<u>LEGEND</u>

	Existing Section Line		Proposed Right-of-Way
	Existing Right-of-Way Line		Proposed Property Line
	Existing Lot Line		Proposed Lot Line
	Existing Easement Line		Proposed Easement
	Existing Curb & Gutter		Proposed Curb & Gutter
	Existing Sidewalk		Proposed Sidewalk
	Existing Storm Sewer		Proposed Storm Sewer
	Existing Storm Structure	_	Proposed Storm Structure
—— n/4 —— n/4 —— n/4 ——	Existing Waterline	Д	Proposed Fire Hydrant
043 043 043 044	Existing Gas Main	WATER WATER WATER	Proposed Waterline
	Existing Sanitary Sewer		Proposed Sanitary Sewer
S	Existing Sanitary Manhole	S	Proposed Sanitary Manhole
	Existing Contour Major		Proposed Contour Major
	Existing Contour Minor		Proposed Contour Minor
			Future Curb and Gutter
U/E	Utility Easement		
SS/E	Sanitary Sewer Easement	A/E	Access Easement
D/E	Drainage Easement	T/E	Temporary Easement

Site Benchmarks:

BM A: Elev.=

BM B: Elev. =

Lot 2 Legal Description:

A TRACT OF LAND BEING LOCATED IN SECTION 29, TOWNSHIP 48, RANGE 31, LEE'S SUMMIT, JACKSON COUNTY MISSOURI, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF LOT 4 OF RICE ACRES, LOTS 4 & 5, A SUBDIVISION IN SAID LEE'S SUMMIT, MISSOURI; THENCE NORTH 88° 38' 41" WEST, A DISTANCE OF 84.60 FEET TO THE POINT OF BEGINNING; THENCE NORTH 88° 38' 41" WEST, A DISTANCE OF 256.00 FEET; THENCE NORTH 1° 23' 04" EAST, A DISTANCE OF 276.31 FEET; THENCE SOUTH 88° 38' 51" EAST, A DISTANCE OF 255.59 FEET; THENCE ALONG A CURVE TO THE RIGHT TANGENT TO THE PRECEDING COURSE AND HAVING A RADIUS OF 15.00 FEET, AN ARC DISTANCE OF 23.57 FEET; THENCE SOUTH 1° 23' 04" WEST, A DISTANCE OF 172.36; THENCE SOUTH 13° 21' 00" WEST, A DISTANCE OF 37.98 FEET; THENCE ALONG A CURVE TO THE LEFT TANGENT TO THE PRECEDING COURSE AND HAVING A RADIUS OF 328.00 FEET, AN ARC DISTANCE OF 552.28 FEET TO THE POINT OF BEGINNING.

TRACT CONTAINS 73,958.97 SF (1.70 ACRES) MORE OR LESS.

Earthwork:

Cut: 1024.34 CY (Cut) Fill: 3383.97 CY (Fill) Net: 2359.63 CY Net (Fill)

FLOOD PLAIN NOTE

According to the FEMA Flood Insurance Rate Map Number 29095C0430G, revised January 20, 2017 portions of this tract lie in: Zone X, AREA OF MINIMAL FLOOD HAZARD.

The information concerning locations of underground utilities shown hereon which are not visible from the surface, has been taken from the records and field locations of the various utility companies and has not been field verified by this company. These locations are not to be construed as accurate or exact.

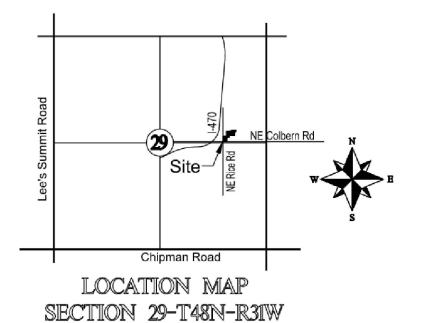
Heartland Market

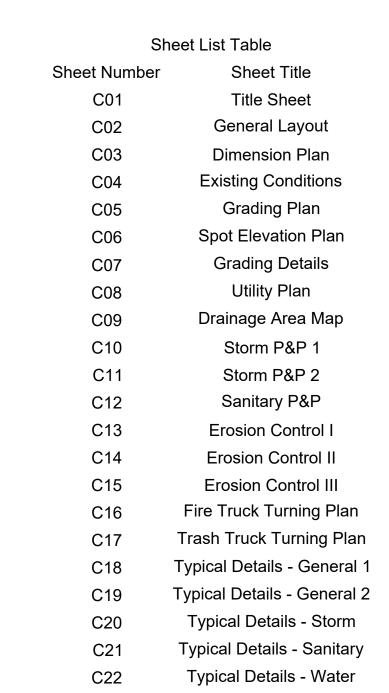
Lee's Summit, Jackson County, Missouri Section 29, Township 48N, Range 31W

Final Development Plans









Consultant/Applicant:
Dustin Burton
400 E 17th St, Kansas City, MO 64108
(816) 800-0950

Prepared For:
Colbern Road Investors, LLC
1325 Fair Market Dr,
Wentzville, MO 63385

RENAISSANCE INFRASTRUCTURE CONSULTING:

Dustin Burton , P.E. Date

APPROVED:

City Engineer Date

APPROVED FOR ONE YEAR FROM THIS DATE

Know what's below.
Call before you dig.

Apr 07, 2023-1:10pm
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22-0133 Heartland Market

Title Sheet

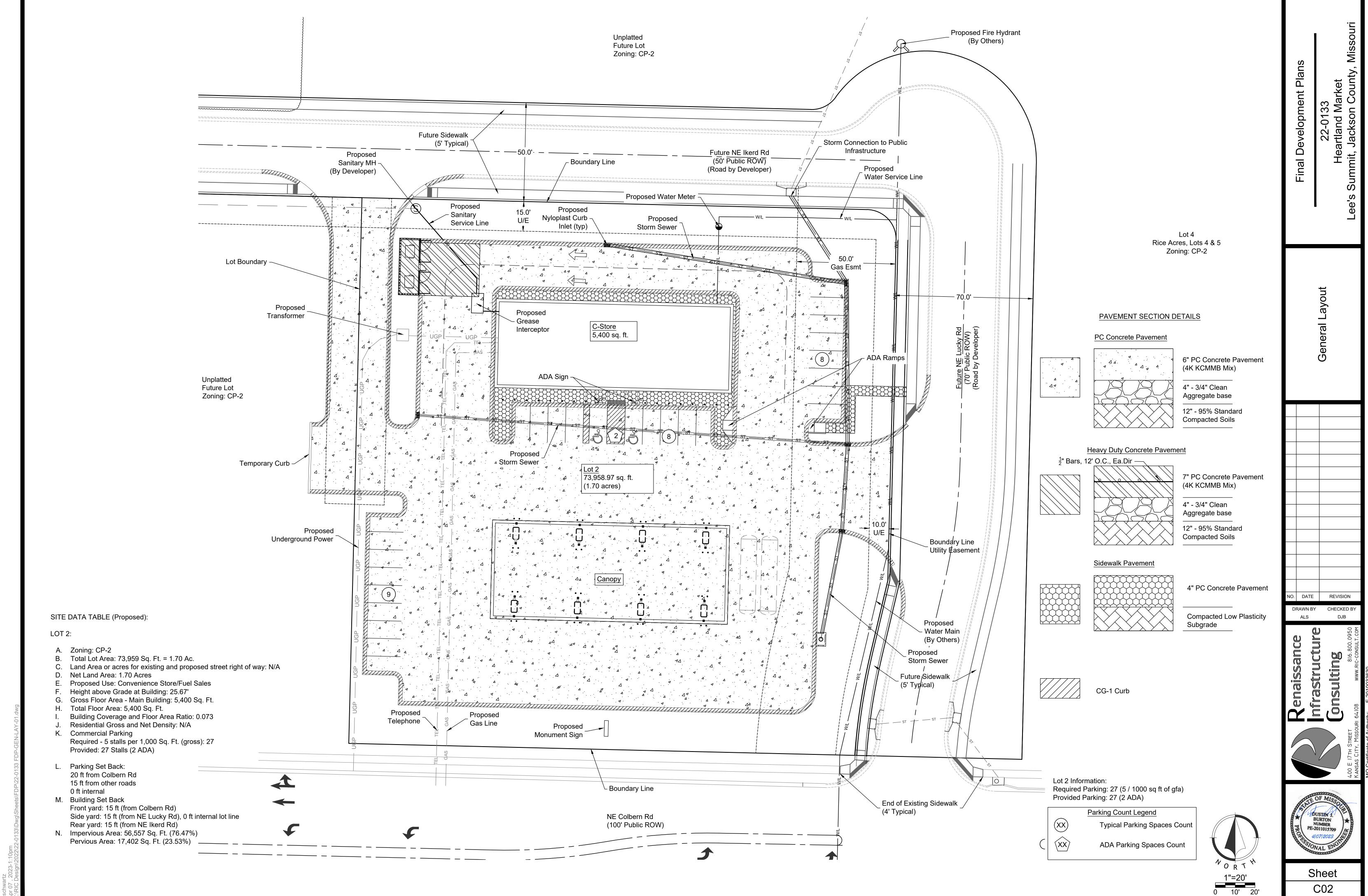
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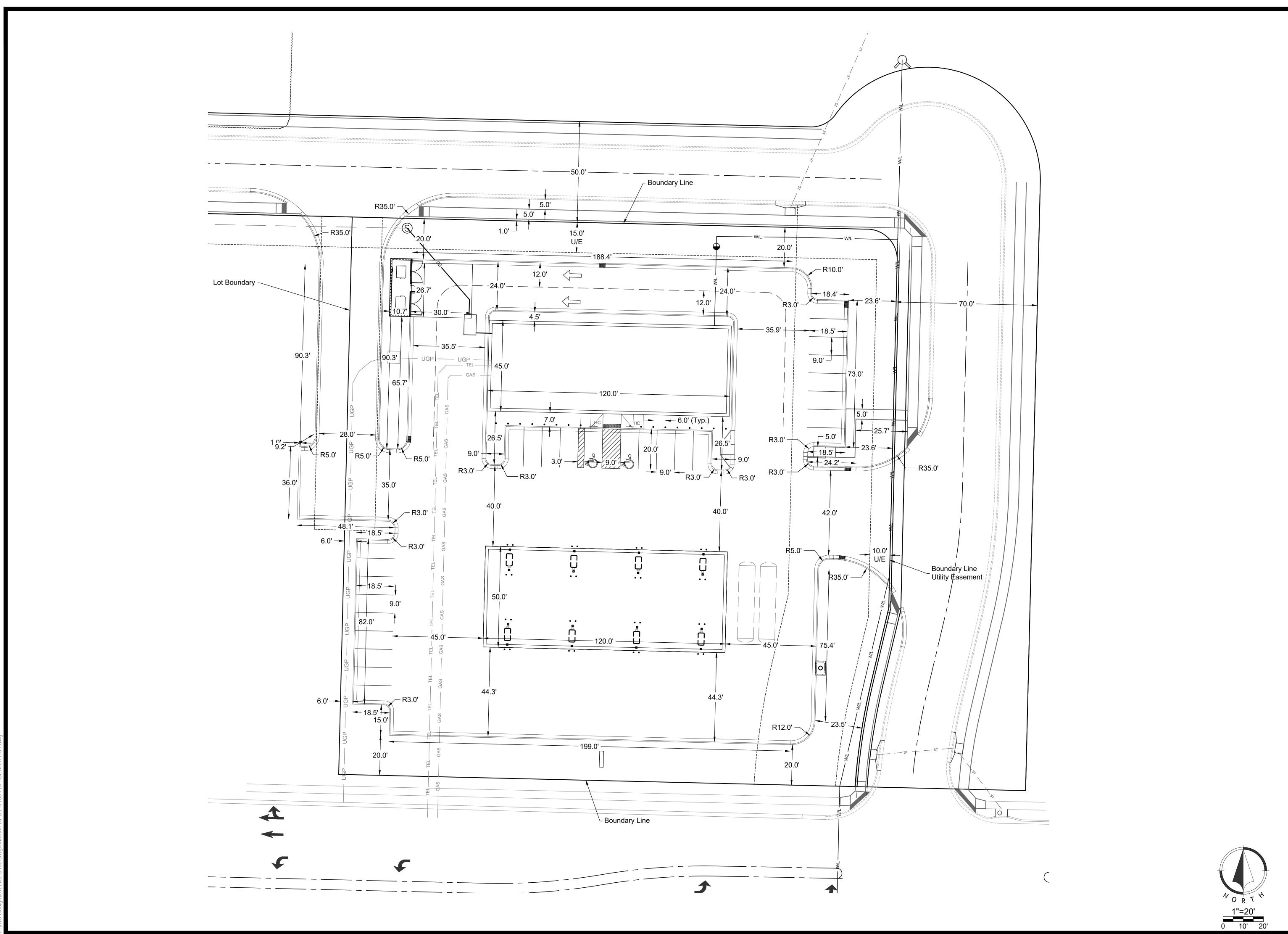
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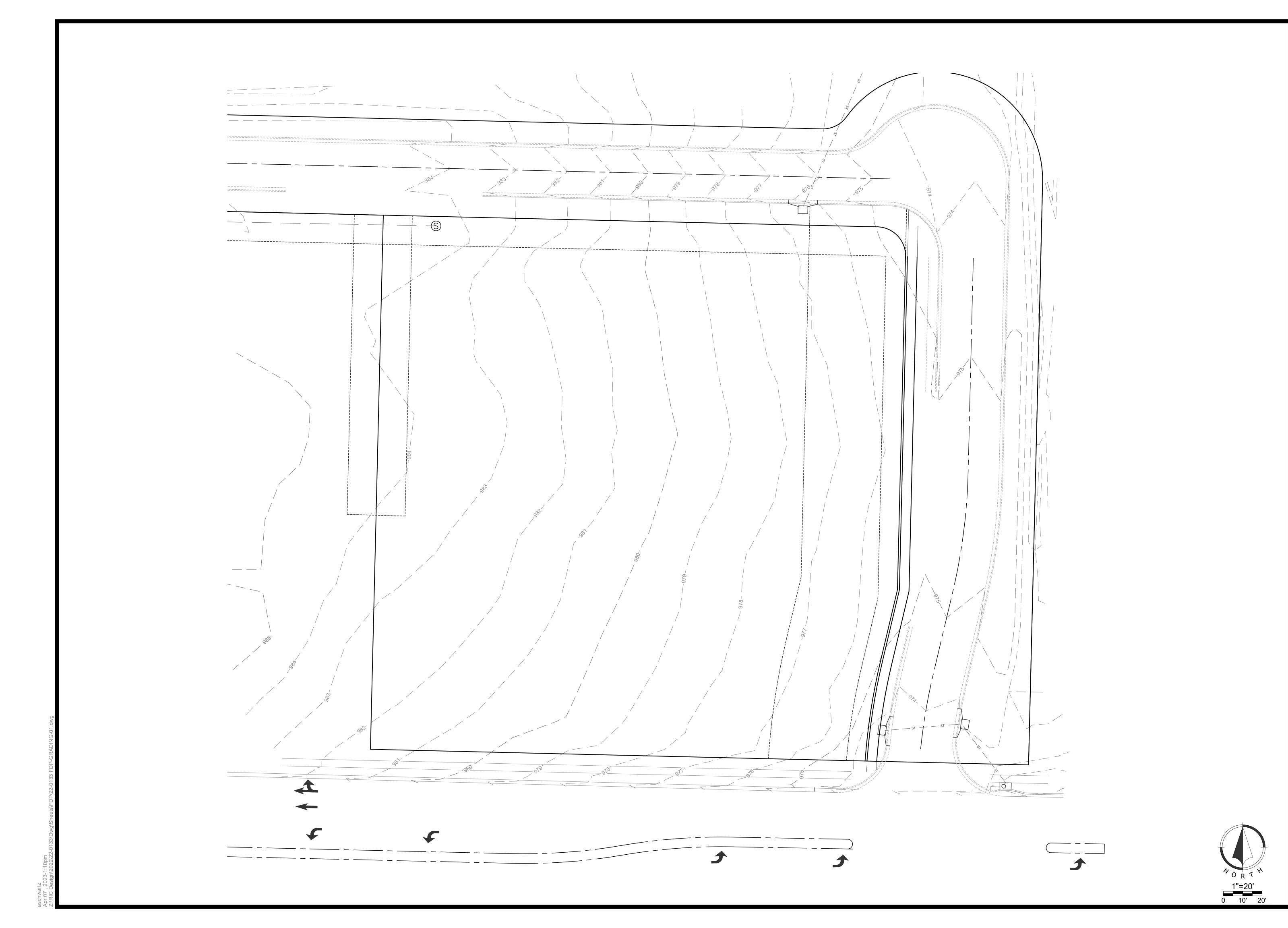


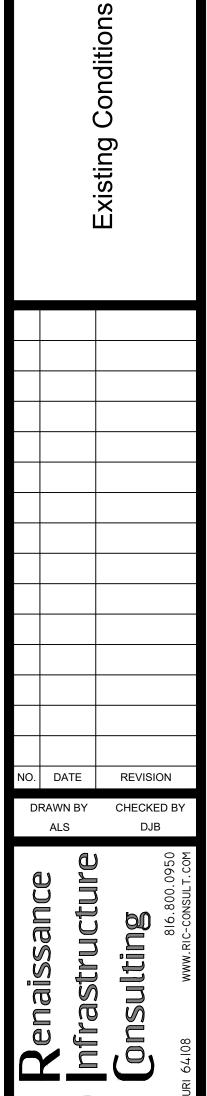




Final Development Plans REVISION







BURTON NUMBER PE-2011015709

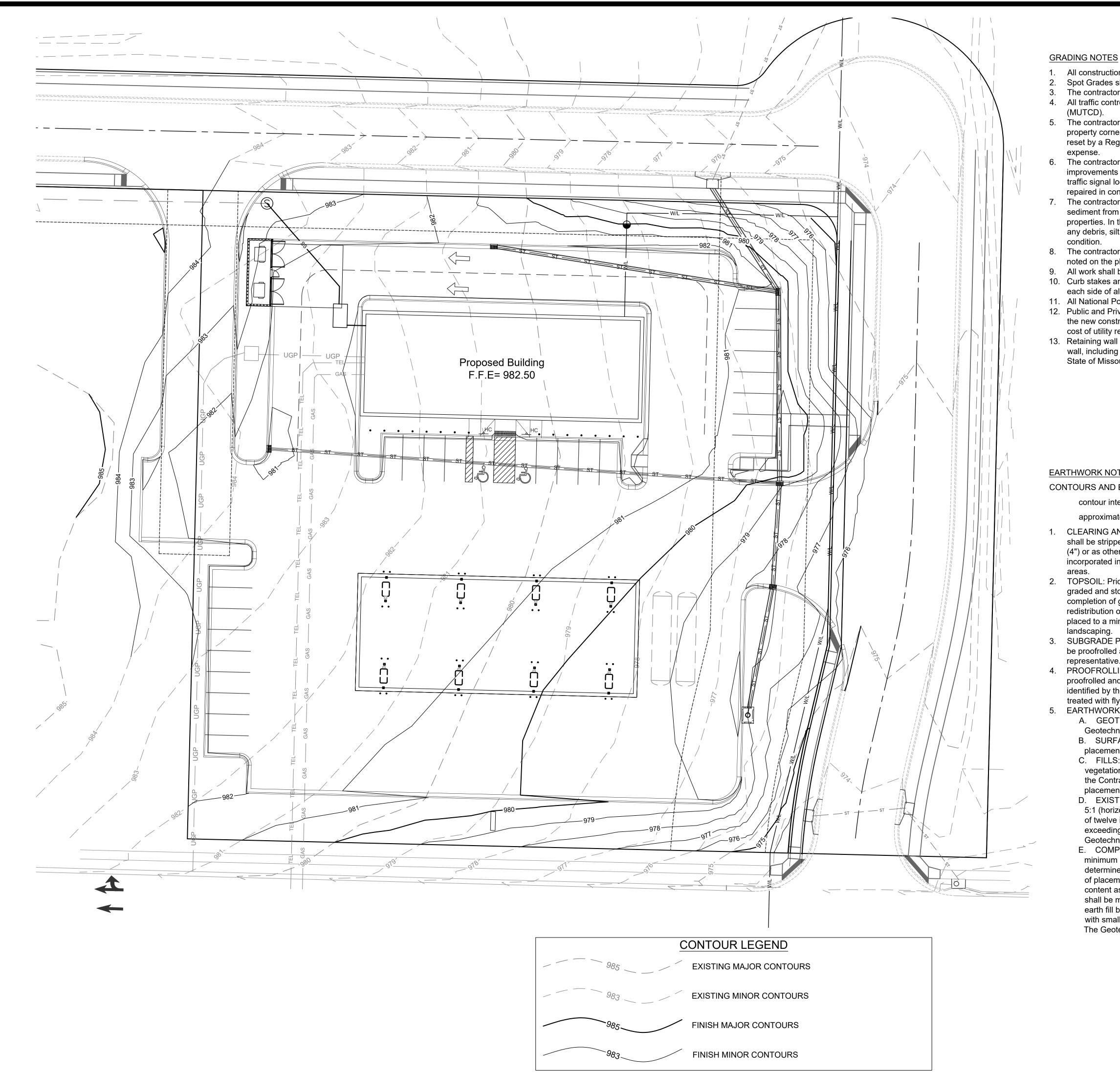
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Development Plans

Final

22-0133 Heartland Market mit, Jackson County,



- All construction shall conform to the City's minimum design standards.
- Spot Grades shown herein shall govern over finished grades.
- The contractor shall provide evidence that his insurance meets the requirements of the Project. 4. All traffic control shall be in conformance with the Manual of Uniform Traffic Control Devices
- 5. The contractor is responsible for the protection of all property corners and section corners. Any property corners and/or section corners disturbed or damaged by construction activities shall be reset by a Registered Land Surveyor licensed in the State of Missouri, at the contractor's
- The contractor shall be responsible for the restoration of the right-of-way and for damaged improvements such as curbs, driveways, sidewalks, street light and traffic signal junction boxes, traffic signal loop lead ins, signal poles, irrigation systems, etc. Damaged improvements shall be repaired in conformance with the latest City standards and to the City's satisfaction.
- 7. The contractor is responsible for providing erosion and sediment control BMPs to prevent sediment from reaching paved areas, storm sewer systems, drainage courses and adjacent properties. In the event the prevention measures are not effective, the contractor shall remove any debris, silt, or mud and restore the right-of-way, or adjacent properties to original or better
- 8. The contractor shall sod all disturbed areas within the public street right-of-way unless otherwise noted on the plans or if specific written approval is granted by the City.
- All work shall be confined within easements and/or construction limits as shown on the plans.
- 10. Curb stakes and hubs shall be provided at all high points, low points, ADA ramp openings, and on each side of all curb inlets when setting string line.
- 11. All National Pollution Discharge Elimination System (NPDES) standards shall be met. 12. Public and Private utility facilities shall be moved or adjusted as necessary by the owners to fit the new construction unless otherwise noted on the plans. The Contractor is responsible for the cost of utility relocations unless otherwise indicated on the plans.
- 13. Retaining wall elevation shown for reference only. Contractor is responsible for final design of wall, including engineering calculations by a professional structural engineer registered in the State of Missouri.

EARTHWORK NOTES:

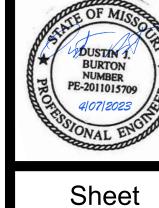
CONTOURS AND ELEVATIONS: Existing and proposed contours are shown on plans at one feet (1')

contour intervals, unless otherwise noted. Proposed contours and elevations shown represent approximate finish grade.

- CLEARING AND GRUBBING: Prior to the start of grading and earthwork, the areas to be graded shall be stripped of all vegetation, organic matter, and topsoil, to a minimum depth of four inches (4") or as otherwise directed by the Geotechnical Engineer. Stripping materials shall not be incorporated into structural fills. Topsoil materials shall not be used in building and pavement
- 2. TOPSOIL: Prior to the start of grading, the contractor shall strip all topsoil from areas to be graded and stockpile at a location on or adjacent to the site as directed by the owner. At completion of grading operations and related construction, the contractor will be responsible for redistribution of topsoil over all areas disturbed by the construction activities. Topsoil shall be placed to a minimum depth of six inches (6") and in accordance with specifications for
- 3. SUBGRADE PREPARATION: Prior to placement of new fill material, the existing subgrade shall be proofrolled and approved under the direction of the Geotechnical Engineer or his
- 4. PROOFROLLING: Prior to the placement of new fill material, the existing subgrade shall be proofrolled and approved under the direction of the Geotechnical Engineer. Unsuitable areas identified by the proofrolling areas shall be undercut and replaced with controlled structural fill or treated with flyash per the Geotechnical report.
- 5. EARTHWORK:
 - A. GEOTECHNICAL: All earthwork shall conform to the recommendations of the Geotechnical report.
 - B. SURFACE WATER: Surface water shall be intercepted and diverted during the placement of fill.
 - C. FILLS: All fills shall be considered controlled or structural fill and shall be free of vegetation, organic matter, topsoil, and debris. All fill required for project shall be provided by the Contractor. Material Shall be pre-approved by the Geotechnical Engineer prior to
 - D. EXISTING SLOPES: Where fill material is to be placed on existing slopes greater than 5:1 (horizontal to vertical), existing slope shall be benched providing a minimum vertical face of twelve inches (12"). Fill material shall be placed and compacted in horizontal lifts not exceeding nine inched (9") (loose fit measurement), unless otherwise approved by the Geotechnical Engineer.
 - E. COMPACTION REQUIREMENTS: Earth fill material shall be placed and compacted to a minimum density of ninety five percent (95%) of the material's maximum dry density as determined by ASTM D698 (standard proctor compaction). The moisture content at the time of placement and compaction shall be within a range of -2% to 3% off the optimum moisture content as defined by the standard proctor compaction procedure. The moisture contents shall be maintained within this range until completion of the work. Where compaction of earth fill by a large roller is impractical or undesirable, the earth fill shall be hand compacted with small vibrating rollers or mechanical tampers.

The Geotechnical recommendations shall supersede any information in the above note.





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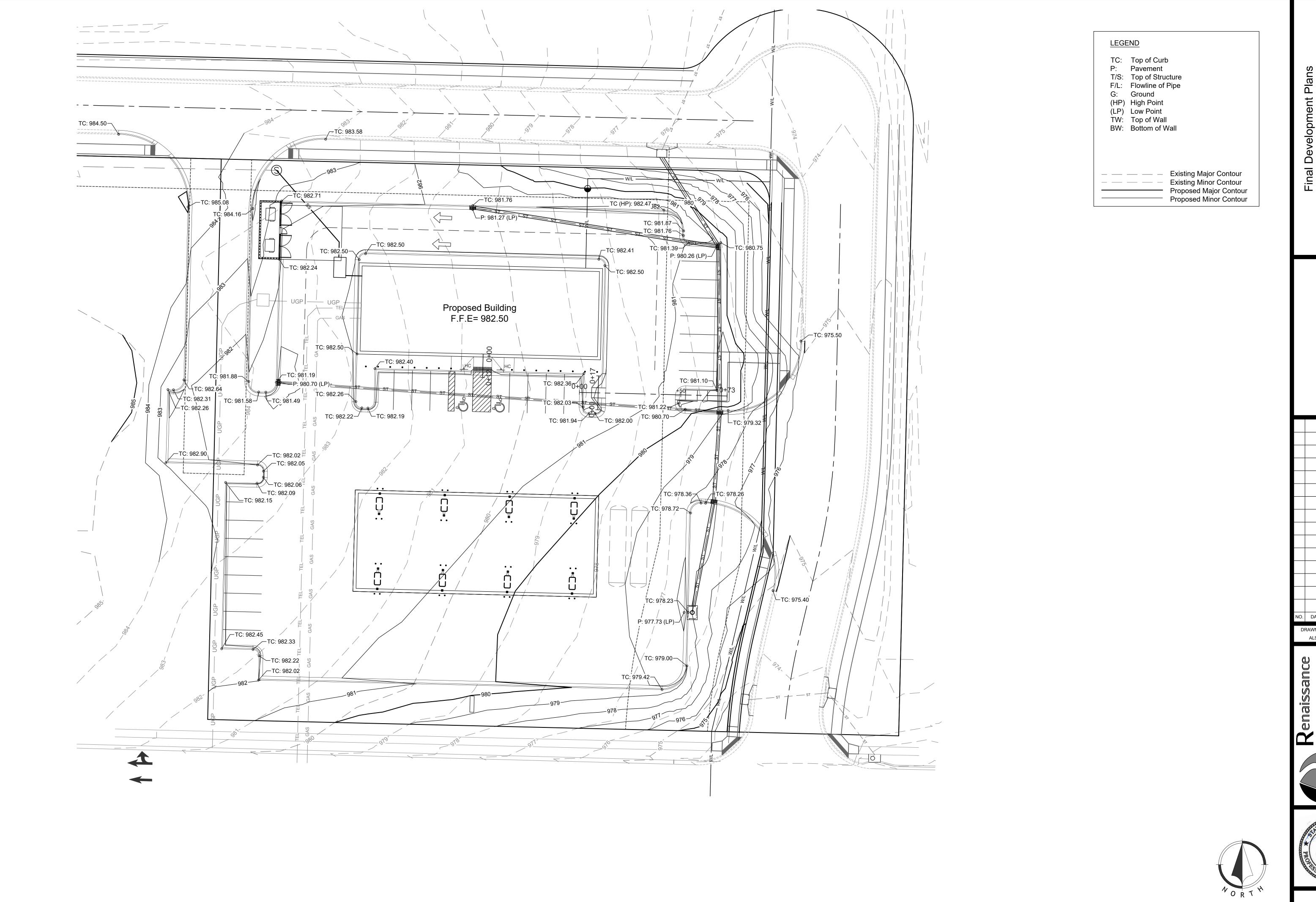
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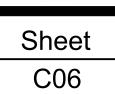
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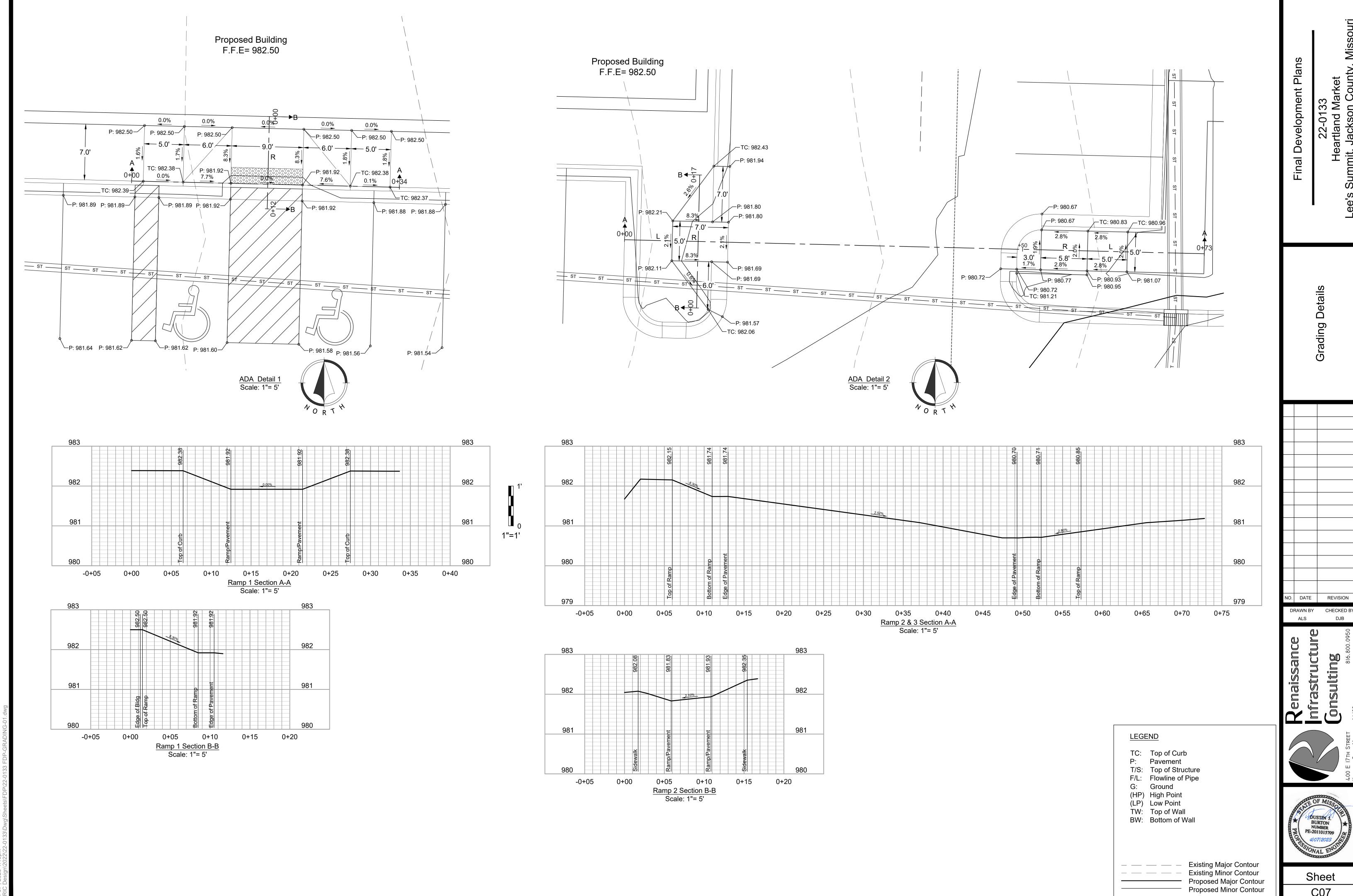
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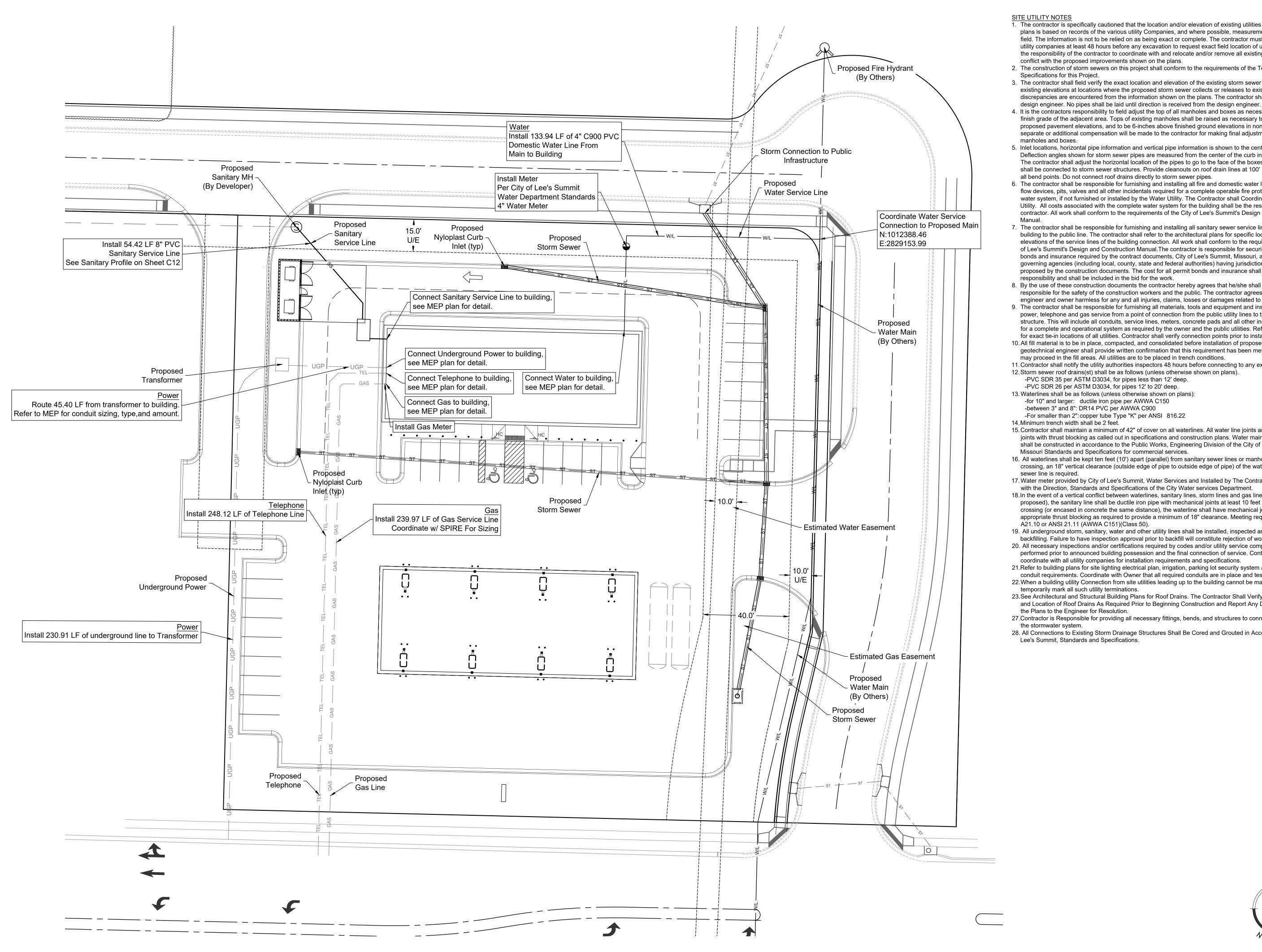
Final

1"=20' 0 10' 20'





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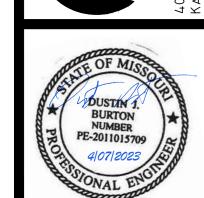


- 1. The contractor is specifically cautioned that the location and/or elevation of existing utilities as Shown on these plans is based on records of the various utility Companies, and where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The contractor must call the appropriate utility companies at least 48 hours before any excavation to request exact field location of utilities. It shall be the responsibility of the contractor to coordinate with and relocate and/or remove all existing utilities which conflict with the proposed improvements shown on the plans.
- 2. The construction of storm sewers on this project shall conform to the requirements of the Technical Specifications for this Project.
- 3. The contractor shall field verify the exact location and elevation of the existing storm sewer locations and the existing elevations at locations where the proposed storm sewer collects or releases to existing ground. If discrepancies are encountered from the information shown on the plans. The contractor shall contact the
- 4. It is the contractors responsibility to field adjust the top of all manholes and boxes as necessary to match the finish grade of the adjacent area. Tops of existing manholes shall be raised as necessary to be flush with proposed pavement elevations, and to be 6-inches above finished ground elevations in non-paved areas. No separate or additional compensation will be made to the contractor for making final adjustments to the
- 5. Inlet locations, horizontal pipe information and vertical pipe information is shown to the center of the structure. Deflection angles shown for storm sewer pipes are measured from the center of the curb inlets and manholes. The contractor shall adjust the horizontal location of the pipes to go to the face of the boxes. All roof drains shall be connected to storm sewer structures. Provide cleanouts on roof drain lines at 100' max. spacing and at all bend points. Do not connect roof drains directly to storm sewer pipes.
- 6. The contractor shall be responsible for furnishing and installing all fire and domestic water lines, meters, back flow devices, pits, valves and all other incidentals required for a complete operable fire protection and domestic water system, if not furnished or installed by the Water Utility. The Contractor shall Coordinate with the Water Utility. All costs associated with the complete water system for the building shall be the responsibility of the contractor. All work shall conform to the requirements of the City of Lee's Summit's Design and Construction
- 7. The contractor shall be responsible for furnishing and installing all sanitary sewer service lines from the building to the public line. The contractor shall refer to the architectural plans for specific locations and elevations of the service lines of the building connection. All work shall conform to the requirements of the City of Lee's Summit's Design and Construction Manual. The contractor is responsible for securing all permits, bonds and insurance required by the contract documents, City of Lee's Summit, Missouri, and all other governing agencies (including local, county, state and federal authorities) having jurisdiction over the work proposed by the construction documents. The cost for all permit bonds and insurance shall be the contractors responsibility and shall be included in the bid for the work.
- 8. By the use of these construction documents the contractor hereby agrees that he/she shall be solely responsible for the safety of the construction workers and the public. The contractor agrees to hold the engineer and owner harmless for any and all injuries, claims, losses or damages related to the project.
- 9. The contractor shall be responsible for furnishing all materials, tools and equipment and installation of electrical power, telephone and gas service from a point of connection from the public utility lines to the building structure. This will include all conduits, service lines, meters, concrete pads and all other incidentals required for a complete and operational system as required by the owner and the public utilities. Refer to building plans
- for exact tie-in locations of all utilities. Contractor shall verify connection points prior to installation of utility line. 10. All fill material is to be in place, compacted, and consolidated before installation of proposed utilities. On-site geotechnical engineer shall provide written confirmation that this requirement has been met and that utilities
- may proceed in the fill areas. All utilities are to be placed in trench conditions. 11. Contractor shall notify the utility authorities inspectors 48 hours before connecting to any existing line.
- 12. Storm sewer roof drains(st) shall be as follows (unless otherwise shown on plans).
- -PVC SDR 35 per ASTM D3034, for pipes less than 12' deep. -PVC SDR 26 per ASTM D3034, for pipes 12' to 20' deep.
- 13. Waterlines shall be as follows (unless otherwise shown on plans): -for 10" and larger: ductile iron pipe per AWWA C150
- -between 3" and 8": DR14 PVC per AWWA C900 -For smaller than 2":copper tube Type "K" per ANSI 816.22
- 14. Minimum trench width shall be 2 feet. 15. Contractor shall maintain a minimum of 42" of cover on all waterlines. All water line joints are to be mechanical joints with thrust blocking as called out in specifications and construction plans. Water mains and service lines shall be constructed in accordance to the Public Works, Engineering Division of the City of Lee's Summit,
- 16. All waterlines shall be kept ten feet (10') apart (parallel) from sanitary sewer lines or manholes. Or when crossing, an 18" vertical clearance (outside edge of pipe to outside edge of pipe) of the waterline above the
- sewer line is required. 17. Water meter provided by City of Lee's Summit, Water Services and Installed by The Contractor in Accordance
- with the Direction, Standards and Specifications of the City Water services Department. 18. In the event of a vertical conflict between waterlines, sanitary lines, storm lines and gas lines (existing and
- proposed), the sanitary line shall be ductile iron pipe with mechanical joints at least 10 feet on both sides of the crossing (or encased in concrete the same distance), the waterline shall have mechanical joints with appropriate thrust blocking as required to provide a minimum of 18" clearance. Meeting requirements ANSI A21.10 or ANSI 21.11 (AWWA C151)(Class 50).
- 19. All underground storm, sanitary, water and other utility lines shall be installed, inspected and approved before backfilling. Failure to have inspection approval prior to backfill will constitute rejection of work.
- 20. All necessary inspections and/or certifications required by codes and/or utility service companies shall be performed prior to announced building possession and the final connection of service. Contractor shall coordinate with all utility companies for installation requirements and specifications.
- 21.Refer to building plans for site lighting electrical plan, irrigation, parking lot security system and associated conduit requirements. Coordinate with Owner that all required conduits are in place and tested prior to paving. 22. When a building utility Connection from site utilities leading up to the building cannot be made immediately,
- temporarily mark all such utility terminations. 23. See Architectural and Structural Building Plans for Roof Drains. The Contractor Shall Verify/Coordinate Size and Location of Roof Drains As Required Prior to Beginning Construction and Report Any Descrepancies In
- the Plans to the Engineer for Resolution. 27. Contractor is Responsible for providing all necessary fittings, bends, and structures to connect roof drains to
- 28. All Connections to Existing Storm Drainage Structures Shall Be Cored and Grouted in Accordance With City of

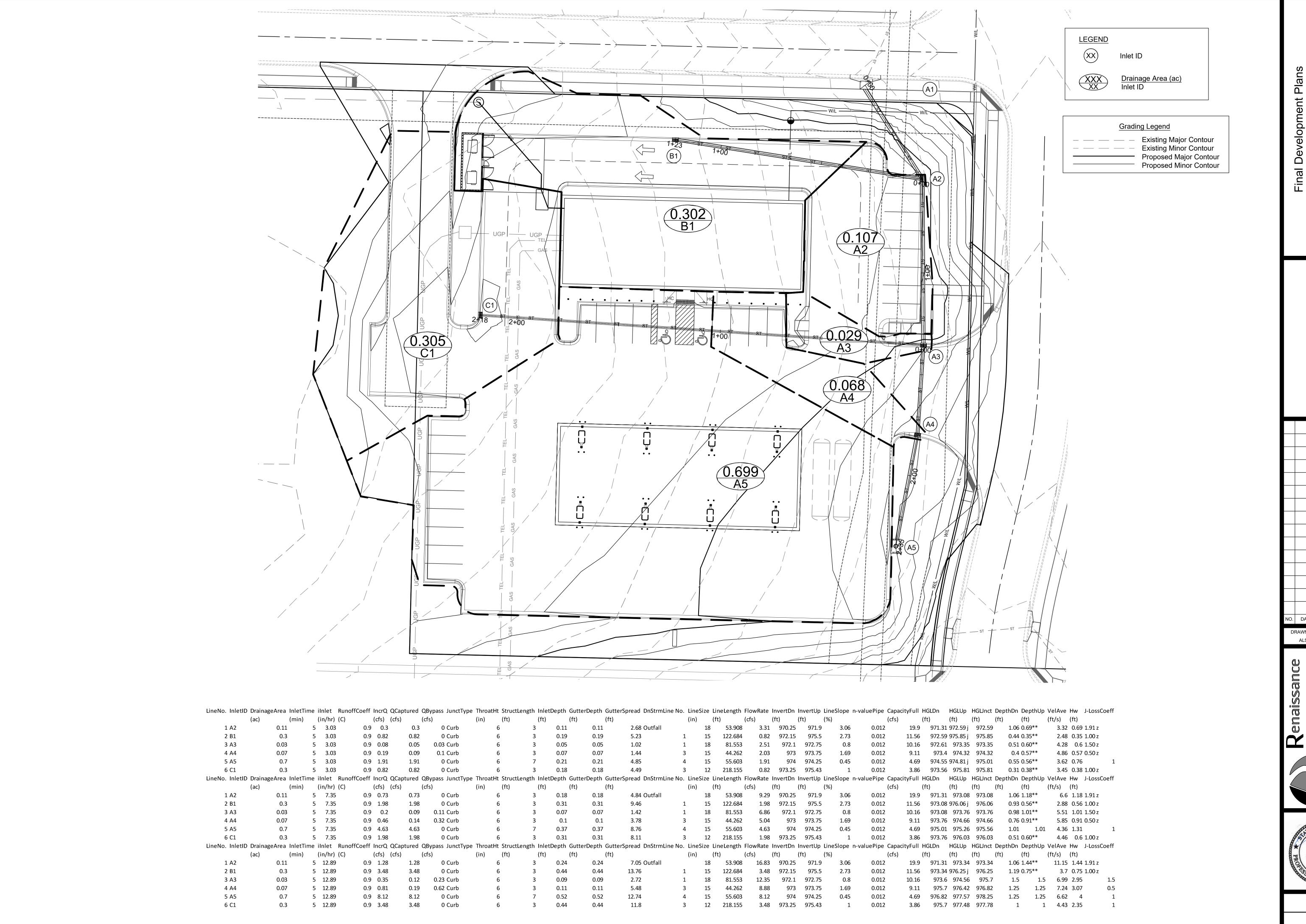
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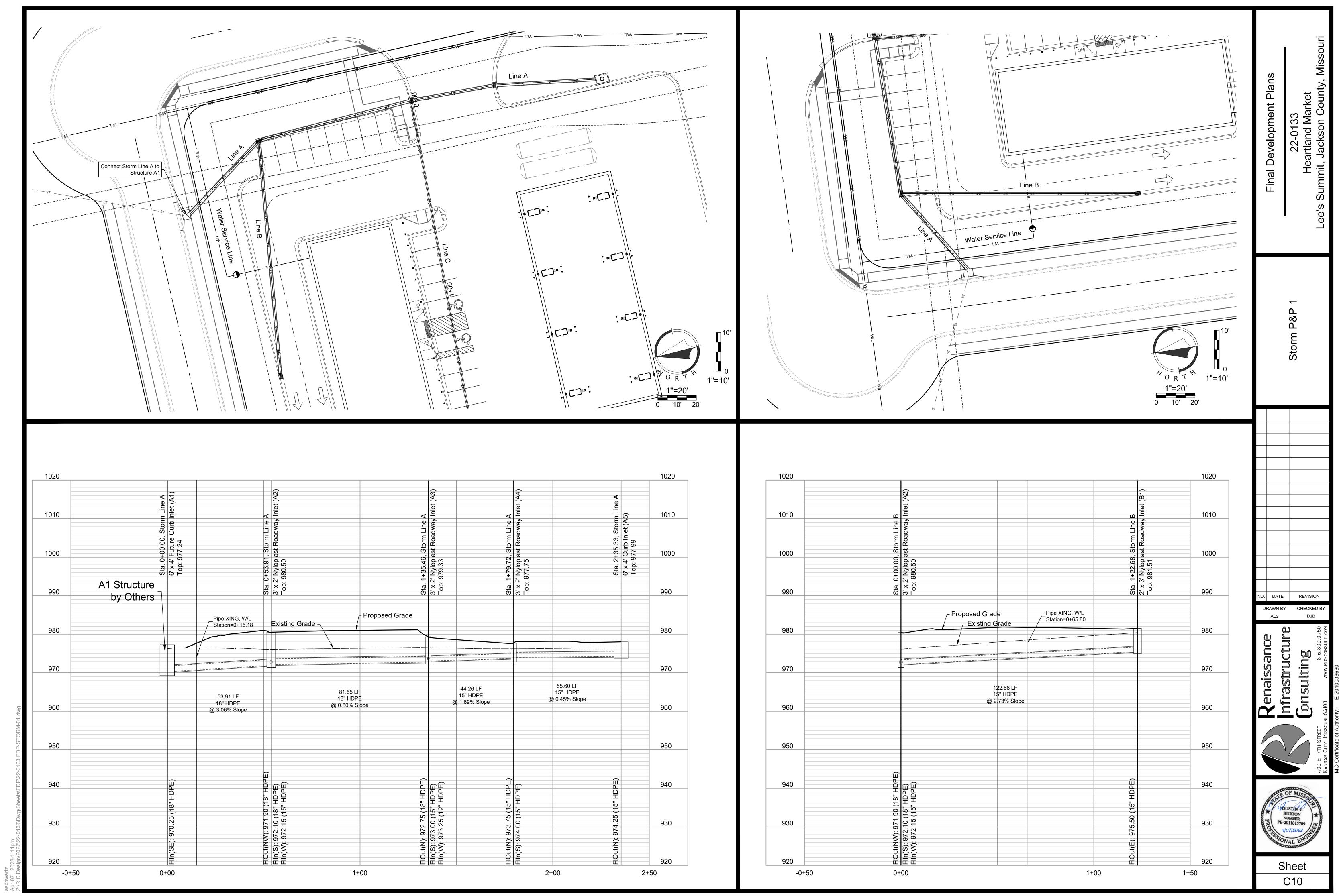
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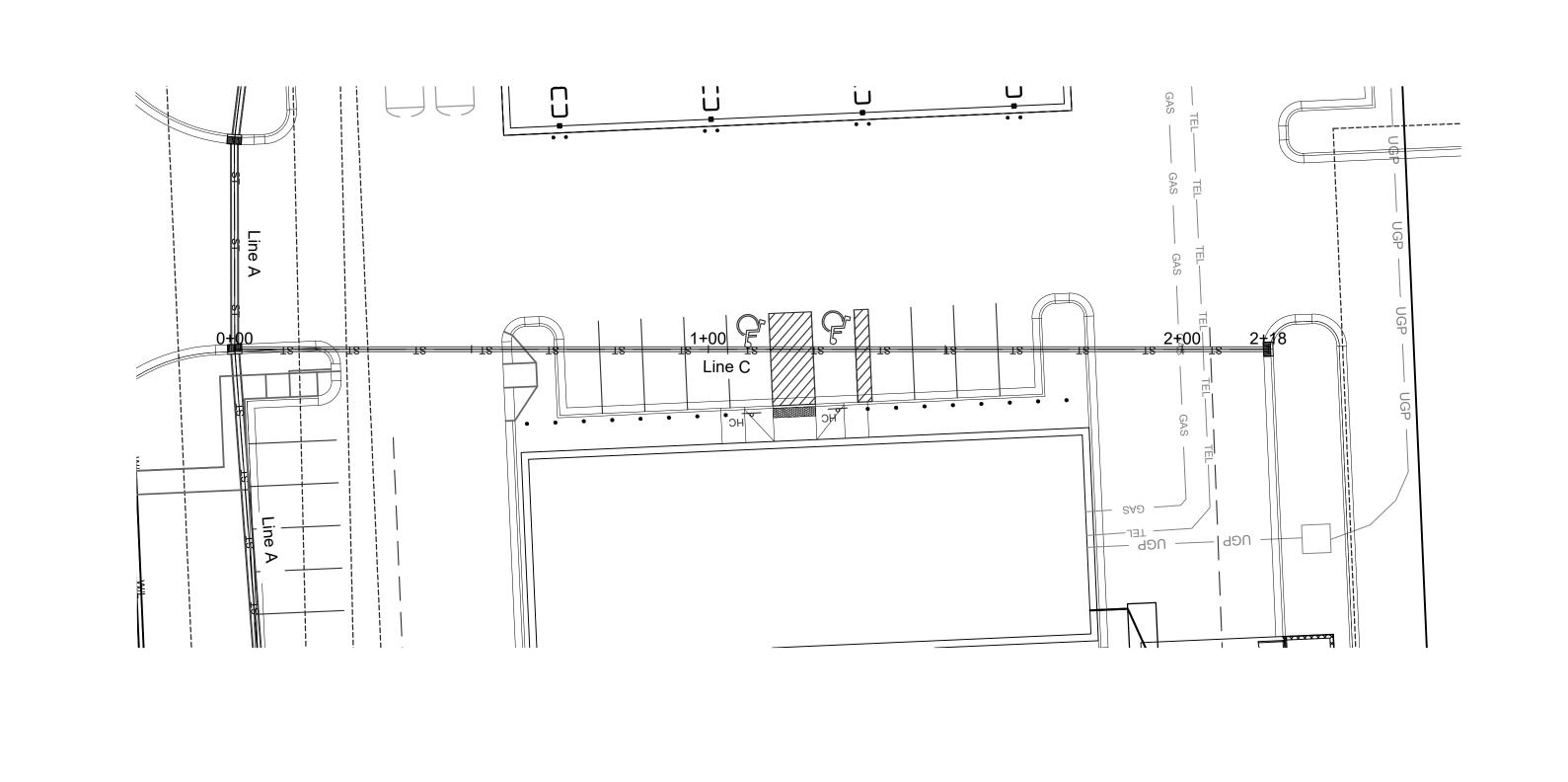
Drainage

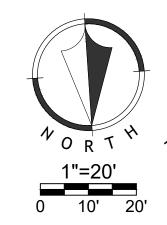
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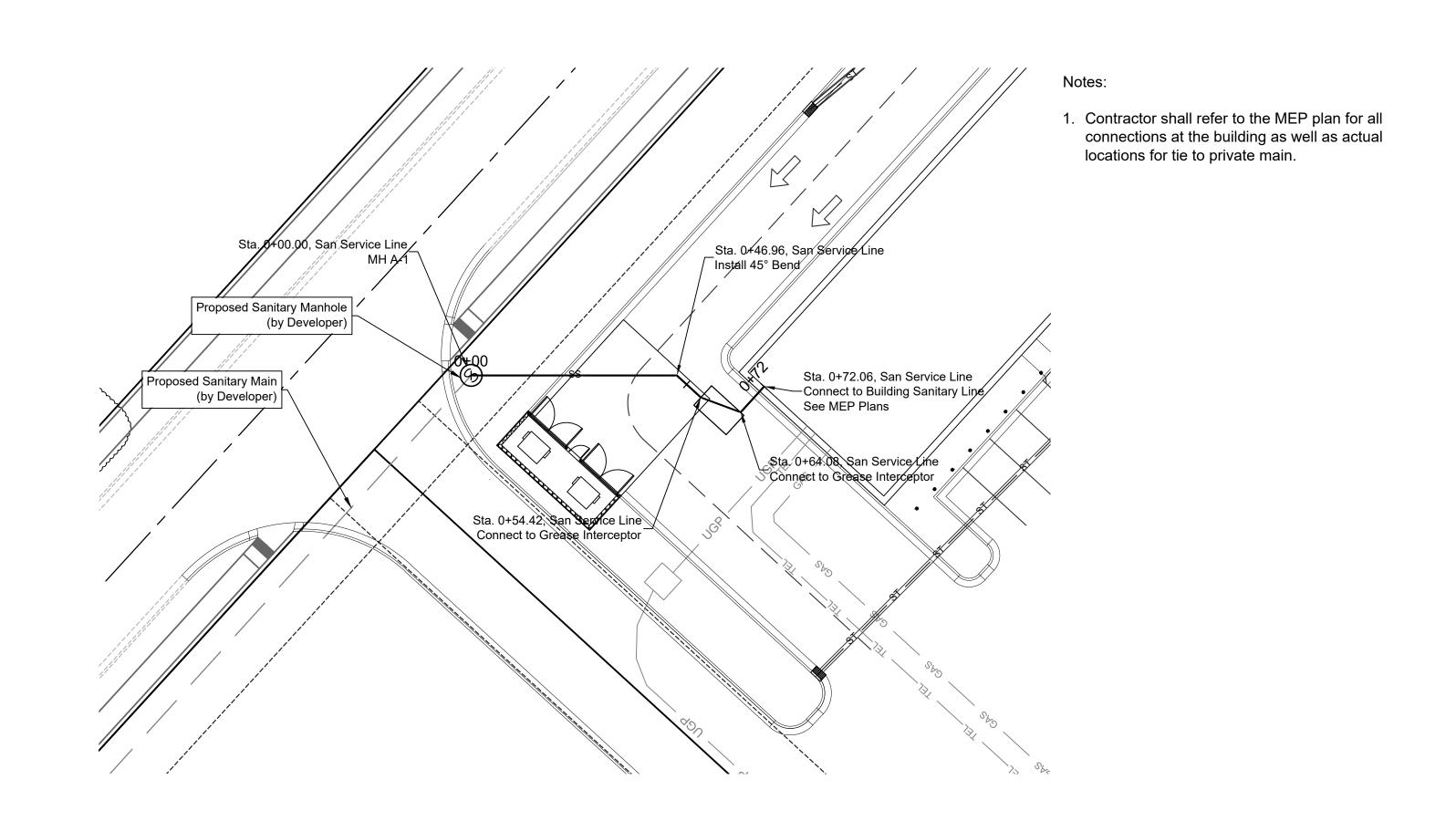
Final Development Plans

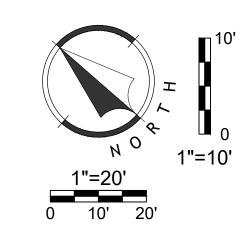
Storm P&P

1020 1010 1010 1000 1000 990 990 ┌ Proposed Grade Pipe XING, Telephone Line_ Station=2+04.42 Existing Grade -Pipe XING, Gas Line Station=1+99.41 980 980 970 970 218.16 LF 12" HDPE @ 1.00% Slope 960 960 950 950 940 940 930 930 920 920 0+00 1+00 2+00 -0+50 2+50

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Final Development Plans

22-0133 Heartland Market mit, Jackson County, I

Sanitary P&P

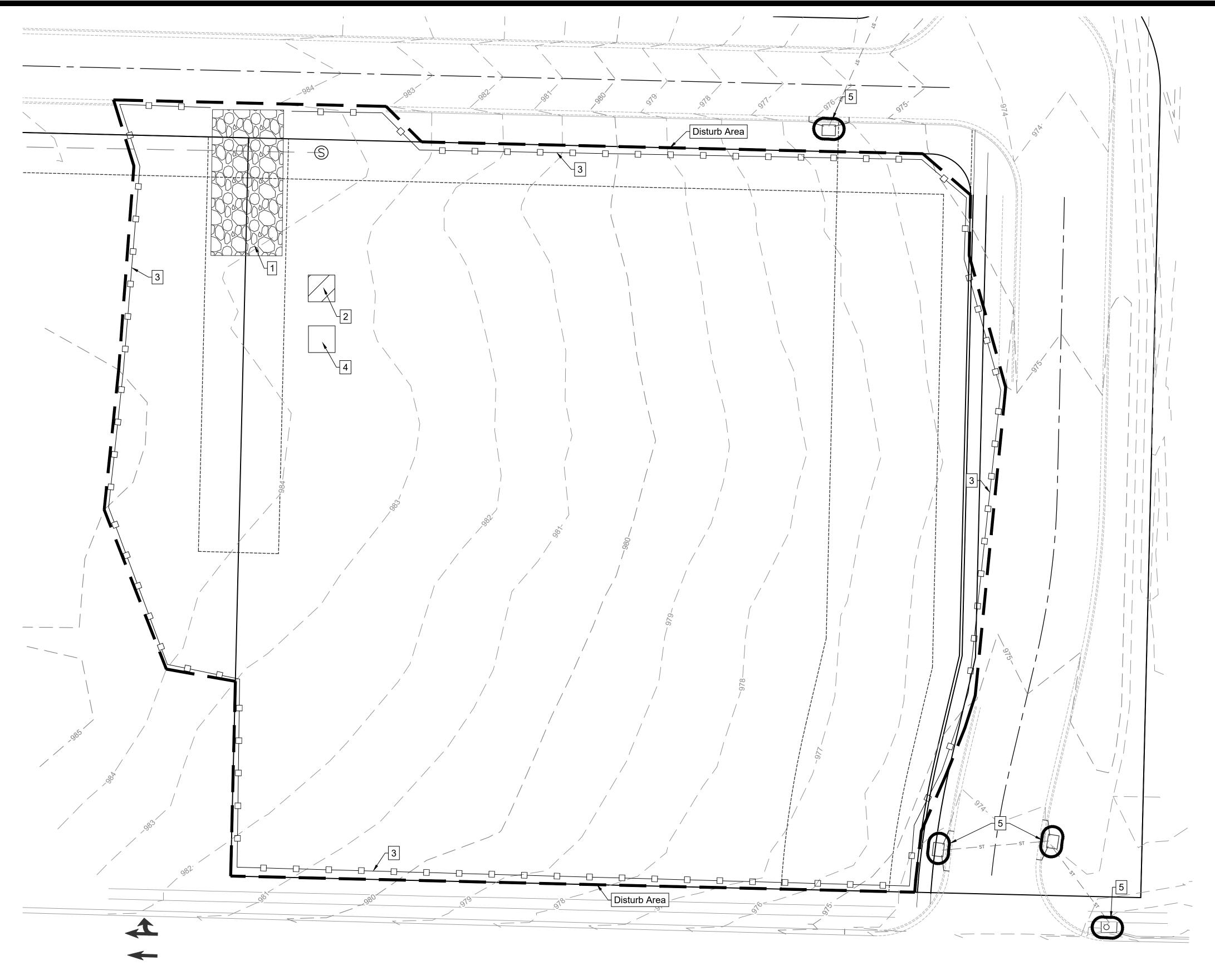
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Renaissance Infrastructure Consulting

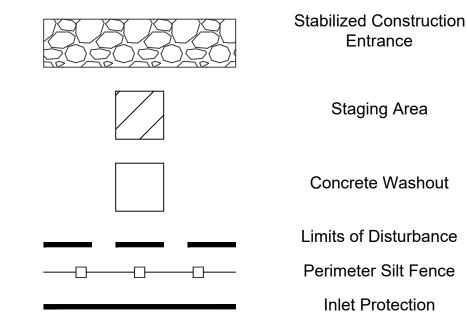
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	PROJECT STAGE	PLAN REFERENCE NUMBER	BMP DESCRIPTION	REMOVE AFTER PHASE	NOTES
Phase I	A-Prior to Construction	1	Construction Entrance	II	Install Construction Entrance in accordance with APWA Standard Detail ESC-01
		2	Staging Area	II	Install Staging Area
		3	Perimeter Silt Fence	III	Install Silt Fence in accordance with APWA Standard Detail ESC-03
		4	Concrete Washout	II	Install Concrete Washout as Shown on Plans Prior to Pouring Any Concrete in accordance with APWA Standard Detail ESC-01
		5	Inlet Protection	III	Install Filter Bags Prior to Construction, Maintain Until All Area is Stabilized.
Phase II	B-During Land Disturbance and Storm Infrastructure Installation	6	Inlet Protection	III	Install Filter Bags Prior to Construction, Maintain Until All Area is Stabilized.
Phase III	C-Final Stabilization	7	Establish Perennial Vegetation	N/A	Redistribute Topsoil and Seed and Mulch all Disturbed Area. Stabilization Complete when 100% of Disturbed Area is Established with Perennial Vegetation with a Density of 70%

Disturbed Area for Site Improvements: 1.95 Acres

EROSION CONTROL LEGEND



EROSION CONTROL NOTES

- 1. All work in public easements and right-of-way and all erosion control work must comply with the latest specifications set forth by the City of Lee's Summit, MO, the Kansas City Chapter of American Public Works Association (APWA). If any of the specification and/or general notes conflict with the requirements provided by the City of Lee's
- The contractor shall provide all materials, tools, equipment, and labor as necessary to install and maintain adequate erosion control, keep the streets clean of mud and debris, and prevent soil from leaving the project site. The contractor's erosion control measures shall conform to the City of Lee's Summit, MO, the Kansas City Chapter of American Public Works Association (APWA), Standards
- devices and removing sediment until a minimum of 70% of permanent vegetation has become stabilized and established. Erosion control devices shall remain in place until the 70% established vegetation is met, or the duration of the project, whichever is the later date.
- The contractor shall temporarily seed and mulch all disturbed areas if there is to be no construction activity on them for a period of
- Install "J' Hooks on silt fence every 100 LF
- Contractor to install all Phase I erosion control devices prior to construction.
- indicated on the plans, and shall be installed within 14 days after paving completion and final topsoil grading.
- 9. Topsoil replacement shall be 6" thick.
- 10. Silt fence to be installed in accordance with the City of Lee's Summit,
- 11. Contractor shall remove mud and debris from City Streets and Outer Roadway within 4 hours of notification by City staff that it is a nuisance.

WRITTEN SEQUENCING

- Implement Pre-Construction Plan:
 - All temporary structural BMP's shown on the BMP plan must be in place before any site disturbance. Clearing necessary to place temporary structural BMP's is the minimum required for installation. Coordinate clearing necessary to place temporary structural BMP's with local weather forecast so that clearing and placement may be completed within a forecast dry period. Stabilize all erosion control measures after installation. Temporary Barrier Fence shall be in Place, around areas not to be disturbed, prior to any construction activities. This area includes Stream Corridor.
- 2. Clear and Stabilize Work Areas:
- Grade contractor areas and place all-weather surface on contractor areas.
- 3. Clearing and Grubbing: After Phase I BMP's are installed, contractor may clear, grub, and demo required areas as necessary.



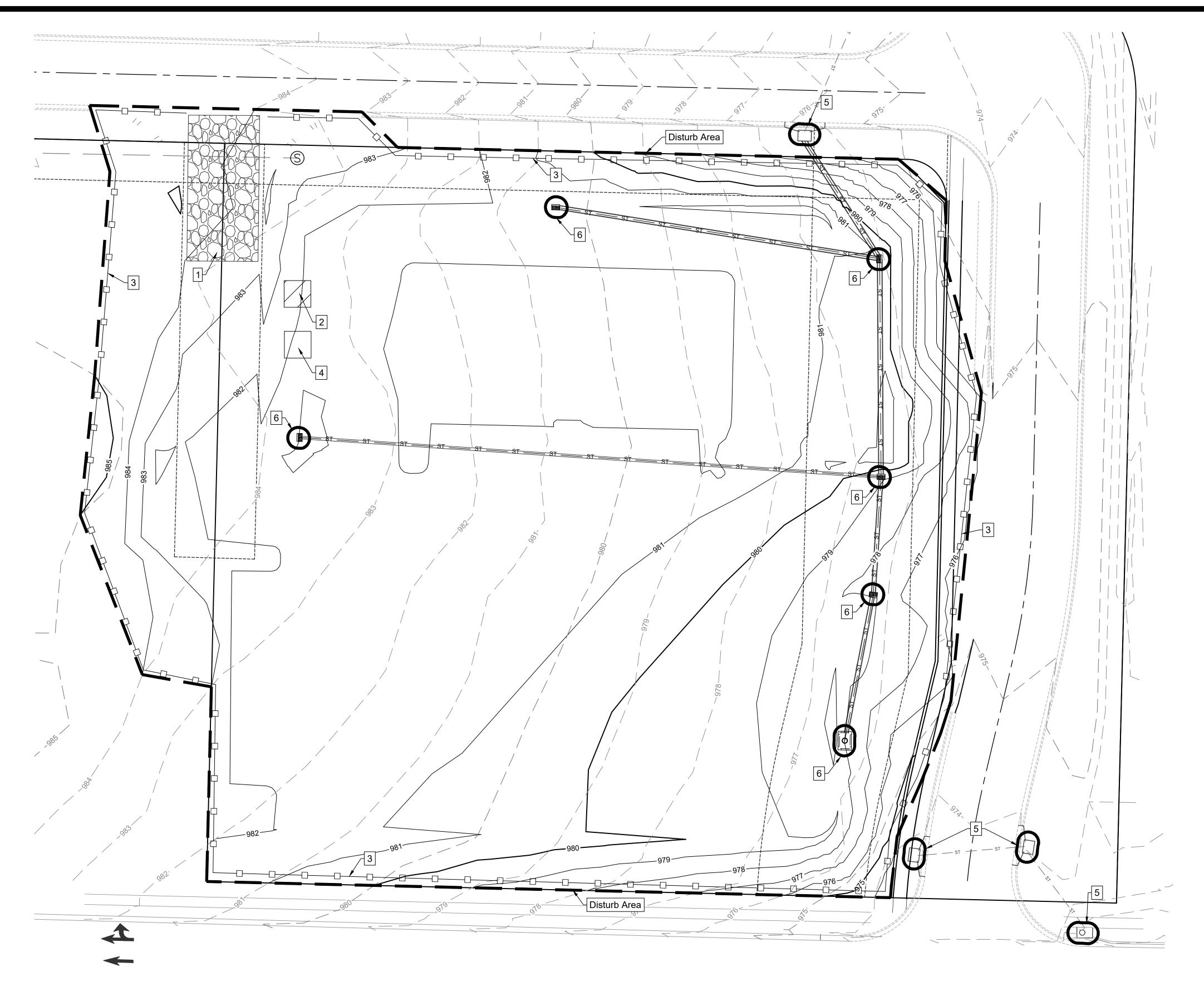
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Development

Perimeter Silt Fence

Summit, the City of Lee's Summit's standards shall override.

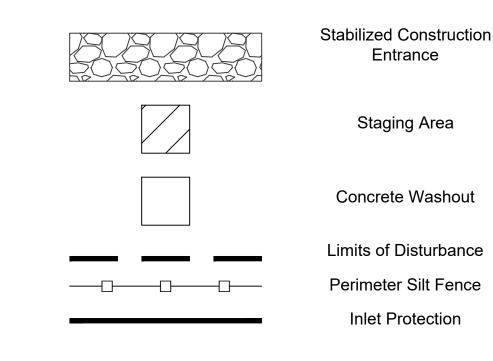
- and Specifications.
- 3. Erosion control plan modifications shall be required if the plan fails to substantially control erosion and offsite sedimentation.
- 4. The contractor shall be responsible for maintaining erosion control
- fourteen (14) calendar days.
- Contractor shall replace disturbed area with seed or sod, as



	PROJECT STAGE	PLAN REFERENCE NUMBER	BMP DESCRIPTION	REMOVE AFTER PHASE	NOTES
Phase I A-F		1	Construction Entrance	II	Install Construction Entrance in accordance with APWA Standard Detail ESC-01
		2	Staging Area	II	Install Staging Area
	A D :	3	Perimeter Silt Fence	III	Install Silt Fence in accordance with APWA Standard Detail ESC-03
	A-Prior to Construction	4	Concrete Washout	II	Install Concrete Washout as Shown on Plans Prior to Pouring Any Concrete in accordance with APWA Standard Detail ESC-01
		5	Inlet Protection	III	Install Filter Bags Prior to Construction, Maintain Until All Area is Stabilized.
Phase II	B-During Land Disturbance and Storm Infrastructure Installation	6	Inlet Protection	III	Install Filter Bags Prior to Construction, Maintain Until All Area is Stabilized.
Phase III	C-Final Stabilization	7	Establish Perennial Vegetation	N/A	Redistribute Topsoil and Seed and Mulch all Disturbed Area. Stabilization Complete when 100% of Disturbed Area is Established with Perennial Vegetation with a Density of 70%

Disturbed Area for Site Improvements: 1.95 Acres

EROSION CONTROL LEGEND



EROSION CONTROL NOTES

- 1. All work in public easements and right-of-way and all erosion control work must comply with the latest specifications set forth by the City of Lee's Summit, MO, the Kansas City Chapter of American Public Works Association (APWA). If any of the specification and/or general notes conflict with the requirements provided by the City of Lee's Summit, the City of Lee's Summit's standards shall override.
- labor as necessary to install and maintain adequate erosion control, keep the streets clean of mud and debris, and prevent soil from leaving the project site. The contractor's erosion control measures shall conform to the City of Lee's Summit, MO, the Kansas City Chapter of American Public Works Association (APWA), Standards and Specifications.
- devices and removing sediment until a minimum of 70% of permanent vegetation has become stabilized and established. Erosion control devices shall remain in place until the 70% established vegetation is met, or the duration of the project,
- if there is to be no construction activity on them for a period of
- Install "J' Hooks on silt fence every 100 LF
- construction. Contractor shall replace disturbed area with seed or sod, as
- indicated on the plans, and shall be installed within 14 days after paving completion and final topsoil grading.
- 9. Topsoil replacement shall be 6" thick.
- 10. Silt fence to be installed in accordance with the City of Lee's Summit,
- 11. Contractor shall remove mud and debris from City Streets and Outer Roadway within 4 hours of notification by City staff that it is a

WRITTEN SEQUENCING

- Implement Pre-Construction Plan:
 - All temporary structural BMP's shown on the BMP plan must be in place before any site disturbance. Clearing necessary to place temporary structural BMP's is the minimum required for installation. Coordinate clearing necessary to place temporary structural BMP's with local weather forecast so that clearing and placement may be completed within a forecast dry period. Stabilize all erosion control measures after installation. Temporary Barrier Fence shall be in Place, around areas not to be disturbed, prior to any construction activities. This area includes Stream Corridor.
- 2. Clear and Stabilize Work Areas:
- Grade contractor areas and place all-weather surface on contractor areas.
- 3. Clearing and Grubbing: After Phase I BMP's are installed, contractor may clear, grub, and demo required areas as necessary.

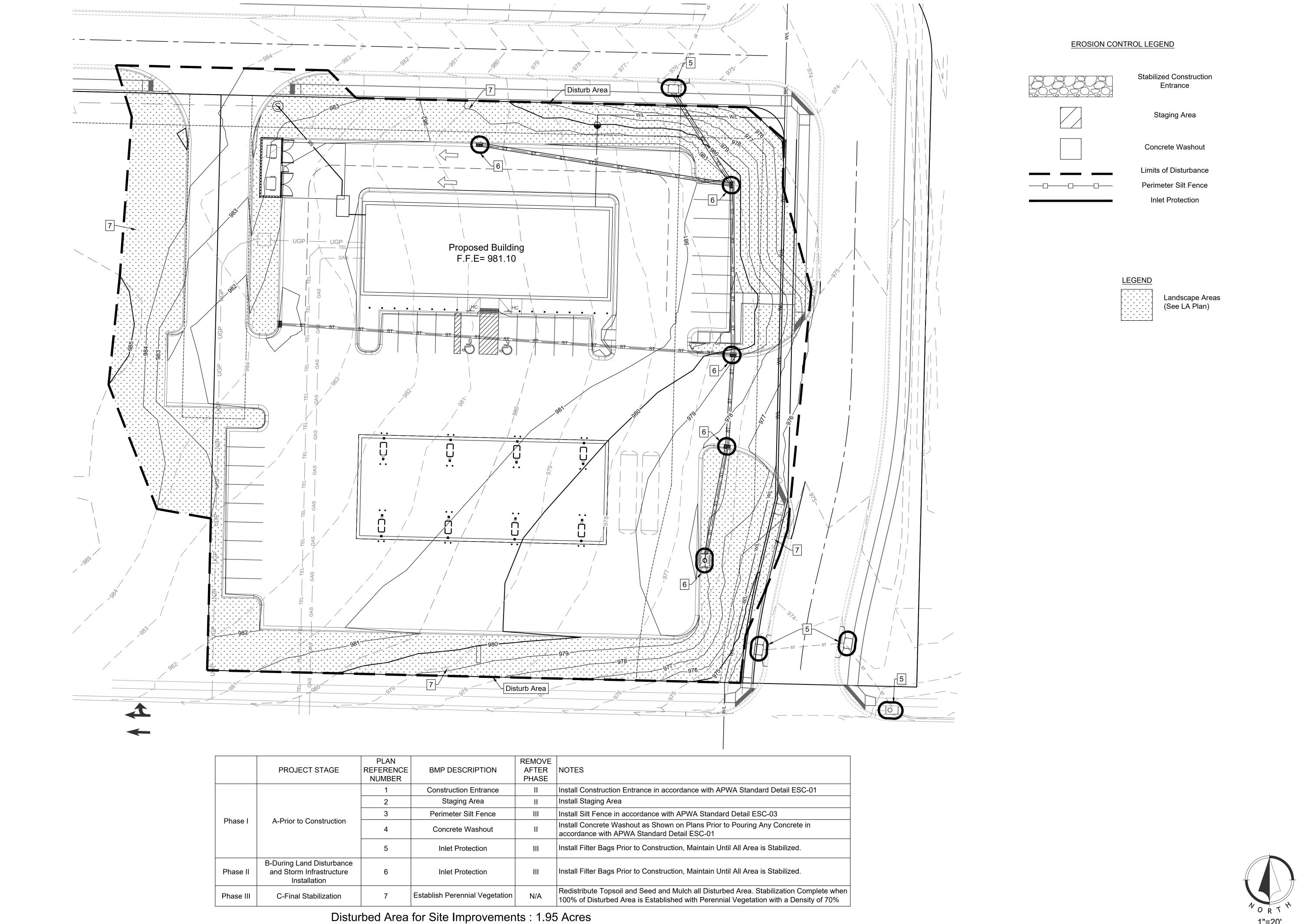


Sheet

C14

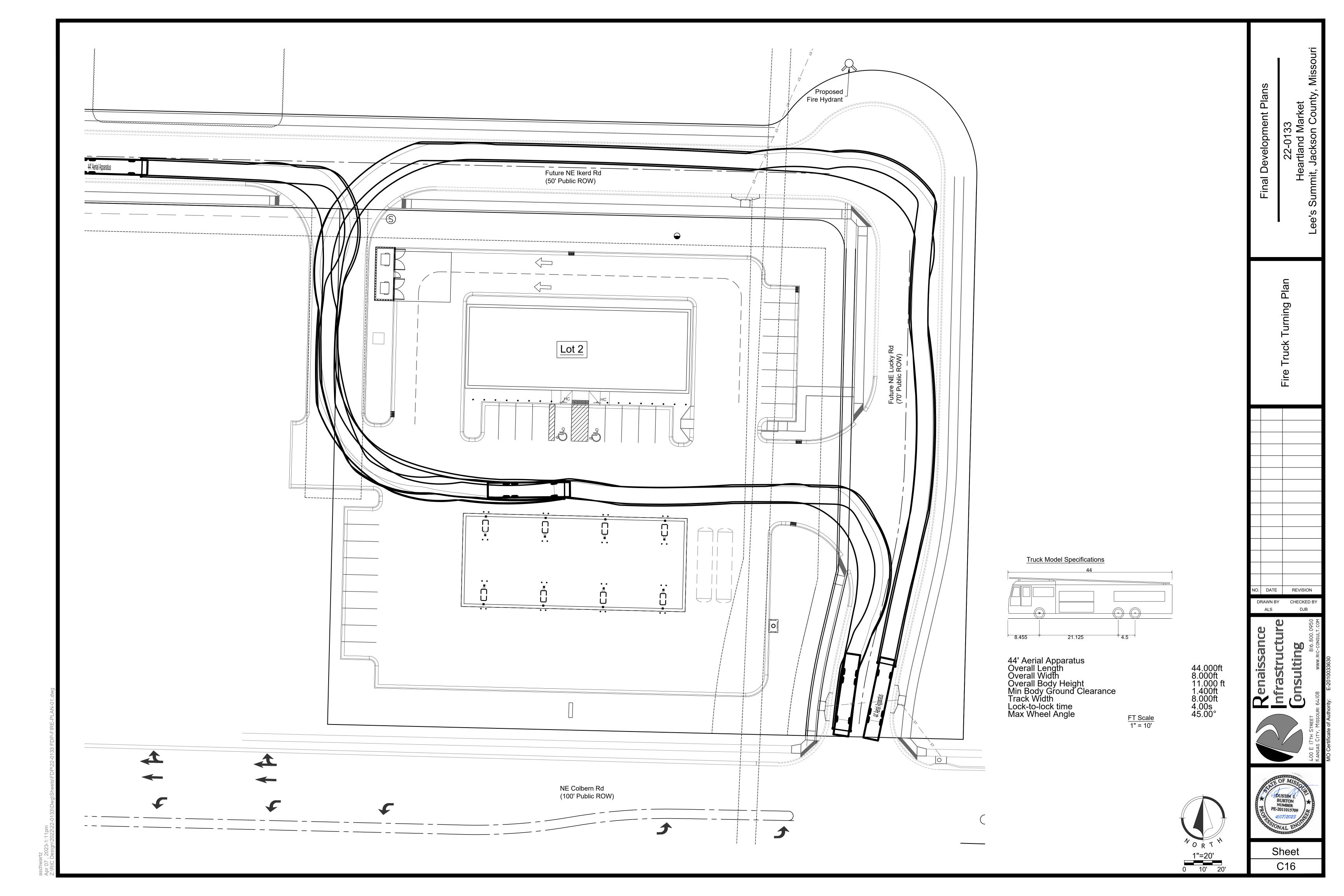
Development

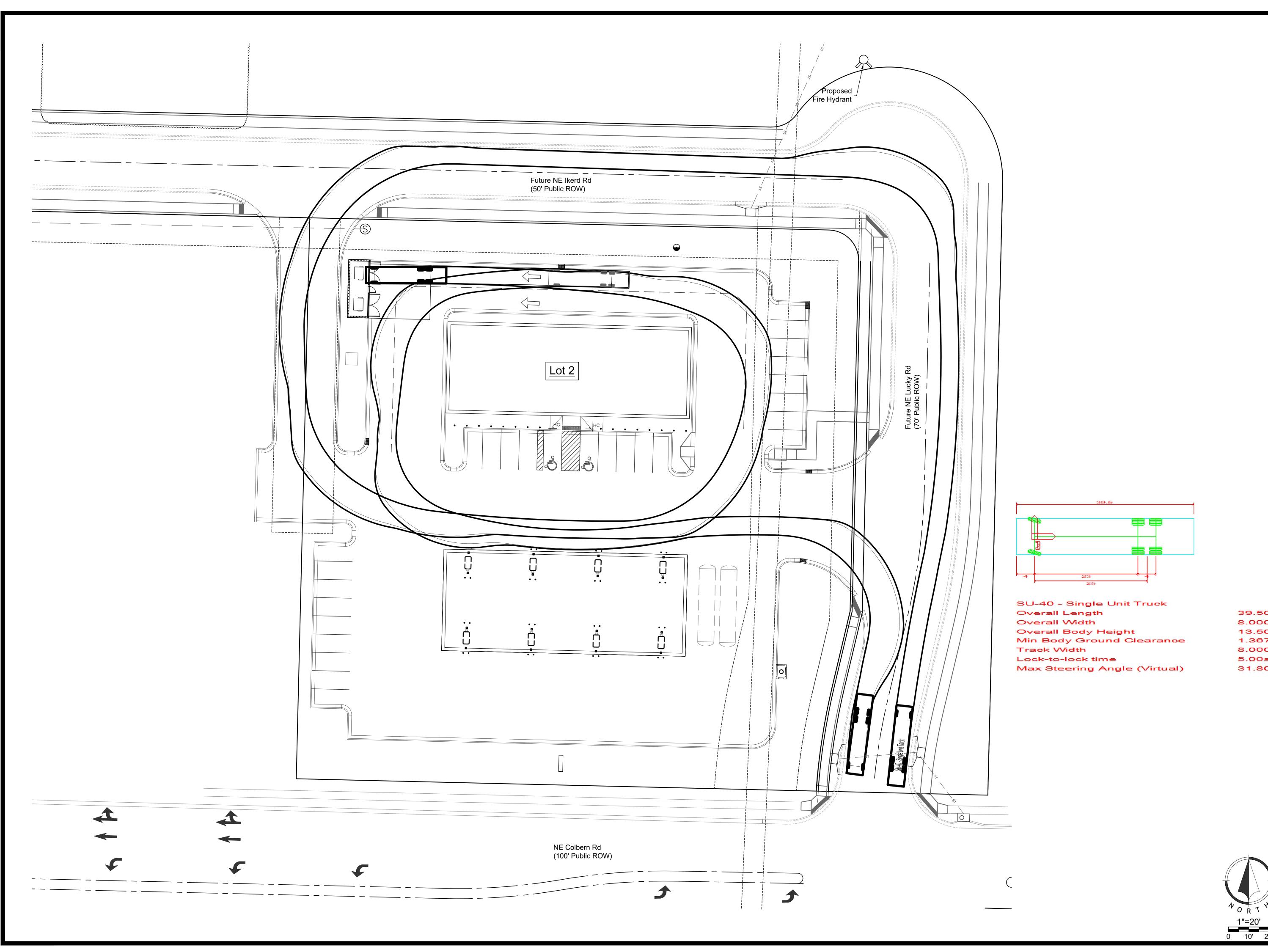
The contractor shall provide all materials, tools, equipment, and 3. Erosion control plan modifications shall be required if the plan fails to substantially control erosion and offsite sedimentation. 4. The contractor shall be responsible for maintaining erosion control whichever is the later date. The contractor shall temporarily seed and mulch all disturbed areas fourteen (14) calendar days. Contractor to install all Phase I erosion control devices prior to nuisance.

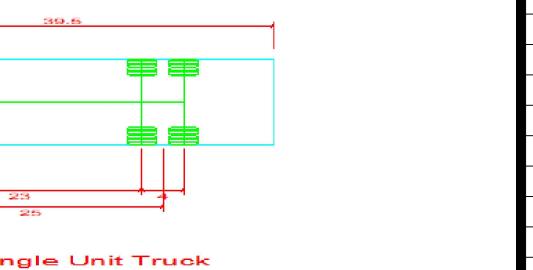


Sheet C15

Development Plans





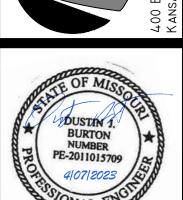


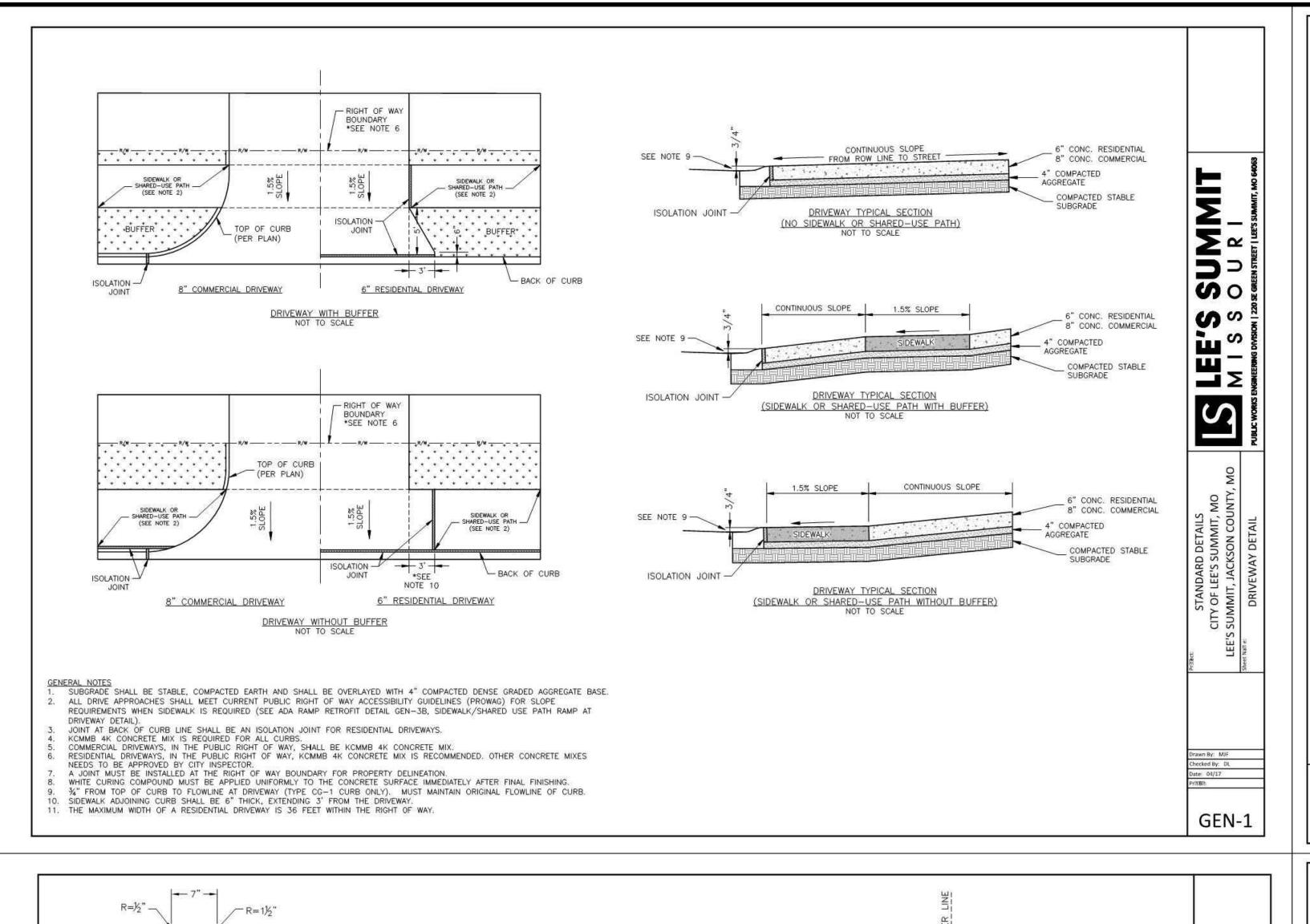
8.000ft 1.367ft 8.000ft 5.00s 31.80°

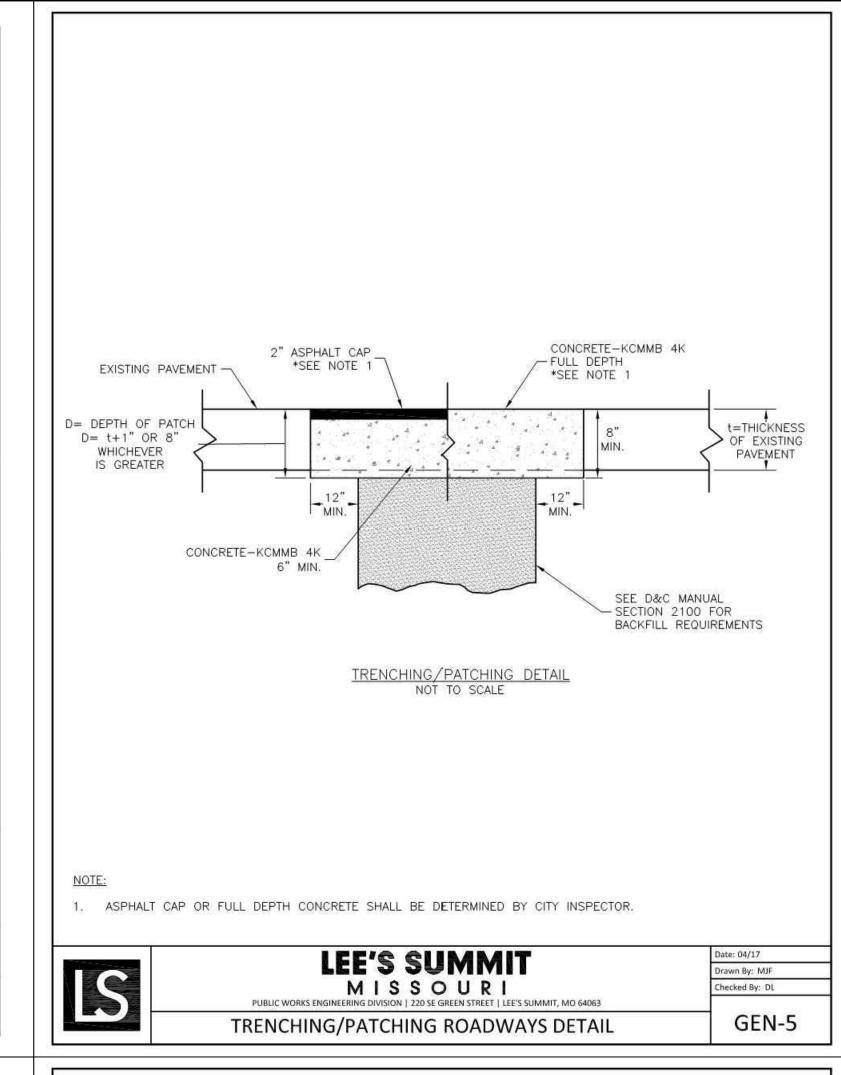
39.500ft 13.500ft

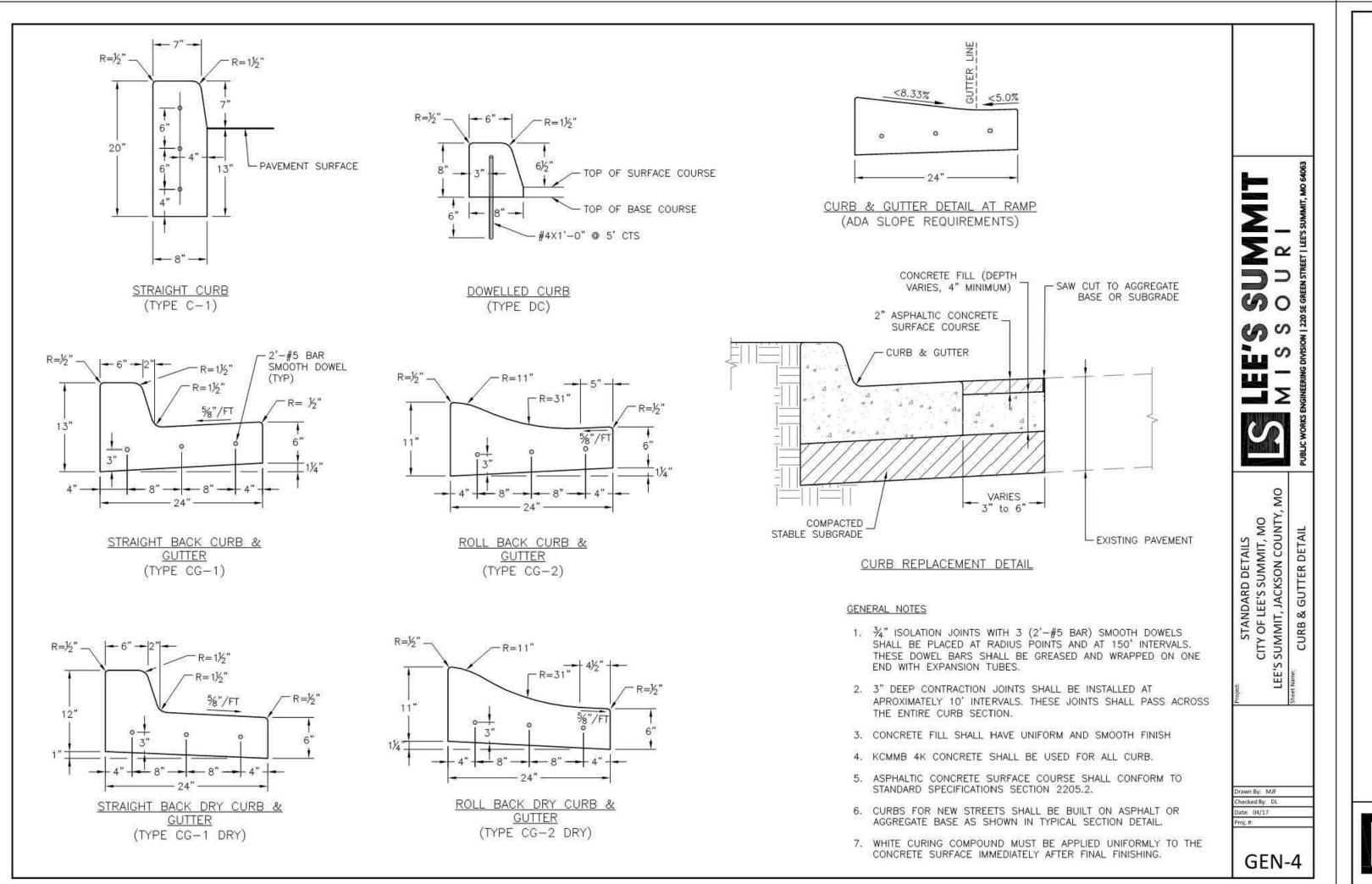
Final Development Plans

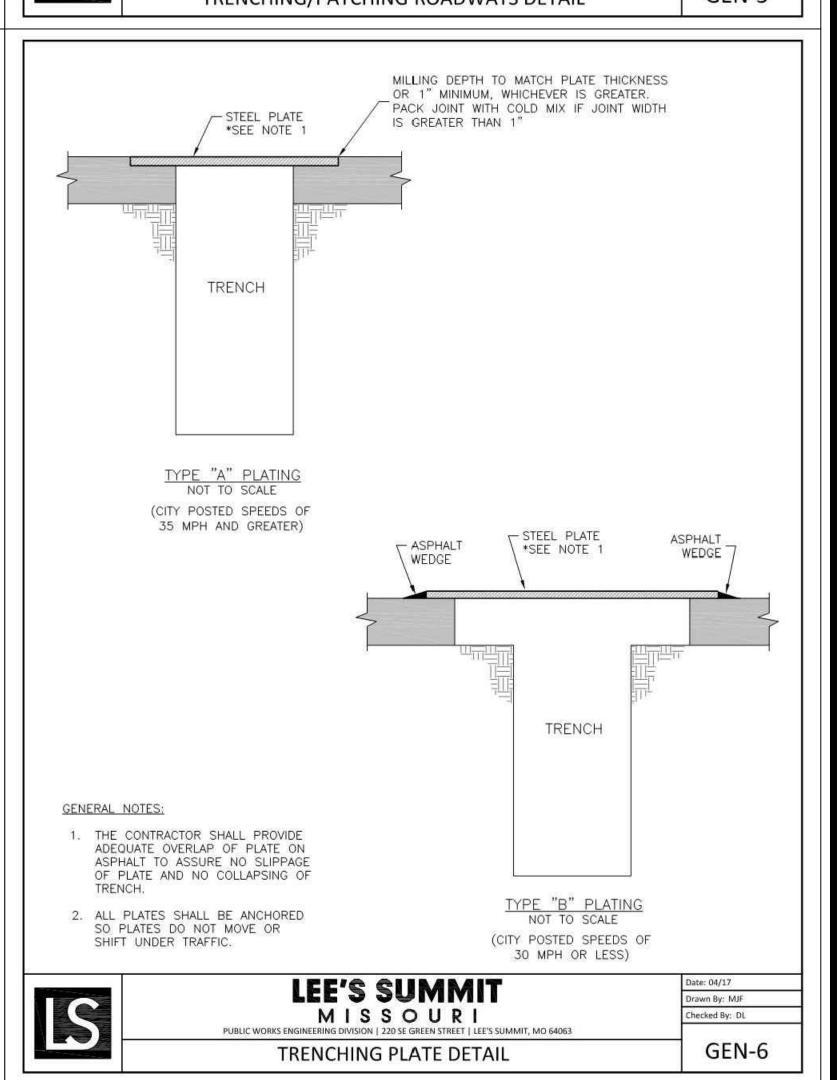


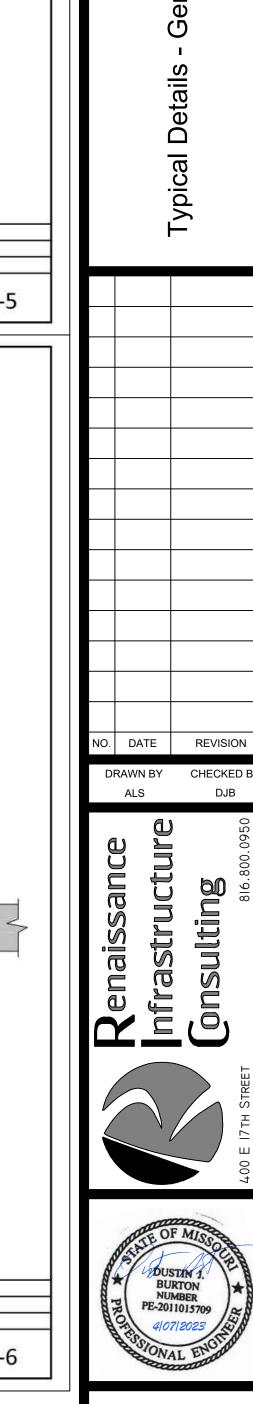












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ascriwalitz Apr 07 , 2023-1:11pm Z:\RIC Desian\2022\22-0133\Dwa\Sheets\FDP\22-0133 FDP-DET White Barrier-Free Logo

Sign Panel Shall Conform

Above Immediate Grades

TS 2"x2"x1/4" Post

Single Faced Post & Panel-

Non Illuminated

Concrete Footing

6.00' - 9.00' - 6.00' -

Accessible Parking Symbol and Signage Shall Comply with the Applicable

Recommendations of the Manual of Uniform Traffic Control Devices (MUTCD)

ACCESSIBLE PARKING DETAIL (90°)

Not to Scale

Zero Height Curb

Van Accessible Parking Sign

(To Be Used Only at

Designated Van Spaces)

HANDICAP SIGNAGE

Not to Scale

Detectable Warning Surface

Accessible Wheelchair Marking -

(Typical Each Space, -

to be Placed on Post)

Taper Curb with Ramp -

Standard Curb and Gutter —

Accessible Wheelchair Marking

Accessible Parking Symbol -

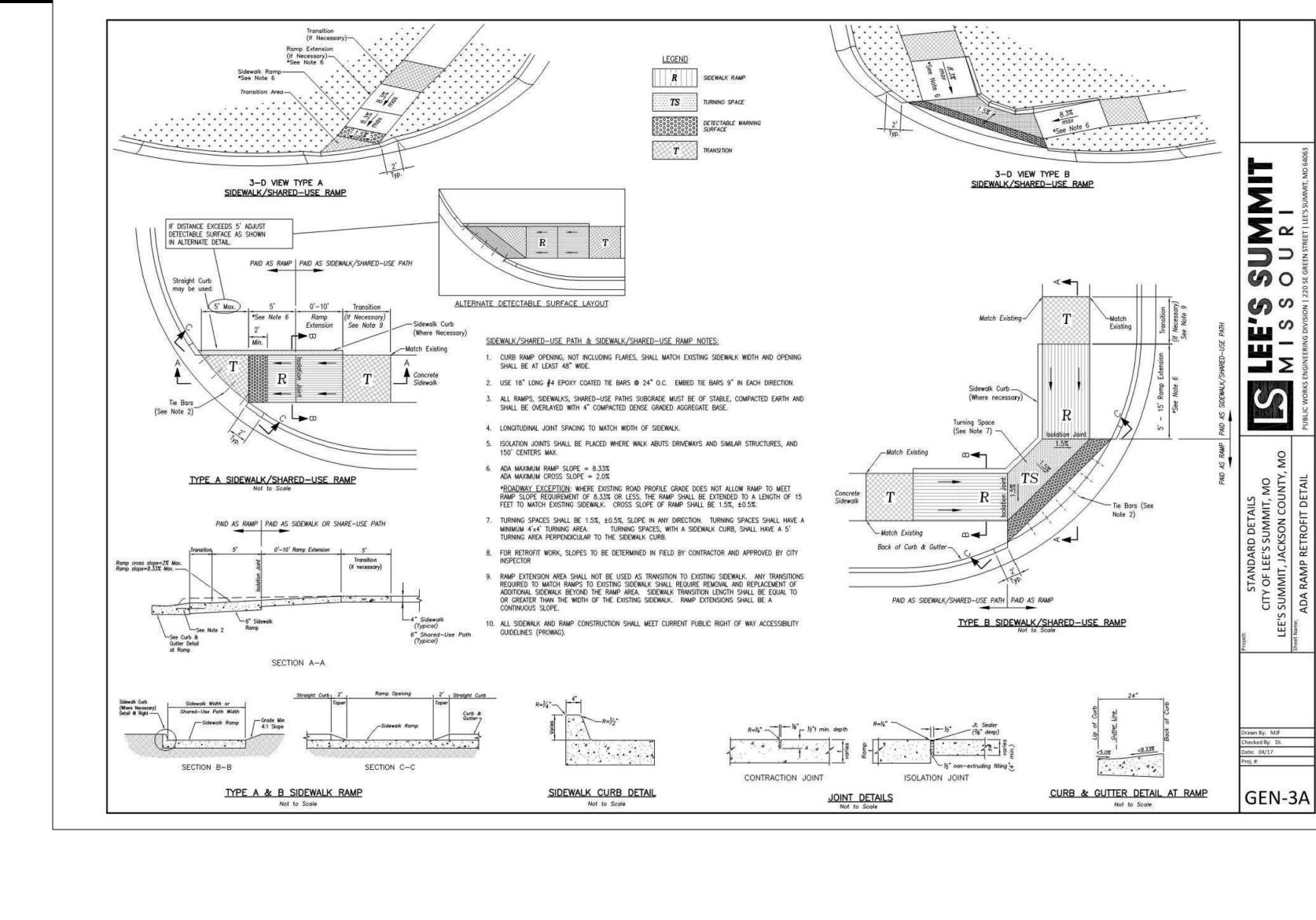
Per City Standards

Center the Sign at 5 Feet Above the Parking Surface at the Head of the Parking Space Traffic Control Signs Mounted a Min. of 60"

Internal Bracing

(Shown Dashed)

To R7-8 Sign Type



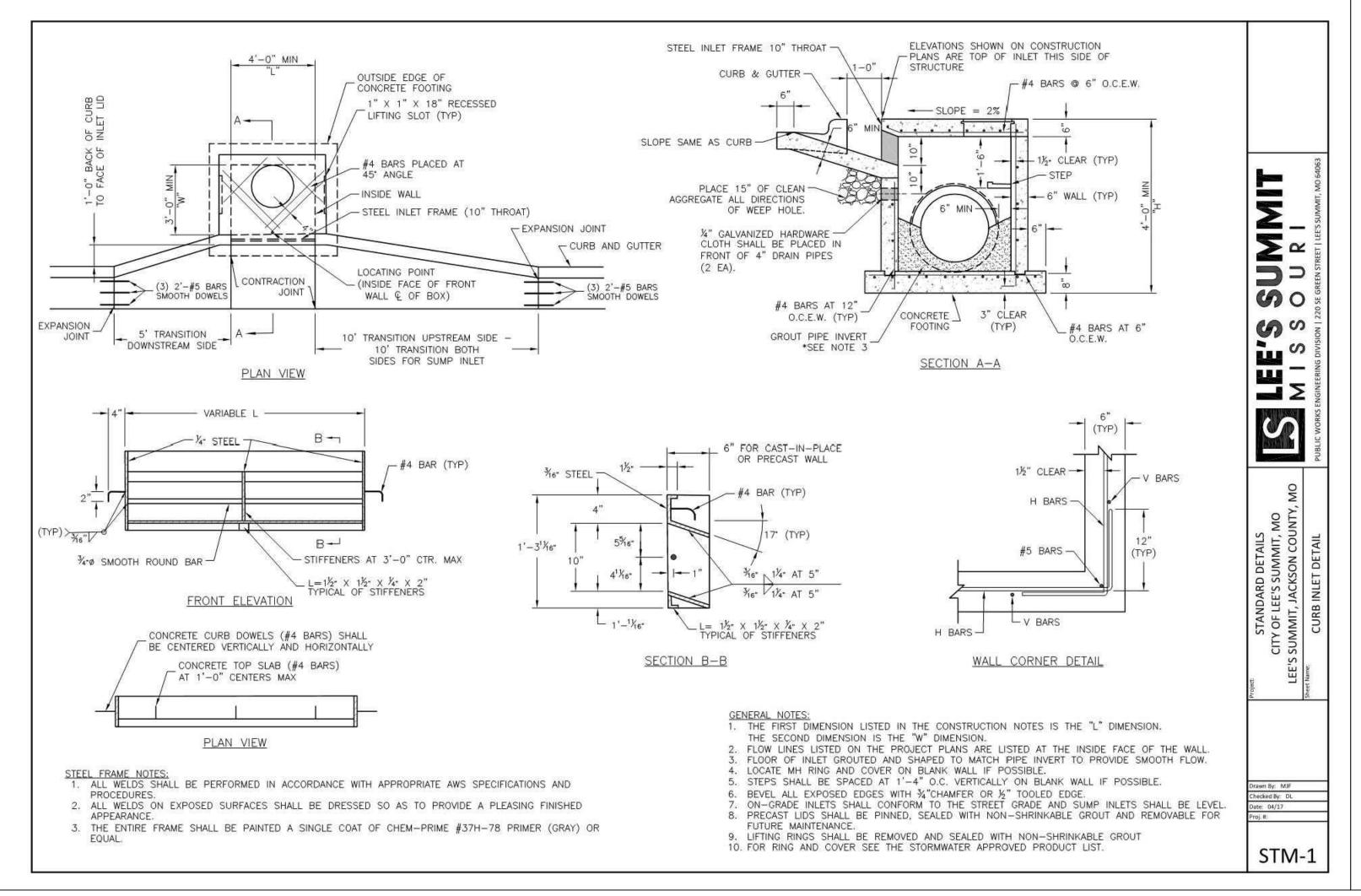
Details Renaissance Infrastructure Onsulting

Development

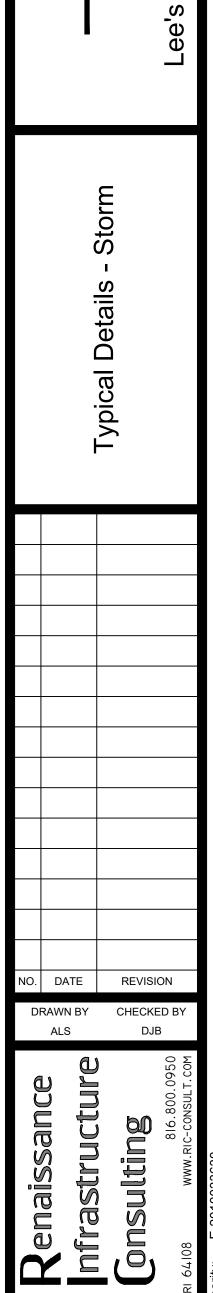
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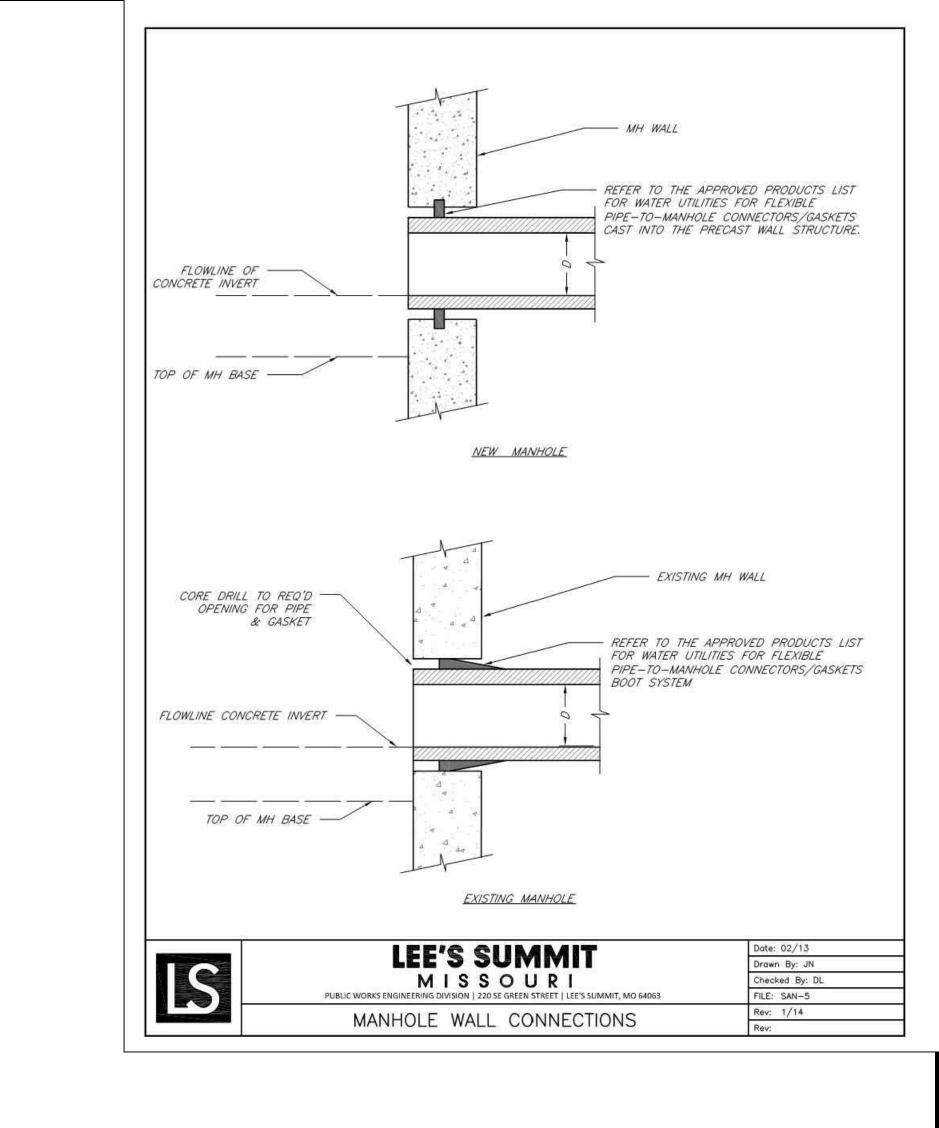




22-0133 artland Market Jackson Count

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BURTON NUMBER PE-2011015709 4/07/2023



NO. DATE REVISION

DRAWN BY CHECKED BY
ALS DJB

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Typical Details

Development Plans

Final

22-0133 Heartland Market imit, Jackson County, N

Renaissance Infrastructure Consulting





Sheet

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Final Development Plans Typical Details - Water NO. DATE REVISION DRAWN BY CHECKED BY
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BURTON
NUMBER
PE-2011015709 Sheet C22