DISCOVERY PARK REZONING & PRELIMINARY DEVELOPMENT PLAN - ZONES 1 & 2

LEE'S SUMMIT, MISSOURI

OLSSON PROJECT NUMBER: A21-04643 INTRINSIC DEVELOPMENT L.L.C. **CONTACT: BRIAN MAENNER** 3622 ENDEAVOR AVE. STE. 101 COLUMBIA, MISSOURI 65201 573.881.0280

OWNER:



3622 ENDEAVOR AVE., STE. 101 COLUMBIA, MO 65201 TEL 573.881.0280 https://www.intrinsicdevelopment.com LANDSCAPE ARCHITECT:

olsson studio

1814 MAIN STREET KANSAS CITY, MO 64111 TEL 816.842.8844 www.olsson.com

CIVIL ENGINEER:

olsson

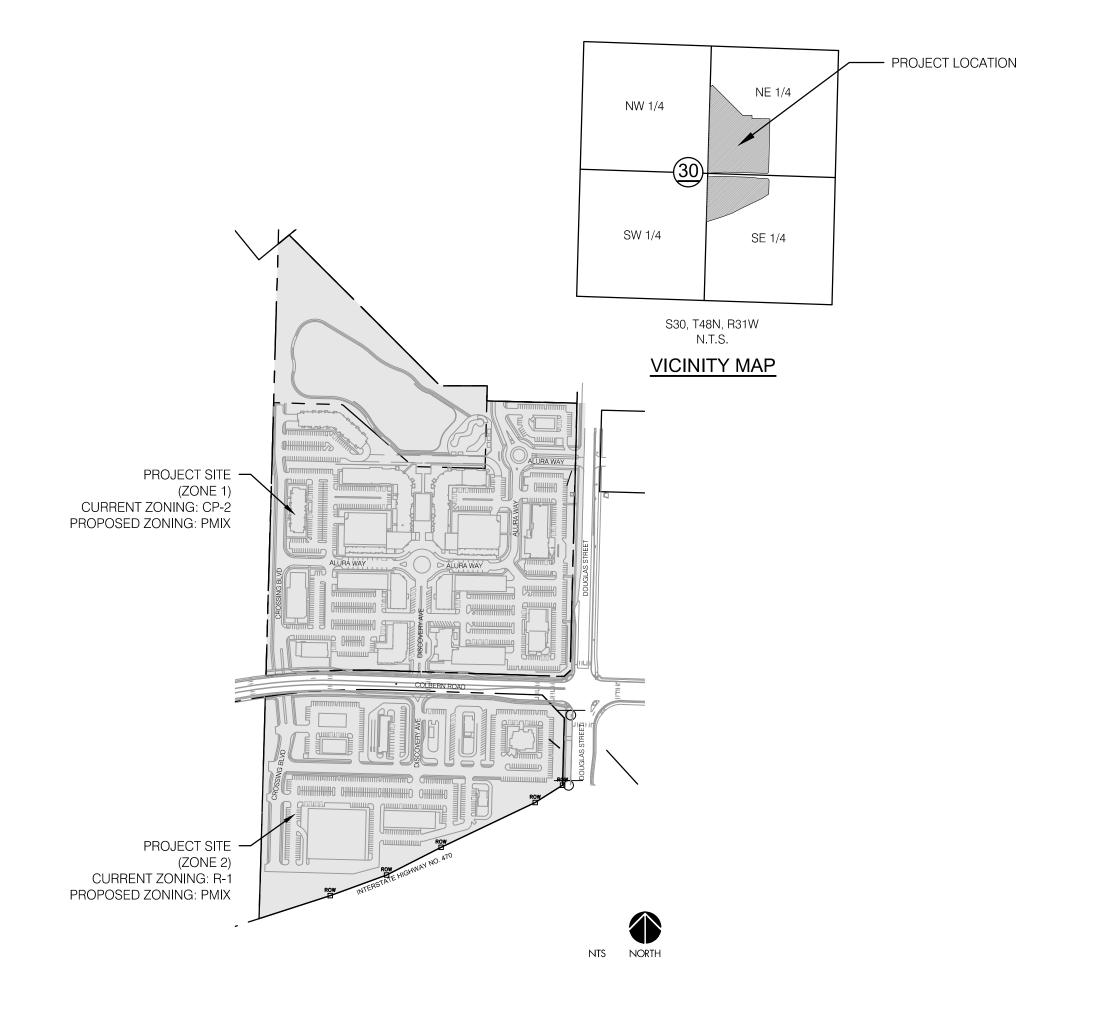
1301 BURLINGTON STREET NORTH KANSAS CITY, MO 64116 TEL 816.361.1177 www.olsson.com

ZONE 1 - REZONING AND PRELIMINARY DEVELOPMENT PLAN:

A TRACT OF LAND IN THE NORTHEAST QUARTER OF SECTION 30 TOWNSHIP 48 NORTH, RANGE 31 WEST OF THE 5TH PRINCIPAL MERIDIAN IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI BEING BOUNDED AND DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF SAID NORTHEAST QUARTER SECTION; THENCE SOUTH 01°37'50" WEST, ON THE WEST LINE OF SAID QUARTER SECTION, 853.75 FEET TO A POINT ON THE SOUTHEAST LOT LINE OF LOT 1, LEE'S SUMMIT ROAD PUMP STATION, A SUBDIVISION RECORDED IN BOOK I 51 AT PAGE 90 IN THE JACKSON COUNTY RECORDER OF DEEDS OFFICE, AND THE POINT OF BEGINNING OF THE TRACT OF LAND TO BE HEREIN DESCRIBED; THENCE NORTH 50°41'15" EAST, ON SAID SOUTHEAST LOT LINE, 59.22 FEET; THENCE LEAVING SAID LOT LINE, SOUTH 45°00'00" EAST, 889.18 FEET; THENCE NORTH 90°00'00" EAST, 195.68 FEET; THENCE SOUTH 01°27'27" WEST, 62.94 FEET; THENCE SOUTH 88°32'29" EAST, 375.74 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF NE DOUGLAS STREET AS ESTABLISHED BY DOCUMENT NUMBER 2015E0017982 IN THE JACKSON COUNTY RECORDER OF DEEDS OFFICE; THENCE ON SAID WESTERLY RIGHT-OF-WAY LINE, SOUTH 01°27'31" WEST, 1,114.58 FEET; THENCE SOUTH 46°40'17" WEST, 35.22 FEET TO THE INTERSECTION OF THE NORTHERLY RIGHT-OF-WAY LINE OF NE COLBURN ROAD AS ESTABLISHED BY A SURVEY PROVIDED BY HAMILTON STERRETT AND DOOLEY, PROJECT NUMBER 99021; THENCE ON SAID NORTHERLY RIGHT-OF-WAY LINE NORTH 88°06'56" WEST, 730.85 FEET; THENCE WESTERLY ALONG A CURVE TO THE LEFT HAVING AN INITIAL TANGENT BEARING OF NORTH 87°33'04" WEST WITH A RADIUS OF 2,904.93 FEET, A CENTRAL ANGLE OF 10°06'02" AND AN ARC DISTANCE OF 512.10 FEET TO THE SOUTHWEST CORNER OF THE SAID NORTHEAST QUARTER: THENCE NORTH 01°37'22" EAST. ON THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 30, A DISTANCE OF 1,328.05 FEET TO THE NORTHWEST CORNER OF THE SOUTHWEST QUARTER OF THE SAID NORTHEAST QUARTER; THENCE CONTINUING ON THE SAID WEST LINE, NORTH 01°37'50" EAST, 473.96 FEET TO THE POINT OF BEGINNING. CONTAINING 1,717,197 SQUARE FEET OR 39.42 ACRES, MORE OR LESS. TRACT OF LAND IS CURRENTLY ZONED AS CP-2.

ZONE 2 - REZONING AND PRELIMINARY DEVELOPMENT PLAN:

A TRACT OF LAND IN THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 30 TOWNSHIP 48 NORTH, RANGE 31 WEST OF THE 5TH PRINCIPAL MERIDIAN IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI BEING BOUNDED AND DESCRIBED BY OR UNDER THE DIRECT SUPERVISION OF JASON S ROUDEBUSH, P.L.S. 2002014092 AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHEAST QUARTER, SAID POINT ALSO BEING THE SOUTHEAST CORNER OF SAID SOUTHWEST QUARTER OF SAID SECTION 30; THENCE NORTH 01°36'54" EAST ON THE WEST LINE OF SAID SOUTHEAST QUARTER, SAID LINE ALSO BEING THE EAST LINE OF SAID SOUTHWEST QUARTER, 1,633.15 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF INTERSTATE HIGHWAY NO. 470 AS ESTABLISHED BY THE REPORT OF COMMISSIONERS, CASE 741042, RECORDED AS DOCUMENT NO. 197110086010, IN BOOK 1258 AT PAGE 1207, SAID POINT ALSO BEING THE POINT OF BEGINNING OF THE TRACT OF LAND TO BE HEREIN DESCRIBED: THENCE CONTINUING NORTH 01°36'54" EAST ON THE WEST LINE OF SAID SOUTHEAST QUARTER, AND THE EAST LINE OF SAID SOUTHWEST QUARTER, 925.47 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF NW COLBERN ROAD AS ESTABLISHED BY DOCUMENT NO. 1930I0284624; THENCE EASTERLY ON A CURVE TO THE RIGHT HAVING AN INITIAL TANGENT BEARING OF NORTH 81°50'55" EAST WITH A RADIUS OF 2,924.93 FEET, A CENTRAL ANGLE OF 10°02'09" AND AN ARC DISTANCE OF 512.33 FEET; THENCE SOUTH 88°06'56' EAST, ON SAID SOUTHERLY RIGHT-OF-WAY LINE, 642.13 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF NE DOUGLAS STREET ESTABLISHED BY SAID REPORT OF COMMISSIONERS CASE 741042, RECORDED AS DOCUMENT NO. 197110086010, IN BOOK 1258 AT PAGE 1207; THENCE SOUTH 43°46'24" EAST, ON SAID WESTERLY RIGHT-OF-WAY LINE, 133.40 FEET; THENCE SOUTH 01°29'58" WEST, ON SAID WESTERLY RIGHT-OF-WAY LINE, 280.00 FEET TO A POINT ON THE AFORESAID NORTHWESTERLY RIGHT-OF-WAY LINE OF INTERSTATE HIGHWAY NO. 470; THENCE SOUTH 57°43'10" WEST, ON SAID NORTHWESTERLY RIGHT-OF-WAY LINE, 134.56 FEET; THENCE SOUTH 64°30'32" WEST, ON SAID NORTHWESTERLY RIGHT-OF-WAY LINE, 434.06 FEET; THENCE SOUTH 63°04'56" WEST, ON SAID NORTHWESTERLY RIGHT-OF-WAY LINE, 254.50 FEET; THENCE SOUTH 69°50'03" WEST, 250.20 FEET; THENCE SOUTH 72°07'30" WEST, 311.41 FEET TO THE POINT OF BEGINNING. CONTAINING 863,837 SQUARE FEET OR 19.831 ACRES MORE OR LESS. TRACT OF LAND IS CURRENTLY ZONED AS R-1.



DRAWING DATE

01/20/2023 PRELIMINARY DEVELOPMENT PLANS 04/04/2023

PRELIMINARY DEVELOPMENT PLANS 2ND SUBMITTAL

SHEET INDEX

| | | | | • | |
|--------------|---|---|--|---|--|
| Sheet # | Sheet Description | Preliminary Development Plans 01/20/2023 | Preliminary Development Plans 2nd Submittal 04/04/2023 | | |
| | | | | | |
| | COVER SHEET | X | X | | |
| L000 | PROJECT SHEET | X | X | | |
| | | | | | |
| L100 | EXISTING CONDITIONS - ZONE 1 | X | Х | | |
| L101 | EXISTING CONDITIONS - ZONE 2 | X | Х | | |
| L102 | GENERAL LAYOUT - ZONE 1 | X | Х | | |
| L103 | GENERAL LAYOUT - ZONE 2 | X | Х | | |
| L104 | FIRE TRUCK ACCESS PLAN - ZONE 1 | X | Х | | |
| L105 | FIRE TRUCK ACCESS PLAN - ZONE 2 | X | Х | | |
| | | | | | |
| L200 | OVERALL SITE PLAN | X | Х | | |
| L201 | SITE PLAN - ZONE 1 | X | Х | | |
| L202 | SITE PLAN - ZONE 2 | X | X | | |
| | | | | | |
| L300 | OVERALL LANDSCAPE PLAN | X | X | | |
| L301 | LANDSCAPE & SCREENING REQUIREMENTS DATA | Х | Х | | |
| L302 | LANDSCAPE PLAN - ZONE 1 | X | x | | |
| L303 | LANDSCAPE PLAN - ZONE 2 | X | Х | | |
| | | | | | |
| C100 | OVERALL GRADING PLAN | X | X | | |
| C101 | GRADING PLAN - ZONE 1 | X | X | | |
| C102 | GRADING PLAN - ZONE 2 | X | X | | |
| C200 | OVERALL UTILITY PLAN | X | X | | |
| C201 | UTILITY PLAN - ZONE 1 | X | X | | |
| C202 | UTILITY PLAN - ZONE 2 | X | X | | |
| 0202 | OTIETT FEAT ZONE Z | | | | |
| MEP1 | MECHANICAL ELECTRICAL PLUMBING COVER SHEET | X | X | | |
| MEP2 | OVERALL SITE PLAN | Х | Х | | |
| MEP3 | SITE LIGHTING PLAN | X | Х | | |
| E501 | ELECTRICAL DETAILS 7 SCHEDULES | Х | Х | | |
| | | | | | |
| A100 | ADCHITECTUDAL DENDEDING LOTS 2.9.5 | X | X | | |
| | ARCHITECTURAL RENDERING - LOT 4 | | | | |
| A101 | ARCHITECTURAL RENDERING - LOT 1 | X | X | | |
| A102 | ARCHITECTURAL RENDERING - LOTS 1 & 4 | X | X | | |
| A103 | ARCHITECTURAL RENDERING - LOT 2 | X | X | | |
| A104 | ARCHITECTURAL RENDERING - LOT 2 | X | X | | |
| A105 | ARCHITECTURAL RENDERING - LOT 2 | X | X | | |
| A106 | ARCHITECTURAL RENDERING - LOT 3 ARCHITECTURAL RENDERING - LOTS 8, 9, & | X | X | | |
| A107 | 10 | X | X | | |
| A108 | ARCHITECTURAL RENDERING - LOTS 9 & 10 | X | X | | |
| A109 | ARCHITECTURAL RENDERING - LOTS 8 & 10 | X | X | | |
| A110 | ARCHITECTURAL RENDERING - LOT 12 | X | X | | |
| A111 A112 | ARCHITECTURAL RENDERING - LOT 12 ARCHITECTURAL RENDERING - POOL AREA | X | X X | | |

PROJECT DESIGN CRITERIA:

CODE EDITIONS USED:

2018 INTERNATIONAL BUILDING CODE 2018 INTERNATIONAL PLUMBING CODE 2018 INTERNATIONAL MECHANICAL CODE 2018 INTERNATIONAL FUEL GAS CODE 2018 INTERNATIONAL RESIDENTIAL CODE 2018 INTERNATIONAL FIRE CODE 2017 NATIONAL ELECTRICAL CODE ICC/ANSI A117.1-2009, ACCESSIBLE AND USEABLE

BUILDING AND FACILITIES

UTILITY SERVICE NUMBERS:

| NAME: | LEE'S SUMMIT PUBLIC WORKS |
|-------|---------------------------|

PHONE: 816-969-1800

LEE'S SUMMIT WATER UTILITIES DEPARTMENT

PHONE: 816-969-1900

SPIRE (MGE) PHONE: 314-342-0500

NAME: AT&T PHONE: 800-286-8313

PHONE:

PHONE:

EVERGY PHONE: 816-471-5275

SPECTRUM (TWC)

877-772-2253 **GOOGLE FIBER**

877-454-6959

GENERAL NOTES

1. ALL PAVING DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.

2. REFER TO DETAIL SHEET FOR INSTALLATION OF SIGNS.

3. CONTRACTOR SHALL MATCH EXISTING PAVEMENT IN GRADE AND ALIGNMENT TO PROVIDE SMOOTH SURFACE TRANSITIONS BETWEEN NEW ENTRANCE DRIVES AND EXISTING STREETS.

4. CONTRACTOR SHALL MATCH EXISTING CURB & GUTTER IN GRADE, SIZE, TYPE, AND ALIGNMENT

AT CONNECTIONS TO EXISTING STREETS.

5. ALL WORK ON THIS PLAN SHALL BE DONE IN STRICT ACCORDANCE WITH THE OWNER'S SITE WORK SPECIFICATIONS.

6. ALL TRAFFIC CONTROL SIGNS SHALL BE FABRICATED AS SHOWN IN THE NATIONAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREET AND HIGHWAYS.

7. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULE, SLOPED PAVING, EXIT PORCHES, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS, SIDEWALK AND SPECIFIC BUILDING AREA TREATMENTS AND IMPROVEMENTS. FOR EXACT BUILDING DIMENSIONS, SEE ARCHITECTURAL PLANS. CONTRACTOR TO STAKE AND CONSTRUCT FOUNDATIONS AND FOOTINGS FROM STRUCTURAL PLAN. BUILDING DIMENSIONS ON THIS PLAN ARE FOR REFERENCE ONLY.

8. ALL DIMENSIONS SHOWN ON BUILDING ARE TO OUTSIDE FACE OF BUILDING.

9. ALL ACCESSIBLE PARKING SIGNAGE AND STRIPING SHALL BE IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) REQUIREMENTS.

10. THE CONTRACTOR SHALL SUPPLY THE OWNER WITH A LIST OF ALL SUBCONTRACTORS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION.

11. ALL ASPHALT PAVING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF LEES SUMMIT DESIGN AND CONSTRUCTION MANUAL SECTION 2200.

12. ALL CURB RETURN RADII ARE 4.0' UNLESS OTHERWISE NOTED.

13. SITE TOPOGRAPHY TAKEN FROM FIELD WORK BY OLSSON ON THE SURVEY DATED 10-2016 AND UPDATED ON 2501 ALONG NORTH PROPERTY LINE. CONTRACTOR TO VERIFY EXISTING CONDITIONS OF THE SITE THAT MAY NOT BE REPRESENTATIVE OF THE CONSTRUCTION PLANS.

FLOOD CERTIFICATION:

1. THE ENTIRE SITE IS LOCATED WITHIN ZONE X, "AREAS OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN" AS DEPICTED ON THE FEMA FLOOD INSURANCE RATE MAP (FIRM) MAP NUMBER 290174 0412G, REVISION DATE JANUARY 20, 2017

OIL/GAS WELLS:

NO OIL OR GAS WELLS LOCATED WITHIN THE PROJECT LIMITS.

INFORMATION OBTAINED FROM THE MISSOURI DEPARTMENT OF NATURAL RESOURCES, GEOLOGICAL SURVEY GEOSCIENCES TECHNICAL RESOURCE ASSESSMENT TOOL (GEOSTRAT).

| | | GENERAL | |
|----|-----|--------------|-------|
| CH | ΔIR | CONDITIONING | LINII |

O DTR DECIDUOUS TREE

O FLP | FLAG POLE

- GPL | GUY POLE

← GUY | GUY WIRE

O GDP GUARD POST

© GTP GREASE TRAP

S LST LIFT STATION

Φ MP MILE POST MARKER

SLB STREET LIGHT BOX

S SPB SPRINKLER BOX

O SPH | SPRINKLER HEAD

SLC STREET LIGHT CABINET

☐ TCB | TRAFFIC CONTROL BOX

TS TSC TRAFFIC SIGNAL CABINET

TSP TRAFFIC SIGNAL POLE

ⓑ TSMH | TRAFFIC SIGNAL MANHOLE

□ □ □ TSA | TRAFFIC SIGNAL WITH MAST ARM

EXISTING TREELINE

PROPOSED TREELINE EXISTING SIDEWALK

PROPOSED SIDEWALK

EXISTING EDGE OF PAVEMENT PROPOSED EDGE OF PAVEMENT FUTURE EDGE OF PAVEMENT EXISTING ROADWAY CENTER LINE PROPOSED ROADWAY CENTER LINE FUTURE ROADWAY CENTER LINE

EXISTING CURB & GUTTER

FUTURE CURB & GUTTER

DELTA / CENTRAL ANGLE

PROPOSED CURB & GUTTER

ARC DISTANCE

RADIUS

F.L.E. FUEL LINE EASEMENT

C.E.

L.S.E.

E.E.

S.B.

FUTURE SIDEWALK EXISTING BUILDINGS PROPOSED BUILDINGS FUTURE BUILDINGS

☆ PIV | POST INDICATOR VALVE

M SCV | SPRINKLER CONTROL VALVE

MWL | MONITORING WELL

PPT | PROPANE TANK

RAT | RADIO TOWER

全 SAD SATELLITE

○ SGN SIGN

🔥 HCP | ACCESSABLE PARKING MARKE

| AC | ACU | AIR CONDITIONING UNIT | Æ | BMK | BENCHMARK |
|-----------|-----|-----------------------|-----|--------------|----------------------|
| 1 | AST | ARROW STRAIGHT | À | CPT | CONTROL POINT |
| 4 | ATL | ARROW TURN LEFT | 0 | FND | FOUND MONUMENT |
| A | ATR | ARROW TURN RIGHT | ROW | ROW | ROW MARKER |
| ď | BLB | BILLBOARD | • | SCR | SECTION CORNER |
| \bowtie | BOV | BLOW OFF VALVE | • | SET | SET MONUMENT |
| 0 | BSH | BUSH | | | BOUNDARIES |
| 0 | COL | COLUMN | — | | SECTION LINE |
| W. | CTR | CONIFEROUS TREE | | - <u>P</u> | EXISTING PROPERTY BO |
| | DRN | DRAIN GRATE | | P | PROPOSED PROPERTY |
| | | | | | |

LEGEND

| - EP | EXISTING PROPERTY BOUNDAR |
|-----------------|---------------------------|
| | PROPOSED PROPERTY BOUNDA |
| | EXISTING LOT LINE |
| | PROPOSED LOT LINE |
| -ER/W- | EXISTING RIGHT-OF-WAY |
| | PROPOSED RIGHT-OF-WAY |
| | UTILITIES |
| © CAB | CABLE BOX |

| | | UTILITILO | | | | |
|------|--------------------|--------------------------------|--|--|--|--|
| | © CAB | CABLE BOX | | | | |
| ER . | © CAV | CABLE VAULT | | | | |
| | TVP TVP | TELEVISION PEDESTAL | | | | |
| | © TVR | TELEVISION RISER | | | | |
| | -ECTVOH- | EXISTING CABLE TV, OVERHEAD | | | | |
| | | EXISTING CABLE TV, UNDERGROUND | | | | |
| | -CTVOH- | PROPOSED CABLE TV, OVERHEAD | | | | |
| | CTV | PROPOSED CABLE TV, UNDERGROUND | | | | |
| | ₽ FOB | FIBER OPTIC BOX | | | | |
| | © FOM | FIBER OPTIC MANHOLE | | | | |
| | E | FIDED ODTIO DEDECTAL | | | | |

| © FOM | FIBER OPTIC MANHOLE |
|------------------|--------------------------------------|
| ₱ FOP | FIBER OPTIC PEDESTAL |
| FOV FOV | FIBER OPTIC VAULT |
| EF00H | EXISTING FIBER OPTIC, OVERHEAD |
| EFO | EXISTING FIBER OPTIC, UNDERGROUND |
| | PROPOSED FIBER OPTIC, OVERHEAD |
| | PROPOSED FIBER OPTIC, UNDERGROUND |
| 상 FDC | FIRE DEPT. CONNECTION |
| EFP | EXISTING FIRE PROTECTION SYSTEM LIN |
| | PROPOSED FIRE PROTECTION SYSTEM LINI |
| | |

SURVEY MARKERS

| • • | TINOT COLD TINE THOTEOHOUT |
|-------------|----------------------------|
| | EXISTING FUEL LINE |
| | PROPOSED FUEL LINE |
| ☐ GAR | GAS RISER |
| © GMH | GAS MANHOLE |
| • GMK | GAS MARKER |
| | ALA METER |

| | EG | EXISTING NATURAL GAS LINE |
|---------------------|---------------|----------------------------------|
| | | PROPOSED NATURAL GAS LINE |
| | ™ TEC | TELEPHONE CABINET |
| | ™ TEP | TELEPHONE PEDESTAL |
| | □ TER | TELEPHONE RISER |
| | TEV TEV | TELEPHONE VAULT |
| | ① TMH | TELEPHONE MANHOLE |
| -ETELOH- | | EXISTING TELEPHONE LINE, OVERHEA |
| | | |

| - TELOH - | PROPOSED TELEPHONE LINE, O |
|----------------------|------------------------------|
| - TEL - | PROPOSED TELEPHONE LINE, UNI |
| | GROUND LIGHT |
| | LIGHT POLE |
| → PWP | POWER POLE |
| ▲ TRF | ELECTRIC TRANSFORMER |
| | ELECTRIC DOV |

| _ | D22111 / 021111112 | | . |
|----------|-----------------------------------|--------|---------------------|
| E, | ASEMENTS & SETBACKS | ⊠ ELC | ELECTRIC CABINET |
| A.E. | ACCESS EASEMENT | ER ELR | ELECTRIC RISER |
| B.M.P. | BEST MANAGEMENT PRACTICE EASEMENT | © EMH | H ELECTRIC MANHOLE |
| B.L. | BUILDING SETBACK | EM EMT | ELECTRIC METER |
| C.T.V.E. | CABLE TV EASEEMNT | ES ESC | ELECTRIC SECTIONALI |
| | | | |

| C.E. CON | ISERVATION EASEMENT | EV EVT | ELECTRIC VAULT |
|---------------|-----------------------------|-------------------|-----------------------------------|
| C.G.E. CON | ISTRUCTION GRADING EASEMENT | | YARD LIGHT |
| F.P.E. FLO | OD PLAIN EASEMENT | -EEOH- | EXISTING POWER\ELECTRIC LINE, |
| F.O.E. FIBE | ER OPTIC EASEMENT | — <u>EE</u> — | EXISTING POWER\ELECTRIC LINE, UNI |
| F.P.S.E. FIRE | PROTECTION SYSTEM EASEMENT | ● SCO | SEWER CLEANOUT |

| LANDSCAPE EASEMENT | | EXISTING SANITARY |
|-------------------------|----------------|--------------------|
| NATURAL GAS EASEMENT | | PROPOSED SANITAR |
| TELEPHONE EASEMENT | FSS | FUTURE SANITARY S |
| POWER\ELECTRIC EASEMENT | ESL | EXISTING STEAM LIN |
| PARKING SETBACK | SL | PROPOSED STEAM L |
| STREAM BUFFER | SDMH | STORM SEWER MANI |

| S.E. | SANITARY SEWER EASEMENT | = |
|----------|---------------------------------|---|
| S.L.E. | STEAM LINE EASEMENT | - |
| D.E. | STORM DRAINAGE EASEMENT | |
| W.M.E. | STORM WATER MANAGEMENT EASEMENT | |
| C.D.S.E. | TEMPORARY CUL-DE-SAC EASEMENT | |

| W.E. | WATER EASEMENT |
|--------|--------------------|
| F.Y.S | FRONT YARD SETBACK |
| R.Y.S. | REAR YARD SETBACK |
| S.Y.S. | SIDE YARD SETBACK |

S.D.E. SURFACE DRAINAGE EASEMENT

SIGHT DIST. ESMT. SIGHT DISTANCE EASEMENT

TEMP. ESMT. TEMPORARY EASEMENT TRAIL ESMT. TRAIL\PATH EASEMENT U.E. UTILITY EASEMENT

100

| 100 | PROPOSED | INDEX CONTOURS |
|-----|----------|-----------------------|
| 100 | PROPOSED | INTERMEDIATE CONTOURS |
| | | |

| CONTOURS |
|--------------------------------|
| EXISTING INDEX CONTOURS |
| EXISTING INTERMEDIATE CONTOURS |
| PROPOSED INDEX CONTOURS |
| |

| FOUND MONUMENT ROW MARKER SECTION CORNER SET MONUMENT BOUNDARIES SECTION LINE |
|--|
| SECTION CORNER SET MONUMENT BOUNDARIES |
| SET MONUMENT BOUNDARIES |
| BOUNDARIES |
| BOUNDARIES |
| |
| |
| |
| EXISTING PROPERTY BOUNDARY |
| PROPOSED PROPERTY BOUNDARY |
| EXISTING LOT LINE |
| |
| PROPOSED LOT LINE |
| EXISTING RIGHT-OF-WAY |
| PROPOSED RIGHT-OF-WAY |
| |
| UTILITIES |
| CABLE BOX |
| CABLE VAULT |
| TELEVISION PEDESTAL |
| TELEVISION RISER |
| |
| EXISTING CABLE TV, OVERHEAD |
| EXISTING CABLE TV, UNDERGROUND |
| PROPOSED CABLE TV, OVERHEAD |
| PROPOSED CABLE TV, UNDERGROUND |
| |
| FIBER OPTIC BOX |
| FIBER OPTIC MANHOLE |
| FIBER OPTIC PEDESTAL |
| FIBER OPTIC VAULT |
| |
| EXISTING FIBER OPTIC, OVERHEAD |
| EXISTING FIBER OPTIC, UNDERGROUND |
| PROPOSED FIBER OPTIC, OVERHEAD |
| PROPOSED FIBER OPTIC, UNDERGROUND |
| |
| FIRE DEPT. CONNECTION |
| EXISTING FIRE PROTECTION SYSTEM LINE |
| PROPOSED FIRE PROTECTION SYSTEM LINE |
| EXISTING FUEL LINE |
| |
| PROPOSED FUEL LINE |
| GAS RISER |
| GAS MANHOLE |
| GAS MARKER |
| |
| GAS METER |
| GAS REGULATOR |
| GAS VALVE |
| EXISTING NATURAL GAS LINE |
| |
| PROPOSED NATURAL GAS LINE |
| TELEPHONE CABINET |
| TELEPHONE PEDESTAL |
| TELEPHONE RISER |
| |
| TELEPHONE VAULT |
| TELEPHONE MANHOLE |
| EXISTING TELEPHONE LINE, OVERHEAD |
| EXISTING TELEPHONE LINE, UNDERGROUND |
| PROPOSED TELEPHONE LINE, OVERHEAD |
| |
| PROPOSED TELEPHONE LINE, UNDERGROUND |
| GROUND LIGHT |
| LIGHT POLE |
| POWER POLE |
| |
| ELECTRIC TRANSFORMER |
| ELECTRIC BOX |
| ELECTRIC CABINET |
| ELECTRIC RISER |
| |
| ELECTRIC MANHOLE |
| ELECTRIC METER |
| ELECTRIC SECTIONALIZER |
| ELECTRIC VAULT |
| YARD LIGHT |
| |
| EXISTING POWER\ELECTRIC LINE, OVERHEAD |
| EXISTING POWER\ELECTRIC LINE, UNDERGROUND |
| SEWER CLEANOUT |
| SANITARY MANHOLE |
| EXISTING SANITARY SEWER |
| |
| PROPOSED SANITARY SEWER |
| FUTURE SANITARY SEWER |
| EXISTING STEAM LINE |
| PROPOSED STEAM LINE |
| |
| STORM SEWER MANHOLE |
| FLARED END SECTION |
| ROOF DRAIN |
| EXISTING STORM SEWER |
| |
| PROPOSED STORM SEWER |
| |
| |
| FIRE HYDRANT |
| |
| WATER MANHOLE |
| WATER MANHOLE WATER MARKER |
| WATER MANHOLE WATER MARKER WATER METER |
| WATER MANHOLE WATER MARKER |
| WATER MANHOLE WATER MARKER WATER METER |
| WATER MANHOLE WATER MARKER WATER METER WATER VALVE |
| |

checked by: QA/QC by: project no.: A21-04643 drawing no.: L CVR01 A2104643

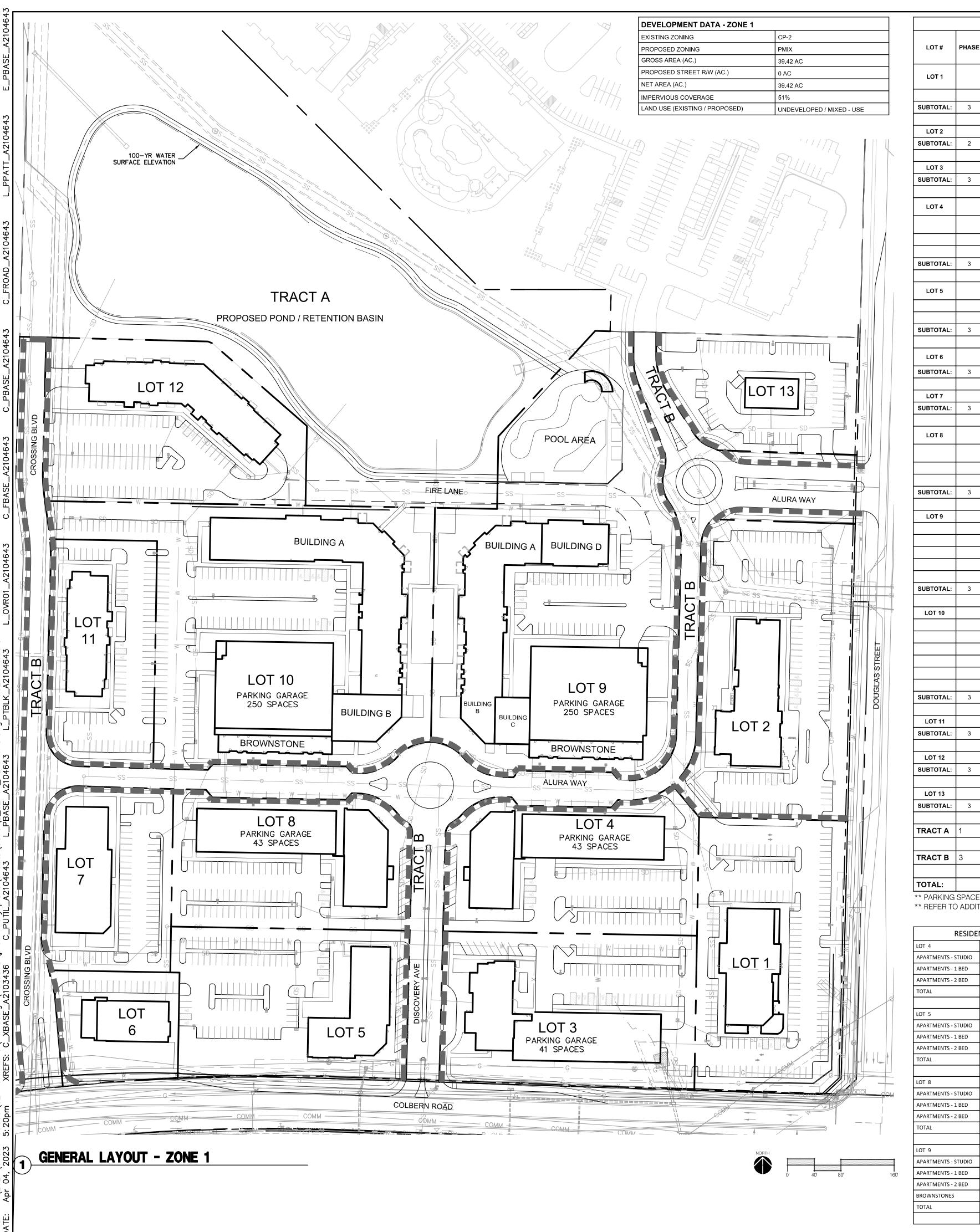
DEVEL

SHEET

PROJECT

CODY





| LOT# | PHASE | LOT SIZE (SF) | LOT SIZE (AC) | BUILDING COVERAGE (SF) | # OF FLOORS | FLOOR NUMBER | LAND USE | FLOOR SIZE (SF) | TOTAL GROSS FLOOR AREA (SF) | F.A.R. | RESIDENTIAL UNITS | UNITS/ACRE | UDO REQUIRED PARKING SPACES | PROVIDED GARAGE PARKING SPACES | PROVIDED SURFACE PARKING SPACES | PROVIDED ACCESSIBLE PARKING |
|-----------|--|------------------|------------------|------------------------------|--------------|-----------------|------------------------------------|--------------------|--------------------------------------|--------|----------------------|------------|--------------------------------------|---|--|-----------------------------------|
| LOT 1 | | | | | | 1ST FLOOR | RESTAURANT / RETAIL / OFFICE | 12,500 | | | | | 63 | | | |
| | | | | | | 2ND FLOOR | OFFICE | 12,500 | | | | | 50 | | | |
| SUBTOTAL: | 3 | 90,831 | 2.09 | 12,500 | 2 | | | | 25,000 | 0.28 | N/A | | 113 | | 131 | 5 |
| | | | | | | | | | | | | | | | | |
| LOT 2 | | | | | | 4 STORY | HOTEL | 15,380 | | | | | | | | |
| SUBTOTAL: | 2 | 103,257 | 2.37 | 15,380 | 4 | | | | 61,500 | 0.60 | N/A | | 107 | | 107 | 6 |
| LOTA | | | | | | 4.07000 | HOTEL | 20.075 | 90 200 | 0.00 | NI/A | | | | | |
| LOT 3 | 2 | 87,478 | 2.01 | 20,075 | 4 | 4 STORY | HOTEL | 20,075 | 80,300 | 0.92 | N/A | | 110 | 44 | 64 | 6 |
| SUBTOTAL: | 3 | 07,470 | 2.01 | 20,075 | 4 | | | | | | | | 112 | 41 | 64 | 6 |
| | | | | | | | RETAIL / | | | | | | | | | |
| LOT 4 | | | | | | 1ST FLOOR | OFFICE | 8,600 | | | | | | | | |
| | | | | | | 1ST FLOOR | PARKING GARAGE | 14,700 | | | | | | | | |
| | | | | | | 2ND FLOOR | RESIDENTIAL | 23,300 | | | 23 | | 46 | | | |
| | | | | | | 3RD FLOOR | RESIDENTIAL | 23,300 | | | 23 | | 46 | | | |
| SUBTOTAL: | 3 | 72,771 | 1.67 | 23,300 | 3 | | | | 69,900 | 0.96 | 46 | 28 | 92 | 43 | 65 | 3 |
| | | | | | | | | | | | | | | | | |
| LOT 5 | | | | | | 1ST FLOOR | RETAIL / OFFICE | 13,800 | | | | | 69 | | | |
| | | 1 | | 1 | | 2ND FLOOR | RESIDENTIAL | 13,800 | | | 20 | | 40 | | | |
| | | | | | | 3RD FLOOR | RESIDENTIAL | 13,800 | | | 20 | | 40 | | | |
| SUBTOTAL: | 3 | 78,340 | 1.8 | 13,800 | 3 | | | | 41,400 | 0.53 | 40 | 22 | 149 | | 73 | 3 |
| | | | | | | | | | | | | | | | | |
| LOT 6 | | | | | | 1 STORY | ANIMAL | 7,984 | | | | | 20 | | | |
| SUBTOTAL: | 3 | 30,336 | 0.7 | 7,984 | 1 | | HOSPITAL | | 7,984 | 0.26 | | | 20 | | 17 | 0 |
| JUDIUIAL: | 3 | 50,550 | 0.7 | 7,304 | I | 1 | | | 1,304 | 0.20 | | | 20 | | 17 | 0 |
| LOT 7 | | | | 1 | | 1 STORY | PET DAY CARE | 11,425 | | | | | 29 | | | |
| SUBTOTAL: | 3 | 52,901 | 1.21 | 11,425 | 1 | . 5.5101 | DANE | ,120 | 11,425 | 0.22 | | | 29 | | 48 | 2 |
| | | | 1.21 | 1.,.25 | ' | 1 | | | 1.,.25 | 1 3.22 | | | | | | |
| LOT 8 | | | | | | 1ST FLOOR | RETAIL / | 8,600 | | | | | 43 | | | |
| LOI 0 | - | | | | | 101 FLOOR | OFFICE | | | | | | 40 | | | |
| | | | | | | 1ST FLOOR | PARKING GARAGE | 14,700 | | | | | | | | |
| | L_ | | | | | 2ND FLOOR | RESIDENTIAL | 23,300 | | | 23 | | 44 | | | |
| | | | | | | 3RD FLOOR | RESIDENTIAL | 23,300 | | | 23 | | 44 | | | |
| SUBTOTAL: | 3 | 70,318 | 1.61 | 23,300 | 3 | | | | 69,900 | 0.99 | 46 | 29 | 131 | 43 | 75 | 2 |
| | | | | | | | | | | | | | | | | |
| LOT 9 | | | | 1 | | 1 | | | | | | | | | | |
| | | | | | BUILDING A-4 | 4 STORY | APARTMENTS | | | | 124 | | 260 | | | |
| | | | | | BUILDING B-4 | TBD | COMMERCIAL | 2,800 | | | | | 14 | | | |
| | | | | | BUILDING C-4 | TBD | TBD | 3,800 | | | | | | | | |
| | | | | | BUILDING D-1 | 1 STORY | COMMERCIAL | 6,500 | | | 0 | | 40 | | | |
| SUBTOTAL: | 3 | 243,540 | 5.59 | 60,150 | BROWNSTONE | | RESIDENTIAL | | 240,600 | 0.99 | 132 | 24 | 16 290 | 250 | 44 | 7 |
| JOBIOTAL. | | 240,040 | 3.39 | 00,100 | | | | | 240,000 | 0.99 | 132 | 24 | 230 | 230 | 44 | 1 |
| LOT 10 | | | | 1 | | | | | | | | | | | | |
| | | | | | BUILDING A-4 | 4 STORY | APARTMENTS | | | | 138 | | 276 | | | |
| | | | | | BUILDING B-4 | 1ST FLOOR | RESTAURANT | 6,500 | | | | | | | | |
| | <u> </u> | | | | | 2ND FLOOR | APARTMENTS | 6,500 | | | 5 | | | • | | |
| | | | | | | 3RD FLOOR | APARTMENTS | 6,500 | | | 5 | | | | | |
| | Ĺ | | | | | 4TH FLOOR | APARTMENTS | 6,500 | | | 5 | | | | | |
| | | | | | BROWNSTONE | | RESIDENTIAL | | | | 8 | | 16 | | | |
| SUBTOTAL: | 3 | 163,047 | 3.74 | 65,200 | | | | | 260,800 | 1.60 | 161 | 43 | 292 | 250 | 109 | 6 |
| | | | | | | | | | | | | | | | | |
| LOT 11 | | | | | | 4 STORY | APARTMENTS | 11,300 | | | 80 | | 80 | | | |
| SUBTOTAL: | 3 | 54,720 | 1.26 | 11,300 | 4 | 1 | | | 45,200 | 0.83 | 80 | 63 | 80 | | 70 | 4 |
| | | | | | | | | | | | | | | | | |
| LOT 12 | | | _ | 0.1-1 | | 4 STORY | APARTMENTS | 31,625 | 400 = | | 80 | | 80 | | | |
| SUBTOTAL: | 3 | 96,775 | 2.22 | 31,625 | 4 | | | | 126,500 | 1.31 | 80 | 36 | 80 | | 89 | 2 |
| 107.15 | | - | - | 1 | | 4.0707); | DECTAL STORE | 2.000 | | | | | 40 | | | |
| LOT 13 | 2 | 49,127 | 1 10 | 3,600 | 4 | 1 STORY | RESTAURANT | 3,600 | 3,600 | 0.07 | NI/A | | 18 | | E4 | 2 |
| SUBTOTAL: | 3 | 49,127 | 1.13 | 3,000 | 1 | | | | 3,000 | 0.07 | N/A | | 18 | | 51 | 3 |
| TDACT A | 1 | 344,250 | 7 0 | N/A | N/A | N/A | N/A | N/A | N/A | | N/A | | | | N/A | |
| TRACT A | | J44,20U | 7.9 | IN/A | N/A | N/A | IN/A | IN/A | IN/A | | N/A | | | | N/A | |
| TD 4 0= = | | 150.007 | 0.54 | N1/A | N1/A | N1/A | NI/A | N1/A | N1/A | | N1/A | | | | 20 | |
| TRACT B | 3 | 152,987 | 3.51 | N/A | N/A | N/A | N/A | N/A | N/A | | N/A | | | | 32 | |
| | | | 38.81 | 299,639 | | | | | 4044455 | | =0- | | 4 5 4 5 | 0.5- | | |
| TOTAL: | | 1,690,678 | | 1 200 620 | 1 | 1 | 1 | 1 | 1,044,109 | 0.62 | 585 | | 1,513 | 627 | 975 | 27 |

| RESIDE | NTIAL U | NITS PER LOT DATA | |
|---------------------|---------|---------------------|-----|
| LOT 4 | | LOT 10 | |
| APARTMENTS - STUDIO | 6 | APARTMENTS - STUDIO | 29 |
| APARTMENTS - 1 BED | 26 | APARTMENTS - 1 BED | 78 |
| APARTMENTS - 2 BED | 14 | APARTMENTS - 2 BED | 46 |
| TOTAL | 46 | BROWNSTONES | 8 |
| | | TOTAL | 161 |
| LOT 5 | | | |
| APARTMENTS - STUDIO | 40 | LOT 11 | |
| APARTMENTS - 1 BED | 0 | APARTMENTS - STUDIO | 0 |
| APARTMENTS - 2 BED | 0 | APARTMENTS - 1 BED | 40 |
| TOTAL | 40 | APARTMENTS - 2 BED | 40 |
| | | TOTAL | 80 |
| LOT 8 | | | |
| APARTMENTS - STUDIO | 6 | LOT 12 | |
| APARTMENTS - 1 BED | 26 | APARTMENTS - STUDIO | 0 |
| APARTMENTS - 2 BED | 14 | APARTMENTS - 1 BED | 40 |
| TOTAL | 46 | APARTMENTS - 2 BED | 40 |
| | | TOTAL | 80 |
| LOT 9 | | | |
| APARTMENTS - STUDIO | 24 | OVERALL TOTAL | |
| APARTMENTS - 1 BED | 67 | APARTMENTS - STUDIO | 105 |
| APARTMENTS - 2 BED | 33 | APARTMENTS - 1 BED | 277 |
| BROWNSTONES | 8 | APARTMENTS - 2 BED | 187 |
| TOTAL | 132 | BROWNSTONES | 16 |
| | | TOTAL | 585 |

| | | | | | | | ed Parking I | | | | | | | | | | | |
|---------------------------------------|----------|------------|-------|---------|-----------------|------------------|-------------------|---------------|------------|-------------------------------|---------|----------|----------------|----------------|----------------------|----------------|----------------|----------------------|
| | | | | | | th: LATE I | DECEMBER | Peak P | eriod: 1 P | | ΑY | | | | | | | |
| | | | | | Weekday | | , | | | Weekend | | | | Weekday | | | Weekend | |
| Land Use | Projec | ct Data | Base | Driving | Non- Captive | Project Ratio | Unit For Ratio | Base Ratio | Driving | Non- Captive | Project | Unit For | Peak Hr Adj | Peak Mo Adj | Estimated Parking | Peak Hr Adj | Peak Mo Adj | Estimated Parking |
| | Quantity | Unit | Ratio | Adj | Ratio | Katio | Katio | Katio | Adj | Ratio | Ratio | Ratio | 1 PM | ite Decemb | Demand | 12 PM | December | Demand |
| | | | | | | | Re | etail | | | | | | | | | | |
| etail (<400 ksf) | 50,000 | sf GLA | 2.90 | 100% | 98% | 2.83 | ksf GLA | 3.20 | 100% | 97% | 3.12 | ksf GLA | 100% | 85% | 120 | 80% | 100% | 156 |
| Employee | | | 0.70 | 100% | 99% | 0.69 | | 0.80 | 100% | 98% | 0.78 | | 100% | 95% | 33 | 100% | 100% | 39 |
| upermarket/Grocery | 3,800 | sf GLA | 4.00 | 100% | 98% | 3.90 | ksf GLA | 4.00 | 100% | 97% | 3.89 | ksf GLA | 90% | 95% | 13 | 100% | 100% | 16 |
| Employee | | | 0.75 | 100% | 99% | 0.74 | | 0.75 | 100% | 98% | 0.74 | | 100% | 100% | 3 | 100% | 100% | 3 |
| | | | | | | | Food and | d Beverage | • | | | | | | | | | |
| amily Restaurant | 12,500 | sf GLA | 15.25 | 100% | 76% | 11.62 | ksf GLA | 15.00 | 100% | 79% | 11.87 | ksf GLA | 90% | 95% | 124 | 100% | 100% | 149 |
| Employee | | | 2.15 | 100% | 99% | 2.13 | | 2.10 | 100% | 98% | 2.06 | | 100% | 100% | 27 | 100% | 100% | 26 |
| ast Casual/Fast Food | 2,800 | sf GLA | 12.40 | 100% | 10% | 1.24 | ksf GLA | 12.70 | 100% | 10% | 1.27 | ksf GLA | 100% | 95% | 3 | 100% | 96% | 3 |
| Employee | | | 2.00 | 100% | 99% | 1.98 | | 2.00 | 100% | 98% | 1.96 | | 100% | 100% | 6 | 100% | 100% | 6 |
| | | | | | | Ent | tertainment | and Instit | utions | | | | | | | | | |
| | | | | | | | Hotel and | Residenti | al | | | | | | | | | |
| Hotel-Business | | keys | 1.00 | 59% | 100% | 0.59 | key | 1.00 | 69% | 100% | 0.69 | key | 55% | 55% | - | 55% | 60% | - |
| lotel-Leisure | 230 | keys | 1.00 | 50% | 100% | 0.50 | key | 1.00 | 50% | 100% | 0.50 | key | 65% | 100% | 75 | 65% | 50% | 37 |
| Hotel Employees | 230 | keys | 0.15 | 100% | 100% | 0.15 | key | 0.15 | 100% | 100% | 0.15 | key | 100% | 100% | 35 | 100% | 50% | 17 |
| Restaurant/Lounge | | sf GLA | 6.67 | 63% | 90% | 3.78 | ksf GLA | 7.67 | 54% | 30% | 1.24 | ksf GLA | 100% | 95% | - | 100% | 100% | - |
| Meeting/Banquet (0 to 20 sq ft/key) | | sf GLA | 0.00 | 68% | 60% | 0.00 | ksf GLA | 0.00 | 68% | 70% | 0.00 | ksf GLA | 65% | 100% | - | 65% | 100% | - |
| Meeting/Banquet (20 to 50 sq ft/key) | | sf GLA | 0.00 | 68% | 60% | 0.00 | ksf GLA | 0.00 | 68% | 70% | 0.00 | ksf GLA | 65% | 100% | - | 65% | 100% | - |
| Meeting/Banquet (50 to 100 sq ft/key) | | sf GLA | 0.00 | 68% | 60% | 0.00 | ksf GLA | 0.00 | 68% | 70% | 0.00 | ksf GLA | 65% | 100% | - | 65% | 100% | - |
| Convention (100 to 200 sq ft/key) | | sf GLA | 0.00 | 68% | 60% | 0.00 | ksf GLA | 5.50 | 68% | 70% | 2.62 | ksf GLA | 100% | 0% | - | 100% | 100% | - |
| Convention (> 200 sq ft/key) | | sf GLA | 5.50 | 68% | 60% | 2.24 | ksf GLA | 5.50 | 68% | 70% | 2.62 | ksf GLA | 100% | 0% | - | 100% | 100% | - |
| Restaurant/Meeting Employees | | sf GLA | 0.00 | 100% | 100% | 0.00 | ksf GLA | 0.00 | 100% | 100% | 0.00 | ksf GLA | 100% | 100% | - | 100% | 100% | - |
| esidential, Suburban | | | | | | | | | | | | | | | | 0% | | |
| Studio Efficiency | 105 | units | 0.00 | 100% | 100% | 0.00 | unit | 0.00 | 100% | 100% | 0.00 | unit | 40% | 100% | - | 68% | 100% | - |
| 1 Bedroom | 257 | units | 0.00 | 100% | 100% | 0.00 | unit | 0.00 | 100% | 100% | 0.00 | unit | 40% | 100% | - | 68% | 100% | - |
| 2 Bedrooms | 167 | units | 0.00 | 100% | 100% | 0.00 | unit | 0.00 | 100% | 100% | 0.00 | unit | 40% | 100% | - | 68% | 100% | - |
| 3+ Bedrooms | 16 | units | 0.00 | 100% | 100% | 0.00 | unit | 0.00 | 100% | 100% | 0.00 | unit | 40% | 100% | - | 68% | 100% | - |
| Reserved | 100% | res spaces | 1.17 | 100% | 100% | 1.17 | unit | 1.17 | 100% | 100% | 1.17 | unit | 100% | 100% | 637 | 100% | 100% | 637 |
| Visitor | 545 | units | 0.10 | 100% | 100% | 0.10 | unit | 0.15 | 100% | 100% | 0.15 | unit | 20% | 100% | 11 | 20% | 100% | 16 |
| | | | | | | | 01 | fice | | | | | | | | | | |
| Medical/Dental Office | 6,600 | sf GFA | 3.00 | 100% | 99% | 2.98 | ksf GFA | 0.00 | 100% | 100% | 0.00 | ksf GFA | 90% | 80% | 14 | 30% | 100% | - |
| Employee | | | 1.60 | 100% | 10% | 0.16 | | 0.00 | 100% | 10% | 0.00 | | 100% | 80% | 1 | 100% | 100% | |
| ay Care Center | 14,500 | sf GFA | 1.75 | 100% | 100% | 1.75 | ksf GFA | 0.00 | 100% | 100% | 0.00 | ksf GFA | 20% | 80% | 4 | 20% | 100% | - |
| Employee | | | 2.00 | 100% | 100% | 2.00 | | 0.00 | 100% | 100% | 0.00 | | 90% | 80% | 21 | 90% | 100% | |
| | | | | | | | Additiona | I Land Use | es . | | | | | | | | | |
| | | | | | | | | | | | | | Custom | er/Visitor | 366 | Cus | tomer | 377 |
| | | | | | | | | | | | | | Employee | e/Resident | 125 | Employe | e/Resident | 92 |
| | | | | | | | | | | | | | Rese | erved | 637 | Res | erved | 637 |
| * SHARED PARKING DATA | MAC DA | CED OI | | HILCH | IVDED | DADKI | INIC 2DI | | | $\supset \bigcap \mathcal{K}$ | | | To | otal | 1,127 | т. | otal | 1,106 |

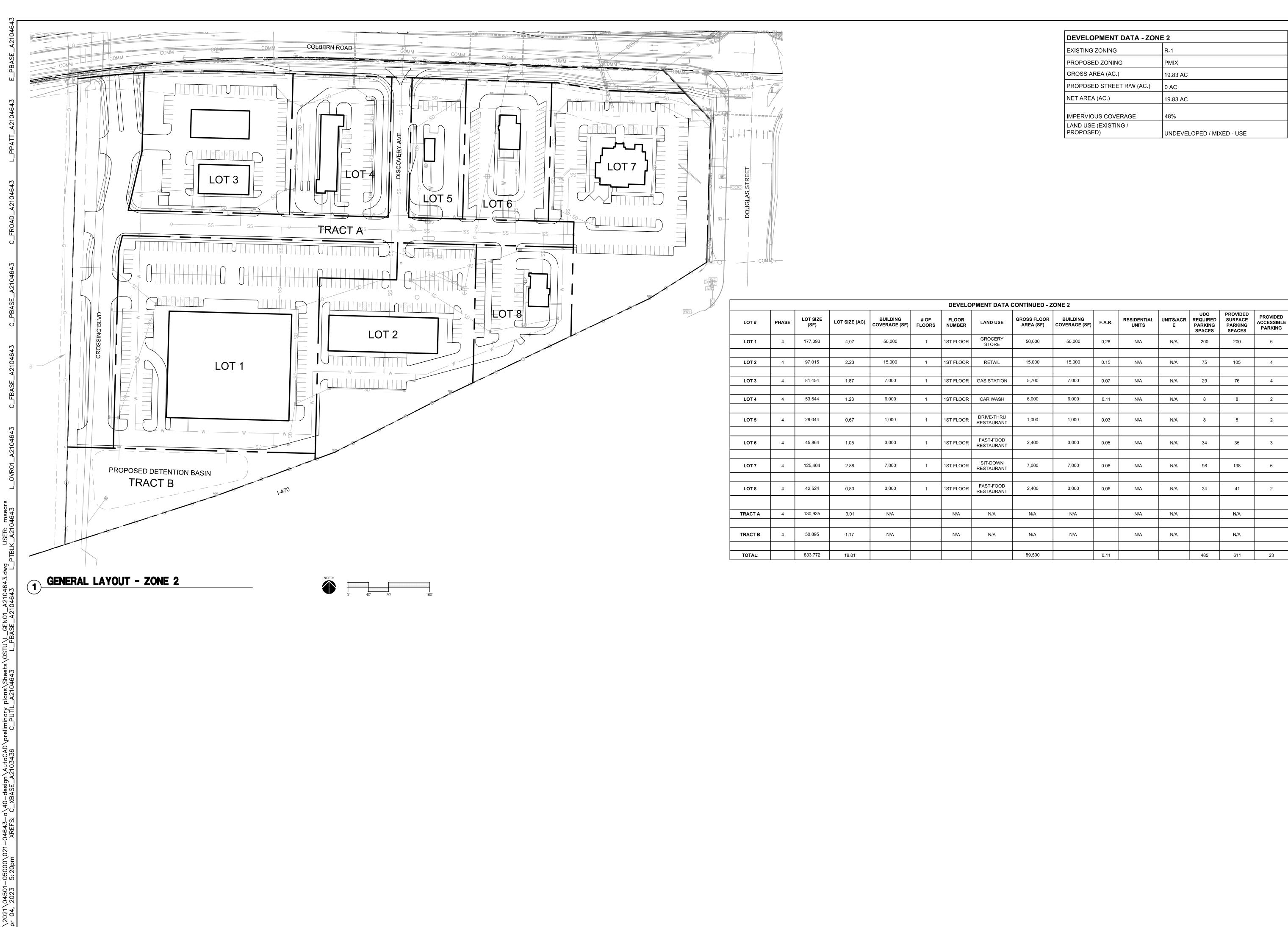
DISCOVERY PARK REZONING & PRELIMINARY DEVELOPMENT PLAN ZONES 1 & 2

drawn by: checked by: QA/QC by:
 QA/QC by:
 BM

 project no.:
 A21-04643

 drawing no.:
 L GEN01 A2104643

 date:
 01.20.2023



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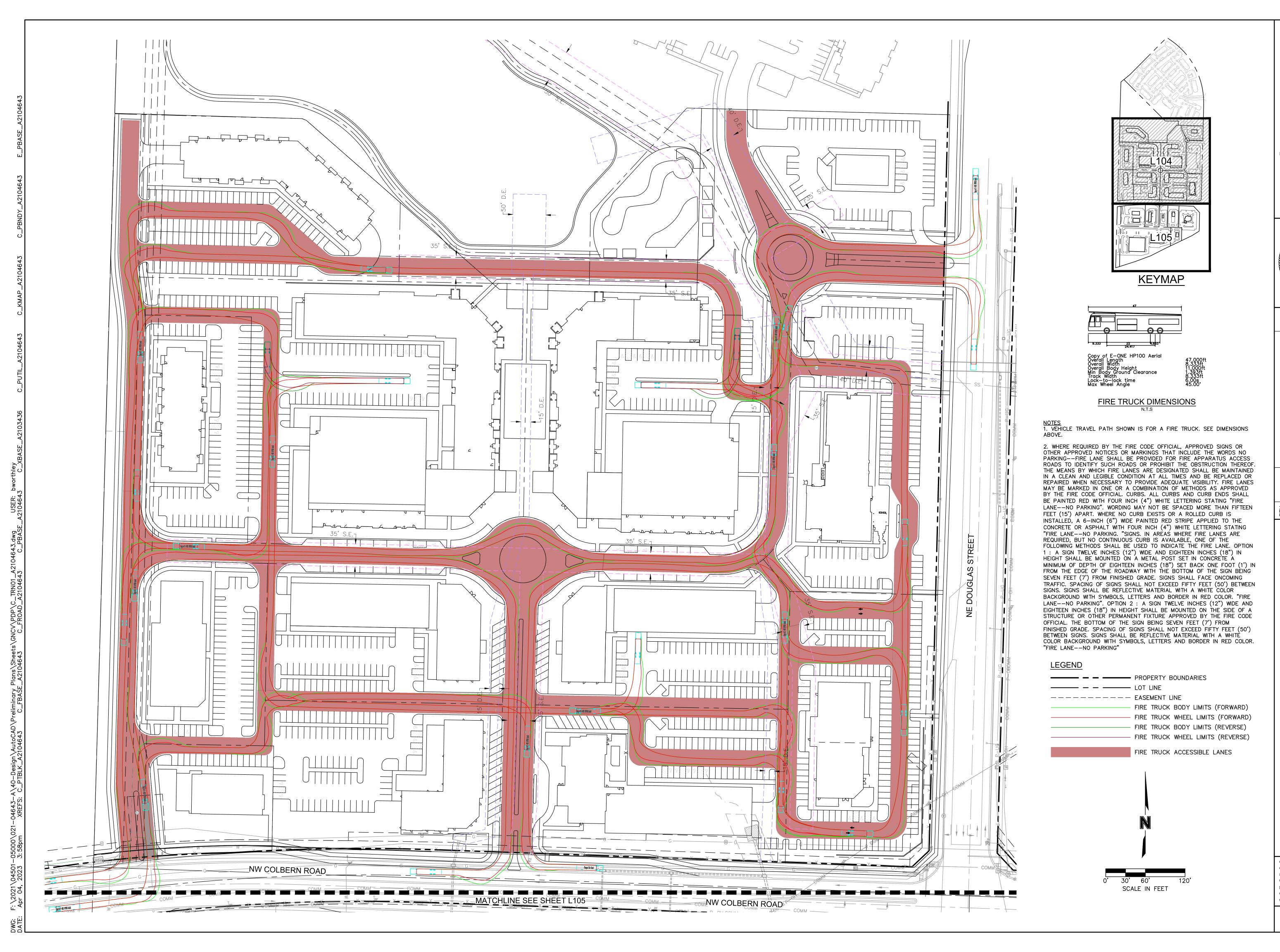
CODY PERALLIPATION A-2013033117

REVISIONS DESCRIPTION
REVISIONS

PRELIMINARY DEVELOPMENT PLAN NES 1 & 2

COVERY PARK REZONING & PRELIMIN ZONES 1 & 2

drawn by: EW
checked by: CP
approved by: CP
QA/QC by: BM
project no.: A21-04643
drawing no.: L GEN01 A2104643
date: 01.20.2023



Engineering icate of Authority #001592

BROCK M.
WORTHLEY
NUMBER
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NUMBER
PE-2019000237
1/4/203

DATE REVISIONS DESCRIPTION

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PLAN - ZONE 1
IMINARY DEVELOPMENT PLAN

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DISCOVERY PAF

 drawn by:
 BMW

 checked by:
 BMW

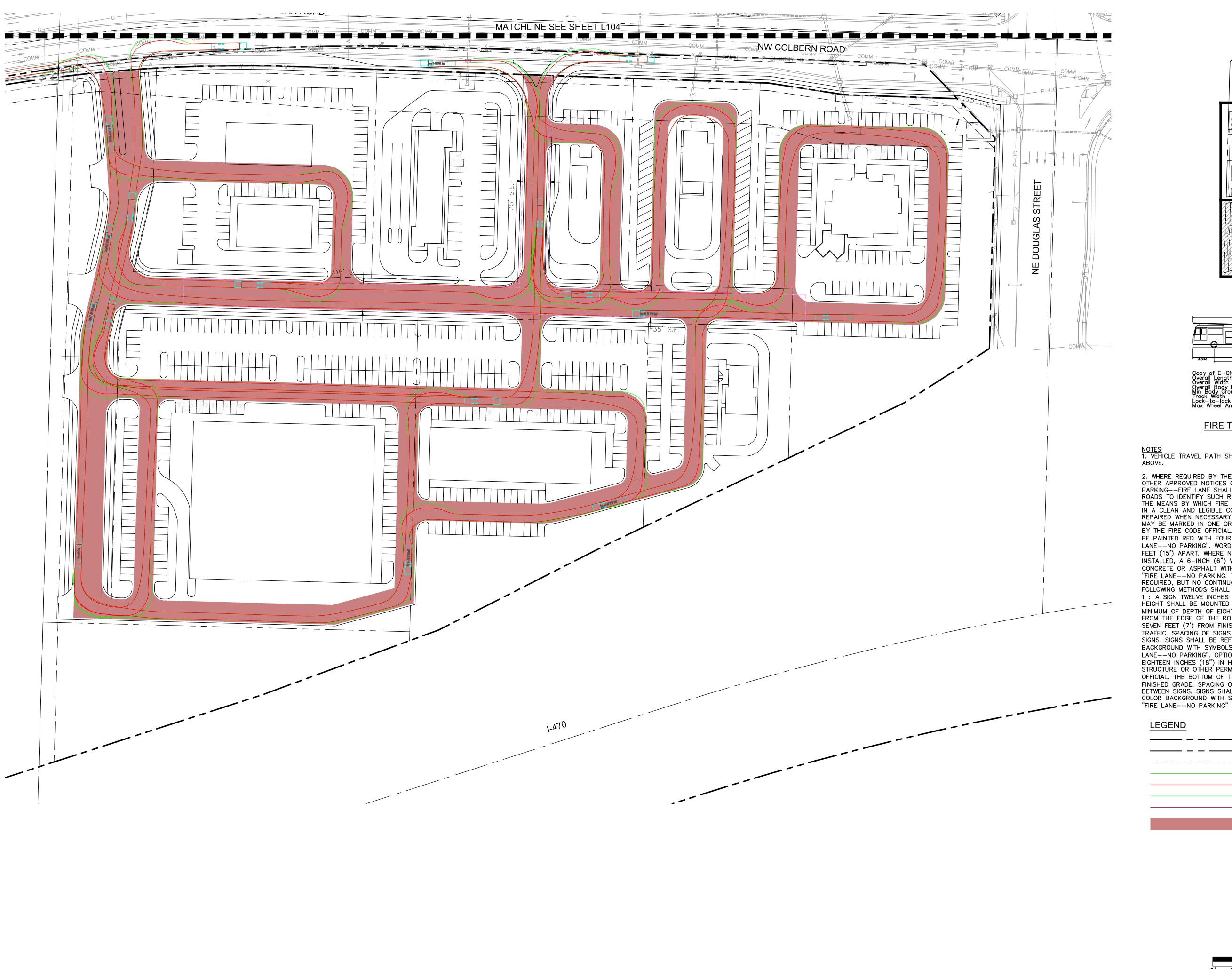
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 NDH

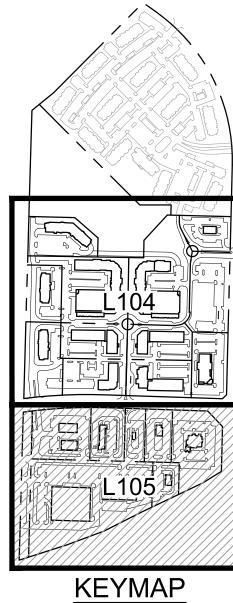
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 NDH

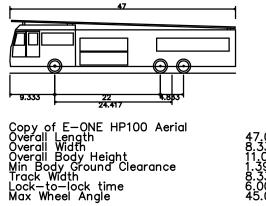
 project no.:
 A21-04643

 drawing no.:
 TRN01 A2104643

 date:
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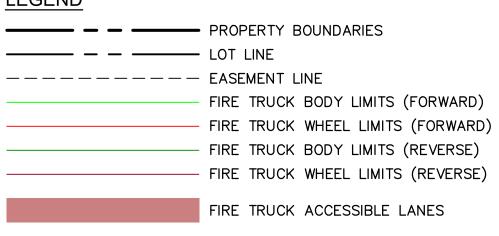


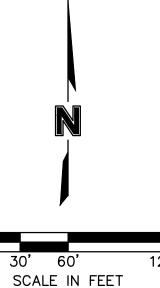
FIRE TRUCK DIMENSIONS

NOTES

1. VEHICLE TRAVEL PATH SHOWN IS FOR A FIRE TRUCK. SEE DIMENSIONS ABOVE.

2. WHERE REQUIRED BY THE FIRE CODE OFFICIAL, APPROVED SIGNS OR OTHER APPROVED NOTICES OR MARKINGS THAT INCLUDE THE WORDS NO PARKING--FIRE LANE SHALL BE PROVIDED FOR FIRE APPARATUS ACCESS ROADS TO IDENTIFY SUCH ROADS OR PROHIBIT THE OBSTRUCTION THEREOF. THE MEANS BY WHICH FIRE LANES ARE DESIGNATED SHALL BE MAINTAINED IN A CLEAN AND LEGIBLE CONDITION AT ALL TIMES AND BE REPLACED OR REPAIRED WHEN NECESSARY TO PROVIDE ADEQUATE VISIBILITY. FIRE LANES MAY BE MARKED IN ONE OR A COMBINATION OF METHODS AS APPROVED BY THE FIRE CODE OFFICIAL, CURBS, ALL CURBS AND CURB ENDS SHALL BE PAINTED RED WITH FOUR INCH (4") WHITE LETTERING STATING "FIRE LANE--NO PARKING". WORDING MAY NOT BE SPACED MORE THAN FIFTEEN FEET (15') APART. WHERE NO CURB EXISTS OR A ROLLED CURB IS INSTALLED, A 6-INCH (6") WIDE PAINTED RED STRIPE APPLIED TO THE CONCRETE OR ASPHALT WITH FOUR INCH (4") WHITE LETTERING STATING "FIRE LANE--NO PARKING. "SIGNS. IN ARÈAS WHERE FIRE LANES ARE REQUIRED, BUT NO CONTINUOUS CURB IS AVAILABLE, ONE OF THE FOLLOWING METHODS SHALL BE USED TO INDICATE THE FIRE LANE. OPTION 1 : A SIGN TWELVE INCHES (12") WIDE AND EIGHTEEN INCHES (18") IN HEIGHT SHALL BE MOUNTED ON A METAL POST SET IN CONCRETE A MINIMUM OF DEPTH OF EIGHTEEN INCHES (18") SET BACK ONE FOOT (1') IN FROM THE EDGE OF THE ROADWAY WITH THE BOTTOM OF THE SIGN BÈIŃG SEVEN FEET (7') FROM FINISHED GRADE. SIGNS SHALL FACE ONCOMING TRAFFIC. SPACING OF SIGNS SHALL NOT EXCEED FIFTY FEET (50') BETWEEN SIGNS. SIGNS SHALL BE REFLECTIVE MATERIAL WITH A WHITE COLOR BACKGROUND WITH SYMBOLS, LETTERS AND BORDER IN RED COLOR. "FIRE LANE--NO PARKING". OPTION 2: A SIGN TWELVE INCHES (12") WIDE AND EIGHTEEN INCHES (18") IN HEIGHT SHALL BE MOUNTED ON THE SIDE OF A STRUCTURE OR OTHER PERMANENT FIXTURE APPROVED BY THE FIRE CODE OFFICIAL. THE BOTTOM OF THE SIGN BEING SEVEN FEET (7') FROM FINISHED GRADE. SPACING OF SIGNS SHALL NOT EXCEED FIFTY FEET (50') BETWEEN SIGNS. SIGNS SHALL BE REFLECTIVE MATERIAL WITH A WHITE COLOR BACKGROUND WITH SYMBOLS, LETTERS AND BORDER IN RED COLOR.





checked by: approved by: QA/QC by: project no.: A21-04643 drawing no.: C TRN01 A2104643 01.20.2023

ZONE

SITE PLAN GENERAL NOTES:

- 1. THE CONSTRUCTION COVERED BY THESE PLANS SHALL CONFORM TO ALL APPLICABLE STANDARDS AND SPECIFICATIONS OF THE CITY OF LEE'S SUMMIT, MISSOURI IN CURRENT USAGE. ALL STANDARDS NOT COVERED BY THE CITY SHALL BE APWA STANDARDS IN CURRENT USAGE UNLESS OTHERWISE NOTED.
- 2. THE UTILITY LOCATIONS SHOWN ON THESE PLANS ARE APPROXIMATE ONLY. THE UTILITY INFORMATION IS NOT MEANT TO BE ALL INCLUSIVE. THE CONTRACTOR SHALL NOTIFY MISSOURI ONE CALL (811) BEFORE THE START OF ANY EXCAVATION WORK. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION TO PROVIDE NON-INTERRUPTION OF SERVICE, TO ENSURE PROPER CLEARANCES, AND TO AVOID DAMAGE THERETO.
- 3. ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
- 4. CONTRACTOR SHALL, BY HIS OWN INVESTIGATION, AND PRIOR TO COMMENCING WORK, SATISFY HIMSELF AS TO, AND ACCEPT THE SITE CONDITIONS TO BE ENCOUNTERED.
- 5. WHERE THE NEW IMPROVEMENTS ABUT EXISTING IMPROVEMENTS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MATCHING THE ELEVATION OF THE EXISTING IMPROVEMENTS UNLESS OTHERWISE NOTED.
- 6. THE CONTRACTOR SHALL PROVIDE A SECURE SITE TO PROTECT VEHICLES AND PEDESTRIANS FROM ACCIDENTAL FALLS AND HARM FROM THE CONSTRUCTION
- 7. CONTRACTOR SHALL BE RESPONSIBLE FOR DE-WATERING CONSTRUCTION AREAS IN ORDER TO PERMIT CONTINUATION OF THE WORK. ANY WATER ACCUMULATION SHALL BE REMOVED BY PUMPING.
- 8. CONTRACTOR IS RESPONSIBLE FOR ALL QUANTITIES OR MATERIALS AS SHOWN IN THESE PLANS. CONTRACTOR SHALL ACCOMMODATE ALL SLOPE AND GRADE CONDITIONS IN THEIR CALCULATION OF MATERIAL QUANTITIES FOR ALL WORK SHOWN ON THESE PLANS.
- CONTROL DURING CONSTRUCTION OPERATIONS. OWNER SHALL APPROVE MEASURES USED TO ALLOW TENANTS AND SHOPPERS PROPER ACCESS DURING CONSTRUCTION.

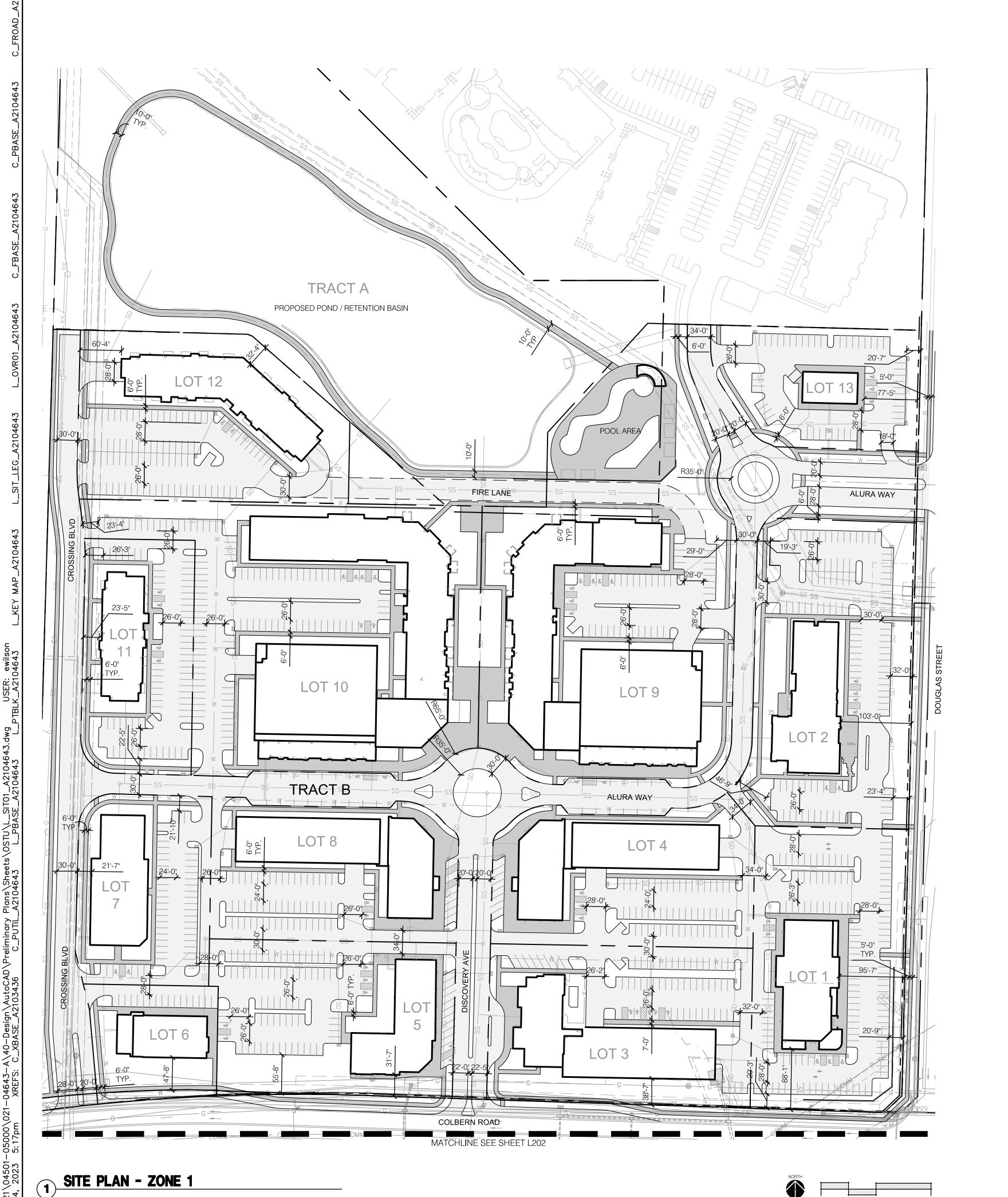
10. CONTRACTOR SHALL TAKE CARE TO CREATE SMOOTH UNIFORM FINISH GRADES IN

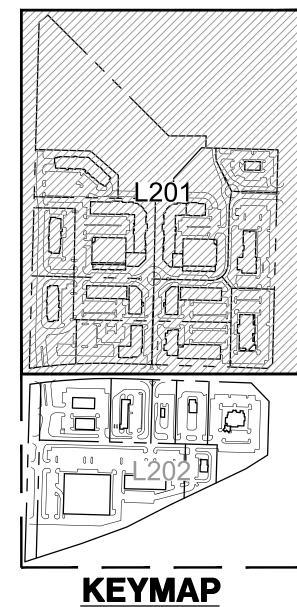
9. CONTRACTOR SHALL BE RESPONSIBLE FOR PEDESTRIAN AND VEHICULAR TRAFFIC

- ALL AREAS. 11. SLOPES SHALL BE MADE WITH A 4 TO 1 MAXIMUM GRADE FOR MAINTENANCE
- PURPOSES, UNLESS OTHERWISE NOTED.
- 12. CONTRACTOR SHALL MATCH GRADES AT EXISTING IMPROVEMENTS.
- 13. ALL SPOT ELEVATIONS SHOWN ARE TOP OF PAVEMENT UNLESS OTHERWISE NOTED.
- 14. CONTRACTOR SHALL ADJUST ALL VALVE BOXES, MANHOLE RING COVERS, AND OTHER UTILITY APPURTENANCES TO MATCH FINISH GRADE ELEVATIONS.
- 15. TURF & SHRUB BED AREAS SHALL BE GRADED AS NECESSARY TO ALLOW A 2% SLOPE TO INLET LOCATIONS AND SWALES.
- 16. ALL WORK CONSTRUCTED UNDER THESE PLANS SHALL MEET SLOPE REQUIREMENTS PER THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN, THE 2012 TAS STANDARDS FOR ACCESSIBLE DESIGN, AND INTERNATIONAL BUILDING CODE IN CURRENT USAGE. MAXIMUM 5% RUNNING SLOPE AND MAXIMUM 2% CROSS SLOPE FOR SIDEWALKS.
- 17. ALL WORK CONSTRUCTED UNDER THESE PLANS SHALL HAVE A MINIMUM OF A 1% SLOPE. LANDSCAPE BEDS AND TURF AREAS SHALL HAVE A MINIMUM OF A 2% SLOPE.
- 18. CHANGES IN LEVEL SHALL NOT BE GREATER THAN 1/4" AND A MAXIMUM OF 1/2" ARE ALLOWED WITH A BEVELED SLOPE NOT STEEPER THAN 1:2.
- 19. B.L. TO ALIGN TO BUILDING SETBACK

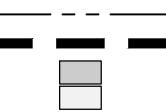
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| OVEKAL SHE PLAN | by: | | I DISCOVERY PARK REZONING & PRELIMINARY DEVELOPMENT PLAN | ZONES 1 & 2 | | ┊ LEE'S SUMMII, MISSOURI | |





SITE PLAN LEGEND:



SHEET MATCHLINE PROPOSED SIDEWALK & TRAIL PROPOSED VEHICULAR PAVEMENT

SITE PLAN NOTES:

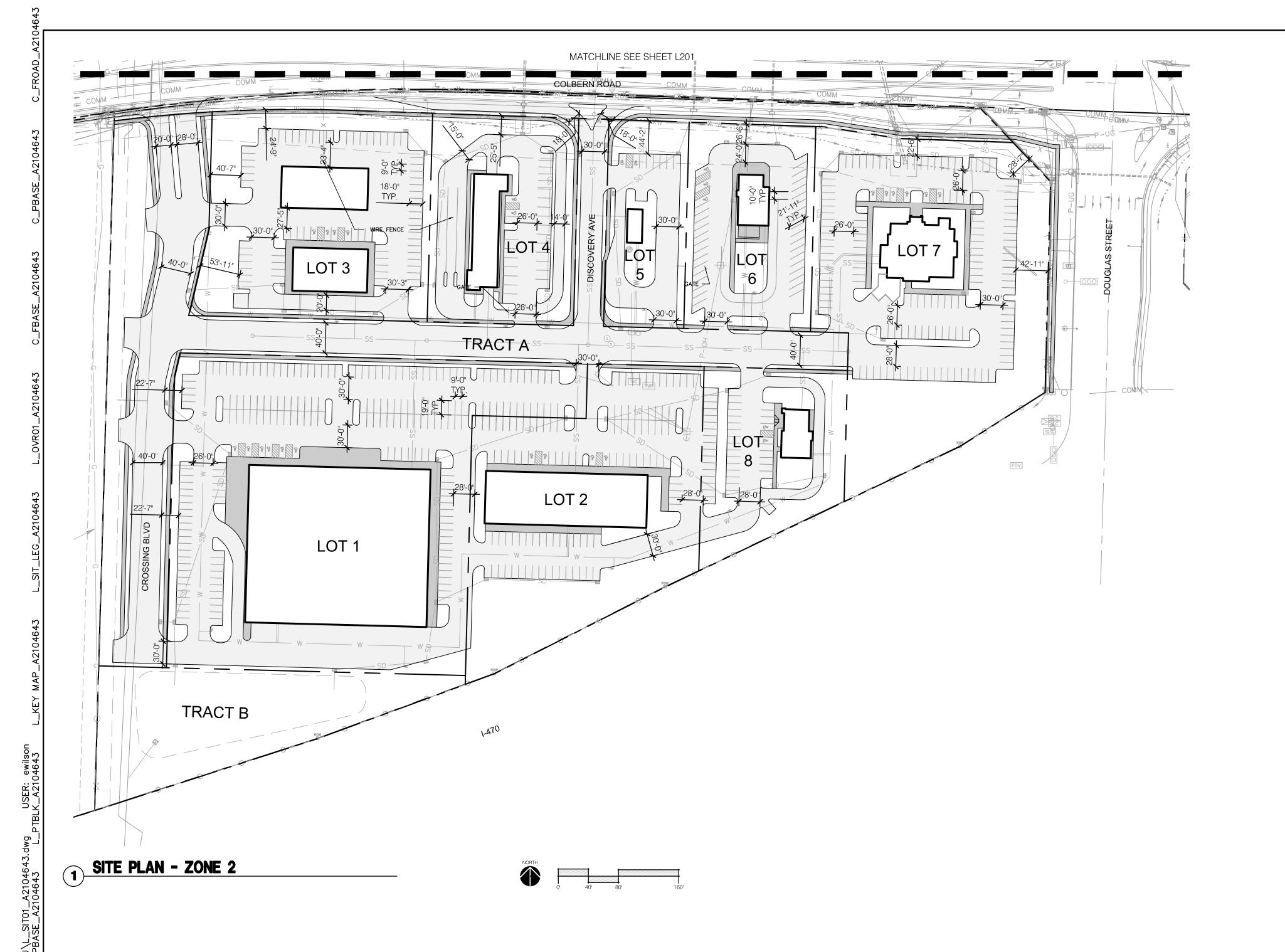
- 1. ALL PROPOSED PARKING SPACES SHALL MEET MINIMUM DIMENSIONS AS SPECIFIED IN LEE'S SUMMIT UDO SEC. 8.620.
- SPECIFIC LOT TRASH ENCLOSURES SHALL MATCH MATERIALS OF ADJACENT BUILDINGS AND SHALL COMPLY WITH REQUIREMENTS PER UDO SEC. 9.790 C.
 PARKING LOT PAVING SHALL MEET THE DESIGN STANDARDS UNDER UDO SECTION

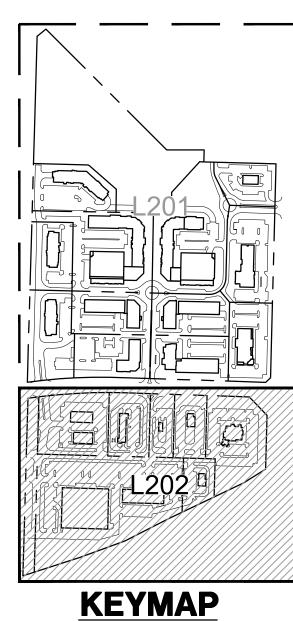
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 A21-04643

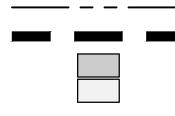
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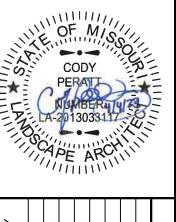


RIGHT OF WAY / PROPERTY LINE SHEET MATCHLINE

PROPOSED SIDEWALK & TRAIL PROPOSED VEHICULAR PAVEMENT

SITE PLAN NOTES:

- 1. ALL PROPOSED PARKING SPACES SHALL MEET MINIMUM DIMENSIONS AS SPECIFIED IN LEE'S SUMMIT UDO SEC. 8.620.
- SPECIFIC LOT TRASH ENCLOSURES SHALL MATCH MATERIALS OF ADJACENT BUILDINGS AND SHALL COMPLY WITH REQUIREMENTS PER UDO SEC. 9.790 C.
 PARKING LOT PAVING SHALL MEET THE DESIGN STANDARDS UNDER UDO SECTION

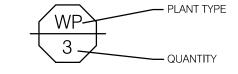


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project no.: A21-04643
drawing no.: L SIT01 A2104643
date: 01.20.2023

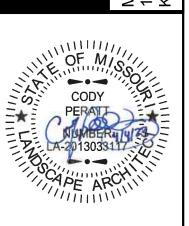
LANDSCAPE GENERAL NOTES:

- 1. THE CONSTRUCTION COVERED BY THESE PLANS SHALL CONFORM TO ALL APPLICABLE STANDARDS AND SPECIFICATIONS OF THE CITY OF LEE'S SUMMIT, MISSOURI IN CURRENT USAGE. ALL STANDARDS NOT COVERED BY THE CITY SHALL BE APWA STANDARDS IN CURRENT USAGE UNLESS OTHERWISE NOTED.
- 2. CONTRACTOR SHALL VERIFY EXACT LOCATION OF ALL EXISTING UTILITIES, DRAIN LINES AND IRRIGATION PIPING PRIOR TO COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES, DRAIN LINES AND IRRIGATION PIPING.
- 3. CONTRACTOR SHALL VERIFY AND COORDINATE ALL FINAL GRADES WITH LANDSCAPE ARCHITECT PRIOR TO COMPLETION.
- 4. DEBRIS SHALL NOT BE ALLOWED TO ACCUMULATE AND SHALL BE REMOVED AT FREQUENT INTERVALS. AT COMPLETION OF WORK IN EACH AREA, THE CONTRACTOR SHALL GATHER AND REMOVE ALL DEBRIS, EQUIPMENT, AND EXCESS MATERIAL FROM THAT AREA. AT FINAL COMPLETION OF ALL WORK HE SHALL REMOVE ALL SUCH ITEMS FROM THE PREMISES.
- 5. LOCATION AND PLACEMENT OF ALL PLANT MATERIAL SHALL BE COORDINATED WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- 6. THE LANDSCAPE PLANTING PLAN GRAPHICALLY ILLUSTRATES OVERALL PLANT MASSINGS. EACH PLANT SPECIES SHALL BE PLACED IN THE FIELD TO UTILIZE THE GREATEST COVERAGE OF THE GROUND PLANE. THE FOLLOWING APPLIES FOR INDIVIDUAL PLANTINGS:
 - -ALL EVERGREEN SHRUBS AND CREEPING GROUNDCOVERS SHALL BE MINIMUM OF 2' FROM ANY PAVING EDGE.
 - -ALL PLANTS OF THE SAME SPECIES SHALL BE EQUALLY SPACED AND SITED FOR THE BEST AESTHETIC VIEWING.
 - -ALL TREES, EVERGREEN OR DECIDUOUS, SHALL BE A MINIMUM OF 4' FROM ANY PAVING EDGE.
- 7. ANY SUBSTITUTION OF SPECIFIED PLANT MATERIAL WILL NOT BE ALLOWED WITHOUT WRITTEN AUTHORIZATION FROM LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- 8. MULCH ALL PLANTING AREAS TO A DEPTH OF 3" DEPTH ACCORDING TO PLANS AND SPECIFICATIONS. SAMPLES SHALL BE APPROVED BY LANDSCAPE ARCHITECT.
- 9. ALL PLANT MATERIAL WILL BE HEALTHY, VIGOROUS AND FREE OF DISEASE AND INSECTS PER AAN STANDARDS. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY INFERIOR OR OTHERWISE UNSUITABLE PLANT MATERIAL PROPOSED FOR USE ON THE PROJECT.
- 10. ALL PLANTING BEDS NOT FULLY CONTAINED BY CONCRETE CURBS OR WALKS SHALL BE EDGED ACCORDING TO PLANS AND SPECIFICATIONS.
- 11. PLANTS AND LANDSCAPE MATERIALS SHALL BE INSTALLED AS DETAILED ON PLANS.
- 12. PLANT BACKFILL FOR TREES AND SHRUBS SHALL BE PER SPECIFICATIONS.
- 13. ALL PLANTING BEDS SHALL BE TREATED WITH DACTHAL PRE-EMERGENT HERBICIDE AT MANUFACTURER RECOMMENDED RATES AND SHALL BE COVERED WITH SPECIFIED MULCH APPLICATION. APPLY LIGHTER APPLICATION OF DACTHAL HERBICIDE TO TOP OF MULCH LAYER.
- 14. ALL AREAS DISTURBED DURING CONSTRUCTION THAT ARE NOT DESIGNATED AS PLANTING BEDS OR PAVEMENT AREAS SHALL BE SEEDED WITH A TURF TYPE TALL FESCUE PER SPECIFICATIONS.
- 15. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER OWNER'S FINAL ACCEPTANCE OF FINISHED JOB. ALL DEAD AND DAMAGED PLANT MATERIAL SHALL BE REPLACED BY LANDSCAPE CONTRACTOR AT THEIR EXPENSE. LANDSCAPE CONTRACTOR SHALL MAINTAIN PLANT MATERIAL UNTIL FINAL ACCEPTANCE.
- 16. ALL LANDSCAPE BEDS SHALL BE MOUNDED AS SHOWN ON PLANS AND DETAILS.
- 17. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ACTUAL PLANT QUANTITIES REQUIRED TO COMPLETE THE PROJECT AS SHOWN ON THE PLANS, AND BASE THEIR BID ACCORDINGLY.
- 18. PLANT KEY DESCRIPTION.



19. MECHANICAL SCREENING SHALL BE PROVIDED IN ACCORDANCE WITH UDO SECTION 8.180.E AND 8.180.F.

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ZONING & PRELIMINARY DEVELOPN ZONES 1 & 2

SHEET L300

project no.: A21-04643 drawing no.: L OVR01 A2104643

| | | REQUIRED PLANTS | SHOWN PLANTS |
|---|--|-----------------|--------------|
| EE'S SUMMIT, MISSOURI | | | |
| | ION III - LANDSCAPING, BUFFERS AND TREE PROTECTION | | |
| SITE ZONED: CP-2, PROPOSEI OTAL PROPERTY: 39.42 ACRI | | | |
| | | | |
| STREET FRONTAGE TREES: | ONE THE DED ON FEET OF OTHER FRONTAGE BURLO OF | | |
| SEC. 8.790 | ONE TREE PER 30 FEET OF STREET FRONTAGE, PUBLIC OR PRIVATE | | |
| | TREES MAY BE CLUSTERED OR ARRANGED WITHIN THE SETBACK. A MIN. 20' LANDSCAPE STRIP SHALL BE PROVIDED ALONG THE FULL LENTH OF THE STREET FRONTAGE, EXCEPT WHERE THE BUILDING | | |
| | SETBACK IS LESS THEN 20'. | | |
| | NE DOUGLAS STREET | | |
| | TOTAL STREET FRONTAGE = 889 LF | 20 TDEEC | 20 TDEEC |
| | (889/ 30 = 29.63) | 30 TREES | 30 TREES |
| | NW COLBERN ROAD | | |
| | TOTAL STREET FRONTAGE = 1,087 LF (1,087 / 30 = 36.23) | 36 TREES | 36 TREES |
| | | | |
| | ALURA WAY TOTAL STREET FRONTAGE = 3,857 LF | | |
| | (3,857 / 30 = 128.57) | 129 TREES | 129 TREES |
| | DISCOVEDY AVENUE | | |
| | DISCOVERY AVENUE TOTAL STREET FRONTAGE = 938 LF | | |
| | (938 / 30 = 31.27) | 31 TREES | 31 TREES |
| | CROSSING BOULEVARD | | |
| | TOTAL STREET FRONTAGE = 2,244 LF | | |
| | (2,244 / 30 = 74.80) | 75 TREES | 75 TREES |
| DPEN YARD TREES: | | | |
| SEC. 8.790 | ONE TREE PER 5,000 SQUARE FEET OF TOTAL LOT AREA EXCLUDING BUILDING FOOTPRINT | | |
| | TOTAL LOT AREA = 1,717,197 SQ FT | | |
| | BUILDING FOOTPRINT = 299,639 SQ FT 1,717,197 - 299,639 SQ FT = 1,417,558 SQ FT | | |
| | 1,417,558 / 5,000 = 284 TREES | 284 TREES | 284 TREES |
| | LANDSCAPE TOTALS | 585 TREES | 585 TREES |
| STREET FRONTAGE SHRUBS: | | | |
| SEC. 8.790 | ONE SHRUB PER 20 FEET OF STREET FRONTAGE | | |
| | A MINIMUM 20 FEET WIDE LANDSCAPE STRIP SHALL BE PROVIDED ALONG THE FULL LENGTH OF ANY STREET FRONTAGE, EXCEPT | | |
| | WHERE THE BUILDING SETBACK IS LESS THAN 20 FEET. | | |
| | NE DOUGLAS STREET | | |
| | TOTAL STREET FRONTAGE = 889 LF (889/ 20 = 44.45) | 44 SHRUBS | 44 SHRUBS |
| | (888, 28 11116) | ++ OHI(OBO | 44 OTII(ODO |
| | NW COLBERN ROAD TOTAL STREET FRONTAGE = 1,087 LF | | |
| | (1,087/ 20 = 54.35) | 54 SHRUBS | 54 SHRUBS |
| | | | |
| | ALURA WAY TOTAL STREET FRONTAGE = 1,643 LF | | |
| | (1,643/ 20 = 82.15) | 82 SHRUBS | 82 SHRUBS |
| | DISCOVERY AVENUE | | |
| | TOTAL STREET FRONTAGE = 469 LF | | |
| | (469/ 20 = 23.45) | 23 SHRUBS | 23 SHRUBS |
| | CROSSING BOULEVARD | | |
| | TOTAL STREET FRONTAGE = 1,108 LF | | |
| | 1,108/ 20 = 55.40) | 55 SHRUBS | 55 SHRUBS |
| OPEN YARD SHRUBS: | | | |
| SEC. 8.790 | TWO SHRUBS PER 5,000 SQUARE FEET OF TOTAL LOT AREA EXCLUDING BUILDING FOOTPRINT | | |
| | TOTAL LOT AREA = 1,717,197 SQ FT | | |
| | BUILDING FOOTPRINT = 299,639 SQ FT 1,717,197 - 299,639 SQ FT = 1,417,558 SQ FT | | |
| | 1,417,558 / 5,000 = 283.51 X 2 = 567 SHRUBS | 567 SHRUBS | 567 SHRUBS |
| | LANDSCAPE TOTALS | 825 SHRUBS | 825 SHRUBS |
| ARKING LOT LANDSCAPING | <u> </u> | | |
| SEC. 8.810 | LANDSCAPE ISLANDS, STRIPS, OR OTHER PLANTING AREA SHALL BE AT LEAST FIVE PERCENT OF THE ENTIRE PARKING AREA | | |
| | TOTAL PARKING LOT AREA: 396,693 SQ FT | | |
| | TOTAL LANDSCAPE ISLAND AREA: 43,348 SQ FT | 40.0007 | |
| | 43,348 / 396,693 = .1093 | 10.93% | |
| | LANDSCAPE STRIP BETWEEN PARKING/LOADING AREA & R/W | 20' WIDE | |
| | OPEN AREAS NOT COVERED WITH OTHER MATERIALS SHALL BE | | |
| | COVERED WITH SOD. | | |
| | | | |
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| LANDSCAPING AND SCREENIN | IG REQUIREMENTS - ZONE 2 | | |
|---|--|-----------------|--------------|
| LEE'S SUMMIT, MISSOURI | | REQUIRED PLANTS | SHOWN PLANTS |
| | ON III - LANDSCAPING, BUFFERS AND TREE PROTECTION | | |
| SITE ZONED: PMIX TOTAL PROPERTY: 19.83 ACRE | ES (863 837 SO FT) | | |
| TOTALT NOT ENTT. 19.00 AGINE | 25 (005,007 5Q 1 1) | | |
| STREET FRONTAGE TREES: | | | |
| SEC. 8.790 | ONE TREE PER 30 FEET OF STREET FRONTAGE, PUBLIC OR PRIVATE | | |
| | TREES MAY BE CLUSTERED OR ARRANGED WITHIN THE SETBACK. A MIN. 20' LANDSCAPE STRIP SHALL BE PROVIDED ALONG THE FULL | | |
| | LENTH O THE STREET FRONTAGE, EXCEPT WHERE THE BUILDING SETBACK IS LESS THEN 20'. | | |
| | SETBACK IS LESS THEN 20. | | |
| | NE DOUGLAS STREET | | |
| | TOTAL STREET FRONTAGE = 336 LF | | |
| | (336/ 30 = 11.2) | 11 TREES | 11 TREES |
| | NW COLBERN ROAD | | |
| | TOTAL STREET FRONTAGE = 1,031 LF | | |
| | (1,031/30 = 34.37) | 34 TREES | 34 TREES |
| | DISCOVERY AVENUE | | |
| | TOTAL STREET FRONTAGE = 534 LF | | |
| | (534/ 30 = 17.8) | 18 TREES | 18 TREES |
| | | | |
| | CROSSING BOULEVARD TOTAL STREET FRONTAGE = 1,139 LF | | |
| | (1,139/30 = 37.97) | | 38 TREES |
| | | | |
| OPEN YARD TREES: | ONE TREE PER 5,000 SQUARE FEET OF TOTAL LOT AREA | | |
| SEC. 8.790 | EXCLUDING BUILDING FOOTPRINT | | |
| | TOTAL LOT AREA = 863,837 SQ FT | | |
| | BUILDING FOOTPRINT = 94,373 SQ FT 863,837 - 94,373 SQ FT = 769,464 SQ FT | | |
| | 769,464 / 5,000 = 153.89 TREES | | 154 TREES |
| | LANDSCAPE TOTALS | 255 TREES | 255 TREES |
| STREET FRONTAGE SHRUBS: | | | |
| SEC. 8.790 | ONE SHRUB PER 20 FEET OF STREET FRONTAGE | | |
| | A MINIMUM 20 FEET WIDE LANDSCAPE STRIP SHALL BE PROVIDED ALONG THE FULL LENGTH OF ANY STREET FRONTAGE, EXCEPT | | |
| | WHERE THE BUILDING SETBACK IS LESS THAN 20 FEET. | | |
| | | | |
| | NE DOUGLAS STREET | | |
| | TOTAL STREET FRONTAGE = 336 LF | | |
| | (336/ 20 = 16.8) | 17 SHRUBS | 17 SHRUBS |
| | NIM COL BERN BOAR | | |
| | NW COLBERN ROAD TOTAL STREET FRONTAGE = 1,031 LF | | |
| | (1,031/20 = 51.55) | 52 SHRUBS | 52 SHRUBS |
| | | | |
| | DISCOVERY AVENUE | | |
| | TOTAL STREET FRONTAGE = 534 LF (534/ 20 = 26.7) | 27 SHRUBS | 27 SHRUBS |
| | | 2. 0020 | 2. 0020 |
| | CROSSING BOULEVARD | | |
| | TOTAL STREET FRONTAGE = 1,139 LF (1,139/ 20 = 56.95) | 67 OUDUDO | 67 OUDUDO |
| | (1,139/20 - 30.93) | 57 SHRUBS | 57 SHRUBS |
| OPEN YARD SHRUBS: | | | |
| SEC. 8.790 | TWO SHRUBS PER 5,000 SQUARE FEET OF TOTAL LOT AREA EXCLUDING BUILDING FOOTPRINT | | |
| | TOTAL LOT AREA = 863,837 SQ FT | | |
| | BUILDING FOOTPRINT = 94,373 SQ FT | | |
| | 863,837 - 94,373 SQ FT = 769,464 SQ FT | | |
| | 769,464 / 5,000 = 153.89 X 2 = 307.78 SHRUBS | 308 SHRUBS | 308 SHRUBS |
| | LANDSCAPE TOTALS | 461 SHRUBS | 461 SHRUBS |
| PARKING LOT LANDSCAPING: | | | |
| SEC. 8.810 | LANDSCAPE ISLANDS, STRIPS, OR OTHER PLANTING AREA SHALL BE AT LEAST FIVE PERCENT OF THE ENTIRE PARKING AREA | | |
| | TOTAL PARKING LOT AREA: 319,583 SQ FT | | |
| | TOTAL LANDSCAPE ISLAND AREA: 21,033 SQ FT | | |
| | 21,033 / 319,583 = .0658 | 6.58% | |
| | | | |
| | LANDSCAPE STRIP BETWEEN PARKING/LOADING AREA & R/W | 20' WIDE | |
| | OPEN AREAS NOT COVERED WITH OTHER MATERIALS SHALL BE | | |
| | COVERED WITH SOD. | | |
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| DECIDUOUS TREES | BOTANICAL NAME | COMMON NAME | SIZE | CONTAINER | |
|--------------------|--|---|--------|------------|----------|
| AM | ACER MIYABEI 'MORTON' | STATE STREET™ MIYABE MAPLE | 3" CAL | B&B | |
| AT | ACER TRUNCATUM X PLATANOIDES 'KEITHSFORM' | NORWEGIAN SUNSET® MAPLE | 3" CAL | B&B | |
| CF | CARPINUS BETULUS 'FASTIGIATA' | PYRAMIDAL EUROPEAN HORNBEAN | 3" CAL | B&B | |
| GA GI | GINKGO BILOBA 'AUTUMN GOLD' GLEDITSIA TRIACANTHOS INERMIS 'IMPCOLE' | AUTUMN GOLD MAIDENHAIR TREE IMPERIAL® HONEY LOCUST | 3" CAL | B&B B&B | |
| GD | GYMNOCLADUS DIOICA 'ESPRESSO' | KENTUCKY COFFEETREE | 3" CAL | B&B | |
| LT | LIRIODENDRON TULIPIFERA | TULIP POPLAR | 3" CAL | B&B | |
| PB | PLATANUS X ACERIFOLIA 'BLOODGOOD' | BLOODGOOD LONDON PLANE TREE | 3" CAL | B&B | |
| QA | QUERCUS ALBA | WHITE OAK | 2" CAL | | |
| QM | QUERCUS MUEHLENBERGII | CHINKAPIN OAK | 3" CAL | B&B | |
| TM | TAXODIUM DISTICHUM 'MICKELSON' | SHAWNEE BRAVE™ BALD CYPRESS | 3" CAL | B&B | |
| UN | ULMUS AMERICANA 'NEW HARMONY' | NEW HARMONY AMERICAN ELM | 3" CAL | B&B | |
| ZV | ZELKOVA SERRATA 'VILLAGE GREEN' | VILLAGE GREEN JAPANESE ZELKOVA | 3" CAL | B&B | |
| | | | | | |
| EVERGREEN TREES | BOTANICAL NAME | COMMON NAME | SIZE | CONTAINER | |
| PD | PICEA GLAUCA 'DENSATA' | BLACK HILLS WHITE SPRUCE | 8` HT. | B&B | |
| PF | PINUS FLEXILIS 'VANDERWOLF'S PYRAMID' | VANDERWOLF'S PYRAMID LIMBER PINE | 8` HT. | B&B | |
| PS | PINUS STROBUS | WHITE PINE | 8` HT. | B&B | |
| ORNAMENTAL TREES | BOTANICAL NAME | COMMON NAME | SIZE | CONTAINER | |
| AB | ACER BUERGERIANUM | TRIDENT MAPLE | 3" CAL | B&B | |
| AG | ACER GRISEUM | PAPERBARK MAPLE | 3" CAL | B&B | |
| AC | AMELANCHIER CANADENSIS | CANADIAN SERVICEBERRY | 3" CAL | B&B | |
| CO | CERCIS CANADENSIS TEXENSIS 'OKLAHOMA' | OKLAHOMA TEXAS REDBUD | 3" CAL | B&B | |
| MX | MAGNOLIA X 'JANE' | JANE MAGNOLIA | 3" CAL | B&B | |
| MP | MALUS X 'PRAIRIFIRE' | PRAIRIFIRE CRABAPPLE | 3" CAL | B&B | |
| MC | MALUS X 'SARGENTII' | SARGENT CRABAPPLE | 3" CAL | B&B | |
| MS | MALUS X 'SPRING SNOW' | SPRING SNOW CRABAPPLE | 3" CAL | B&B | |
| SI | SYRINGA RETICULATA 'IVORY SILK' | IVORY SILK JAPANESE TREE LILAC | 3" CAL | B&B | |
| | | | | | |
| DECIDUOUS SHRUBS | BOTANICAL NAME | COMMON NAME | SIZE | CONDITION | SPACING |
| CF2 | CORNUS SERICEA 'FARROW' | ARCTIC FIRE® RED TWIG DOGWOOD | 1 GAL | | 48" o.c. |
| EC | EUONYMUS ALATUS 'COMPACTUS' | COMPACT BURNING BUSH | 1 GAL | | 48" o.c. |
| FK | FORSYTHIA X INTERMEDIA 'KOLGOLD' | MAGICAL® GOLD FORSYTHIA | 1 GAL | | 48" o.c. |
| HL | HYDRANGEA PANICULATA 'LIMELIGHT' | LIMELIGHT PANICLE HYDRANGEA | 1 GAL | | 48" o.c. |
| IR | ILEX VERTICILLATA 'RED SPRITE' | RED SPRITE WINTERBERRY | 1 GAL | | 48" o.c. |
| IV | ITEA VIRGINICA 'HENRY'S GARNET' | HENRY'S GARNET SWEETSPIRE | 1 GAL | | 48" o.c. |
| NB | NANDINA DOMESTICA 'AKA' | BLUSH PINK™ HEAVENLY BAMBOO | 1 GAL | | 48" o.c. |
| PD2 RE | PHYSOCARPUS OPULIFOLIUS 'DONNA MAY' RHODODENDRON X 'P.J.M.' | LITTLE DEVIL™ DWARF NINEBARK PJM RHODODENDRON | 1 GAL | | 48" o.c. |
| RG | RHUS AROMATICA 'GRO-LOW' | GRO-LOW FRAGRANT SUMAC | 1 GAL | | 48" o.c. |
| SE | SAMBUCUS NIGRA 'EVA' | BLACK LACE® ELDERBERRY | 1 GAL | | 48" o.c. |
| VM | VIBURNUM CARLESII 'SMVCB' | SPICE BABY™ KOREANSPICE VIBURNUM | 1 GAL | | 48" o.c. |
| VS | VIBURNUM DENTATUM 'SMVDE' | SPARKLER® ARROWWOOD VIBURNUM | 1 GAL | | 48" o.c. |
| EVERGREEN SHRUBS | BOTANICAL NAME | COMMON NAME | SIZE | CONDITION | SPACING |
| BG | BUXUS X 'GREEN MOUNTAIN' | GREEN MOUNTAIN BOXWOOD | 1 GAL | CONDITION | 48" o.c. |
| JF | JUNIPERUS CHINENSIS 'SEA GREEN' | SEA GREEN JUNIPER | 1 GAL | | 48" o.c. |
| JW | JUNIPERUS HORIZONTALIS 'WILTONII' | BLUE RUG JUNIPER | 1 GAL | | 48" o.c. |
| TE | TAXUS X MEDIA 'EVERLOW' | EVERLOW ANGLO-JAPANESE YEW | 1 GAL | | 48" o.c. |
| | | | | | |
| ORNAMENTAL GRASSES | BOTANICAL NAME | COMMON NAME | SIZE | CONDITION | SPACING |
| CK | CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' | KARL FOERSTER FEATHER REED GRASS | 1 GAL | | |
| LB | LIRIOPE MUSCARI 'BIG BLUE' | BIG BLUE LILYTURF | 1 GAL | | |
| MM | MISCANTHUS SINENSIS 'MORNING LIGHT' | MORNING LIGHT EULALIA GRASS | 1 GAL | | |
| PH | PENNISETUM ALOPECUROIDES 'HAMELN' | HAMELN FOUNTAIN GRASS | 1 GAL | | |
| SS | SCHIZACHYRIUM SCOPARIUM 'STANDING OVATION' | STANDING OVATION LITTLE BLUESTEM | 1 GAL | | |
| PERENNIALS | BOTANICAL NAME | COMMON NAME | SIZE | CONDITION | SPACING |
| BS | BOLTONIA ASTEROIDES 'SNOWBANK' | SNOWBANK FALSE ASTER | 1 GAL | | |
| CM | COREOPSIS X 'MOONBEAM' | MOONBEAM TICKSEED | 1 GAL | | |
| DW | DIANTHUS GRATIANOPOLITANUS 'FIREWITCH' | FIREWITCH CHEDDAR PINK | 1 GAL | | |
| EK | ECHINACEA PURPUREA 'KIM'S KNEE HIGH' | KIM'S KNEE HIGH CONEFLOWER | 1 GAL | | |
| ES | ECHINACEA X 'SUNSET' | SUNSET CONEFLOWER | 1 GAL | | |
| GW | GAURA LINDHEIMERI 'WHIRLING BUTTERFLIES' | WHIRLING BUTTERFLIES GAURA | 1 GAL | | |
| HP | HEUCHERA MICRANTHA 'PALACE PURPLE' | PALACE PURPLE CREVICE ALUMROOT | 1 GAL | | |
| LM | LAVANDULA ANGUSTIFOLIA 'MUNSTEAD' | MUNSTEAD ENGLISH LAVENDER | 1 GAL | | |
| PA | PEROVSKIA ATRIPLICIFOLIA | RUSSIAN SAGE | 1 GAL | | |
| RG2 | RUDBECKIA FULGIDA SULLIVANTII 'GOLDSTURM' | GOLDSTURM CONEFLOWER | 1 GAL | | |
| SM | SALVIA X SYLVESTRIS 'MAY NIGHT' | MAY NIGHT SAGE | PLUG | | |
| | | AUTUMN JOY SEDUM | 1 GAL | | T |

DISCOVERY PARK REZONING & PRELIMINARY DEVELOPMENT PLAN ZONES 1 & 2 LANDSCAPE & SCREENING REQUIREMENTS DATA

 drawn by:
 EW

 checked by:
 CP

 approved by:
 CP

 QA/QC by:
 BM

 project no.:
 A21-04643

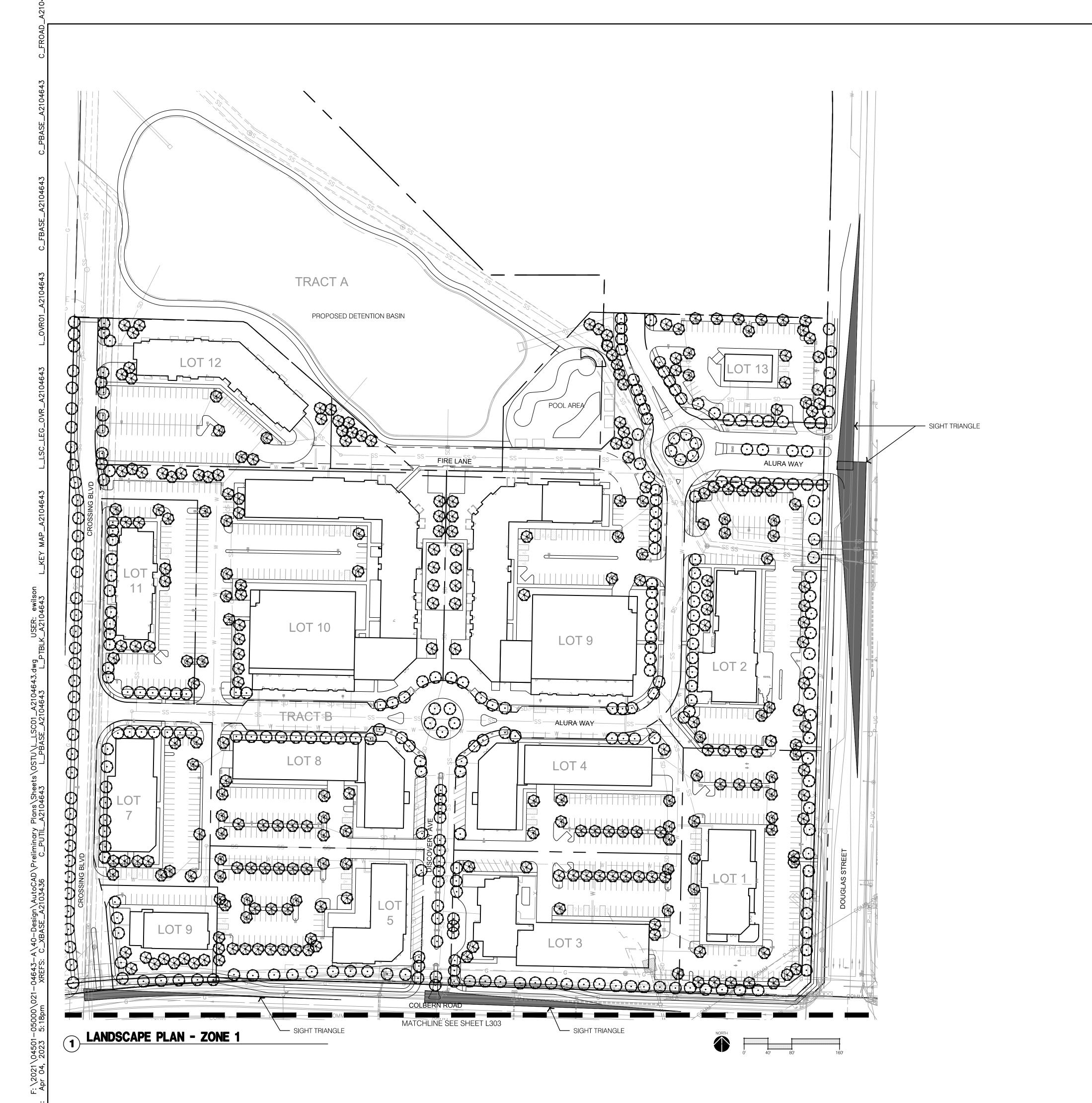
 drawing no.:
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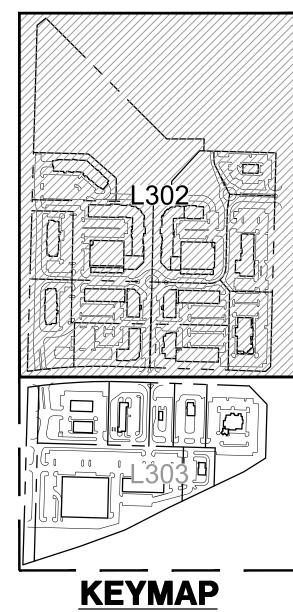
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 A2104643

 date:
 01.20.2023

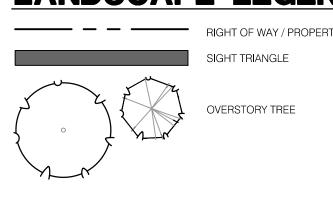
SHEET

L301





LANDSCAPE LEGEND:



PRELIMINARY PLANT SCHEDULE

STREET FRONTAGE TREE
DECIDUOUS: B&B, 3" CAL
ORNAMENTAL: B&B, 3" CAL
EVERGREEN: B&B, 8' HT.

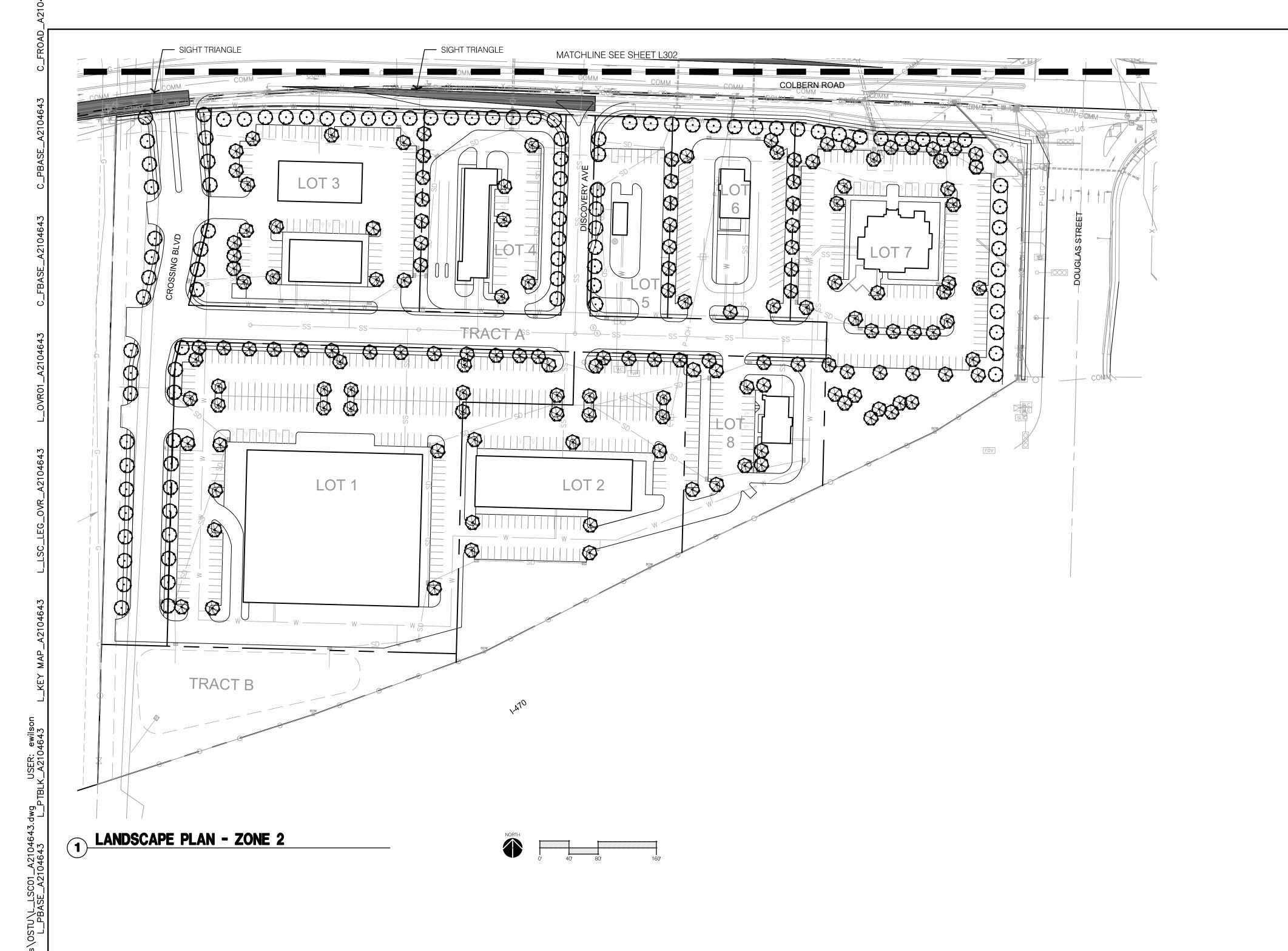
OPEN YARD AREA TREE TOTAL: 28
DECIDUOUS: B&B, 3" CAL
ORNAMENTAL: B&B, 3" CAL

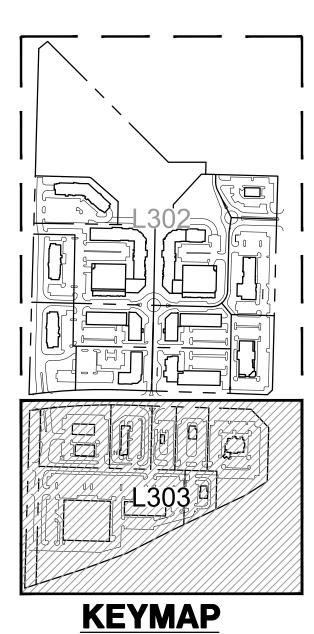
olsson studio

CODY PERALLIPATION A-2013033117

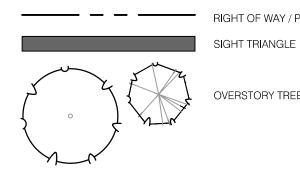
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| CREZONING & PRELIMINARY DEVELOPMENT PLAN | | | | |
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| ZONES 1 & 2 | | | | |
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| URI 2 | 2023 | | REVISIONS | |
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drawn by: EW checked by: CP approved by: CP QA/QC by: BM project no.: A21-04643 drawing no.: L LSC01 A2104643 date: 01.20.2023





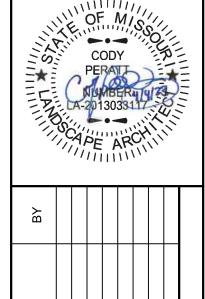
LANDSCAPE LEGEND:



PRELIMINARY PLANT SCHEDULE

STREET FRONTAGE TREE
DECIDUOUS: B&B, 3" CAL
ORNAMENTAL: B&B, 3" CAL
EVERGREEN: B&B, 8 ` HT.

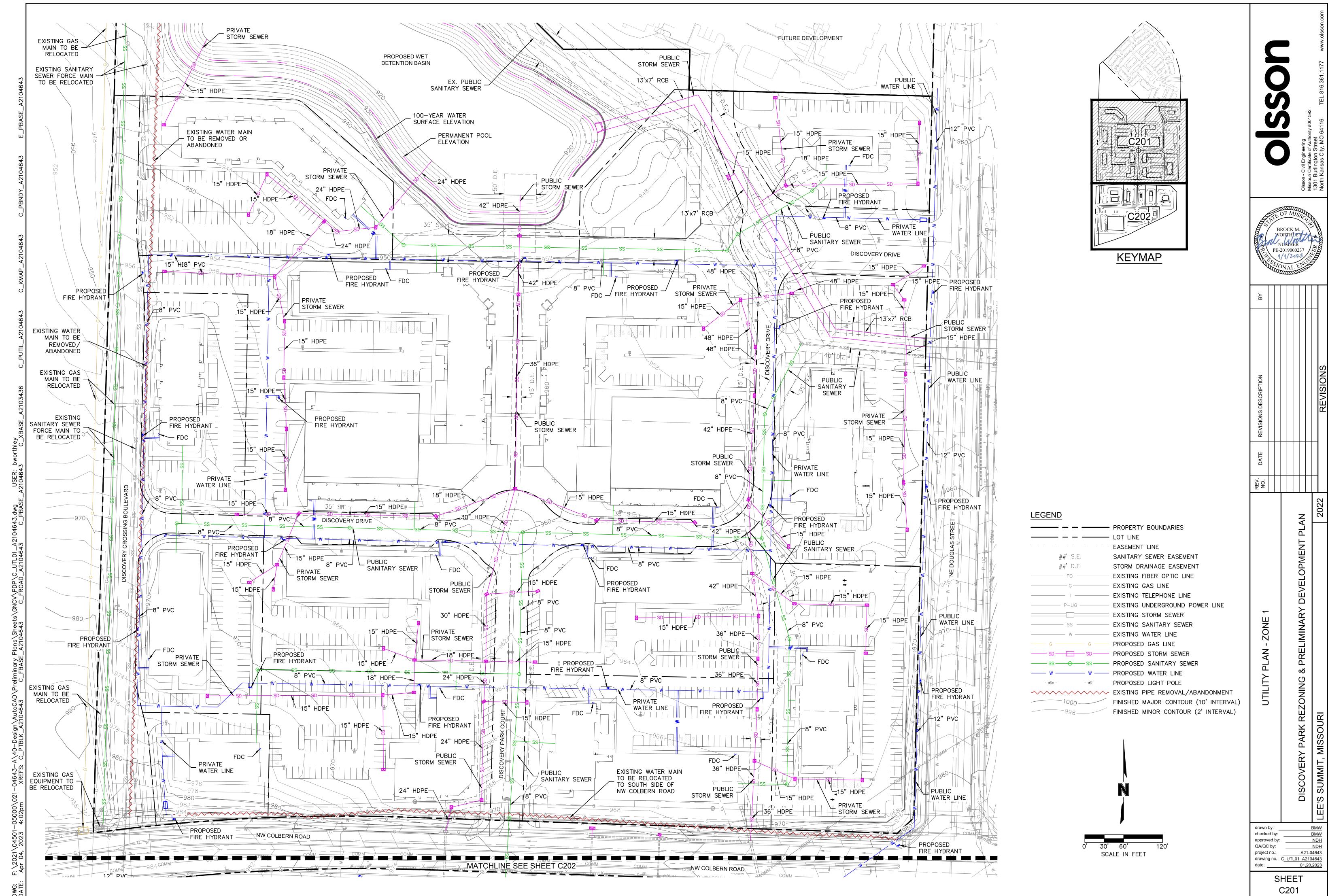
OPEN YARD AREA TREE DECIDUOUS: B&B, 3" CAL ORNAMENTAL: B&B, 3" CAL EVERGREEN: B&B, 8` HT.

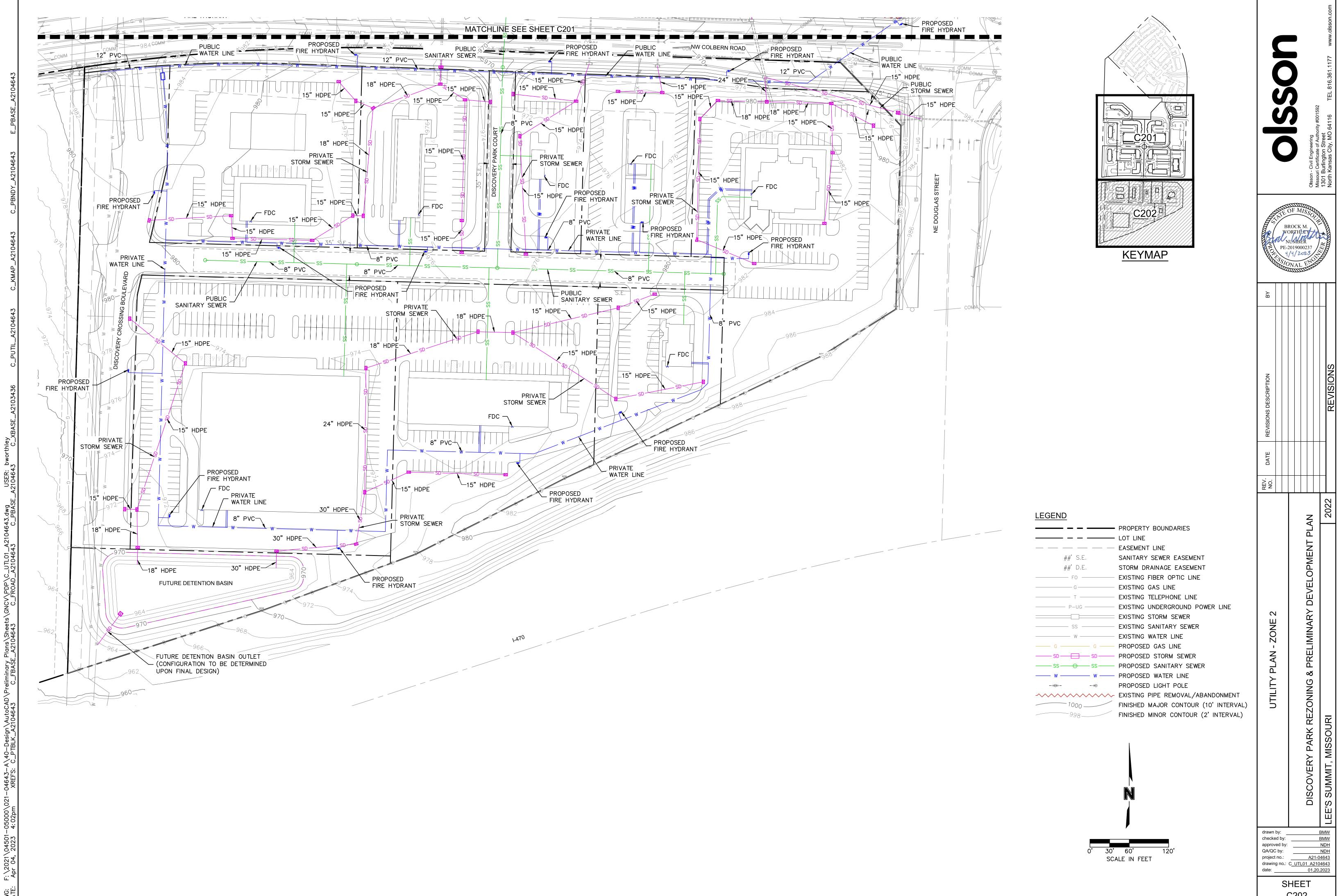


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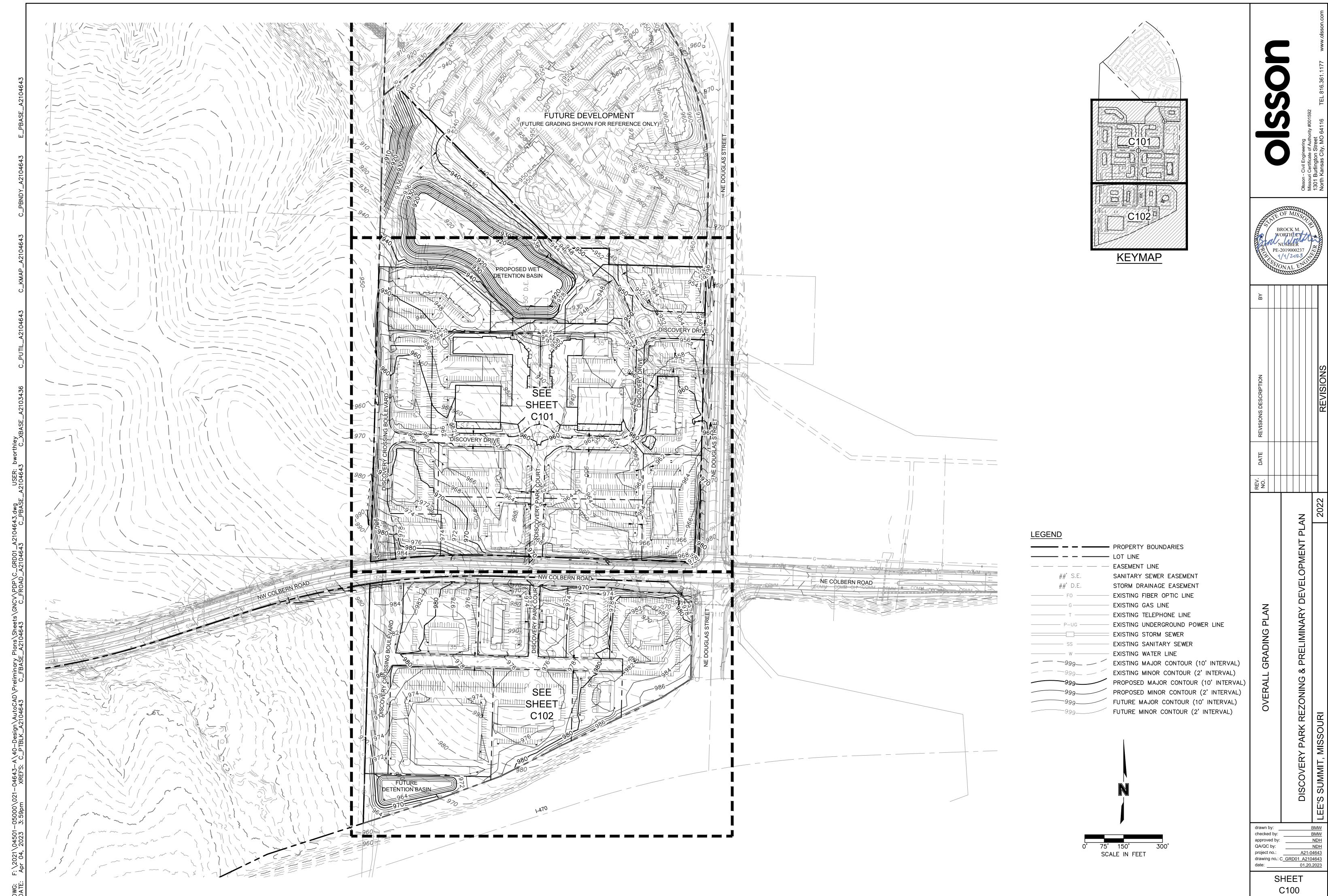
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| LANDSCAPE PLAN - ZONE 2 | | Ž |
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| DISCOVERY PARK REZONING & PRELIMINARY DEVELOPMENT PLAN | Z | |
| ZONES 1 & 2 | | |
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| S SUMMIT, MISSOURI | 2023 | |
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| drawn by: | EW |
| checked by: | CP |
| approved by: | CP |
| QA/QC by: | BM |
| project no.: | A21-04643 |
| drawing no.: | L_LSC01_A2104643 |
| date: | 01.20.2023 |

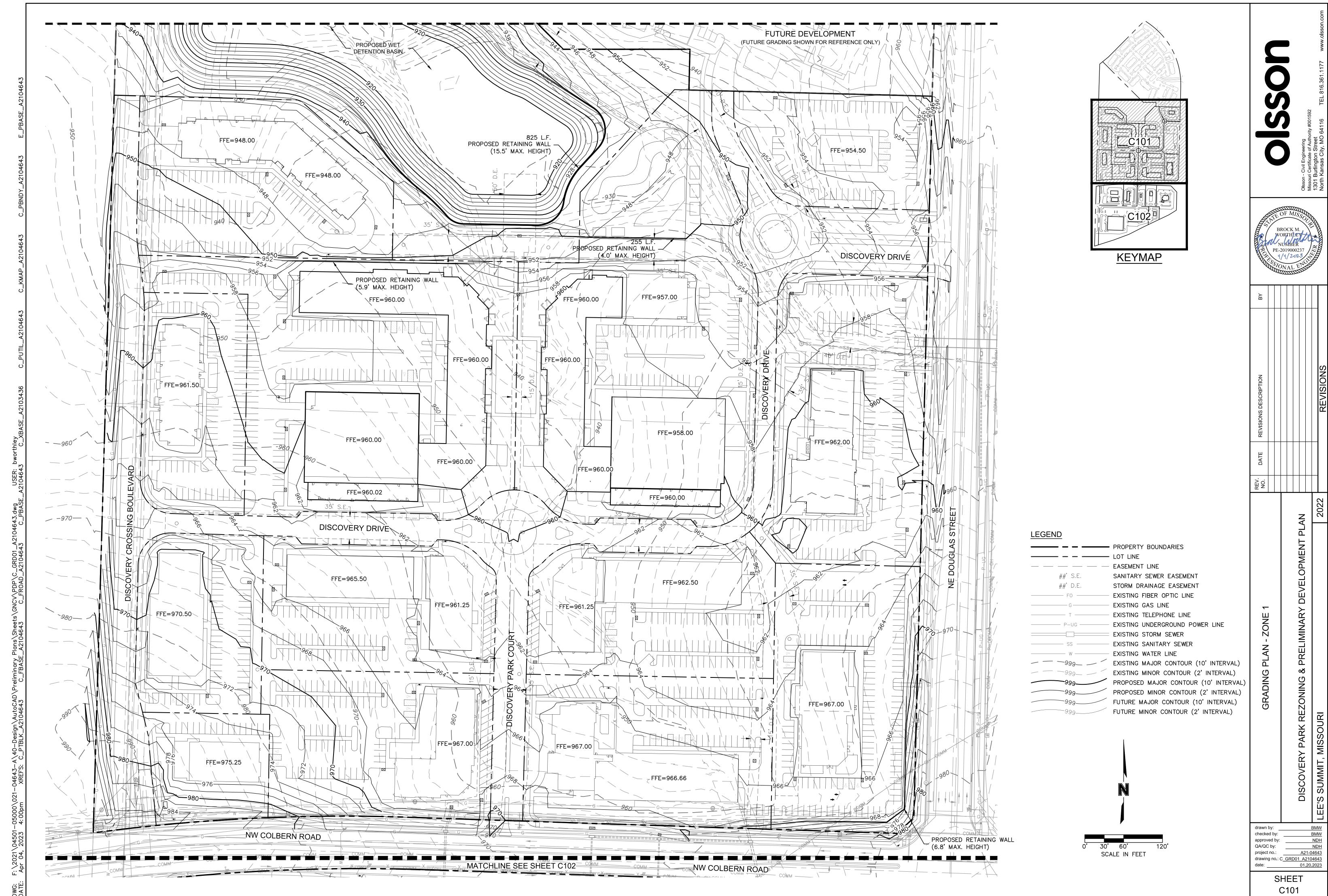


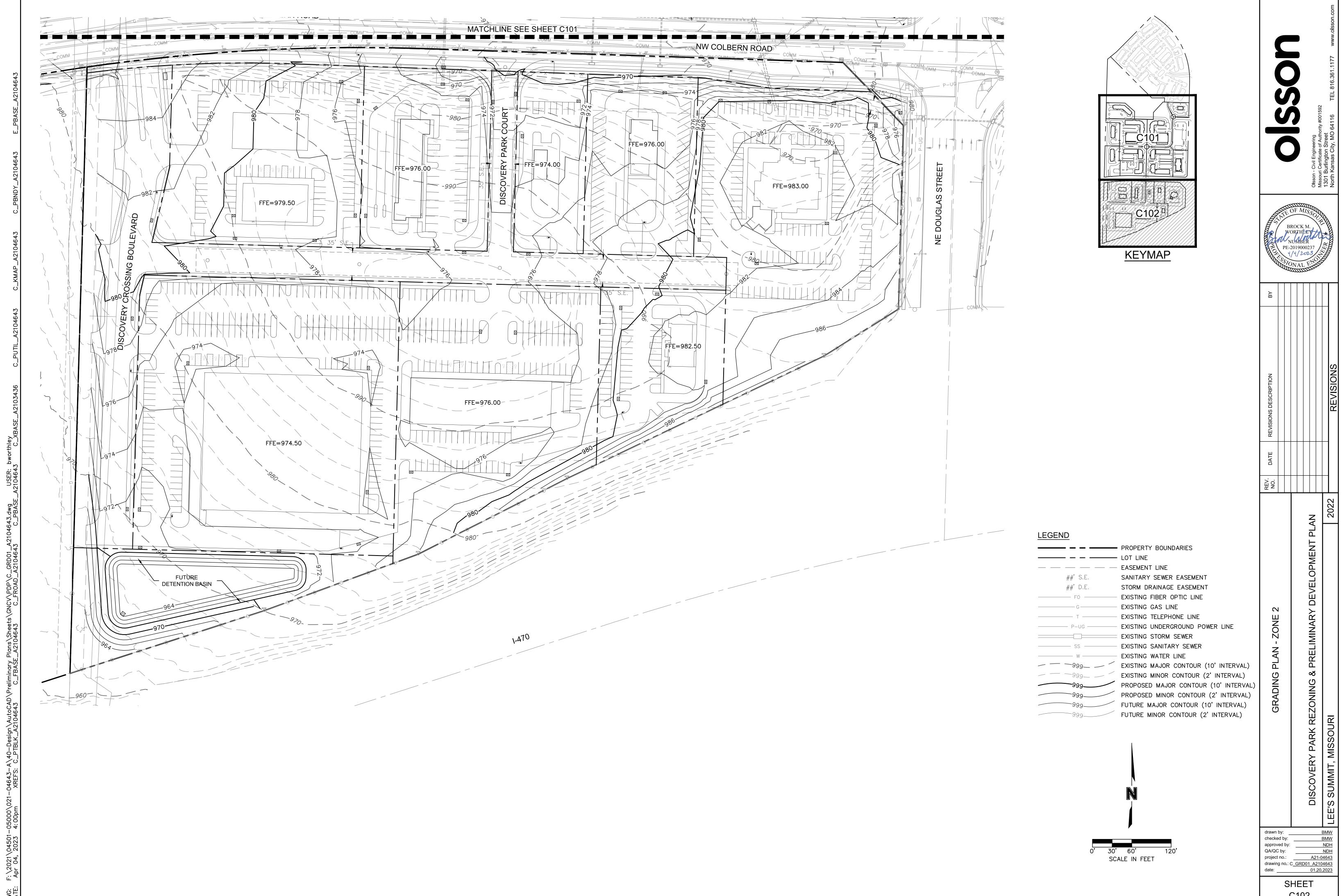


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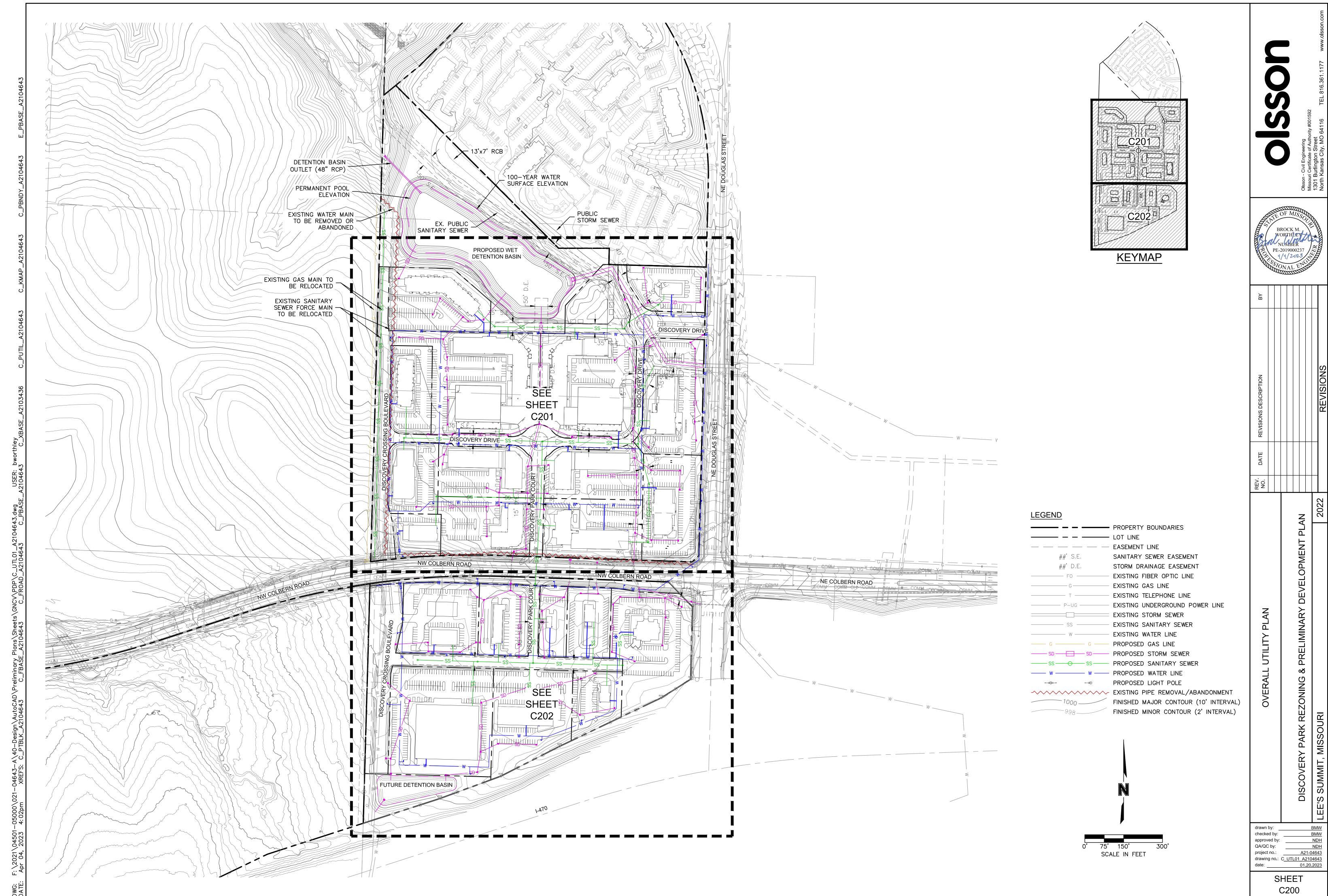


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| proved by: | - | NDH NBH | |
| VQC by: oject no.: | A21-0 | NDH 4643 | |
| - | GRD01 A210 | | |
| te: | 01.20. | | |
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DISCOVERY PARK REZONING & PRELIMINARY DEVELOPMENT PLAN ZONES 1 & 2

approved by: CP

QA/QC by: BM

project no.: A21-04643

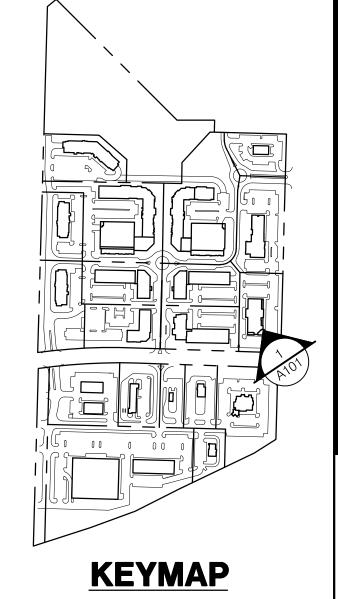
drawing no.A ARCH01 A2104643

date: 01.20.2023

SHEET

ARCHITECTURAL RENDERING - LOTS 3 & 5





DISCOVERY PARK REZONING & PRELIMINARY DEVELOPMENT PLAN ZONES 1 & 2 ARCHITECTURAL RENDERING - LOT 1

drawn by: checked by: approved by: CP

QA/QC by: BM

project no.: A21-04643

drawing no.A ARCH01 A2104643

date: 01.20.2023

SHEET A101

1 ARCHITECTURAL RENDERING - LOT 1



ARCHITECTURAL RENDERING - LOTS 1 & 4

KEYMAP

DISCOVERY PARK REZONING & PRELIMINARY DEVELOPMENT PLAN ZONES 1 & 2 ARCHITECTURAL RENDERING - LOTS 1 & 4

approved by: CP

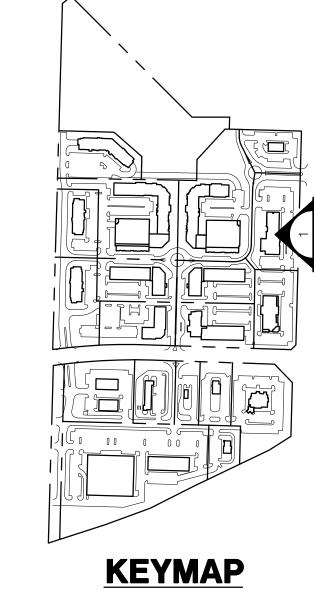
QA/QC by: BM

project no.: A21-04643

drawing no.A ARCH01 A2104643

date: 01.20.2023





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| ZONES 1 & 2 | | | | |
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1 ARCHITECTURAL RENDERING - LOT 2

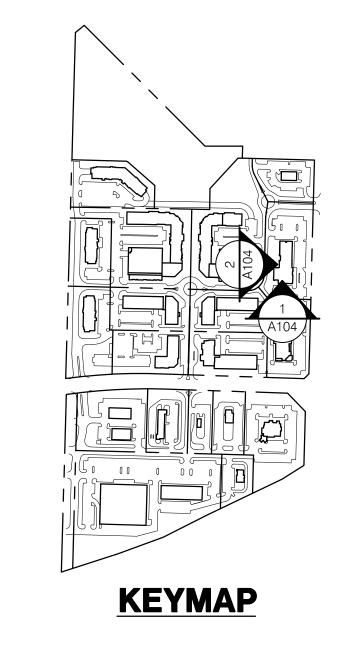
drawn by: EW checked by: CP approved by: CP QA/QC by: BM project no.: A21-04643 drawing no.A ARCH01 A2104643 date: 01.20.2023



1 ARCHITECTURAL RENDERING - LOT 2



2 ARCHITECTURAL RENDERING - LOT 2



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approved by: CP
QA/QC by: BM
project no.: A21-04643
drawing no.A ARCH01 A2104643
date: 01.20.2023



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MINARY DEVELOPMENT PLAN

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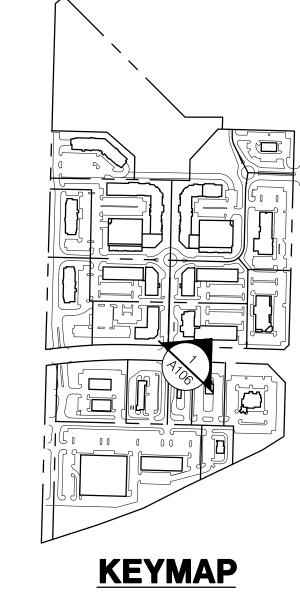
REVISIONS

drawn by: _____ EW checked by: ____ CP approved by: ____ CP QA/QC by: ____ BM project no.: ____ A21-04643 drawing no.A ARCH01 A2104643 date: _____ 01.20.2023

SHEET A105

1 ARCHITECTURAL RENDERING - LOT 2

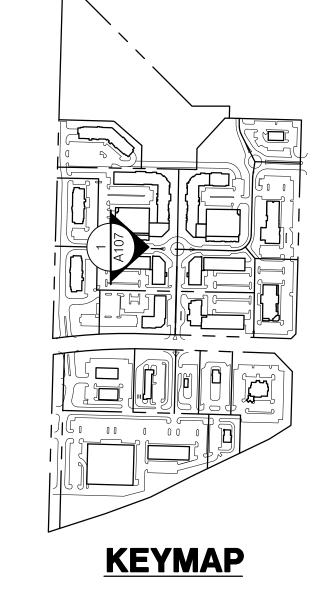




approved by: CP
QA/QC by: BM
project no.: A21-04643
drawing no.A ARCH01 A2104643
date: 01.20.2023

SHEET

1 ARCHITECTURAL RENDERING - LOT 3



DISCOVERY PARK REZONING & PRELIMINARY DEVELOPMENT PLAN ZONES 1 & 2 ARCHITECTURAL RENDERING - LOTS 8, 9, & 10

1 ARCHITECTURAL RENDERING - LOTS 8, 9, & 10

approved by: CP

QA/QC by: BM

project no.: A21-04643

drawing no.A ARCH01 A2104643

date: 01.20.2023

DISCOVERY PARK REZONING & PRELIMINARY DEVELOPMENT PLAN ZONES 1 & 2

SHEET

approved by: CP

QA/QC by: BM

project no.: A21-04643

drawing no.A ARCH01 A2104643

date: 01.20.2023

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1 ARCHITECTURAL RENDERING - LOTS 9 & 10



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& PRELIMINARY DEVELOPMENT PLAN
NES 1 & 2

ARCHITECTURAL RENDERING - LOTS 8 & 10 SCOVERY PARK REZONING & PRELIMINARY DEVELOP ZONES 1 & 2

drawn by: EW checked by: CP approved by: CP QA/QC by: BM project no.: A21-04643 drawing no.A ARCH01 A2104643 date: 01.20.2023

SHEET

1 ARCHITECTURAL RENDERING - LOTS 8 & 10



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ARCHITECTURAL RENDERING - LOT 11

DISCOVERY PARK REZONING & PRELIMINARY DEVELOPMENT PLAN

ZONES 1 & 2

S SUMMIT, MISSOURI

1 ARCHITECTURAL RENDERING - LOT 11

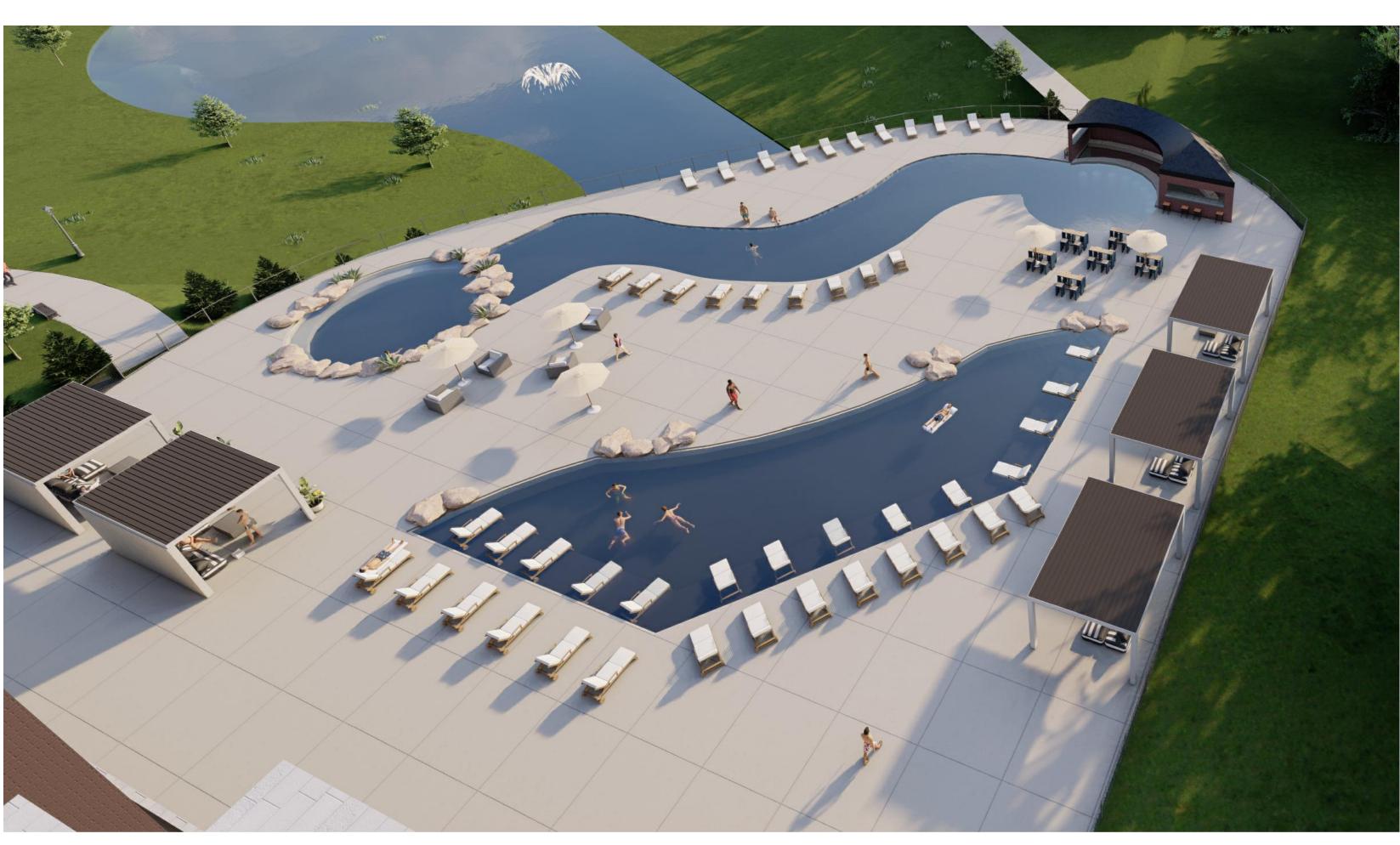


DISCOVERY PARK REZONING & PRELIMINARY DEVELOPMENT PLAN ZONES 1 & 2 ARCHITECTURAL RENDERING - LOT 12

drawn by: checked by: approved by: CP
QA/QC by: BM
project no.: A21-04643
drawing no.A ARCH01 A2104643
date: 01.20.2023

SHEET A111

1 ARCHITECTURAL RENDERING - LOT 12



1 ARCHITECTURAL RENDERING - POOL AREA



2 ARCHITECTURAL RENDERING - POOL AREA



3 ARCHITECTURAL RENDERING - POOL AREA

KEYMAP

OF MISSON
CODY
PERATURA
A 201303311

JRAL RENDERING - POOL AREA

NING & PRELIMINARY DEVELOPMENT PLAN

ZONES 1 & 2

| 2023 | REV. DATE REVISIONS

| 2023 | REV. DATE REVISIONS

drawn by: EW checked by: CP approved by: CP QA/QC by: BM project no.: A21-04643 drawing no.A ARCH01 A2104643 date: 01.20.2023