIGHWAY 150, AS PRESENTLY ESTABLISHED. LYING WEST OF THE WEST LINE OF SW ARBORIDGE DRIVE AS SHOWN ON THE PLAT OF ARBORWALK 4TH PLAT, A SUBDIVISION IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, AND LYING SOUTH AND EAST OF LOT 1, HOLT SPIRIT CATHOLIC CHURCH - LOT 1, A SUBDIVISION IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI.

FLOODPLAIN NOTE:  
SUBJECT PROPERTY IS SHOWN TO BE LOCATED IN "OTHER AREAS ZONE X" ON THE FLOOD INSURANCE RATE MAP FOR JACKSON COUNTY, MISSOURI AND INCORPORATED AREAS. COMMUNITY PANEL NO. 29095C0531G, REVISED JANUARY 20, 2017. "OTHER AREAS ZONE X" IS DEFINED AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUL CHANCE FLOODPLAIN". LOCATION DETERMINED BY A SCALED GRAPHICAL PLOT OF THE FLOOD INSURANCE RATE MAP.

INDEX OF SHEETS

C-1	COVER SHEET
C-2	EXISTING CONDITIONS
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C-7	LANDSCAPE PLAN
C-8	DETAILS
C-9	DETAILS
C-10	DETAILS
C-11	FIRE TRUCK MOVEMENTS

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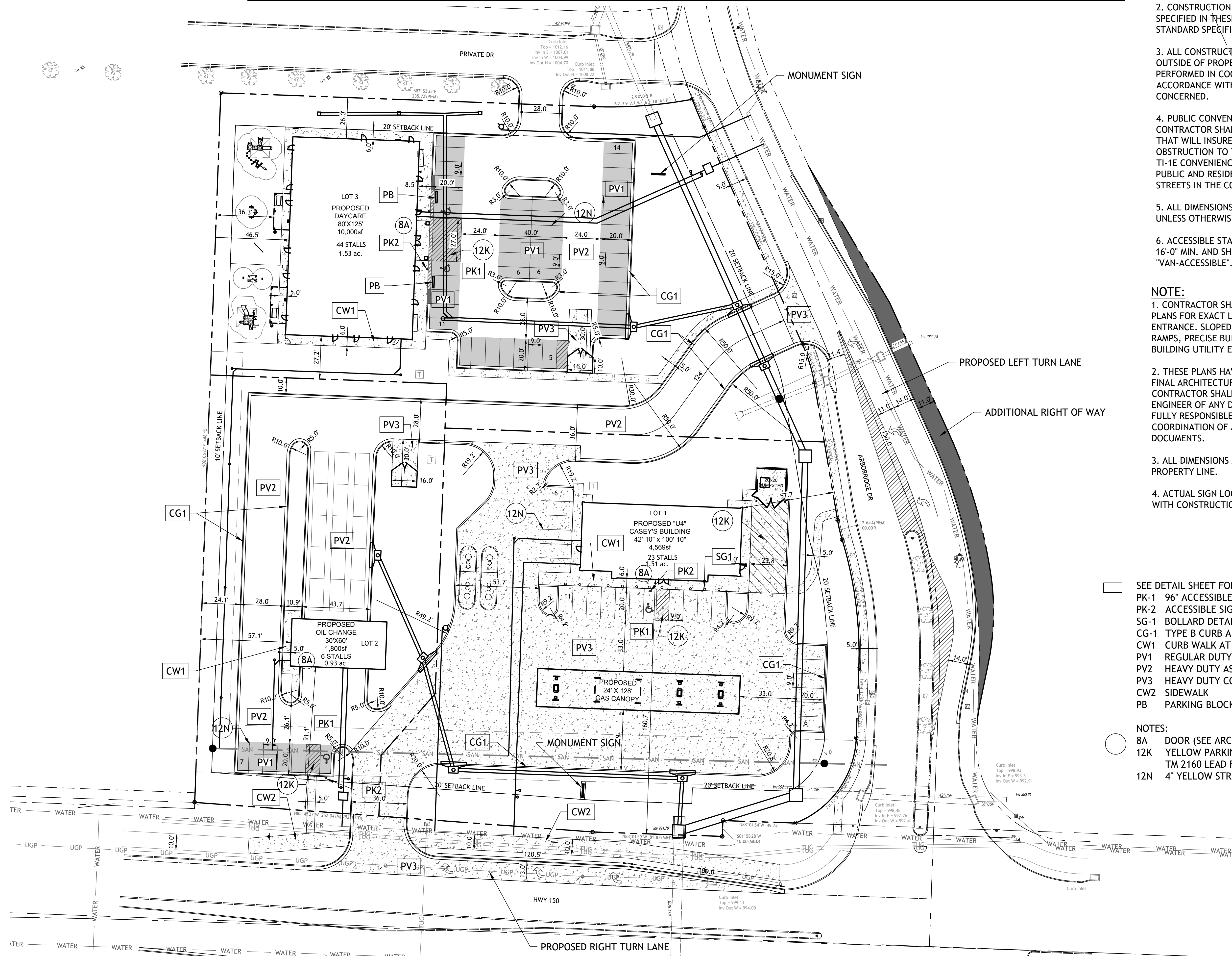
Drawings and/or Specifications are original proprietary work and property of the Engineer and intended specifically for this project. Use of items contained herein without consent of the Engineer is prohibited. Drawings illustrate best information available to the Engineer. Field verification of actual elements, conditions, and dimensions is required.

Revisions

ARBOR WALK WEST  
LOT 1, 2 & 3  
LEE'S SUMMIT, MO.



SITE DATA												
LOT	EXISTING/PROPOSED ZONING	LOT AREA (SF)	LOT AREA (ACRES)	BLDG AREA SF (ENVELOPE)	# OF FLOORS	PARKING REQUIRED	PARKING PROVIDED	ADA SPACES REQ (VAN)	ADA SPACES PROV (VAN)	PRK LOT COVERAGE	TOTAL IMPERVIOUS COVERAGE	OPEN SPACE
LOT 1	PMIX	65,775	1.51	4,569	1	22	23	1	1	37,561	42,130	23,645
LOT 2	PMIX	40,510	0.93	1,800	1	5	6	1	1	17,894	19,694	20,816
LOT 3	PMIX	66,646	1.52	10,000	1	25	44	2	2	21,108	31,108	35,356
TOTAL		172,933	3.96	16,369						76,563	92,932	79,817

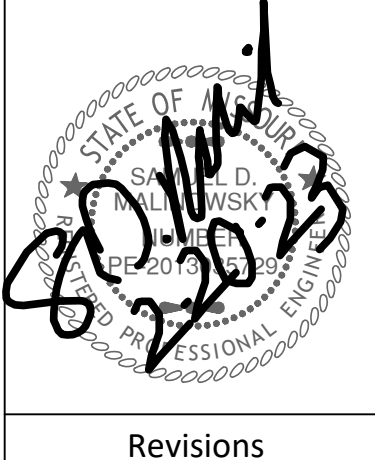


- CONSTRUCTION NOTES:**
- COORDINATE START-UP AND ALL CONSTRUCTION ACTIVITIES WITH OWNER.
  - CONSTRUCTION METHODS AND MATERIALS NOT SPECIFIED IN THESE PLANS ARE TO MEET OR EXCEED THE STANDARD SPECIFICATIONS.
  - ALL CONSTRUCTION WORK AND UTILITY WORK OUTSIDE OF PROPERTY BOUNDARIES SHALL BE PERFORMED IN COOPERATION WITH AND IN ACCORDANCE WITH REGULATIONS OF THE AUTHORITIES CONCERNED.
  - PUBLIC CONVENIENCE AND SAFETY: THE CONTRACTOR SHALL CONDUCT THE WORK IN A MANNER THAT WILL INSURE, AS FAR AS PRACTICABLE, THE LEAST OBSTRUCTION TO TRAFFIC, AND SHALL PROVIDE FOR TI-1E CONVENIENCE AND SAFETY OF THE GENERAL PUBLIC AND RESIDENTS ALONG AND ADJACENT TO STREETS IN THE CONSTRUCTION AREA.
  - ALL DIMENSIONS SHOWN ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
  - ACCESSIBLE STALLS SHOWN WITH A "VAN" SHALL BE 16'-0" MIN. AND SHALL HAVE A SIGN DESIGNATING "VAN-ACCESSIBLE". SEE DETAIL102.

- NOTE:**
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRANCE. SLOPED PAVING, EXIT PORCHES AND RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
  - THESE PLANS HAVE NOT BEEN VERIFIED WITH FINAL ARCHITECTURAL CONTRACT DRAWINGS. CONTRACTOR SHALL VERIFY AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES. CONTRACTOR IS FULLY RESPONSIBLE FOR REVIEW AND COORDINATION OF ALL DRAWINGS AND CONTRACTOR DOCUMENTS.
  - ALL DIMENSIONS ARE PERPENDICULAR TO PROPERTY LINE.
  - ACTUAL SIGN LOCATIONS TO BE COORDINATED WITH CONSTRUCTION MANAGER.

- SEE DETAIL SHEET FOR THE FOLLOWING DETAILS:
- PK-1 96" ACCESSIBLE & VAN ACCESSIBLE SPACE STRIPING
  - PK-2 ACCESSIBLE SIGN
  - SG-1 BOLLARD DETAIL
  - CG-1 TYPE B CURB AND GUTTER
  - CW1 CURB WALK AT BUILDING
  - PV1 REGULAR DUTY PAVEMENT
  - PV2 HEAVY DUTY ASPHALT PAVEMENT
  - PV3 HEAVY DUTY CONCRETE PAVEMENT
  - CW2 SIDEWALK
  - PB PARKING BLOCK

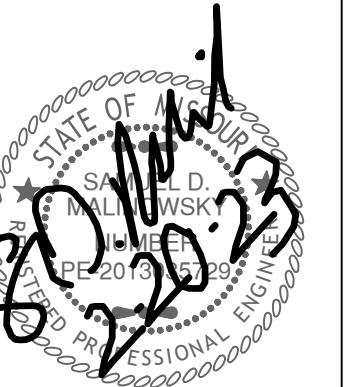
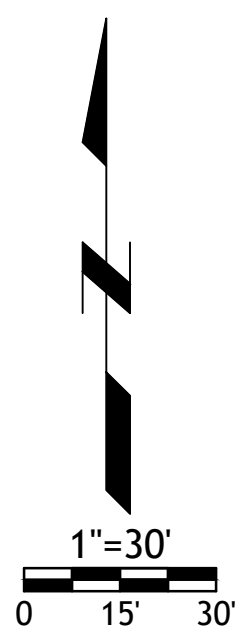
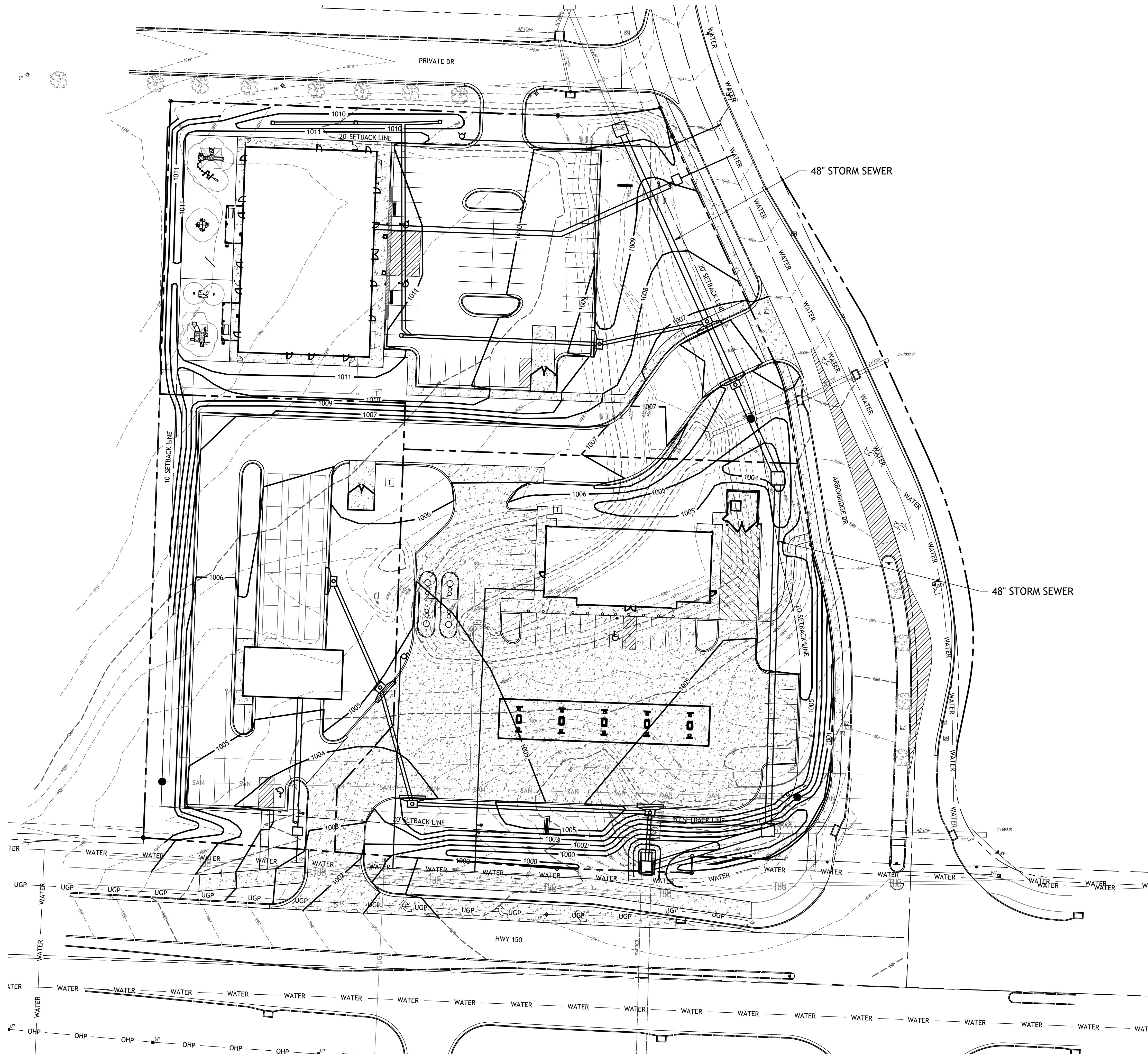
- NOTES:**
- 8A DOOR (SEE ARCH. PLANS)
  - 12K YELLOW PARKING LOT STRIPING (SHERWIN-WILLIAMS TM 2160 LEAD FREE OR APPROVED EQUAL)
  - 12N 4" YELLOW STRIPES 3'-0" O.C.



Revisions

ARBOR WALK WEST  
LOT 1, 2 & 3  
LEES SUMMITT, MO.

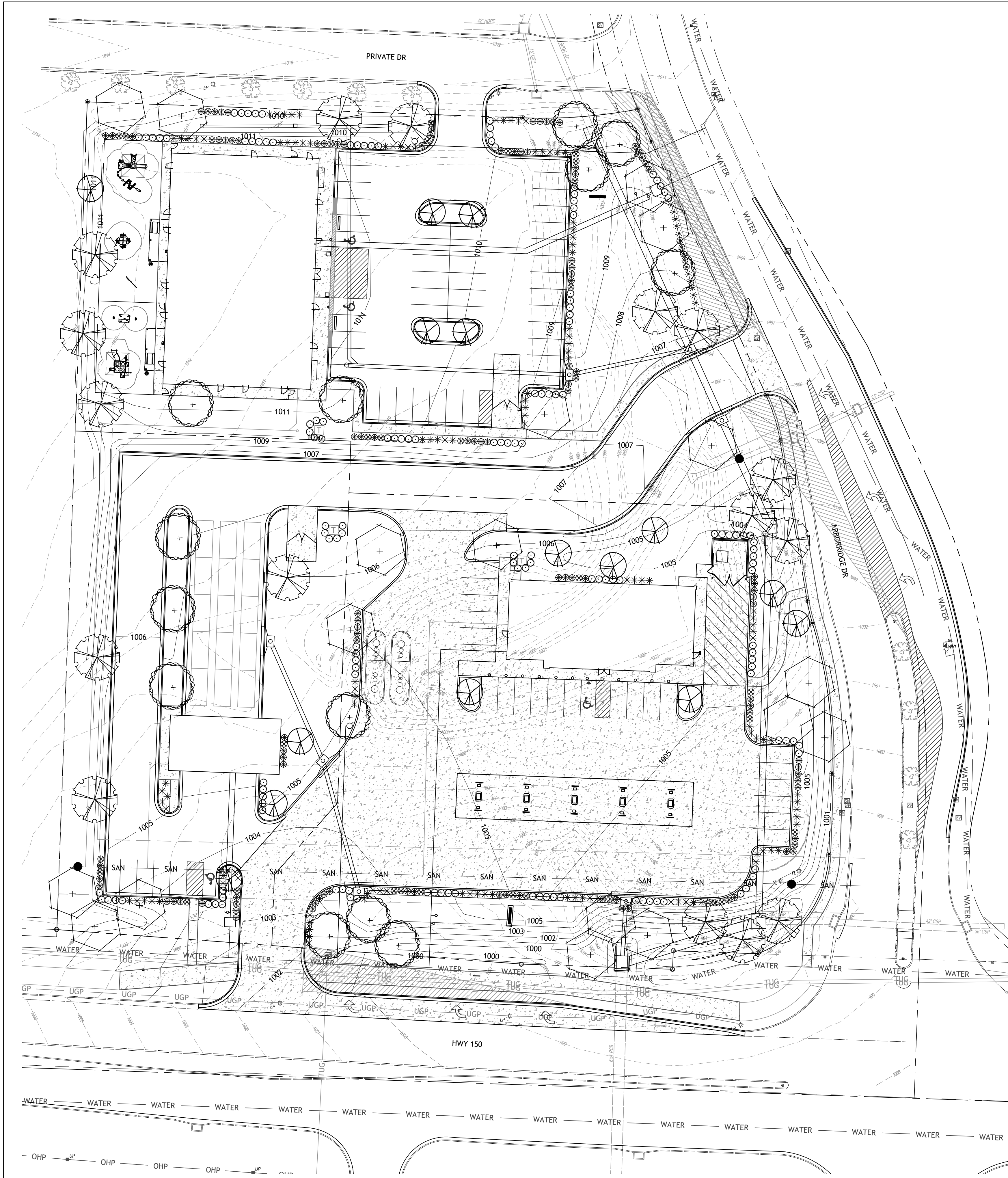




Revisions

ARBOR WALK WEST  
 LOT 1, 2 & 3  
 LEES SUMMIT, MO.





LOT 1 SITE DATA:

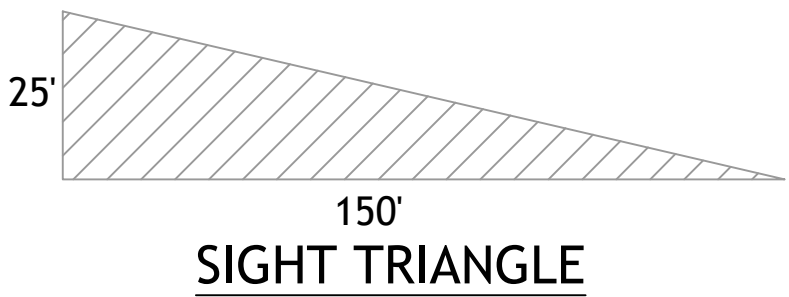
HWY 150	264'		
REQUIRED:			
STREET TREES 1/30'	=	9	
PARKING LOT SHRUBS 12/40'	=	79	
PROVIDED:			
SHADE TREES	=	9	
SHRUBS	=	80	
ARBOR RIDGE DRIVE	188'		
REQUIRED:			
STREET TREES 1/30'	=	6	
PARKING LOT SHRUBS 12/40'	=	56	
PROVIDED:			
SHADE TREES	=	9	
SHRUBS	=	56	
INTERIOR PARKING			
TOTAL PARKING SURFACE =	13,869sf		
REQUIRED			
5% LANDSCAPE AREA	=	693sf	
PROVIDED	=	992sf	
OPEN SPACE TREES			
TOTAL SITE	1.51ac (65,775sf)		
BUILDING AREA	4,569sf		
OPEN SPACE	61,206sf		
REQUIRED TREES			
1 / 5,000sf	=	12	
PROVIDED			
SHADE TREES	=	5	
ORNAMENTALS	=	7	
OPEN SPACE SHRUBS			
REQUIRED	=	24	
PROVIDED	=	36	

LOT 2 SITE DATA:

HWY 150	117'		
REQUIRED:			
STREET TREES 1/30'	=	4	
PARKING LOT SHRUBS 12/40'	=	35	
PROVIDED:			
SHADE TREES	=	4	
SHRUBS	=	35	
INTERIOR PARKING			
TOTAL PARKING SURFACE =	8,764sf		
REQUIRED			
5% LANDSCAPE AREA	=	438sf	
PROVIDED	=	1,253sf	
OPEN SPACE TREES			
TOTAL SITE	0.93ac (40,510sf)		
BUILDING AREA	1,800sf		
OPEN SPACE	38,710sf		
REQUIRED TREES			
1 / 5,000sf	=	8	
PROVIDED			
SHADE TREES	=	5	
ORNAMENTALS	=	3	
OPEN SPACE SHRUBS			
REQUIRED	=	12	
PROVIDED	=	21	

LOT 3 SITE DATA:

PRIVATE DR	298'		
REQUIRED:			
STREET TREES 1/30'	=	10	
PARKING LOT SHRUBS 12/40'	=	89	
PROVIDED:			
EXISTING TREES	=	6	
SHADE TREES	=	4	
SHRUBS	=	90	
ARBOR RIDGE DRIVE	233'		
REQUIRED:			
STREET TREES 1/30'	=	8	
PARKING LOT SHRUBS 12/40'	=	70	
PROVIDED:			
SHADE TREES	=	8	
SHRUBS	=	70	
INTERIOR PARKING			
TOTAL PARKING SURFACE =	16,788sf		
REQUIRED			
5% LANDSCAPE AREA	=	893sf	
PROVIDED	=	1,111sf	
OPEN SPACE TREES			
TOTAL SITE	1.52ac (66,646sf)		
BUILDING AREA	10,000sf		
OPEN SPACE	56,646sf		
REQUIRED TREES			
1 / 5,000sf	=	11	
PROVIDED			
SHADE TREES	=	6	
ORNAMENTALS	=	5	
OPEN SPACE SHRUBS			
REQUIRED	=	22	
PROVIDED	=	31	



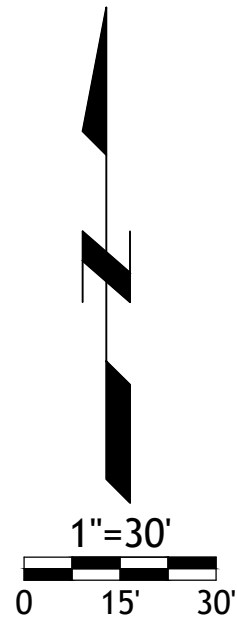
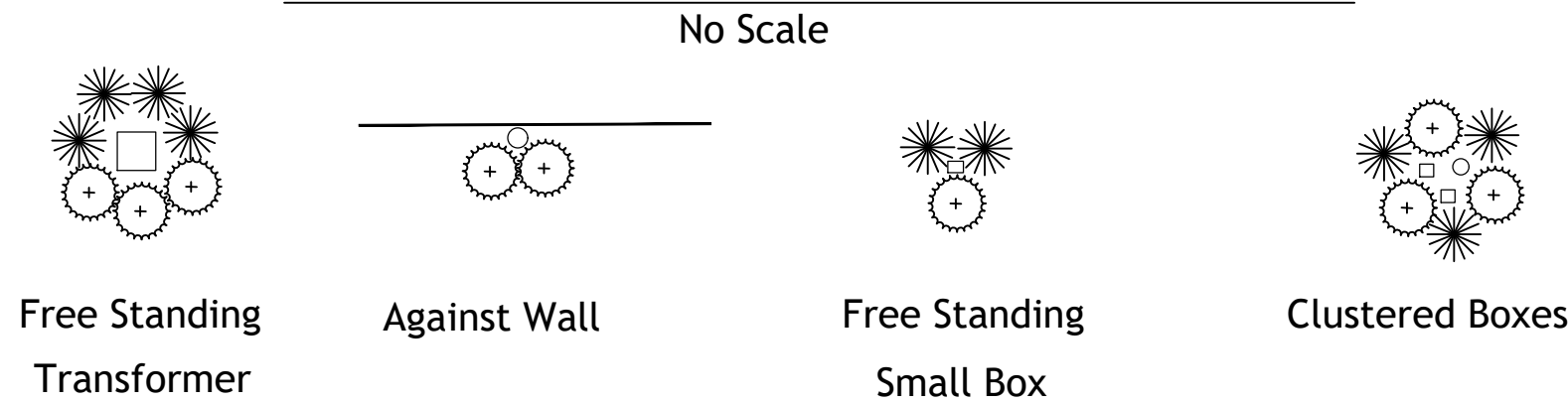
Shrub List

Symbol	Quantity	Common Name	Botanical Name	Size	Condition	Spacing
○	143	Seagreen Juniper	Juniperus Chinensis 'Seagreen'	18"-24"sp.	Cont.	4'o.c.
⊗	145	Dwarf Winged Euonymus	Euonymus Alatus 'Compactus'	18"-24"sp.	Cont.	4'o.c.
*	128	Morning Light Maiden Grass	Miscanthos Sinensis 'Morning Light'	18"-24"sp.	Cont.	4'o.c.




Tree List

Symbol	Quantity	Common Name	Botanical Name	Size	Condition	Spacing
⊕	13	October Glory Maple	Acer Rubrum 'October Glory'	3" cal	BB	As Shown
⊕	18	Skyline Honeylocust	Gleditsia Triacanthos 'Skyline'	3" cal	BB	As Shown
⊗	15	Swamp White Oak	Quercus Bicolor	3"cal	BB	As Shown
⊗	15	Golden Raintree	Koelreuteria Paniculata	3"cal	BB	As Shown

Typical Utility Box Screening Details





MATERIAL CALCULATION WEST ELEVATION			
	BRICK	40%	428 SQ FT
	STUCCO	60%	630 SQ FT
	GLAZING	50%	76'-6" LF

OVERALL HEIGHT 23'-10"

TOP OF TRUSS 13'-6"

TOP OF SILL 5'-0"



INTERNALLY LIT LED SIGN  
35 SQ. FT. (4" DEPTH)  
PAN CHANNEL LETTERING  
ALUMINUM

TOP OF ENTRANCE CANOPY 21'-5"

TOP OF STOREFRONT 9'-0"

FINISHED FLOOR 0'-0"

STOREFRONT DOOR  
DARK BRONZE

WEST ELEVATION  
SCALE 1/8 = 1'-0"




WHITE ACRYLIC LETTERS AND NUMBERS OVER  
PAINTED WHITE FINISH GRADE PLYWOOD  
WATERMELON RED BM#2087-20  
YELLOW RAIN COAT BM#2020-40  
TWILIGHT BLUE BM#2067-30  
PRAIRIE GREEN BM#2038-30



CEDAR SHAKE  
SHINGLES

EXTERIOR EGRESS DOOR

NORTH ELEVATION  
SCALE 1/8 = 1'-0"

MATERIAL CALCULATION NORTH ELEVATION			
	BRICK	54%	344 SQ FT
	STUCCO	46%	295 SQ FT
	GLAZING	54%	49'-0" LF

OVERALL HEIGHT 23'-10"

TOP OF TRUSS 12'-6"

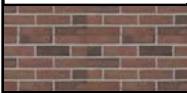


TOP OF WAINSCOT 5'-0"



PLAYGROUND AWNING

BRICK

SOUTH ELEVATION  
SCALE 1/8 = 1'-0"

MATERIAL CALCULATION SOUTH ELEVATION			
	BRICK	55%	364 SQ FT
	STUCCO	45%	300 SQ FT
	GLAZING	50%	44'-0" LF



E.I.F.S. CORNICE


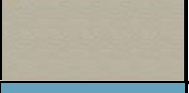

TOP OF PARAPET 21'-4"

TOP OF STOREFRONT 9'-0"

FINISHED FLOOR 0'-0"

STUCCO

EAST ELEVATION  
SCALE 1/8 = 1'-0"

MATERIAL CALCULATION EAST ELEVATION			
	BRICK	45%	480 SQ FT
	STUCCO	55%	595 SQ FT
	GLAZING	50%	72'-6" LF

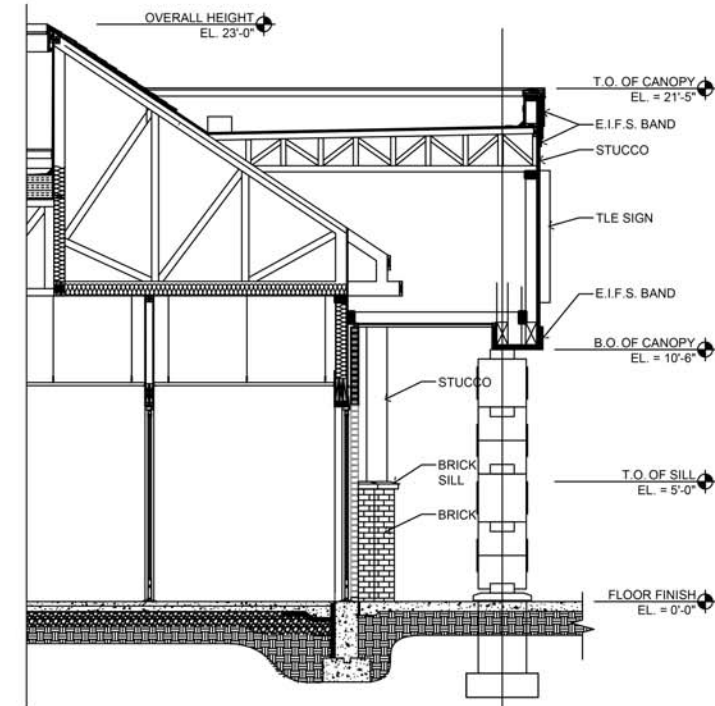


TOP OF WALL 6'-0"

BRICK

METAL GATE

TRASH ENCLOSURE  
SCALE 1/4 = 1'-0"



WALL SECTION AT  
FRONT ENTRANCE  
SCALE 1/8 = 1'-0"



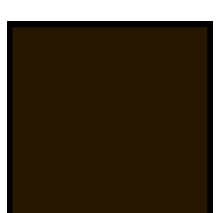
GLEN-GERY  
ADRIAN



X-475  
VIEJO



BRAVA CEDAR SHAKE  
AGED



DARK BRONZE ANODIZED  
ALUMINUM GLAZING

GLAZING

THE LEARNING EXPERIENCE

7021 W. 121ST STREET, OVERLAND PARK, KS

CASCO





BACK ELEVATION



LEFT ELEVATION





FRONT ELEVATION



RIGHT ELEVATION

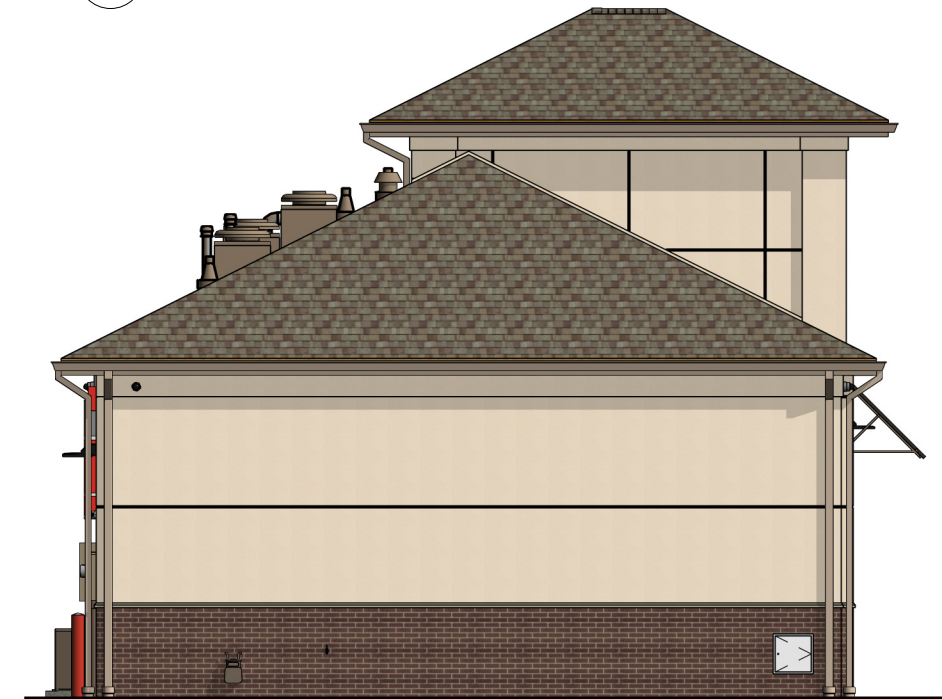


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2 OVERALL RIGHT SIDE  
EXTERIOR ELEVATION (RIGHT)  
Scale: 1/8" = 1'-0"

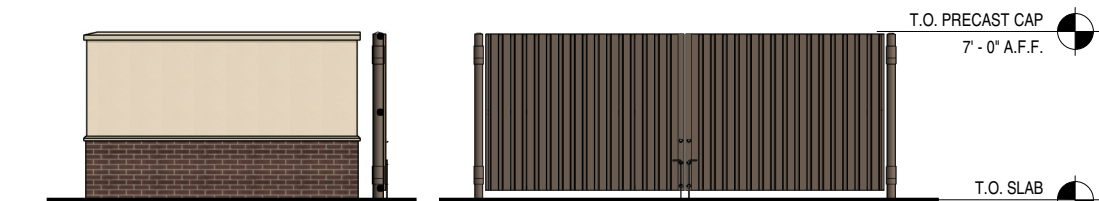
1 OVERALL BACK  
EXTERIOR ELEVATION  
Scale: 1/8" = 1'-0"



4 OVERALL LEFT SIDE  
EXTERIOR ELEVATION (LEFT)  
Scale: 1/8" = 1'-0"



3 OVERALL FRONT  
EXTERIOR ELEVATION  
Scale: 1/8" = 1'-0"



5 OVERALL FRONT & SIDE  
TRASH ENCLOSURE ELEVATIONS  
Scale: 1/8" = 1'-0"

### EXTERIOR FINISHES - BRICK / EIFS

EXTERIOR INSULATED FINISH SYSTEM:	DRYVIT (SANDPEBBLE FINE) COLOR: E.I.F.S. 1 = #113 AMARILLO WHITE	STANDING SEAM AWNING:	FIRESTONE UNA-CLAD KYNAR 500 / HYLAR METAL 5000 FLUOROCARBON STEEL "CHAMPAGNE METALLIC", UNDERSIDE & FRAME TO BE PAINTED SW 6152 "SUPERIOR BRONZE"	STOREFRONT SYSTEM:	2x4 1/2" KAWNEER TRIFAB VG 451T SERIES CLEAR ANODIZED ALUMINUM STOREFRONT SYSTEM w/ 1" INSULATED GLAZING.
BRICK WAINSCOT: (GRADE TO PRECAST SILL)	BELDEN - "MODULAR MIDLAND BLEND"			H.M. DOORS & FRAMES:	FIELD PAINT SHERWIN-WILLIAMS SW-7515 "HOMESTEAD BROWN". PROVIDE MOCK-UP AND VERIFY COLOR W/OWNER.
PRECAST SILL: (REFER TO SILL PROFILE)	CUSTOM CAST STONE - "LIGHT BUFF"	ROOF SHINGLES:	OWENS CORNING DURATION SERIES "DRIFTWOOD"	O.H. DOOR FINISH:	CLEAR ANODIZED ALUMINUM
MORTAR:	LEHIGH STANDARD KIT - "BEIGE"	MISC. ROOF VENTS, FANS, ETC.	FIELD PAINT SHERWIN-WILLIAMS SW7046 "ANONYMOUS"		
MASONRY SEALER:	ALL MASONRY SURFACES SHALL BE TREATED w/ SEALER.	GUTTER, DOWNSPOUTS, FASCIA, EXTERIOR SOFFIT, & EXPOSED TRIM	BERRIDGE - "SIERRA TAN"		

ISSUE RECORD

DATE

## RENDERED ELEVATIONS - 3BAY STANDARD - BRICK & EIFS



Project No: #####.##