

Final Development Plans

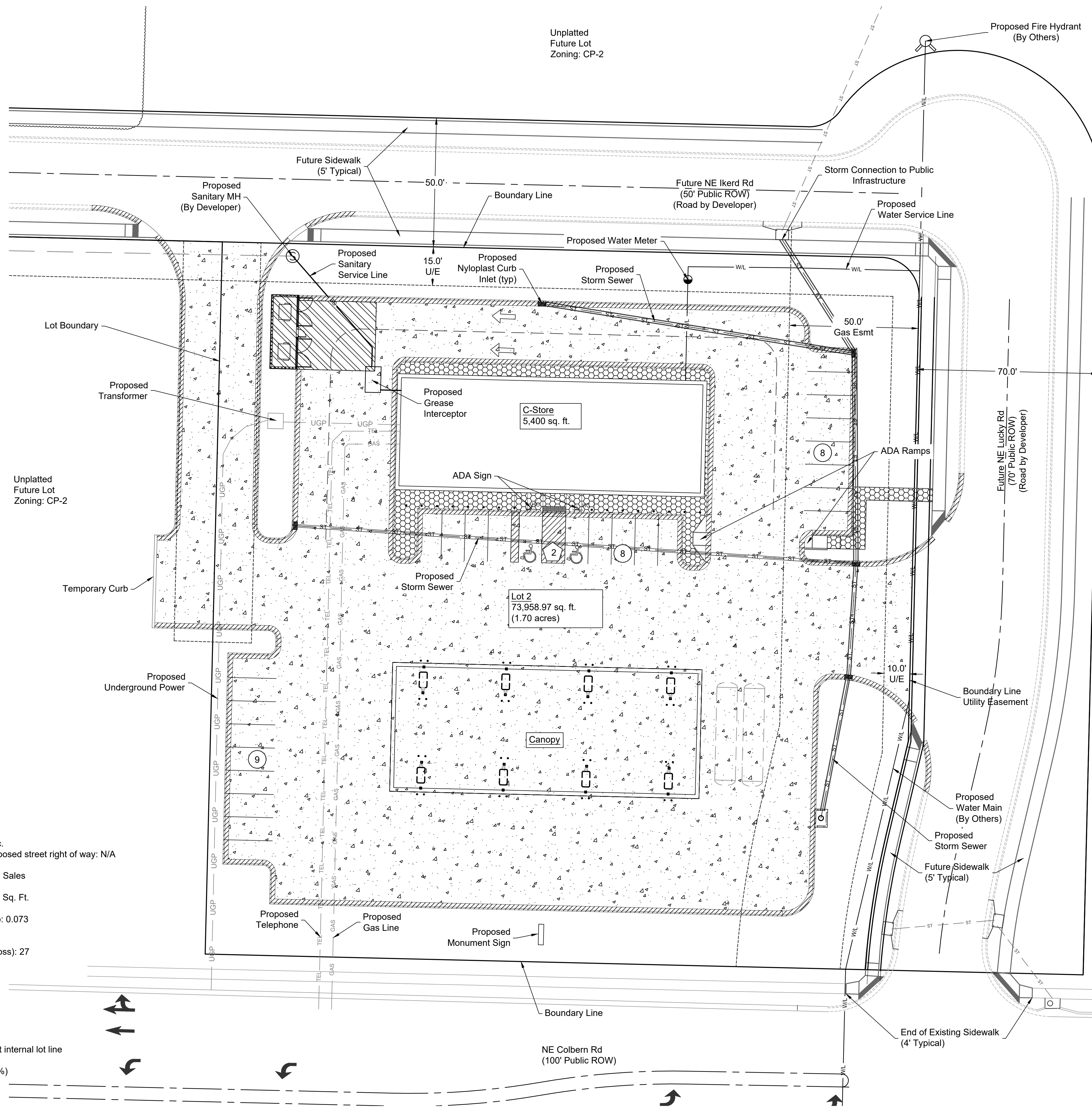
APPROVED FOR ONE YEAR FROM THIS DATE

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SITE DATA TABLE (Proposed):

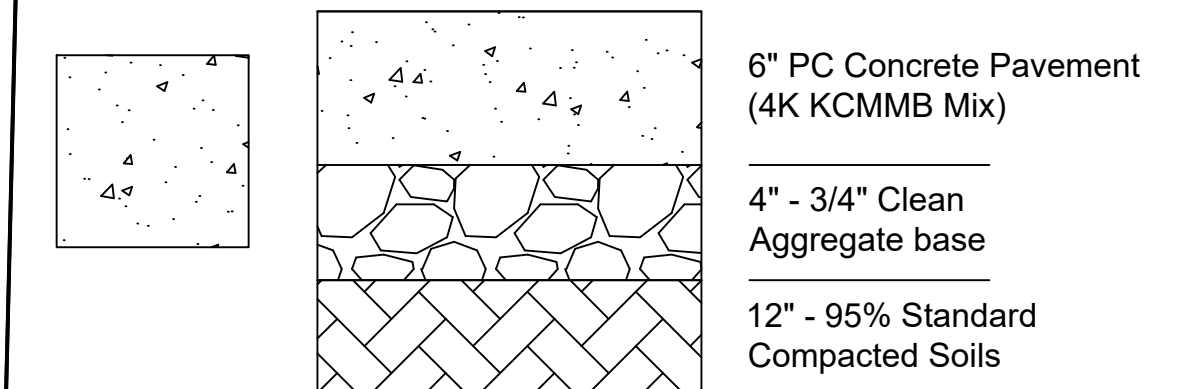
LOT 2:

- A. Zoning: CP-2
B. Total Lot Area: 73,959 Sq. Ft. = 1.70 Ac.
C. Land Area or acres for existing and proposed street right of way: N/A
D. Net Land Area: 1.70 Acres
E. Proposed Use: Convenience Store/Fuel Sales
F. Height above Grade at Building: 25.67'
G. Gross Floor Area - Main Building: 5,400 Sq. Ft.
H. Total Floor Area: 5,400 Sq. Ft.
I. Building Coverage and Floor Area Ratio: 0.073
J. Residential Gross and Net Density: N/A
K. Commercial Parking
Required - 5 stalls per 1,000 Sq. Ft. (gross): 27
Provided: 27 Stalls (2 ADA)
L. Parking Set Back:
20 ft from Colbern Rd
15 ft from other roads
0 ft internal
M. Building Set Back
Front yard: 15 ft (from Colbern Rd)
Side yard: 15 ft (from NE Lucky Rd), 0 ft internal lot line
Rear yard: 15 ft (from NE Ikerd Rd)
N. Impervious Area: 56,557 Sq. Ft. (76.47%)
Pervious Area: 17,402 Sq. Ft. (23.53%)

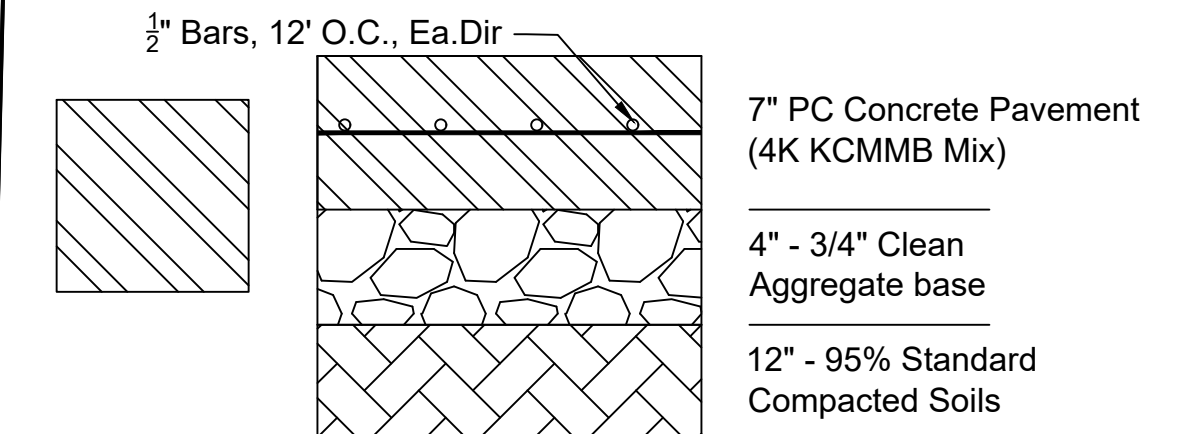


PAVEMENT SECTION DETAILS

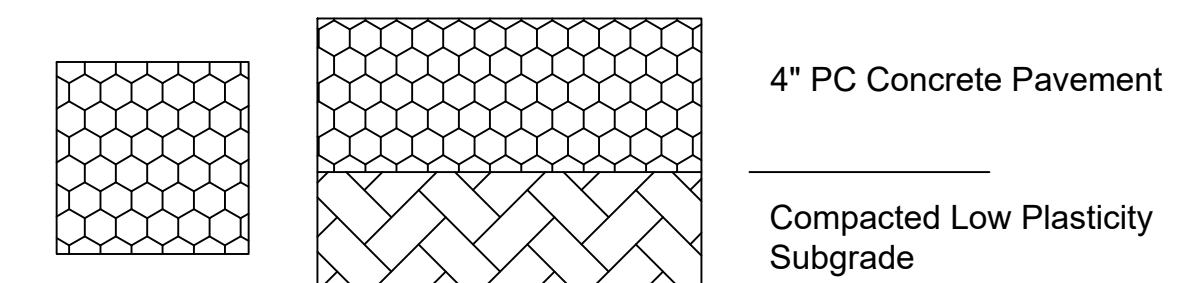
PC Concrete Pavement



Heavy Duty Concrete Pavement



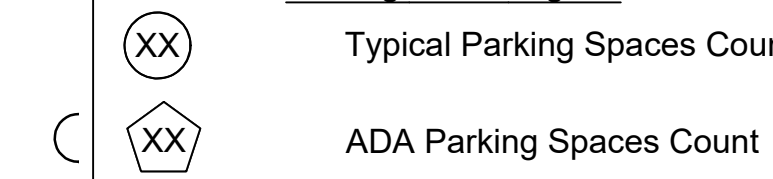
Sidewalk Pavement

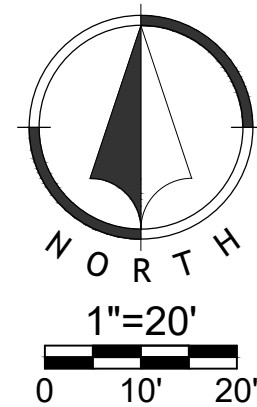


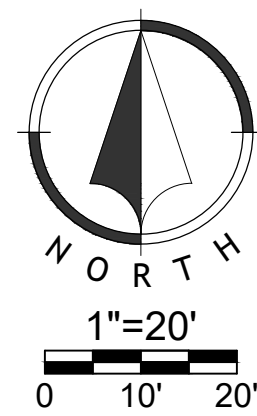
CG-1 Curb

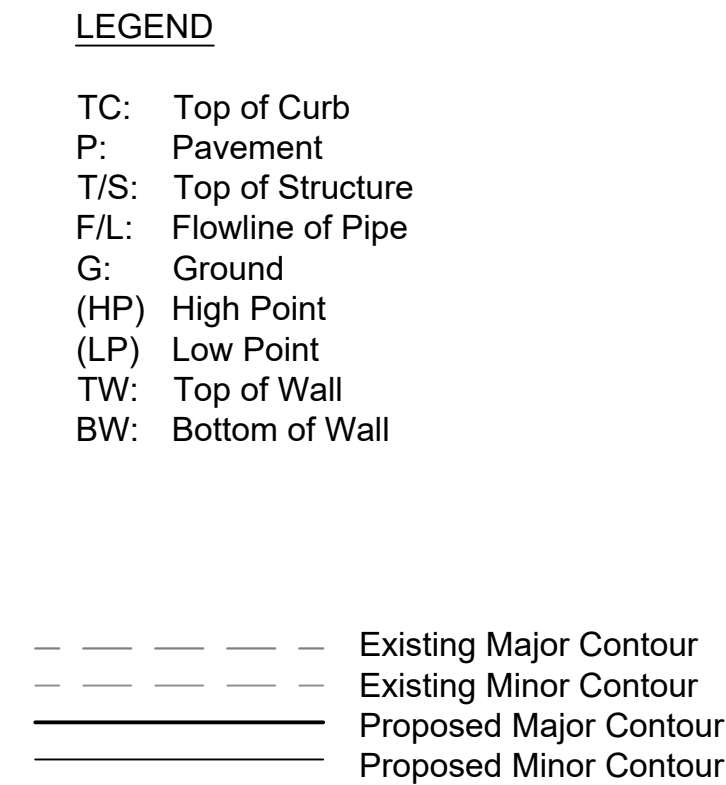
Lot 2 Information:
Required Parking: 27 (5 / 1000 sq ft of gfa)
Provided Parking: 27 (2 ADA)

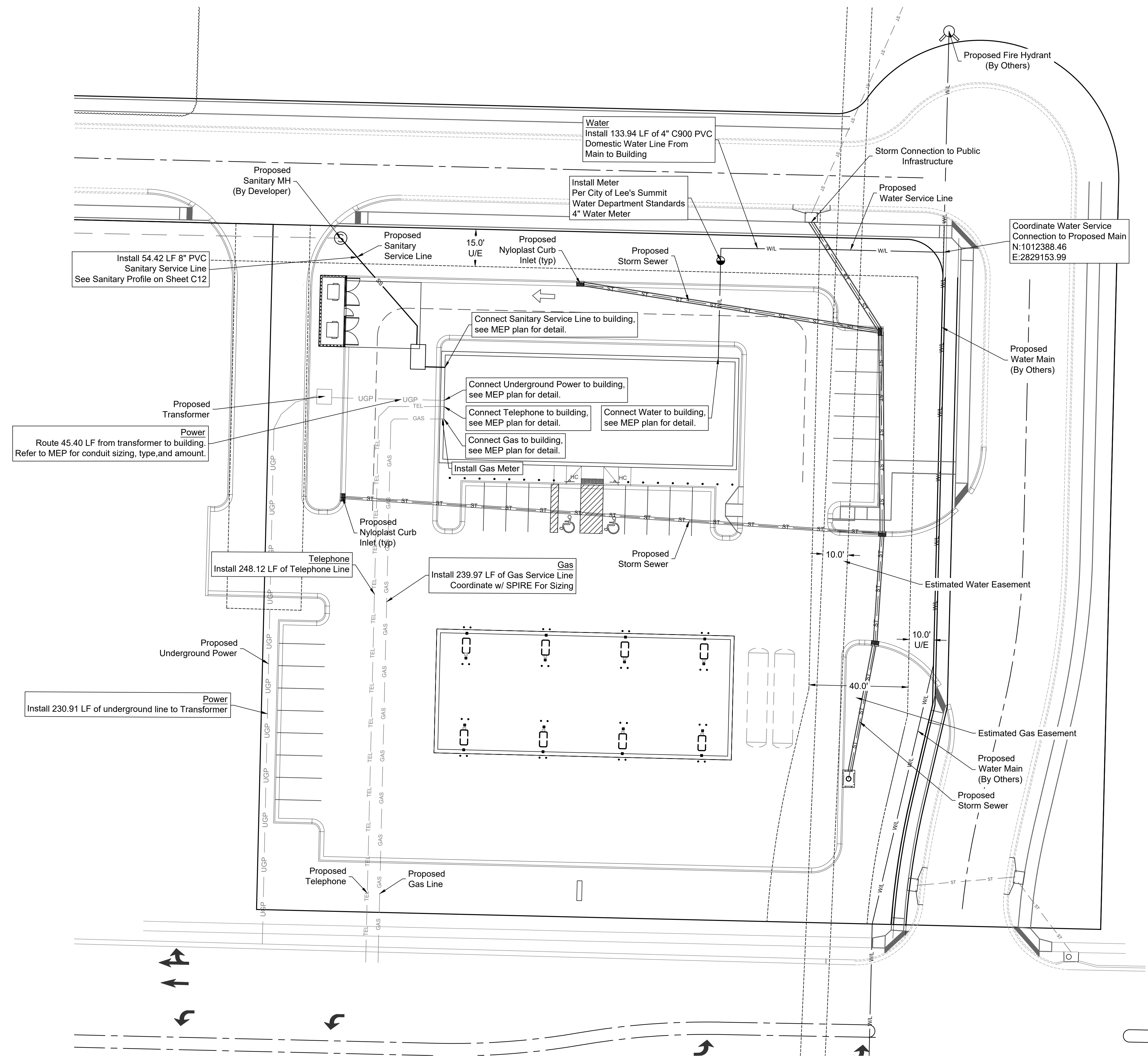
Parking Count Legend

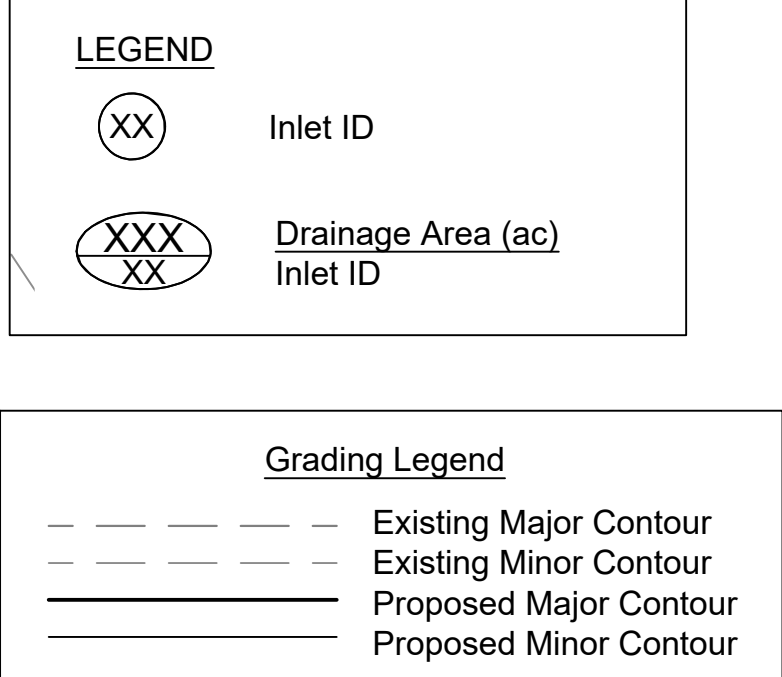












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ALS		DJB

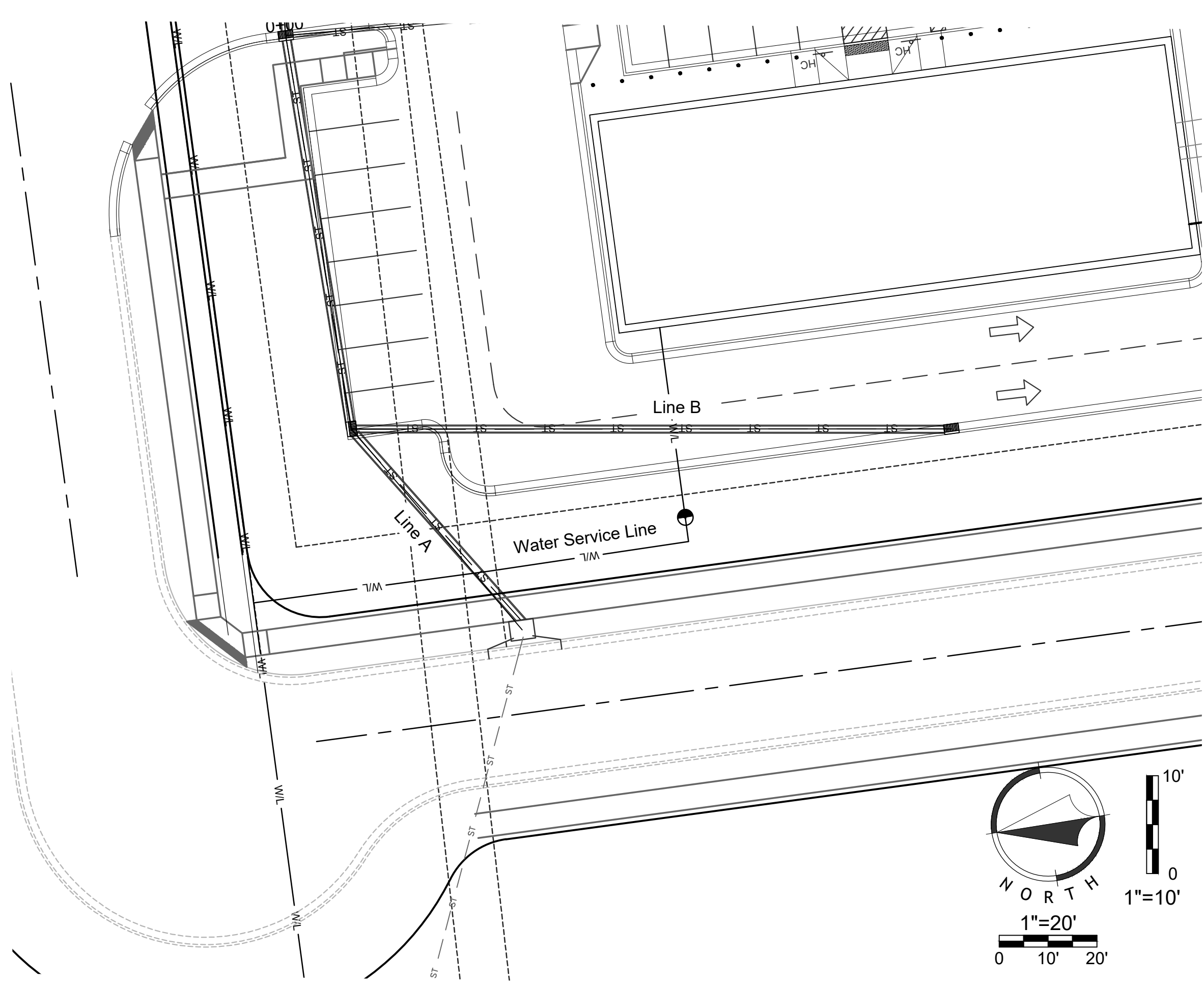
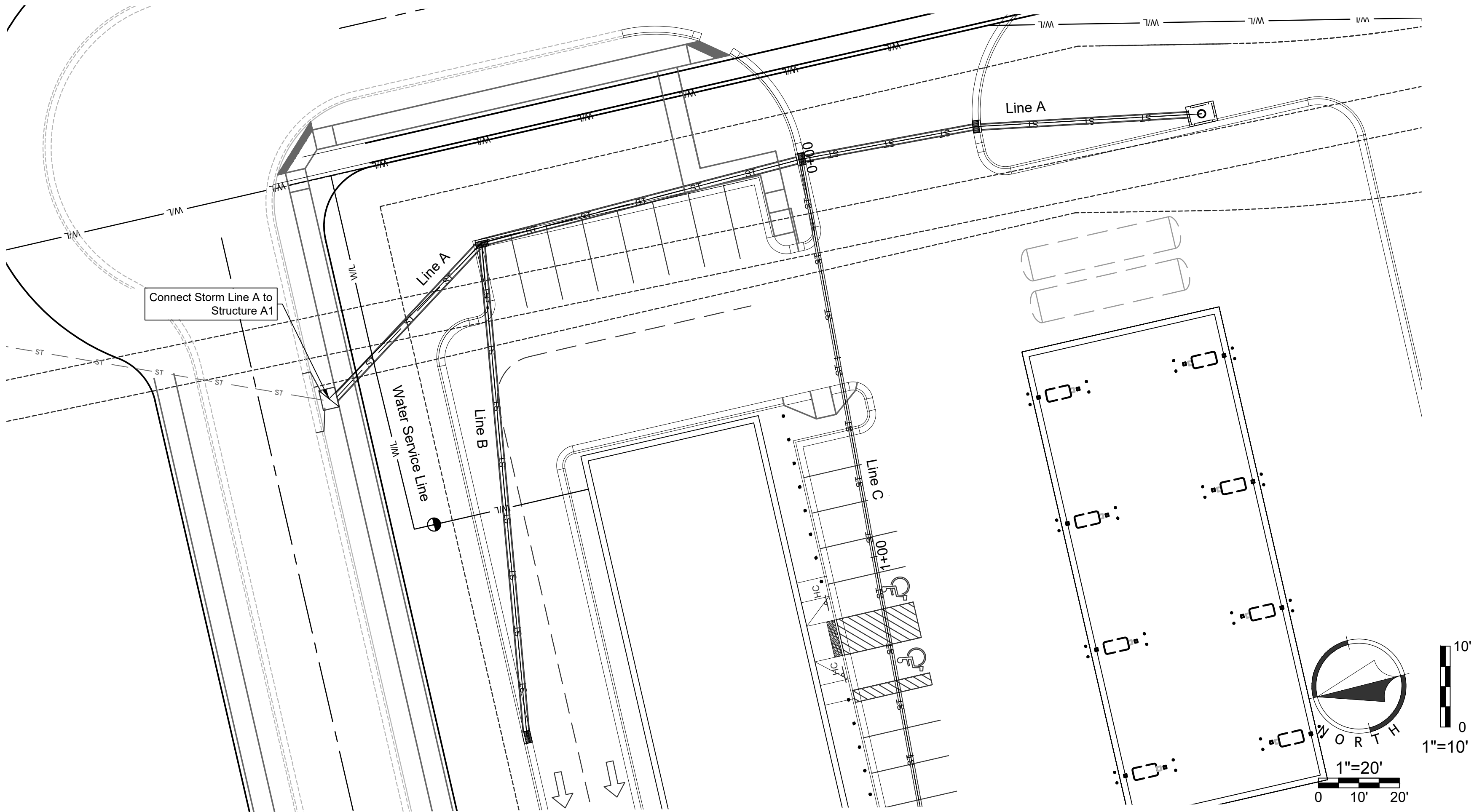
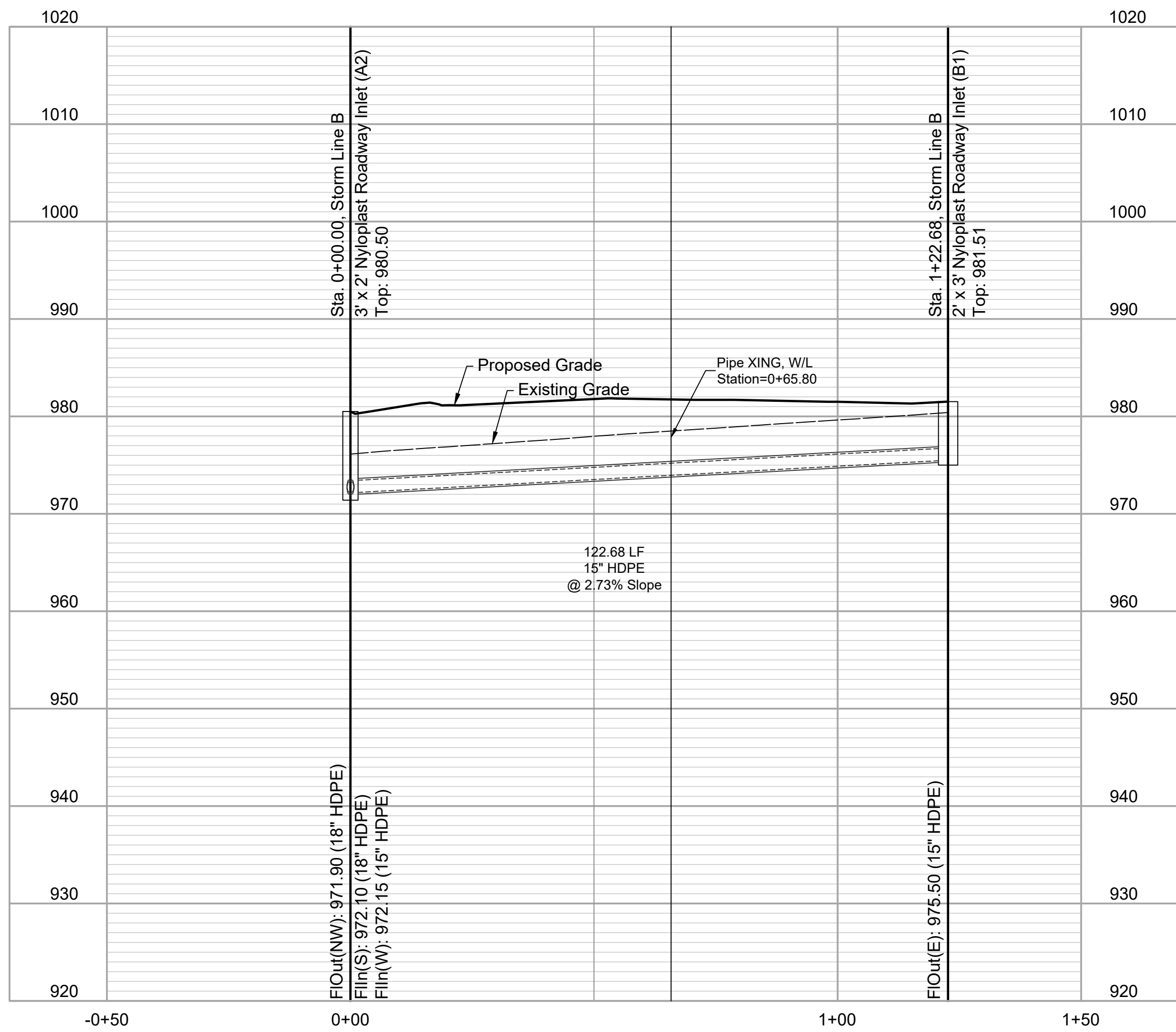
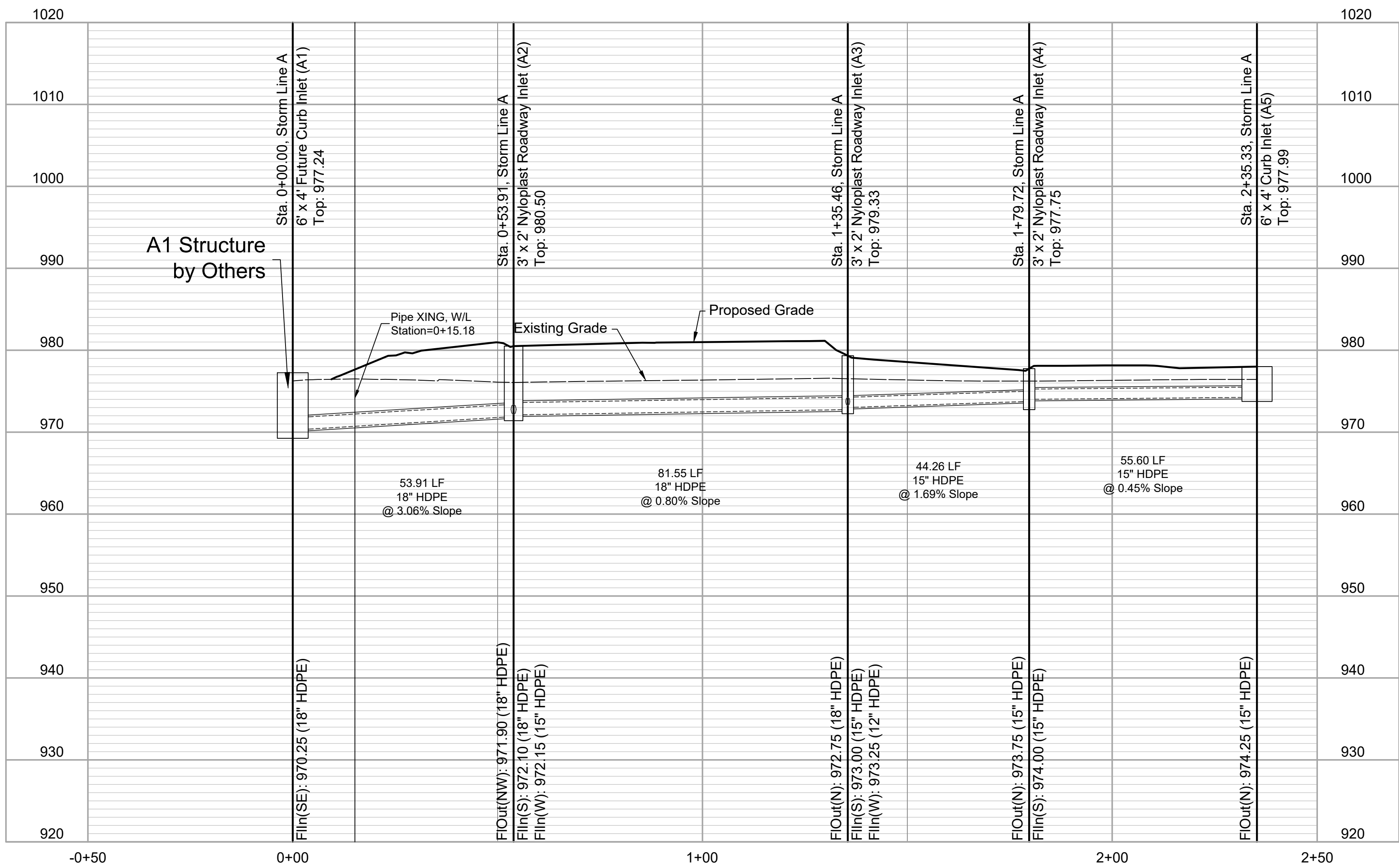
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Infrastructure
Consulting**



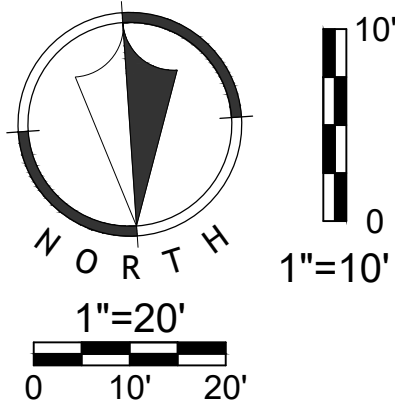
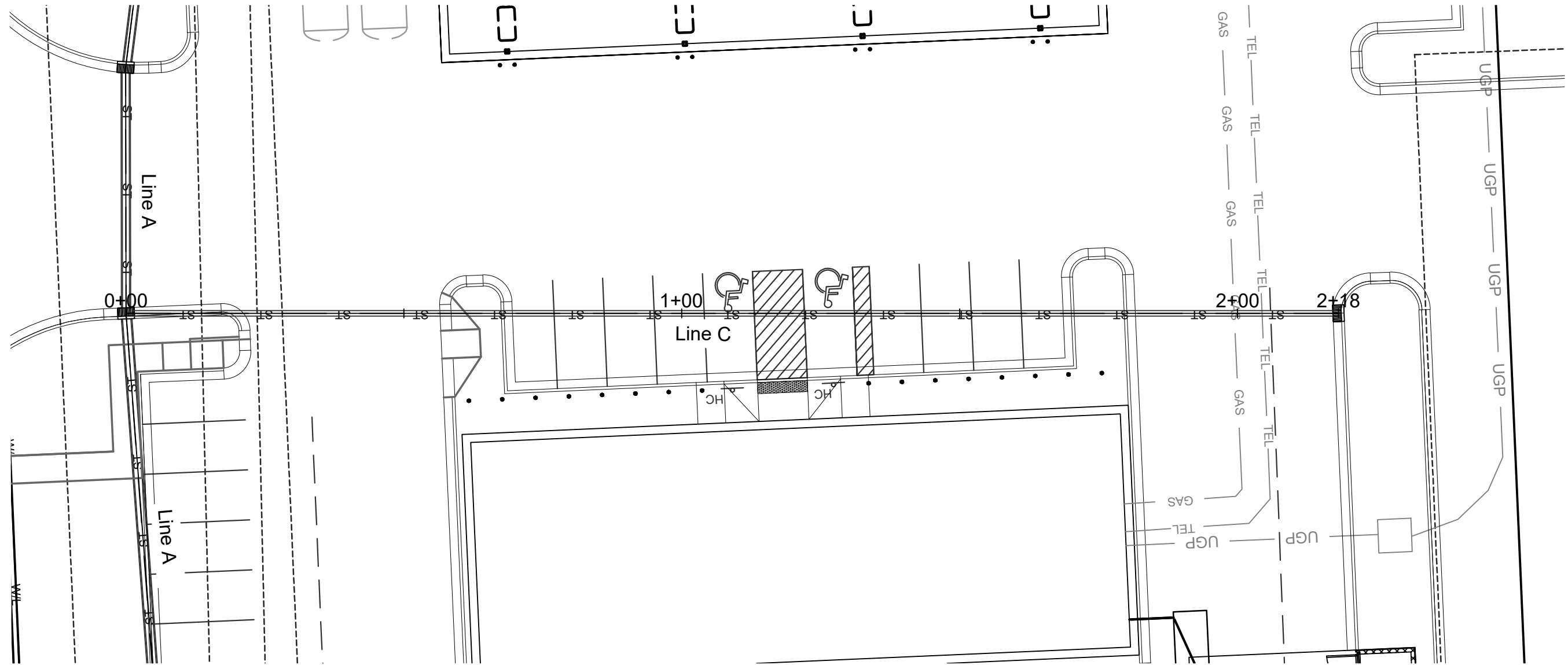
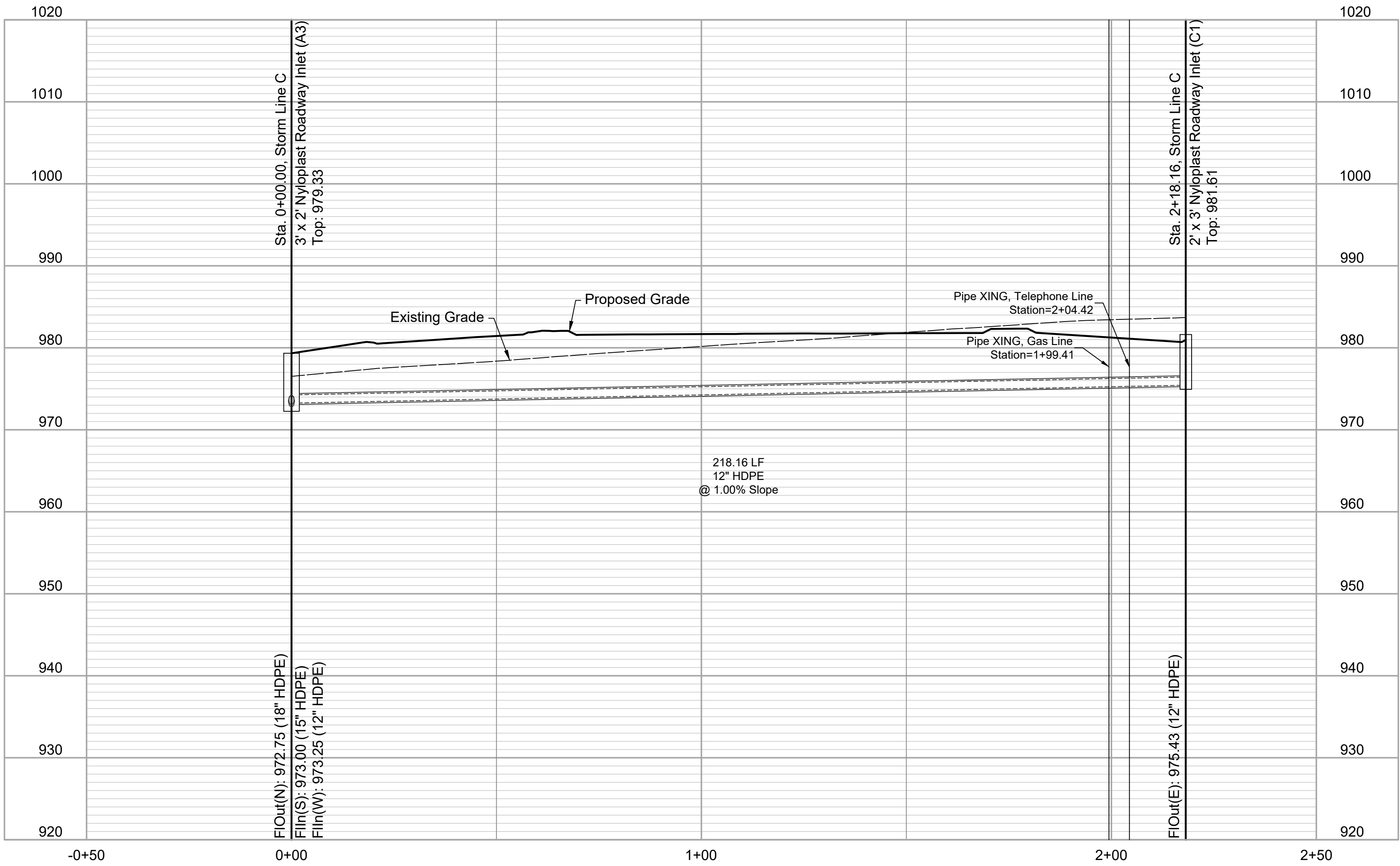
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ZZ-0133
Heartland Market
Lee's Summit, Jackson County, Missouri

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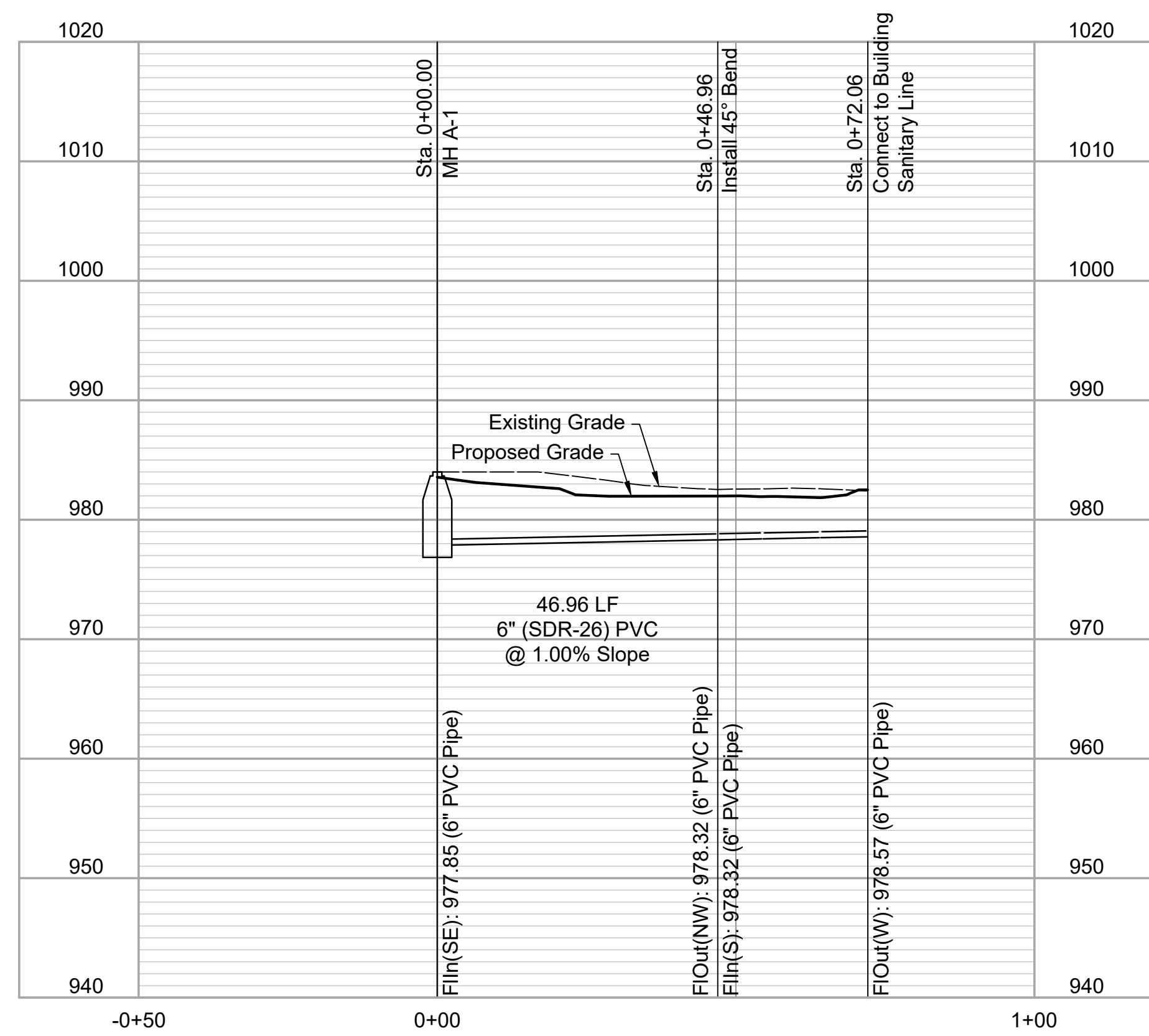
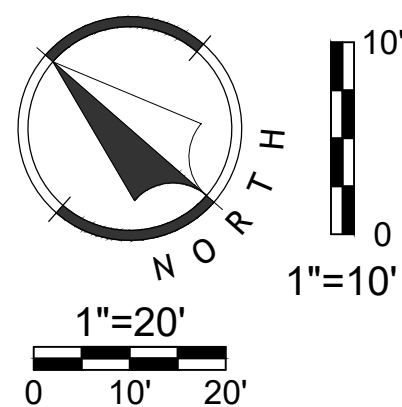
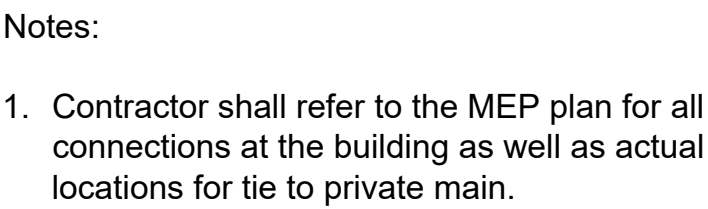


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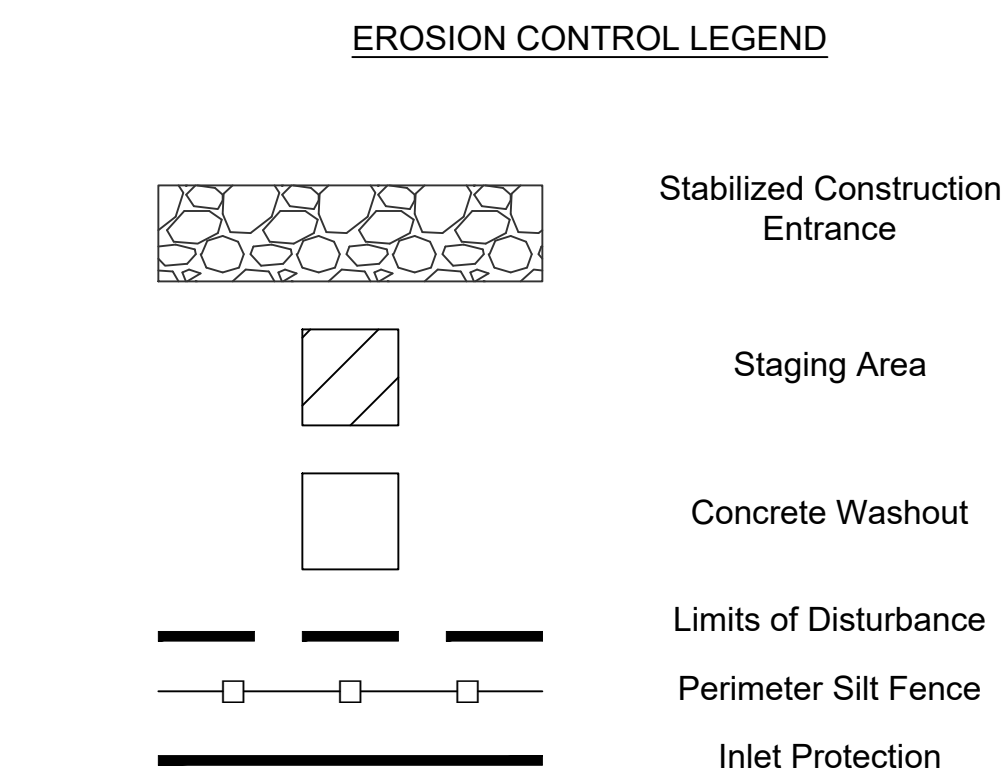
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MO Certificate of Authority: E-2010033630





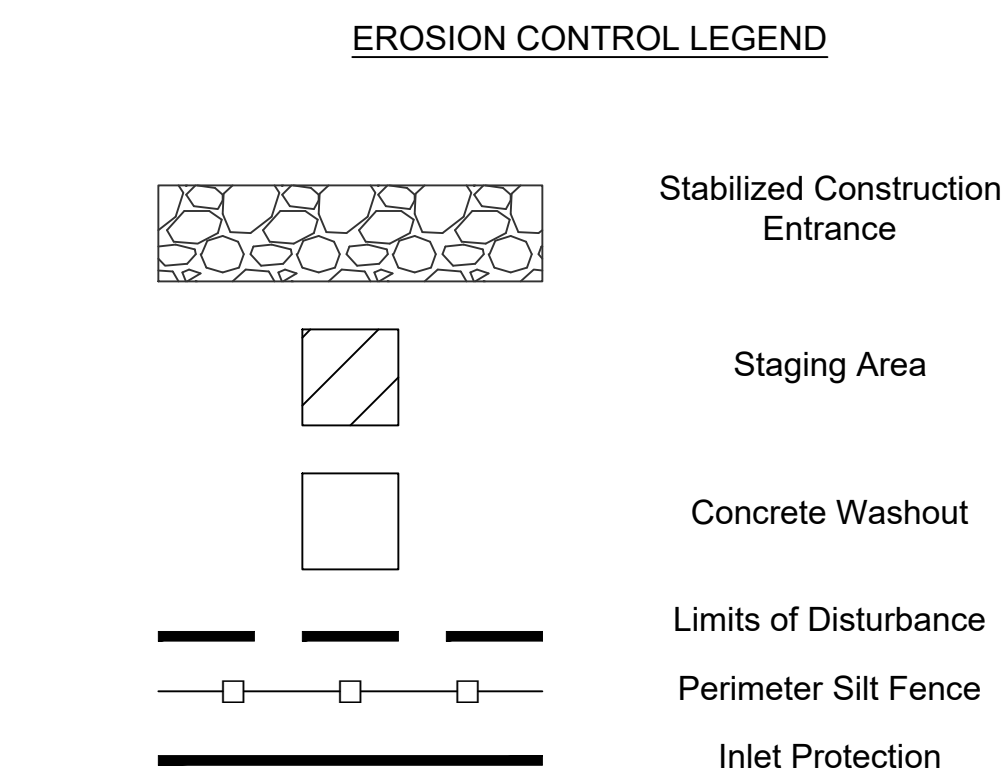
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1. All work in place easements and right-of-way and all erosion control work must comply with the latest specifications set forth by the City of Lee's Summit, MO, the Kansas City Chapter of American Public Works Association (APWA). If any of the specification and/or general notes conflict with the requirements provided by the City of Lee's Summit, the City of Lee's Summit's standards shall override.
2. The contractor shall provide all materials, tools, equipment, and labor as necessary to install and maintain adequate erosion control, keep the streets clean of mud and debris, and prevent soil from leaving the project site. The contractor's erosion control measures shall conform to the City of Lee's Summit, MO, the Kansas City Chapter of American Public Works Association (APWA), Standards and Specifications.
3. Erosion control plan modifications shall be required if the plan fails to substantially control erosion and offsite sedimentation.
4. The contractor shall be responsible for maintaining erosion control devices and removing sediment until a minimum of 70% of permanent vegetation has become stabilized and established. Erosion control devices shall remain in place until the 70% established vegetation is met, or the duration of the project, whichever is the later date.
5. The contractor shall temporarily seed and mulch all disturbed areas if there is to be no construction activity on them for a period of fourteen (14) calendar days.
6. Install 'J' Hooks on silt fence every 100 LF
7. Contractor to install all Phase I erosion control devices prior to construction.
8. Contractor shall replace disturbed area with seed or sod, as indicated on the plans, and shall be installed within 14 days after paving completion and final topsoil grading.
9. Topsoil replacement shall be 6" thick.
10. Silt fence to be installed in accordance with the City of Lee's Summit, MO.
11. Contractor shall remove mud and debris from City Streets and Outer Roadway within 4 hours of notification by City staff that it is a nuisance.

1. **Implement Pre-Construction Plan:**
All temporary structural BMP's shown on the BMP plan must be in place before any site disturbance. Clearing necessary to place temporary structural BMP's is the minimum required for installation. Coordinate clearing necessary to place temporary structural BMP's with local weather forecast so that clearing and placement may be completed within a forecast dry period. Stabilize all erosion control measures after installation. Temporary Barrier Fence shall be in place, around areas not to be disturbed, prior to any construction activities. This area includes Stream Corridor.
2. **Clear and Stabilize Work Areas:**
Grade contractor areas and place all-weather surface on contractor areas.
3. **Clearing and Grubbing:**
After Phase I BMP's are installed, contractor may clear, grub, and demo required areas as necessary.

	PROJECT STAGE	PLAN REFERENCE NUMBER	BMP DESCRIPTION	REMOVE AFTER PHASE	NOTES
Phase I	A-Prior to Construction	1	Construction Entrance	II	Install Construction Entrance in accordance with APWA Standard Detail ESC-01
		2	Staging Area	II	Install Staging Area
		3	Perimeter Silt Fence	III	Install Silt Fence in accordance with APWA Standard Detail ESC-03
		4	Concrete Washout	II	Install Concrete Washout as Shown on Plans Prior to Pouring Any Concrete in accordance with APWA Standard Detail ESC-01
		5	Inlet Protection	III	Install Filter Bags Prior to Construction, Maintain Until All Area is Stabilized.
Phase II	B-During Land Disturbance and Storm Infrastructure Installation	6	Inlet Protection	III	Install Filter Bags Prior to Construction, Maintain Until All Area is Stabilized.
Phase III	C-Final Stabilization	7	Establish Perennial Vegetation	N/A	Redistribute Topsoil and Seed and Mulch all Disturbed Area. Stabilization Complete when 100% of Disturbed Area is Established with Perennial Vegetation with a Density of 70%

EROSION CONTROL NOTES

1. All work in public easements and right-of-way and all erosion control work must comply with the latest specifications set forth by the City of Lee's Summit, MO, the Kansas City Chapter of American Public Works Association (APWA). If any of the specification and/or general notes conflict with the requirements provided by the City of Lee's Summit, the City of Lee's Summit's standards shall override.
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WRITTEN SEQUENCING

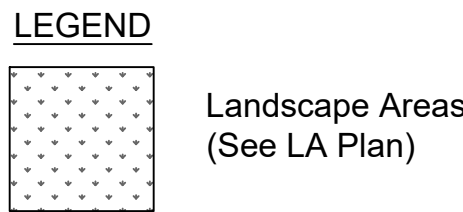
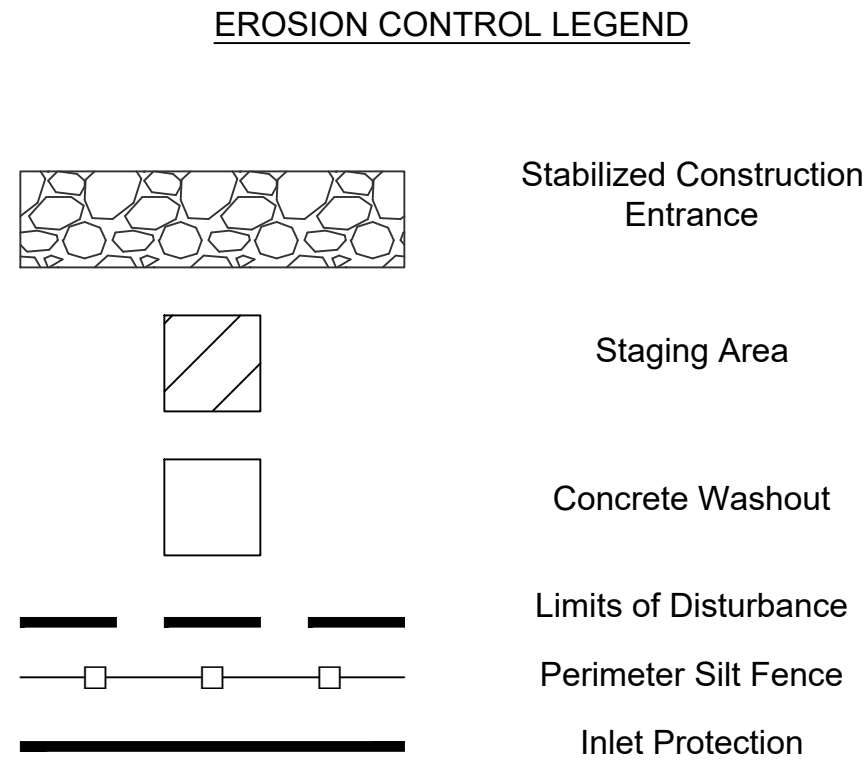
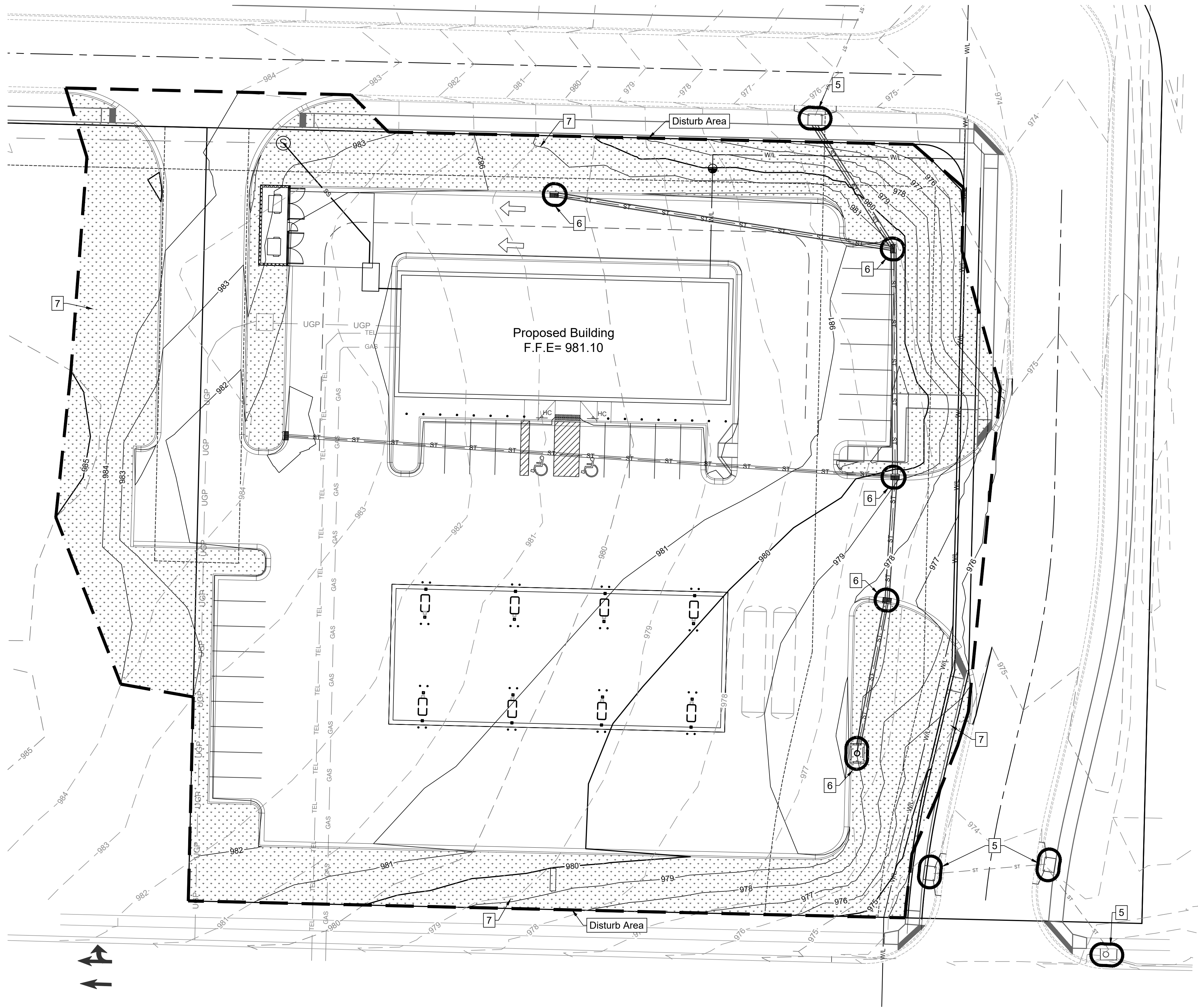
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Disturbed Area for Site Improvements : 1.95 Acres

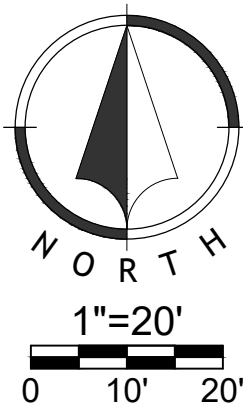


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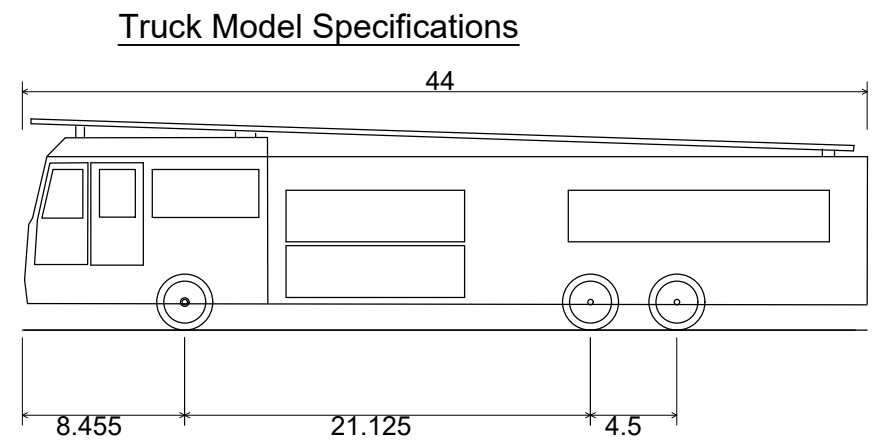
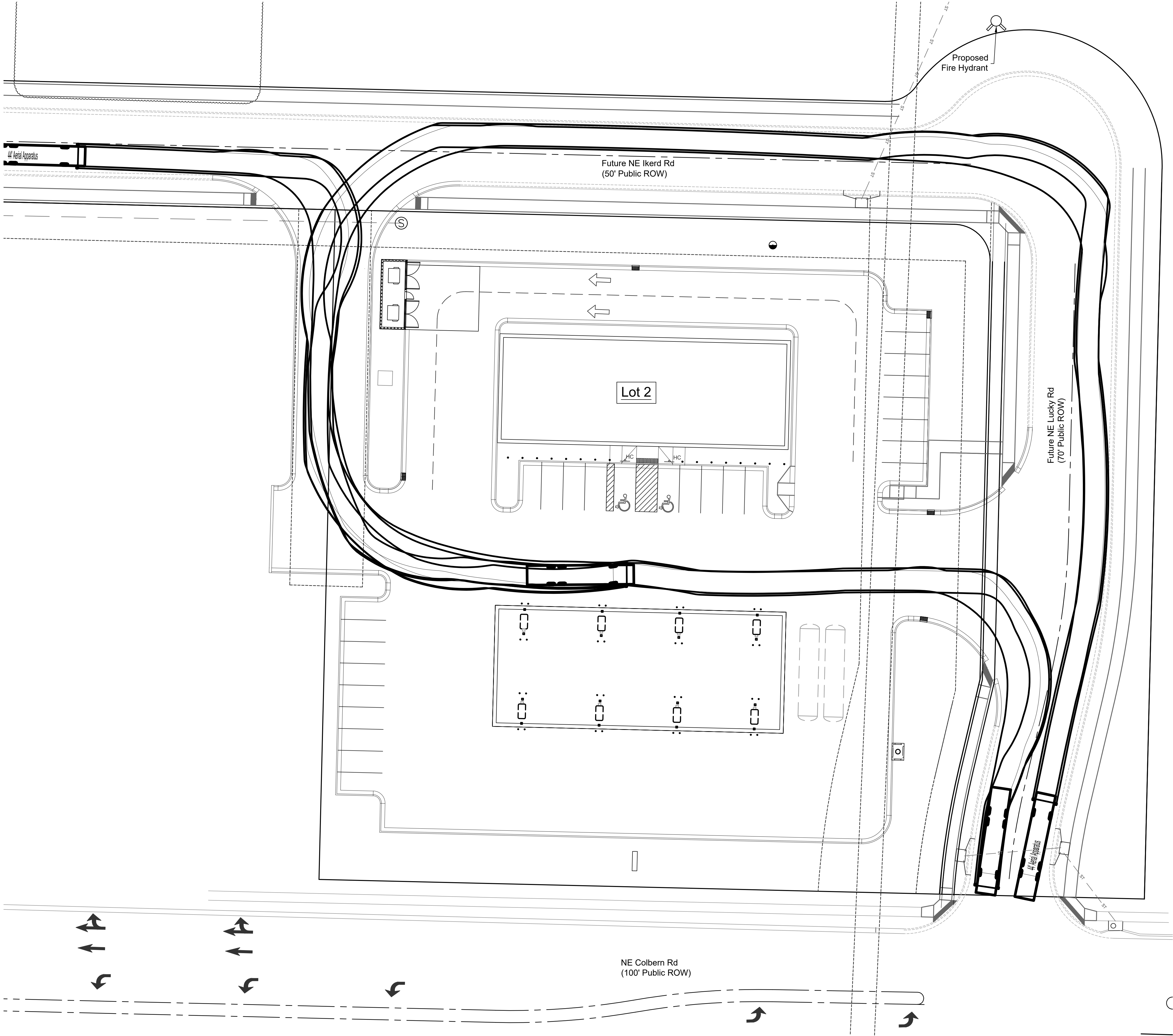
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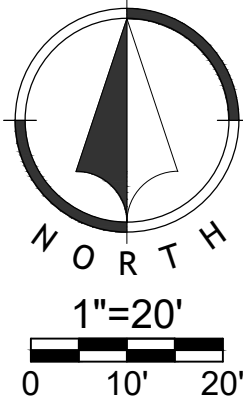
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44' Aerial Apparatus
Overall Length
Overall Width
Overall Body Height
Min Body Ground Clearance
Track Width
Lock-to-lock time
Max Wheel Angle

FT Scale
1" = 10'

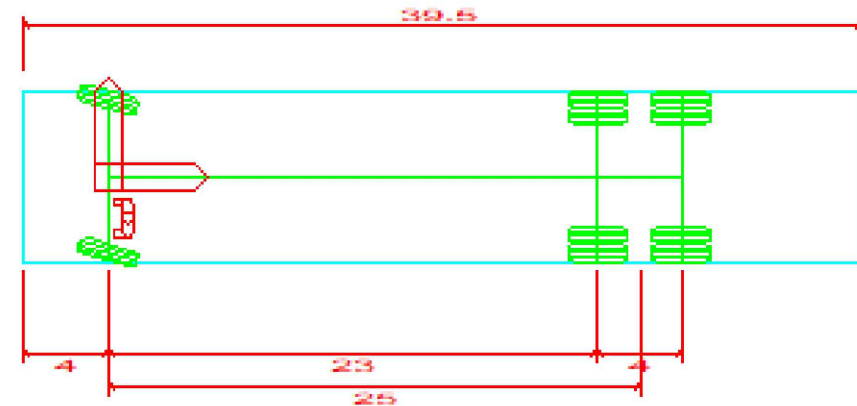
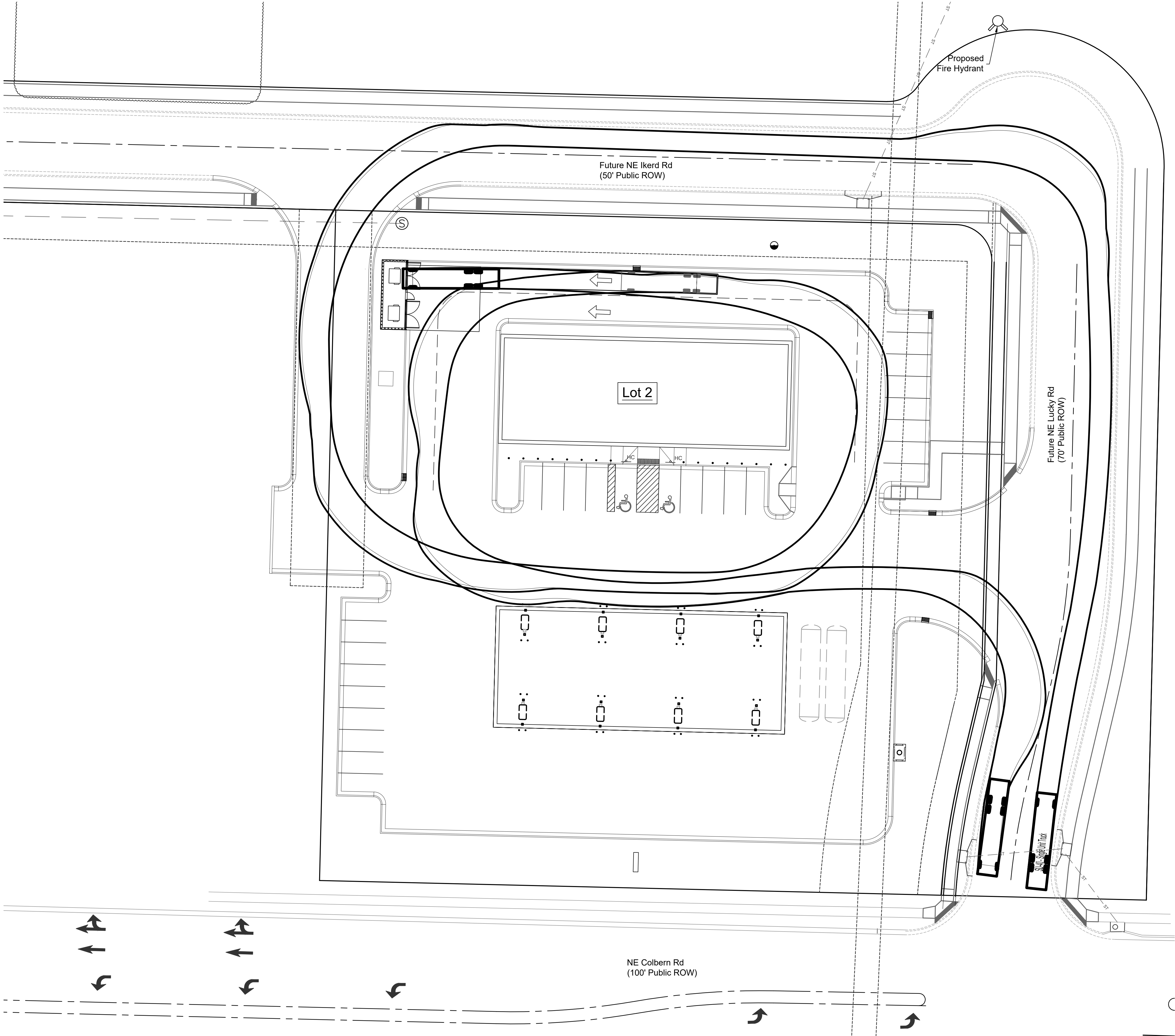
44.000ft
8.000ft
11.000 ft
1.400ft
8.000ft
4.00s
45.00°



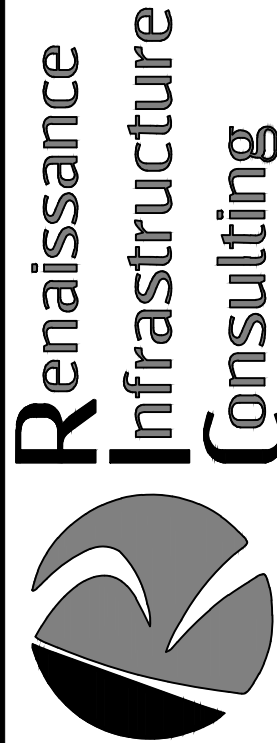
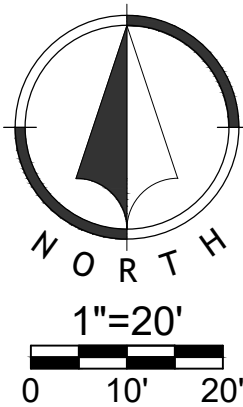
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SU-40 - Single Unit Truck
Overall Length 39.500ft
Overall Width 8.000ft
Overall Body Height 13.500ft
Min Body Ground Clearance 1.367ft
Track Width 8.000ft
Lock-to-lock time 5.00s
Max Steering Angle (Virtual) 31.80°



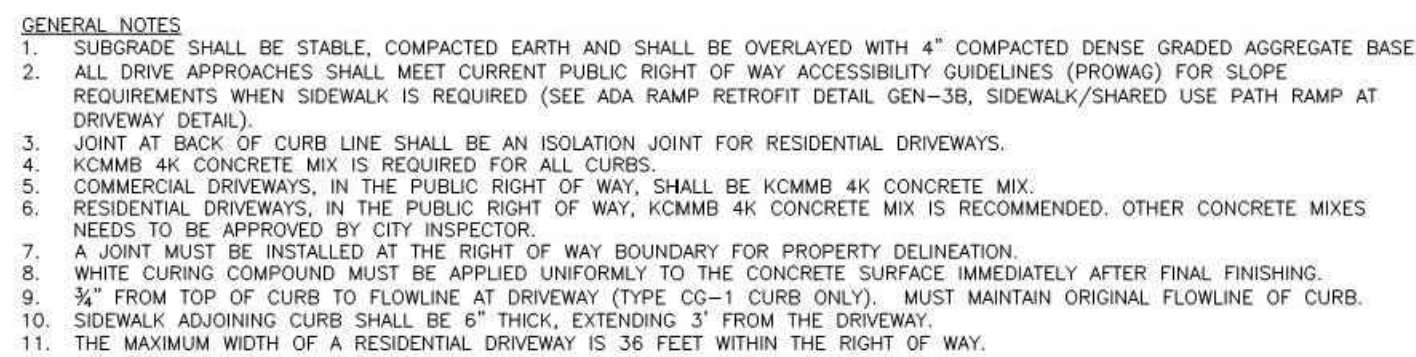
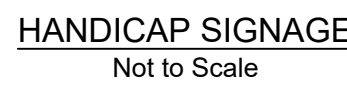
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Trash Truck Turning Plan

Final Development Plans
22-0133
Heartland Market
Lee's Summit, Jackson County, Missouri

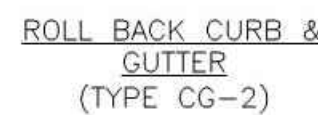
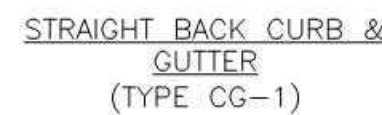
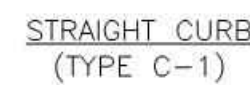
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STANDARD DETAILS
CITY OF LEE'S SUMMIT, MO
LEE'S SUMMIT, JACKSON COUNTY

GEN-1

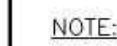


GENERAL NOTES

- LS
-
- LEE'S SUMMIT
-
- MISSOURI

STANDARD DETAILS
CITY OF LEE'S SUMMIT, MO
SUMMIT, JACKSON COUNTY, MO

Drawn By: MJE
Checked By: DL



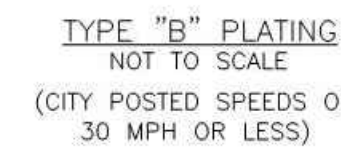
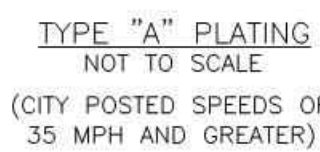
1. ASPHALT CAP OR FULL DEPTH CONCRETE SHALL BE DETERMINED BY CITY INSPECTOR.

LS

LEE'S SUMMIT
MISSOURI

PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

Date: 04/17
Drawn By: MJF
Checked By: DL
GEN-5



- GENERAL NOTES:

1. THE CONTRACTOR SHALL PROVIDE ADEQUATE OVERLAP OF PLATE ON ASPHALT TO ASSURE NO SLIPPAGE OF PLATE AND NO COLLAPSING OF TRENCH.
2. ALL PLATES SHALL BE ANCHORED SO PLATES DO NOT MOVE OR SHIFT UNDER TRAFFIC.

LS

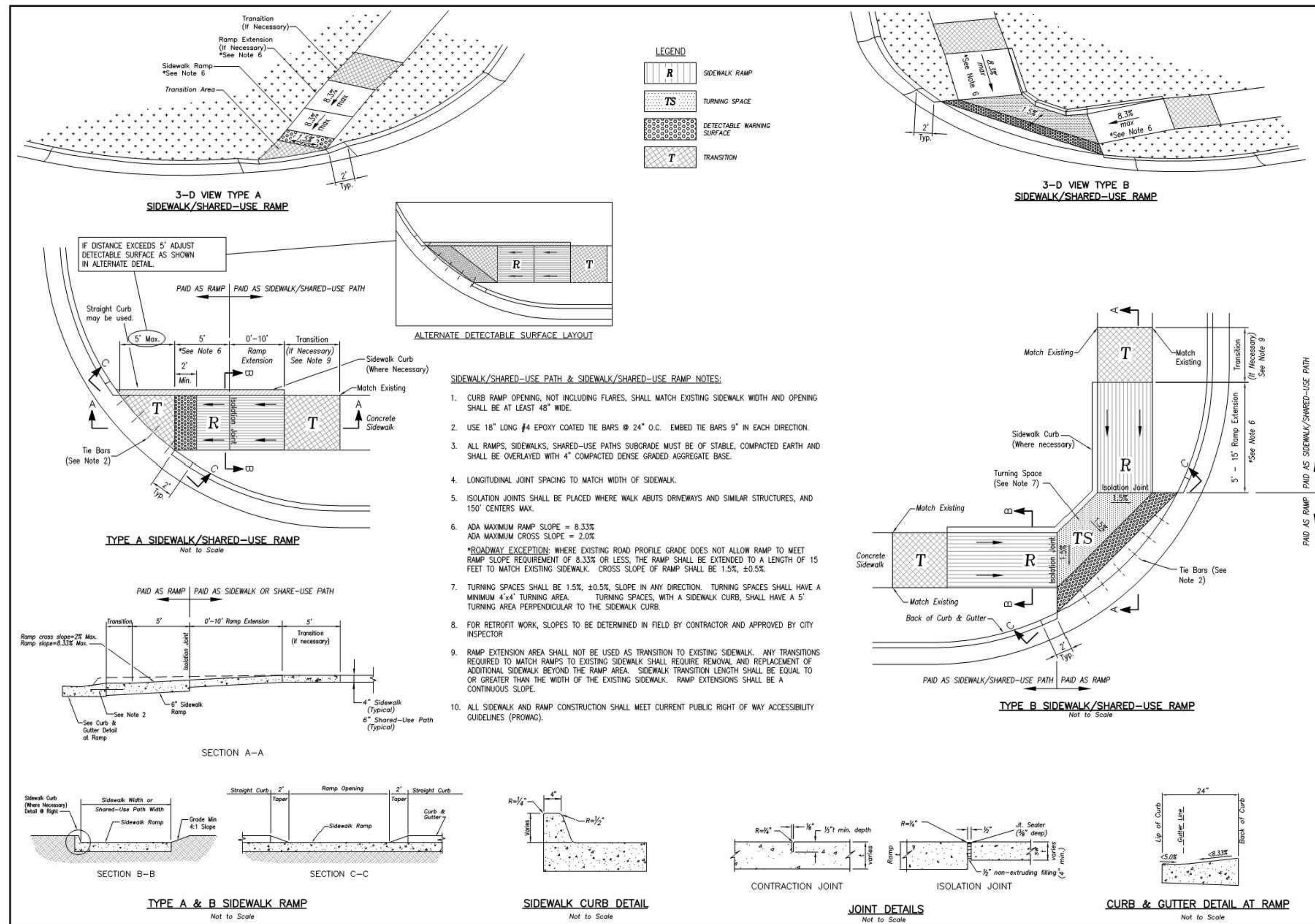
LEE'S SUMMIT
MISSOURI

ORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

TRENCHING PLATE DETAIL

Date: 04/17
 Drawn By: MJF
 Checked By: DL
GEN-6

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DRAWN BY ALS		CHECKED BY DJB



LEE'S SUMMIT
MISSOURI

Project: STANDARD DETAILS
CITY OF LEE'S SUMMIT, MO
LEE'S SUMMIT, JACKSON COUNTY, MO

Drawn By: MJF
Checked By: DL
Date: 04/17
Proj. #:

GEN-3A

Final Development Plans

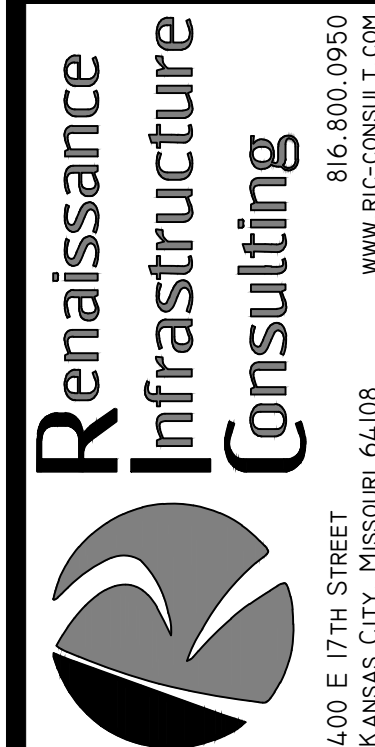
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Heartland Market
Lee's Summit, Jackson County, Missouri

Typical Details - General 2

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ALS	DJB



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Project: STANDARD DETAILS
CITY OF LEE'S SUMMIT, MO
LEE'S SUMMIT, JACKSON COUNTY, MO
Sheet Name: CURB INLET DETAIL

STM-1



LEE'S SUMMIT
MISSOURI
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

STORM MANHOLE COVER DETAIL

Date: 04/17
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Checked By: DL
STM-6

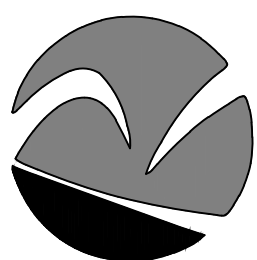
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Heartland Market
Lee's Summit, Jackson County, Missouri

Typical Details - Storm

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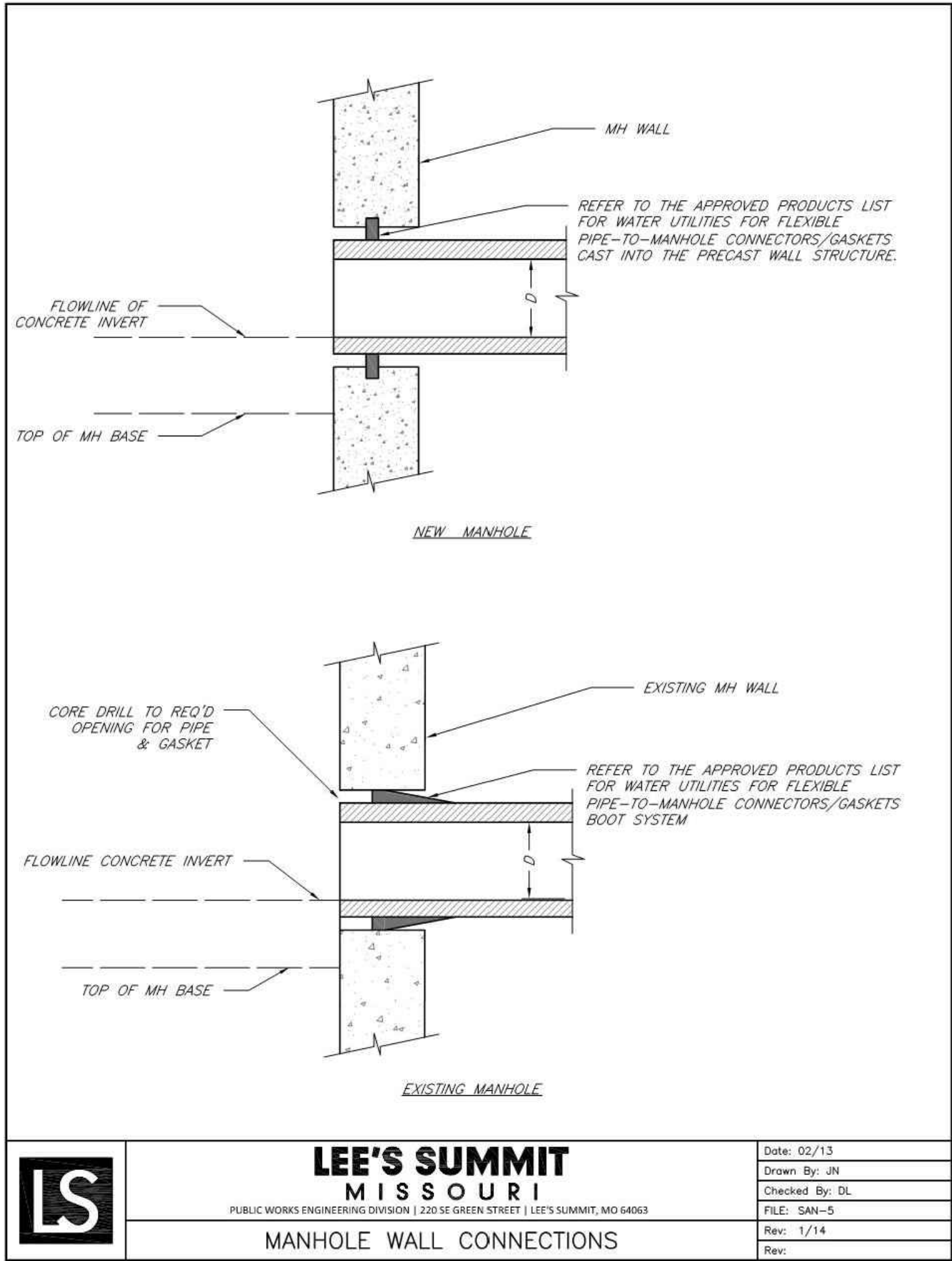


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Final Development Plans

22-0133

Heartland Market

Lee's Summit, Jackson County, Missouri

Typical Details - Sanitary

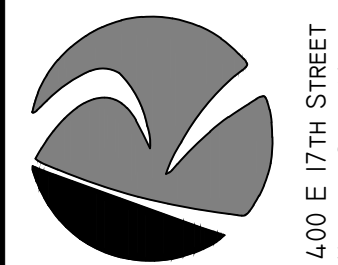
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Typical Details - Water

Final Development Plans

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