

# PRELIMINARY DEVELOPMENT PLANS

## FOR

# LOT 1, 2 & 3

# ARBOR WALK WEST

### LEE'S SUMMIT, MO

#### UTILITIES

Electric Service  
 Evergy  
 Nathan Michael  
 913-347-4310  
 Nathan.michael@evergy.com

Gas Service  
 Spire  
 Katie Darnell  
 816-969-2247  
 Katie.darnell@spireenergy.com

Water/Sanitary Sewer  
 Water Utilities Department  
 1200 SE Hamblen Road  
 Lee's Summit, Mo 64081  
 Jeff Thorn  
 816-969-1900  
 jeff.thorn@cityofls.net

Communication Service  
 AT&T Carrie Cilke  
 816-703-4386  
 cc3527@att.com

Time Warner Cable  
 Steve Baxter  
 913-643-1928  
 steve.baxter@charter.com

Comcast  
 Ryan Alkire  
 816-795-2218  
 ryan.alkire@cable.comcast.com

Google Fiber  
 Becky Davis  
 913-725-8745  
 rebeccadavis@google.com



LOCATION MAP

#### UTILITY STATEMENT:

THE UNDERGROUND UTILITIES SHOWN HEREON ARE FROM FIELD SURVEY INFORMATION OF ONE-CALL LOCATED UTILITIES, FIELD SURVEY INFORMATION OF ABOVE GROUND OBSERVABLE EVIDENCE, AND/OR THE SCALING AND PLOTTING OF EXISTING UTILITY MAPS AND DRAWINGS AVAILABLE TO THE SURVEYOR AT THE TIME OF SURVEY. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. FURTHERMORE, THE SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES BY EXCAVATION UNLESS OTHERWISE NOTED ON THIS SURVEY.

#### SAFETY NOTICE TO CONTRACTOR

IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICE, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

#### WARRANTY/DISCLAIMER

THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER SM ENGINEERING NOR ITS PERSONNEL CAN OR DO WARRANTY THESE DESIGNS OR PLANS AS CONSTRUCTED, EXCEPT IN THE SPECIFIC CASES WHERE SM ENGINEERING PERSONNEL INSPECT AND CONTROL THE PHYSICAL CONSTRUCTION ON A CONTEMPORARY BASIS AT THE SITE.

#### CAUTION- NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. THE CONTRACTOR SHALL EXPOSE EXISTING UTILITIES AT LOCATIONS OF POSSIBLE CONFLICTS PRIOR TO ANY CONSTRUCTION.

#### LEGAL DESCRIPTION:

TRACT 4:  
 ALL THAT PART OF THE SOUTHWEST QUARTER OF SECTION 25, TOWNSHIP 47, RANGE 32, IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, LYING NORTH OF THE NORTH LINE OF MISSOURI HIGHWAY 150, AS PRESENTLY ESTABLISHED. LYING WEST OF THE WEST LINE OF SW ARBORIDGE DRIVE AS SHOWN ON THE PLAT OF ARBORWALK 4TH PLAT, A SUBDIVISION IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, AND LYING SOUTH AND EAST OF LOT 1, HOLT SPIRIT CATHOLIC CHURCH - LOT 1, A SUBDIVISION IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI.

#### FLOODPLAIN NOTE:

SUBJECT PROPERTY IS SHOWN TO BE LOCATED IN "OTHER AREAS ZONE X" ON THE FLOOD INSURANCE RATE MAP FOR JACKSON COUNTY, MISSOURI AND INCORPORATED AREAS. COMMUNITY PANEL NO. 29095C0531G, REVISED JANUARY 20, 2017. "OTHER AREAS ZONE X" IS DEFINED AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN". LOCATION DETERMINED BY A SCALED GRAPHICAL PLOT OF THE FLOOD INSURANCE RATE MAP.

#### INDEX OF SHEETS

- C-1 COVER SHEET
- C-2 EXISTING CONDITIONS
- C-3 EXISTING CONDITIONS
- C-4 OVERALL SITE PLAN
- C-5 UTILITY PLAN
- C-6 GRADING PLAN
- C-7 LANDSCAPE PLAN
- C-8 DETAILS
- C-9 DETAILS
- C-10 DETAILS
- C-11 FIRE TRUCK MOVEMENTS

#### DEVELOPER

CHRISTIE DEVELOPMENT ASSOCIATES LLC 7217 W  
 110TH STREET  
 OVERLAND PARK, KS 66210  
 CONTACT: GARRETT FUGATE  
 PHONE: 913.649.4500  
 EMAIL: GARRET@CHRISTIEDEV.COM

#### ENGINEER

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 SAM MALINOWSKY  
 5507 HIGH MEADOW CIRCLE  
 MANHATTAN KANSAS, 66503  
 SMCIVILENGR@GMAIL.COM  
 785.341.9747

#### SURVEYOR

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 ENGINEERING, LLC  
 1415 SW TOPEKA BOULEVARD  
 TOPEKA, KANSAS 66612  
 PH: (785) 215-8630 / WWW.SBBENG.COM



SAMUEL D. MALINOWSKY  
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 785.341.9747

Drawings and/or Specifications are original proprietary work and property of the Engineer and intended specifically for this project. Use of items contained herein without consent of the Engineer is prohibited. Drawings illustrate best information available to the Engineer. Field verification of actual elements, conditions, and dimensions is required.

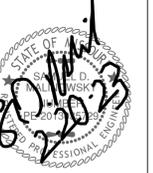
Revisions

ARBOR WALK WEST  
 LOT 1, 2 & 3  
 LEE'S SUMMIT, MO.

s h e e t  
**C1.0**  
 Civil  
 COVER SHEET  
 permit  
 7 FEBRUARY 2023



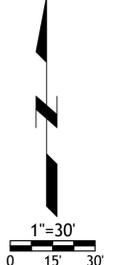
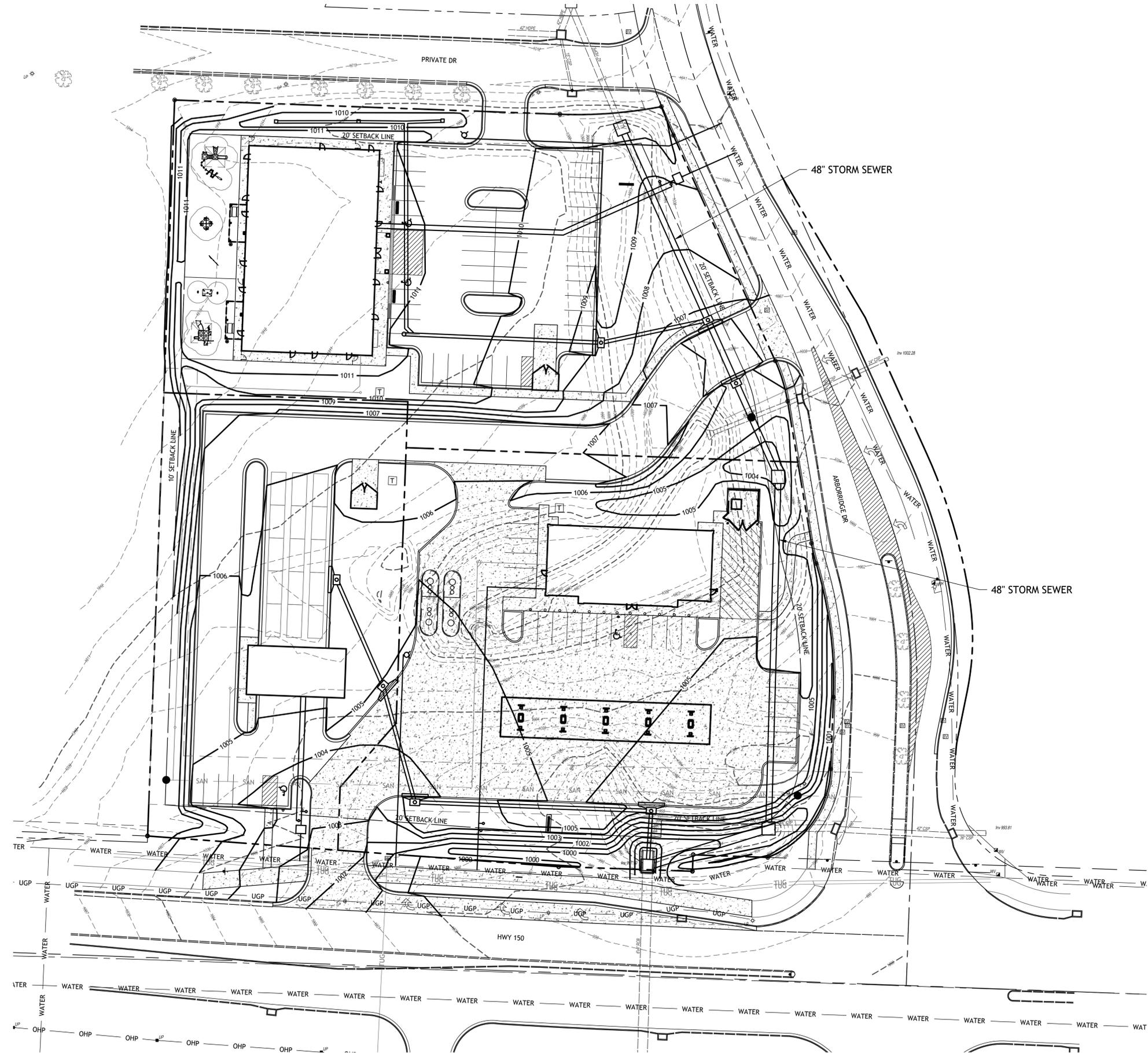
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Revisions

**ARBOR WALK WEST**  
**LOT 1, 2 & 3**  
LEES SUMMITT, MO.

sheet  
**C6.0**  
Civil  
GRADING  
permit  
7 FEBRUARY 2023

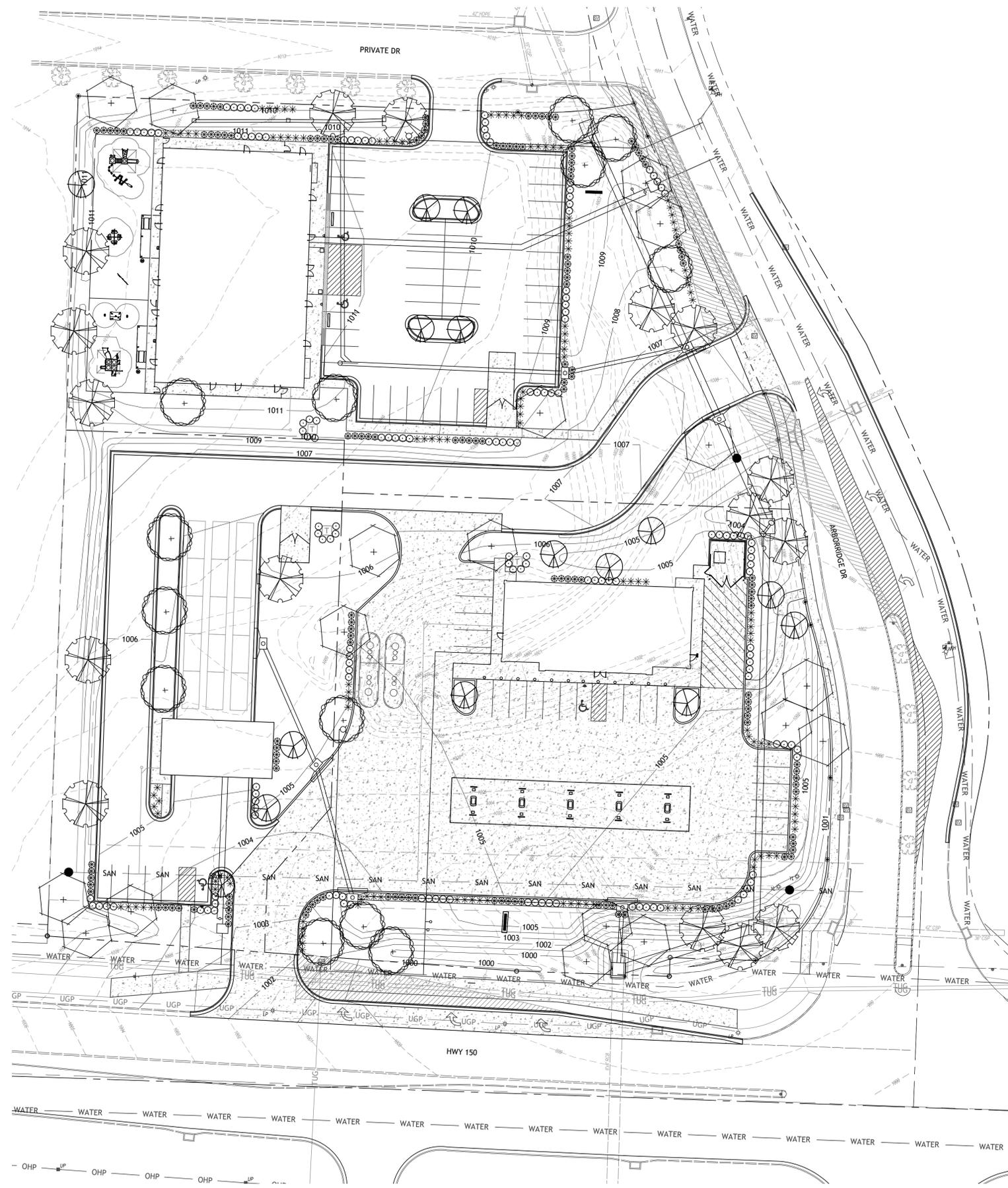


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Revisions

ARBOR WALK WEST  
LOT 1, 2 & 3  
LEES SUMMITT, MO.



**LOT 1 SITE DATA:**

HWY 150 264'  
REQUIRED:  
STREET TREES 1/30' = 9  
PARKING LOT SHRUBS 12/40' = 79

PROVIDED:  
SHADE TREES = 9  
SHRUBS = 80

ARBOR RIDGE DRIVE 188'  
REQUIRED:  
STREET TREES 1/30' = 6  
PARKING LOT SHRUBS 12/40' = 56

PROVIDED:  
SHADE TREES = 9  
SHRUBS = 56

INTERIOR PARKING  
TOTAL PARKING SURFACE = 13,869sf  
REQUIRED  
5% LANDSCAPE AREA = 693sf  
PROVIDED = 992sf

OPEN SPACE TREES  
TOTAL SITE 1.51ac (65,775sf)  
BUILDING AREA 4,569sf  
OPEN SPACE 61,206sf

REQUIRED TREES  
1 / 5,000sf = 12

PROVIDED  
SHADE TREES = 5  
ORNAMENTALS = 7

OPEN SPACE SHRUBS  
REQUIRED  
2 / 5,000sf = 24  
PROVIDED = 36

**LOT 2 SITE DATA:**

HWY 150 117'  
REQUIRED:  
STREET TREES 1/30' = 4  
PARKING LOT SHRUBS 12/40' = 35

PROVIDED:  
SHADE TREES = 4  
SHRUBS = 35

INTERIOR PARKING  
TOTAL PARKING SURFACE = 8,764sf  
REQUIRED  
5% LANDSCAPE AREA = 438sf  
PROVIDED = 1,253sf

OPEN SPACE TREES  
TOTAL SITE 0.93ac (40,510sf)  
BUILDING AREA 1,800sf  
OPEN SPACE 38,710sf

REQUIRED TREES  
1 / 5,000sf = 8

PROVIDED  
SHADE TREES = 5  
ORNAMENTALS = 3

OPEN SPACE SHRUBS  
REQUIRED  
2 / 5,000sf = 12  
PROVIDED = 21

**LOT 3 SITE DATA:**

PRIVATE DR 298'  
REQUIRED:  
STREET TREES 1/30' = 10  
PARKING LOT SHRUBS 12/40' = 89

PROVIDED:  
EXISTING TREES = 6  
SHADE TREES = 4  
SHRUBS = 90

ARBOR RIDGE DRIVE 233'  
REQUIRED:  
STREET TREES 1/30' = 8  
PARKING LOT SHRUBS 12/40' = 70

PROVIDED:  
SHADE TREES = 8  
SHRUBS = 70

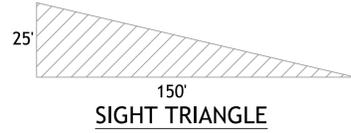
INTERIOR PARKING  
TOTAL PARKING SURFACE = 16,788sf  
REQUIRED  
5% LANDSCAPE AREA = 893sf  
PROVIDED = 1,111sf

OPEN SPACE TREES  
TOTAL SITE 1.52ac (66,646sf)  
BUILDING AREA 10,000sf  
OPEN SPACE 56,646sf

REQUIRED TREES  
1 / 5,000sf = 11

PROVIDED  
SHADE TREES = 6  
ORNAMENTALS = 5

OPEN SPACE SHRUBS  
REQUIRED  
2 / 5,000sf = 22  
PROVIDED = 31



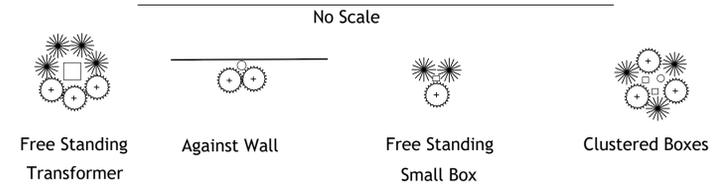
**Shrub List**

Symbol	Quantity	Common Name	Botanical Name	Size	Condition	Spacing
○	143	Seagreen Juniper	Juniperus Chinensis 'Seagreen'	18"-24"sp.	Cont.	4'o.c.
⊗	145	Dwarf Winged Euonymus	Euonymus Alatus 'Compactus'	18"-24"sp.	Cont.	4'o.c.
*	128	Morning Light Maiden Grass	Miscanthos Sinensis 'Morning Light'	18"-24"sp.	Cont.	4'o.c.

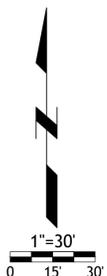
**Tree List**

Symbol	Quantity	Common Name	Botanical Name	Size	Condition	Spacing
⊕	13	October Glory Maple	Acer Rubrum 'October Glory'	3" cal	BB	As Shown
⊕	18	Skyline Honeylocust	Gleditsia Triacanthos 'Skyline'	3" cal	BB	As Shown
⊕	15	Swamp White Oak	Quercus Bicolor	3" cal	BB	As Shown
⊕	15	Golden Raintree	Koelreuteria Paniculata	3" cal	BB	As Shown

Typical Utility Box Screening Details



UTILITY BOXES SHALL BE CLUSTERED AS MUCH AS POSSIBLE



MATERIAL CALCULATION WEST ELEVATION			
BRICK	40%	428 SQ FT	
STUCCO	60%	630 SQ FT	
GLAZING	50%	76'-6" LF	

OVERALL HEIGHT 23'-10"  
 TOP OF TRUSS 13'-6"  
 TOP OF SILL 5'-0"



INTERNALLY LIT LED SIGN  
 35 SQ. FT. (4" DEPTH)  
 PAN CHANNEL LETTERING  
 ALUMINUM

TOP OF ENTRANCE CANOPY 21'-5"

TOP OF STOREFRONT 9'-0"

FINISHED FLOOR 0'-0"

STOREFRONT DOOR  
 DARK BRONZE

**WEST ELEVATION**  
 SCALE 1/8 = 1'-0"

WHITE ACRYLIC LETTERS AND NUMBERS OVER  
 PAINTED WHITE FINISH GRADE PLYWOOD  
 WATERMELON RED BM#2087-20  
 YELLOW RAIN COAT BM#2020-40  
 TWILIGHT BLUE BM#2067-30  
 PRAIRIE GREEN BM#2038-30



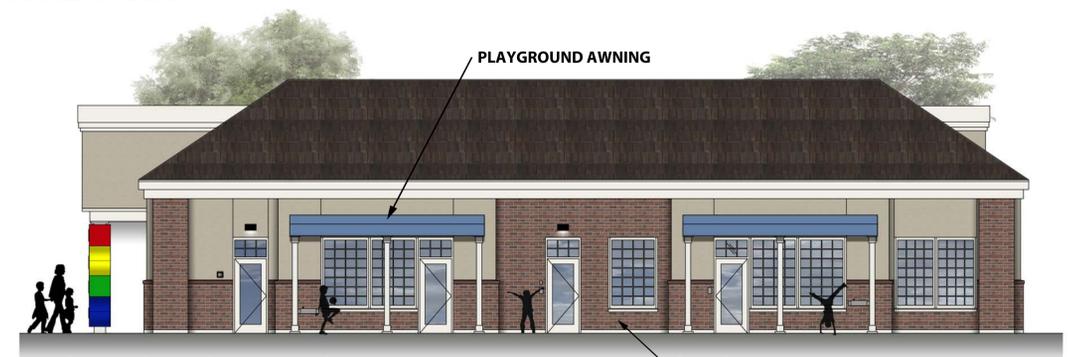
CEDAR SHAKE  
 SHINGLES

EXTERIOR EGRESS DOOR

**NORTH ELEVATION**  
 SCALE 1/8 = 1'-0"

MATERIAL CALCULATION NORTH ELEVATION			
BRICK	54%	344 SQ FT	
STUCCO	46%	295 SQ FT	
GLAZING	54%	49'-0" LF	

OVERALL HEIGHT 23'-10"  
 TOP OF TRUSS 12'-6"  
 TOP OF WAINSCOT 5'-0"



PLAYGROUND AWNING

**SOUTH ELEVATION**  
 SCALE 1/8 = 1'-0"

BRICK

MATERIAL CALCULATION SOUTH ELEVATION			
BRICK	55%	364 SQ FT	
STUCCO	45%	300 SQ FT	
GLAZING	50%	44'-0" LF	



E.I.F.S. CORNICE

TOP OF PARAPET 21'-4"

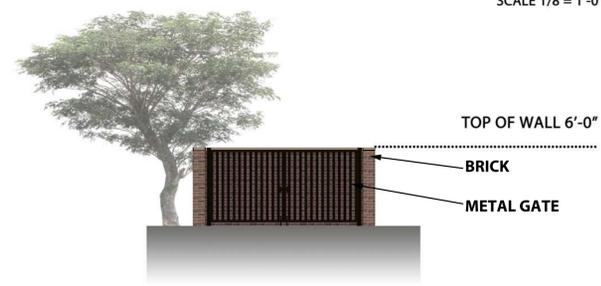
TOP OF STOREFRONT 9'-0"

FINISHED FLOOR 0'-0"

STUCCO

**EAST ELEVATION**  
 SCALE 1/8 = 1'-0"

MATERIAL CALCULATION EAST ELEVATION			
BRICK	45%	480 SQ FT	
STUCCO	55%	595 SQ FT	
GLAZING	50%	72'-6" LF	

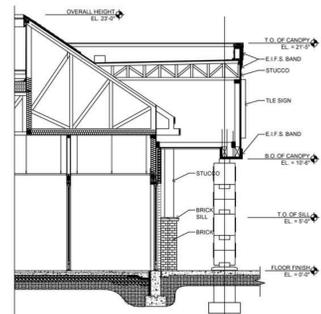


TOP OF WALL 6'-0"

BRICK

METAL GATE

**TRASH ENCLOSURE**  
 SCALE 1/4 = 1'-0"



**WALL SECTION AT  
 FRONT ENTRANCE**  
 SCALE 1/8 = 1'-0"

-  GLEN-GERY ADRIAN  
**BRICK**
-  X-475 VIEJO  
**STUCCO**
-  BRAVA CEDAR SHAKE AGED  
**ROOF**
-  DARK BRONZE ANODIZED ALUMINUM GLAZING  
**GLAZING**

**THE LEARNING EXPERIENCE**

7021 W. 121ST STREET, OVERLAND PARK, KS





BACK ELEVATION



LEFT ELEVATION



FRONT ELEVATION



RIGHT ELEVATION



2 OVERALL RIGHT SIDE EXTERIOR ELEVATION (RIGHT)  
Scale: 1/8" = 1'-0"



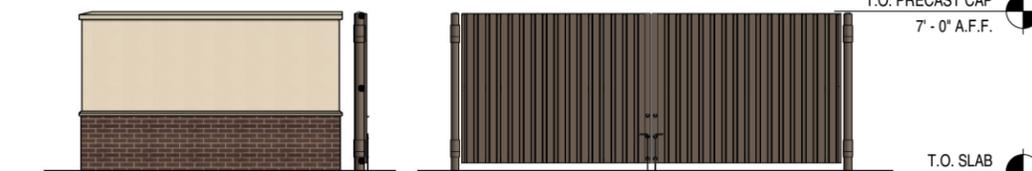
1 OVERALL BACK EXTERIOR ELEVATION  
Scale: 1/8" = 1'-0"



4 OVERALL LEFT SIDE EXTERIOR ELEVATION (LEFT)  
Scale: 1/8" = 1'-0"



3 OVERALL FRONT EXTERIOR ELEVATION  
Scale: 1/8" = 1'-0"



5 OVERALL FRONT & SIDE TRASH ENCLOSURE ELEVATIONS  
Scale: 1/8" = 1'-0"

- T.O. ROOF ± 28' - 11"
- T.O. ROOF ± 22' - 7"
- B.O. SOFFIT 13' - 5 3/4"
- T.O. SILL 4' - 0"
- UPPER LEVEL 0' - 0"
- T.O. ROOF ± 28' - 11"
- B.O. SOFFIT 23' - 4 3/4"
- B.O. SOFFIT 13' - 5 3/4"
- T.O. SILL 4' - 0"
- UPPER LEVEL 0' - 0"

ISSUE RECORD  
DATE

**RENDERED ELEVATIONS - 3BAY  
STANDARD - BRICK & EIFS**

**EXTERIOR FINISHES - BRICK / EIFS**

EXTERIOR INSULATED FINISH SYSTEM:	DRYVIT (SANDPEBBLE FINE) COLOR: E.I.F.S. 1 = #113 AMARILLO WHITE	STANDING SEAM AWNING:	FIRESTONE UNA-CLAD KYNAR 500 / HYLAR METAL 5000 FLUOROCARBON STEEL "CHAMPAGNE METALLIC", UNDERSIDE & FRAME TO BE PAINTED SW 6152 "SUPERIOR BRONZE"	STOREFRONT SYSTEM:	2x4 1/2" KAWNEER TRIFAB VG 451T SERIES CLEAR ANODIZED ALUMINUM STOREFRONT SYSTEM w/ 1" INSULATED GLAZING.
BRICK WAINSCOT: (GRADE TO PRECAST SILL)	BELDEN - "MODULAR MIDLAND BLEND"	ROOF SHINGLES:	OWENS CORNING DURATION SERIES "DRIFTWOOD"	H.M. DOORS & FRAMES:	FIELD PAINT SHERWIN-WILLIAMS SW-7515 "HOMESTEAD BROWN". PROVIDE MOCK-UP AND VERIFY COLOR W/OWNER.
PRECAST SILL: (REFER TO SILL PROFILE)	CUSTOM CAST STONE - "LIGHT BUFF"	MISC. ROOF VENTS, FANS, ETC.	FIELD PAINT SHERWIN-WILLIAMS SW7046 "ANONYMOUS"	O.H. DOOR FINISH:	CLEAR ANODIZED ALUMINUM
MORTAR:	LEHIGH STANDARD KIT - "BEIGE"	GUTTER, DOWNSPOUTS, FASCIA, EXTERIOR SOFFIT, & EXPOSED TRIM	BERRIDGE - "SIERRA TAN"		
MASONRY SEALER:	ALL MASONRY SURFACES SHALL BE TREATED w/ SEALER.				



Project No: #####.#

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