

# DEVELOPMENT PLAN - ZONES 1 & 2

# LEE'S SUMMIT, MISSOURI

OLSSON PROJECT NUMBER: A21-04643

INTRINSIC DEVELOPMENT L.L.C.

CONTACT: BRIAN MAENNER

3622 ENDEAVOR AVE. STE. 10

COLUMBIA, MISSOURI 65201

573.881.0280

OWNER:

LANDSCAPE ARCHITECT:

CIVIL ENGINEER:



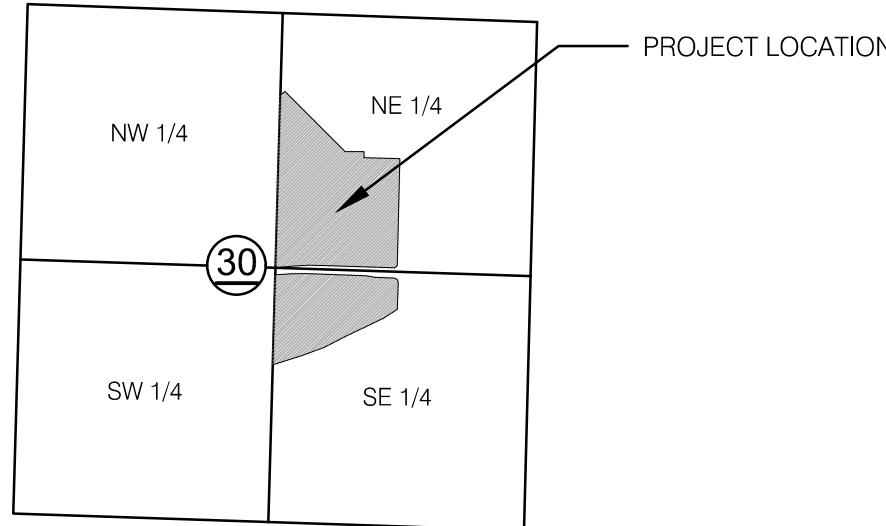
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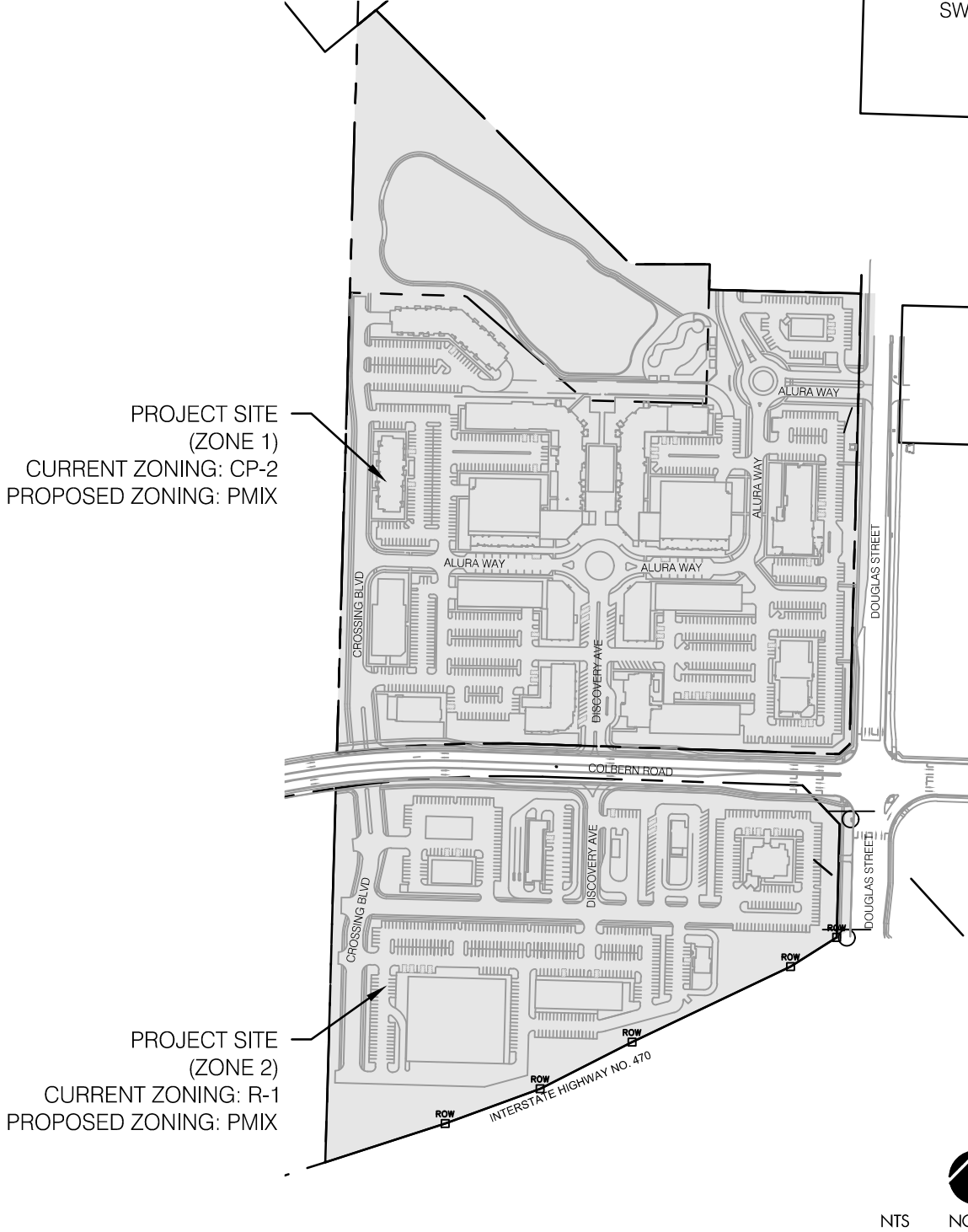
VICINITY MAP

## ZONE 1 - REZONING AND PRELIMINARY DEVELOPMENT PLAN

TRACT OF LAND IN THE NORTH-EAST QUARTER OF SECTION 30 TOWNSHIP 48 NORTH, RANGE 31 WEST OF THE 5TH PRINCIPAL MERIDIAN IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI BEING BOUNDED AND DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTH-WEST CORNER OF SAID NORTH-EAST QUARTER SECTION; THENCE SOUTH 01°37'50" WEST, ON THE WEST LINE OF SAID QUARTER SECTION, 853.75 FEET TO A POINT ON THE SOUTHEAST LOT LINE OF LOT 1, LEE'S SUMMIT ROAD PUMP STATION, A SUBDIVISION RECORDED IN BOOK 151 AT PAGE 90 IN THE JACKSON COUNTY RECORDER OF DEEDS OFFICE, AND THE POINT OF BEGINNING OF THE TRACT OF LAND TO BE HEREIN DESCRIBED; THENCE NORTH 50°41'15" EAST, ON SAID SOUTHEAST LOT LINE, 59.22 FEET; THENCE LEAVING SAID LOT LINE, SOUTH 45°00'00" EAST, 889.18 FEET; THENCE NORTH 90°00'00" EAST, 195.68 FEET; THENCE SOUTH 01°27'27" WEST, 62.94 FEET; THENCE SOUTH 88°32'29" EAST, 375.74 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF NE DOUGLAS STREET AS ESTABLISHED BY DOCUMENT NUMBER 2015E0017982 IN THE JACKSON COUNTY RECORDER OF DEEDS OFFICE; THENCE ON SAID WESTERLY RIGHT-OF-WAY LINE, SOUTH 01°27'31" WEST, 1,114.58 FEET; THENCE SOUTH 46°40'17" WEST, 35.22 FEET TO THE INTERSECTION OF THE NORTHERLY RIGHT-OF-WAY LINE OF NE CULBURN ROAD AS ESTABLISHED BY A SURVEY PROVIDED BY HAMILTON STERRETT AND DOOLEY, PROJECT NUMBER 99021; THENCE ON SAID NORTHERLY RIGHT-OF-WAY LINE NORTH 88°05'56" WEST, 730.85 FEET; THENCE WESTERLY ALONG A CURVE TO THE LEFT HAVING AN INITIAL TANGENT BEARING OF NORTH 87°33'04" WEST WITH A RADIUS OF 2,904.93 FEET, A CENTRAL ANGLE OF 10°06'02" AND AN ARC DISTANCE OF 512.10 FEET TO THE SOUTHWEST CORNER OF THE SAID NORTH-EAST QUARTER; THENCE NORTH 01°37'22" EAST, ON THE WEST LINE OF THE NORTH-EAST QUARTER OF SAID SECTION 30, A DISTANCE OF 1,328.05 FEET TO THE NORTHWEST CORNER OF THE SOUTHWEST QUARTER OF THE SAID NORTH-EAST QUARTER; THENCE CONTINUING ON THE SAID WEST LINE, NORTH 01°37'50" EAST, 473.96 FEET TO THE POINT OF BEGINNING, CONTAINING 1,717,197 SQUARE FEET OR 39.42 ACRES, MORE OR LESS. TRACT OF LAND IS CURRENTLY ZONED AS CP-2.

# ZONE 2 - REZONING AND PRELIMINARY DEVELOPMENT PLAN

TRACT OF LAND IN THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 30 TOWNSHIP 48 NORTH, RANGE 31 WEST OF THE 5TH PRINCIPAL MERIDIAN IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI BEING BOUNDED AND DESCRIBED BY OR UNDER THE DIRECT SUPERVISION OF JASON S ROUDEBUSH, P.L.S. 2002014092 AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER, SAID POINT ALSO BEING THE SOUTHEAST CORNER OF SAID SOUTHWEST QUARTER OF SAID SECTION 30; THENCE NORTH 01°36'54" EAST ON THE WEST LINE OF SAID SOUTHEAST QUARTER, SAID LINE ALSO BEING THE EAST LINE OF SAID SOUTHWEST QUARTER, 1,633.15 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF INTERSTATE HIGHWAY NO. 470 AS ESTABLISHED BY THE REPORT OF COMMISSIONERS, CASE 741042, RECORDED AS DOCUMENT NO. 197110086010, IN BOOK 1258 AT PAGE 1207, SAID POINT ALSO BEING THE POINT OF BEGINNING OF THE TRACT OF LAND TO BE HEREIN DESCRIBED; THENCE CONTINUING NORTH 01°36'54" EAST ON THE WEST LINE OF SAID SOUTHEAST QUARTER, AND THE EAST LINE OF SAID SOUTHWEST QUARTER, 925.47 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF NW COLBERN ROAD AS ESTABLISHED BY DOCUMENT NO. 193001284624; THENCE EASTERLY ON A CURVE TO THE RIGHT HAVING AN INITIAL TANGENT BEARING OF NORTH 81°50'55" EAST WITH A RADIUS OF 2,924.93 FEET, A CENTRAL ANGLE OF 10°02'09" AND AN ARC DISTANCE OF 512.33 FEET; THENCE SOUTH 88°06'56" EAST, ON SAID SOUTHERLY RIGHT-OF-WAY LINE, 642.13 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF NE DOUGLAS STREET ESTABLISHED BY SAID REPORT OF COMMISSIONERS CASE 741042, RECORDED AS DOCUMENT NO. 197110086010, IN BOOK 1258 AT PAGE 1207; THENCE SOUTH 43°46'24" EAST, ON SAID WESTERLY RIGHT-OF-WAY LINE, 133.40 FEET; THENCE SOUTH 01°29'58" WEST, ON SAID WESTERLY RIGHT-OF-WAY LINE, 280.00 FEET TO A POINT ON THE AFORESAID NORTHWESTERLY RIGHT-OF-WAY LINE OF INTERSTATE HIGHWAY NO. 470; THENCE SOUTH 57°43'10" WEST, ON SAID NORTHWESTERLY RIGHT-OF-WAY LINE, 134.56 FEET; THENCE SOUTH 64°30'32" WEST, ON SAID NORTHWESTERLY RIGHT-OF-WAY LINE, 434.06 FEET; THENCE SOUTH 63°04'56" WEST, ON SAID NORTHWESTERLY RIGHT-OF-WAY LINE, 254.50 FEET; THENCE SOUTH 69°50'03" WEST, 250.20 FEET; THENCE SOUTH 72°07'30" WEST, 311.41 FEET TO THE POINT OF BEGINNING, CONTAINING 863,837 SQUARE FEET OR 19.831 ACRES MORE OR LESS. TRACT OF LAND IS CURRENTLY ZONED AS R-1.



NTS NOR

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DWG: F:\2021\04501-05000\021-04643-a\40-design\AutoCAD\preliminary plans\Sheets\OSTU\L\_CVR01\_A2104643.dwg USER: mssors  
DATE: Apr 04, 2023 5:18pm XREFS: L\_PTBK\_A2104643 C\_XBASE\_A2104643 C\_FBASE\_A2104643 L\_GEN NOTES\_A2104643 C\_PBASE\_A2104643

SHEET INDEX

Sheet #	Sheet Description	Preliminary Development Plans 01/20/2023	Preliminary Development Plans 2nd Submittal 04/04/2023			
	COVER SHEET	X	X			
L000	PROJECT SHEET	X	X			
L100	EXISTING CONDITIONS - ZONE 1	X	X			
L101	EXISTING CONDITIONS - ZONE 2	X	X			
L102	GENERAL LAYOUT - ZONE 1	X	X			
L103	GENERAL LAYOUT - ZONE 2	X	X			
L104	FIRE TRUCK ACCESS PLAN - ZONE 1	X	X			
L105	FIRE TRUCK ACCESS PLAN - ZONE 2	X	X			
L200	OVERALL SITE PLAN	X	X			
L201	SITE PLAN - ZONE 1	X	X			
L202	SITE PLAN - ZONE 2	X	X			
L300	OVERALL LANDSCAPE PLAN	X	X			
L301	LANDSCAPE & SCREENING REQUIREMENTS DATA	X	X			
L302	LANDSCAPE PLAN - ZONE 1	X	X			
L303	LANDSCAPE PLAN - ZONE 2	X	X			
C100	OVERALL GRADING PLAN	X	X			
C101	GRADING PLAN - ZONE 1	X	X			
C102	GRADING PLAN - ZONE 2	X	X			
C200	OVERALL UTILITY PLAN	X	X			
C201	UTILITY PLAN - ZONE 1	X	X			
C202	UTILITY PLAN - ZONE 2	X	X			
MEP1	MECHANICAL ELECTRICAL PLUMBING COVER SHEET	X	X			
MEP2	OVERALL SITE PLAN	X	X			
MEP3	SITE LIGHTING PLAN	X	X			
E501	ELECTRICAL DETAILS 7 SCHEDULES	X	X			
A100	ARCHITECTURAL RENDERING - LOTS 3 & 5	X	X			
A101	ARCHITECTURAL RENDERING - LOT 1	X	X			
A102	ARCHITECTURAL RENDERING - LOTS 1 & 4	X	X			
A103	ARCHITECTURAL RENDERING - LOT 2	X	X			
A104	ARCHITECTURAL RENDERING - LOT 2	X	X			
A105	ARCHITECTURAL RENDERING - LOT 2	X	X			
A106	ARCHITECTURAL RENDERING - LOT 3	X	X			
A107	ARCHITECTURAL RENDERING - LOTS 8, 9, & 10	X	X			
A108	ARCHITECTURAL RENDERING - LOTS 9 & 10	X	X			
A109	ARCHITECTURAL RENDERING - LOTS 8 & 10	X	X			
A110	ARCHITECTURAL RENDERING - LOT 11	X	X			
A111	ARCHITECTURAL RENDERING - LOT 12	X	x			
A112	ARCHITECTURAL RENDERING - POOL AREA		x			

PROJECT DESIGN CRITERIA:

CODE EDITIONS USED:

2018 INTERNATIONAL BUILDING CODE  
2018 INTERNATIONAL PLUMBING CODE  
2018 INTERNATIONAL MECHANICAL CODE  
2018 INTERNATIONAL FUEL GAS CODE  
2018 INTERNATIONAL RESIDENTIAL CODE  
2018 INTERNATIONAL FIRE CODE  
2017 NATIONAL ELECTRICAL CODE  
ICC/ANSI A117.1-2009, ACCESSIBLE AND USEABLE BUILDING AND FACILITIES

UTILITY SERVICE NUMBERS:

NAME: LEE'S SUMMIT PUBLIC WORKS  
PHONE: 816-969-1800

NAME: LEE'S SUMMIT WATER UTILITIES DEPARTMENT  
PHONE: 816-969-1900

NAME: SPIRE (MGE)  
PHONE: 314-342-0500

NAME: AT&T  
PHONE: 800-286-8313

NAME: EVERGY  
PHONE: 816-471-5275

NAME: SPECTRUM (TWC)  
PHONE: 877-772-2253

NAME: GOOGLE FIBER  
PHONE: 877-454-6959

GENERAL NOTES

- ALL PAVING DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
- REFER TO DETAIL SHEET FOR INSTALLATION OF SIGNS.
- CONTRACTOR SHALL MATCH EXISTING PAVEMENT IN GRADE AND ALIGNMENT TO PROVIDE SMOOTH SURFACE TRANSITIONS BETWEEN NEW ENTRANCE DRIVES AND EXISTING STREETS.
- CONTRACTOR SHALL MATCH EXISTING CURB & GUTTER IN GRADE, SIZE, TYPE, AND ALIGNMENT AT CONNECTIONS TO EXISTING STREETS.
- ALL WORK ON THIS PLAN SHALL BE DONE IN STRICT ACCORDANCE WITH THE OWNER'S SITE WORK SPECIFICATIONS.
- ALL TRAFFIC CONTROL SIGNS SHALL BE FABRICATED AS SHOWN IN THE NATIONAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREET AND HIGHWAYS.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULE, SLOPED PAVING, EXIT PORCHES, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS, SIDEWALK AND SPECIFIC BUILDING AREA TREATMENTS AND IMPROVEMENTS. FOR EXACT BUILDING DIMENSIONS, SEE ARCHITECTURAL PLANS. CONTRACTOR TO STAKE AND CONSTRUCT FOUNDATIONS AND FOOTINGS FROM STRUCTURAL PLAN. BUILDING DIMENSIONS ON THIS PLAN ARE FOR REFERENCE ONLY.
- ALL DIMENSIONS SHOWN ON BUILDING ARE TO OUTSIDE FACE OF BUILDING.
- ALL ACCESSIBLE PARKING SIGNAGE AND STRIPING SHALL BE IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) REQUIREMENTS.
- THE CONTRACTOR SHALL SUPPLY THE OWNER WITH A LIST OF ALL SUBCONTRACTORS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION.
- ALL ASPHALT PAVING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF LEES SUMMIT DESIGN AND CONSTRUCTION MANUAL SECTION 2200.
- ALL CURB RETURN RADII ARE 4.0' UNLESS OTHERWISE NOTED.
- SITE TOPOGRAPHY TAKEN FROM FIELD WORK BY OLSSON ON THE SURVEY DATED 10-2016 AND UPDATED ON ~~10-2016~~ ALONG NORTH PROPERTY LINE. CONTRACTOR TO VERIFY EXISTING CONDITIONS OF THE SITE THAT MAY NOT BE REPRESENTATIVE OF THE CONSTRUCTION PLANS.

FLOOD CERTIFICATION:

1. THE ENTIRE SITE IS LOCATED WITHIN ZONE X, "AREAS OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN" AS DEPICTED ON THE FEMA FLOOD INSURANCE RATE MAP (FIRM) MAP NUMBER 290174 0412G, REVISION DATE JANUARY 20, 2017

OIL/GAS WELLS:

NO OIL OR GAS WELLS LOCATED WITHIN THE PROJECT LIMITS.

INFORMATION OBTAINED FROM THE MISSOURI DEPARTMENT OF NATURAL RESOURCES, GEOLOGICAL SURVEY GEOSCIENCES TECHNICAL RESOURCE ASSESSMENT TOOL (GEOSTRAT).

LEGEND	
GENERAL	SURVEY MARKERS
ACU	BMK BENCHMARK
AST	CPT CONTROL POINT
ATL	FND FOUND MONUMENT
ATR	ROW ROW MARKER
BLB	SCR SECTION CORNER
BOV	SET SET MONUMENT
BSH	BOUNDARIES
COL	SECTION LINE
CTR	EXISTING PROPERTY BOUNDARY
DRN	PROPOSED PROPERTY BOUNDARY
DTR	EXISTING LOT LINE
FLP	PROPOSED LOT LINE
GDP	EXISTING RIGHT-OF-WAY
GPL	PROPOSED RIGHT-OF-WAY
GTP	UTILITIES
GUY	CAB CABLE BOX
HCP	CAV CABLE VAULT
LST	TVP TELEVISION PEDESTAL
MLB	TVR TELEVISION RISER
MP	EXISTING CABLE TV, OVERHEAD
MWL	EXISTING CABLE TV, UNDERGROUND
PIV	PROPOSED CABLE TV, OVERHEAD
PPT	PROPOSED CABLE TV, UNDERGROUND
RAT	FOB FIBER OPTIC BOX
SAD	FOM FIBER OPTIC MANHOLE
SCV	FOP FIBER OPTIC PEDESTAL
SGN	FOV FIBER OPTIC VAULT
SLB	EXISTING FIBER OPTIC, OVERHEAD
SLC	EXISTING FIBER OPTIC, UNDERGROUND
SPB	PROPOSED FIBER OPTIC, OVERHEAD
SPH	PROPOSED FIBER OPTIC, UNDERGROUND
STP	FDC FIRE DEPT. CONNECTION
SVL	EFP EXISTING FIRE PROTECTION SYSTEM LINE
TCB	FPP PROPOSED FIRE PROTECTION SYSTEM LINE
TSA	EFL EXISTING FUEL LINE
TSC	FPL PROPOSED FUEL LINE
TSMH	GAR GAS RISER
TSP	GMH GAS MANHOLE
	GMK GAS MARKER
	GMT GAS METER
	GRG GAS REGULATOR
	GVL GAS VALVE
	EG EXISTING NATURAL GAS LINE
	P PROPOSED NATURAL GAS LINE
	TEC TELEPHONE CABINET
	TEP TELEPHONE PEDESTAL
	TR TELEPHONE RISER
	TEV TELEPHONE VAULT
	TMH TELEPHONE MANHOLE
	ETELOH EXISTING TELEPHONE LINE, OVERHEAD
	ETEL EXISTING TELEPHONE LINE, UNDERGROUND
	TELOH PROPOSED TELEPHONE LINE, OVERHEAD
	TEL PROPOSED TELEPHONE LINE, UNDERGROUND
	GLT GROUND LIGHT
	LTP LIGHT POLE
R	PWP POWER POLE
L	TRF ELECTRIC TRANSFORMER
D	EBX ELECTRIC BOX
EASEMENTS & SETBACKS	
A.E.	ACCESS EASEMENT
B.M.P.	BEST MANAGEMENT PRACTICE EASEMENT
B.L.	BUILDING SETBACK
C.T.V.E.	CABLE TV EASEEMNT
C.E.	CONSERVATION EASEMENT
C.G.E.	CONSTRUCTION GRADING EASEMENT
F.P.E.	FLOOD PLAIN EASEMENT
F.O.E.	FIBER OPTIC EASEMENT
F.P.S.E.	FIRE PROTECTION SYSTEM EASEMENT
F.L.E.	FUEL LINE EASEMENT
L.S.E.	LANDSCAPE EASEMENT
G.E.	NATURAL GAS EASEMENT
T.E.	TELEPHONE EASEMENT
E.E.	POWER/ELECTRIC EASEMENT
P.S.	PARKING SETBACK
S.B.	STREAM BUFFER
S.D.E.	SURFACE DRAINAGE EASEMENT
	SIGHT DISTANCE EASEMENT
S.E.	SANITARY SEWER EASEMENT
S.L.E.	STEAM LINE EASEMENT
D.E.	STORM DRAINAGE EASEMENT
S.W.M.E.	STORM WATER MANAGEMENT EASEMENT
T.C.D.S.E.	TEMPORARY CUL-DE-SAC EASEMENT
	TEMPORARY EASEMENT
	TRAIL/PATH EASEMENT
U.E.	UTILITY EASEMENT
W.E.	WATER EASEMENT
F.Y.S	FRONT YARD SETBACK
R.Y.S.	REAR YARD SETBACK
S.Y.S.	SIDE YARD SETBACK
CONTOURS	
	100 EXISTING INDEX CONTOURS
	100 EXISTING INTERMEDIATE CONTOURS
	100 PROPOSED INDEX CONTOURS
	100 PROPOSED INTERMEDIATE CONTOURS

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STATE OF MISSOURI  
CIVIL ARCHITECT

BY

REVISIONS DESCRIPTION

DATE

REV. NO.

2023

PROJECT SHEET

DISCOVERY PARK REZONING & PRELIMINARY DEVELOPMENT PLAN  
ZONES 1 & 2

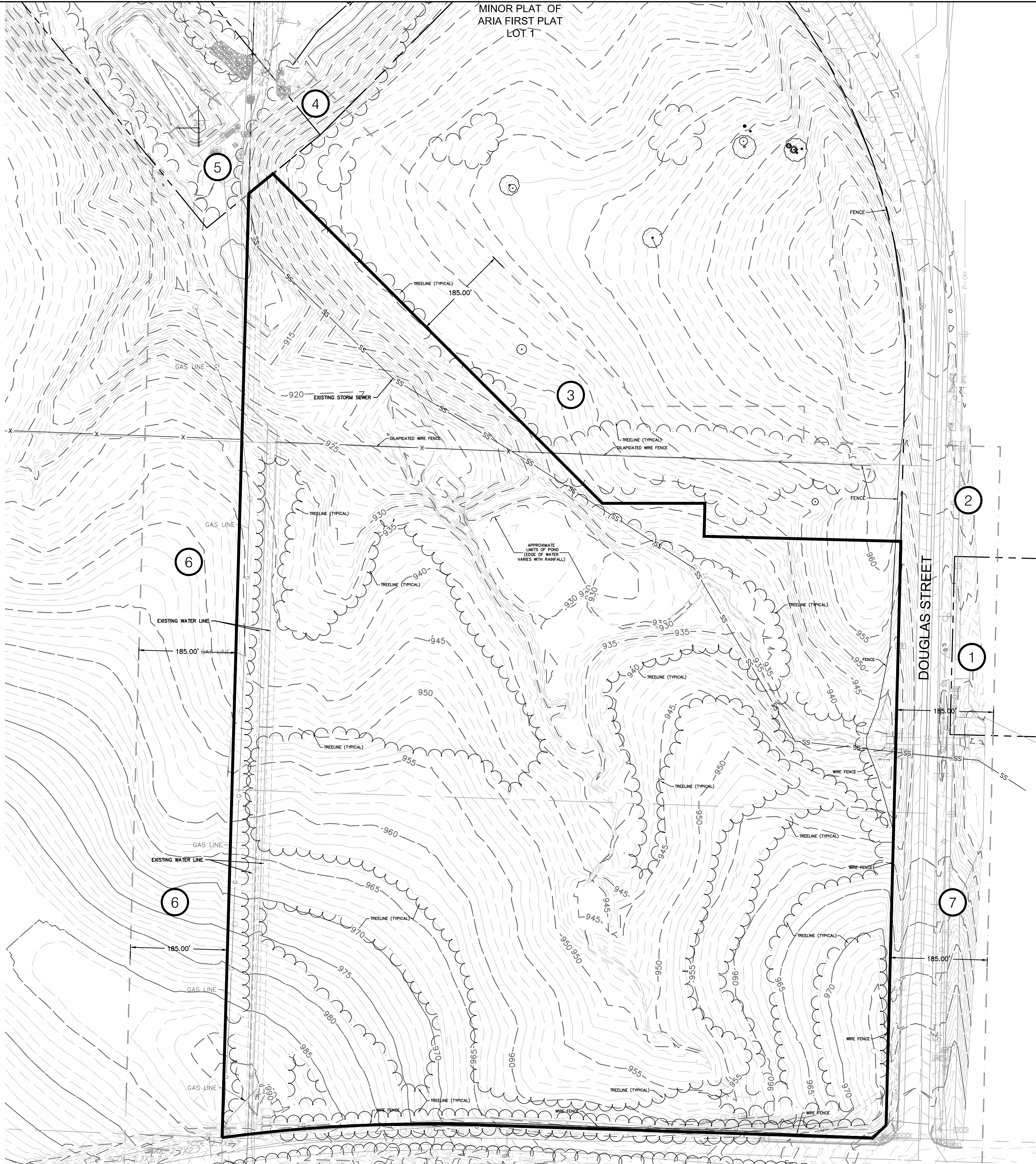
LEE'S SUMMIT, MISSOURI

drawn by: EW  
checked by: CP  
approved by: CP  
QA/QC by: BM  
project no.: A21-04643  
drawing no.: L\_CVR01\_A2104643  
date: 01.20.2023

SHEET  
L000



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DATE: Apr 04, 2023 5:19pm XREFS: C:\XBASE\_A2103436 LPTB\K\_A2104543 L\_OVR01\_A2104543 C\_XSURF\_A2104543



1 EXISTING CONDITIONS - ZONE 1

PROPERTY OWNERS WITHIN 185'			
KEY	PROPERTY ADDRESS	OWNER / OWNER ADDRESS	LAND USE / ZONING
1	2721 NE DOUGLAS ST LEES SUMMIT, MO 64064	CITY OF LEE'S SUMMIT 220 S MAIN LEE'S SUMMIT, MO 64063	N/A / AIRPORT ZONE
2	2721 NE DOUGLAS ST LEES SUMMIT, MO 64064	CITY OF LEE'S SUMMIT 220 S MAIN LEE'S SUMMIT, MO 64063	N/A / AIRPORT ZONE
3	NO ADDRESS ASSIGNED BY THE CITY	DISCOVERY PARK LEE'S SUMMIT, LLC 4220 PHILIPS FARM RD COLUMBIA, MO 65201	VACANT AG LAND / AG
4	NO ADDRESS ASSIGNED BY THE CITY	UNITY SCHOOL OF CHRISTIANITY 150 E COLBERN RD UNITY VILLAGE, MO 64064	VACANT AG LAND / AG
5	2290 NW LEES SUMMIT RD LEES SUMMIT, MO 64064	CITY OF LEE'S SUMMIT PO BOX 1600 LEE'S SUMMIT, MO 64063-7600	VACANT AG LAND / AG
6	150 E COLBERN RD UNITY VILLAGE, MO 64064	UNITY SCHOOL OF CHRISTIANITY 150 E COLBERN RD UNITY VILLAGE, MO 64064	AG HOMESITE / AG
7	2721 NE DOUGLAS ST LEES SUMMIT, MO 64064	CITY OF LEE'S SUMMIT 220 S MAIN LEE'S SUMMIT, MO 64063	N/A / AIRPORT ZONE
8	NO ADDRESS ASSIGNED BY THE CITY	DISCOVERY PARK LEE'S SUMMIT, LLC 4220 PHILIPS FARM RD COLUMBIA, MO 65201	VACANT AG LAND / PMIX
9	201 NE COLBERN RD LEES SUMMIT, MO 64086	CITY OF LEE'S SUMMIT 207 SW MARKET LEE'S SUMMIT, MO 64063	N/A / AIRPORT ZONE

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CODY  
REBUTT  
04/08/2023  
03:31:11 PM  
LOCAL ARCHITECT

BY

REV. NO.

DATE

REVISIONS DESCRIPTION

EXISTING CONDITIONS - ZONE 1

DISCOVERY PARK REZONING & PRELIMINARY DEVELOPMENT PLAN  
ZONES 1 & 2

LEE'S SUMMIT, MISSOURI

2023

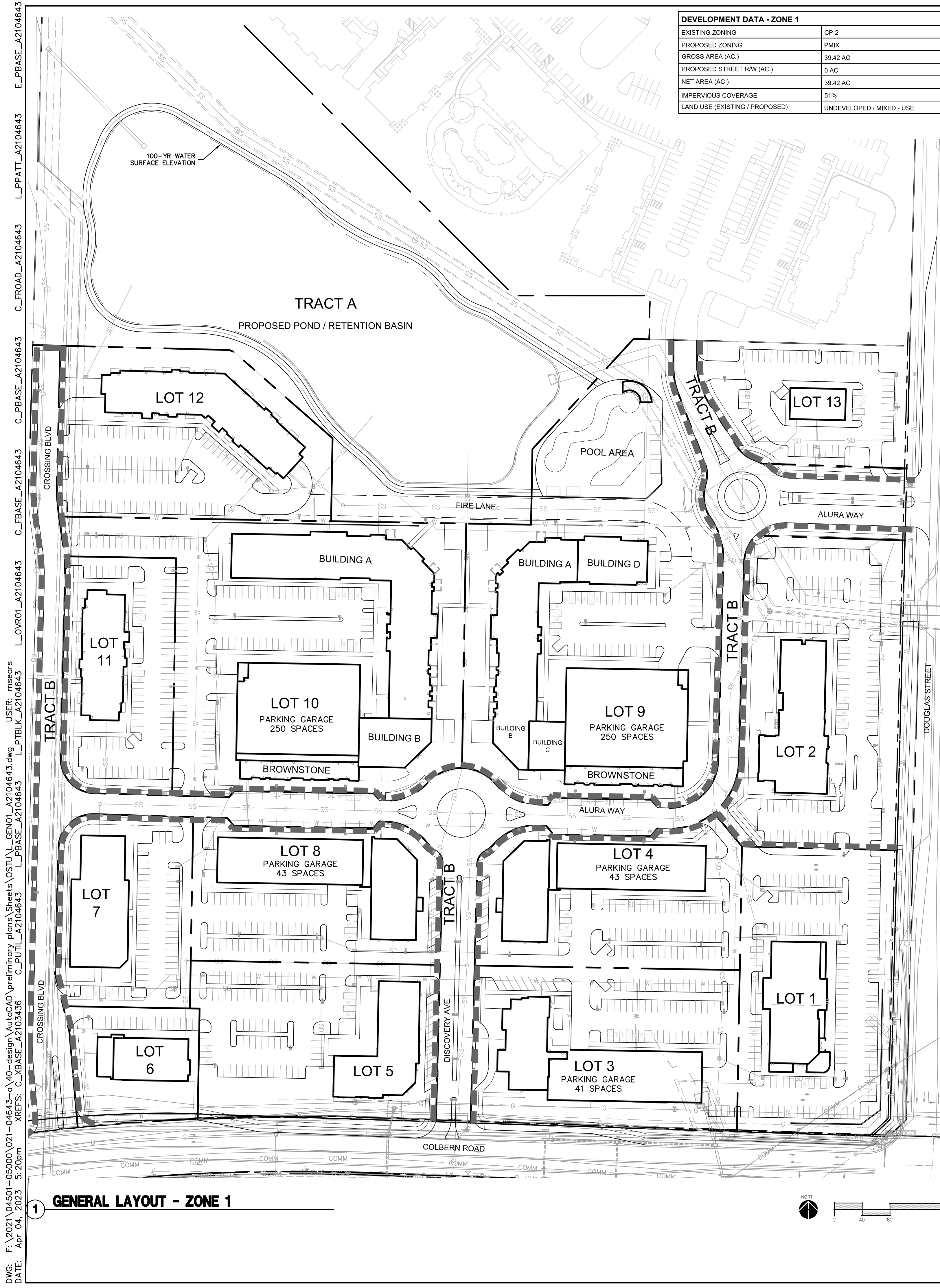
REVISIONS

drawn by: EW  
checked by: CP  
approved by: CP  
QA/QC by: BM  
project no.: A21-04543  
drawing no.: L\_EXC01\_A2104543  
date: 01.20.2023

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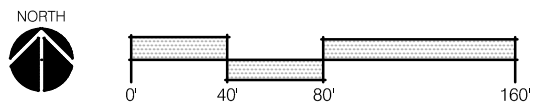
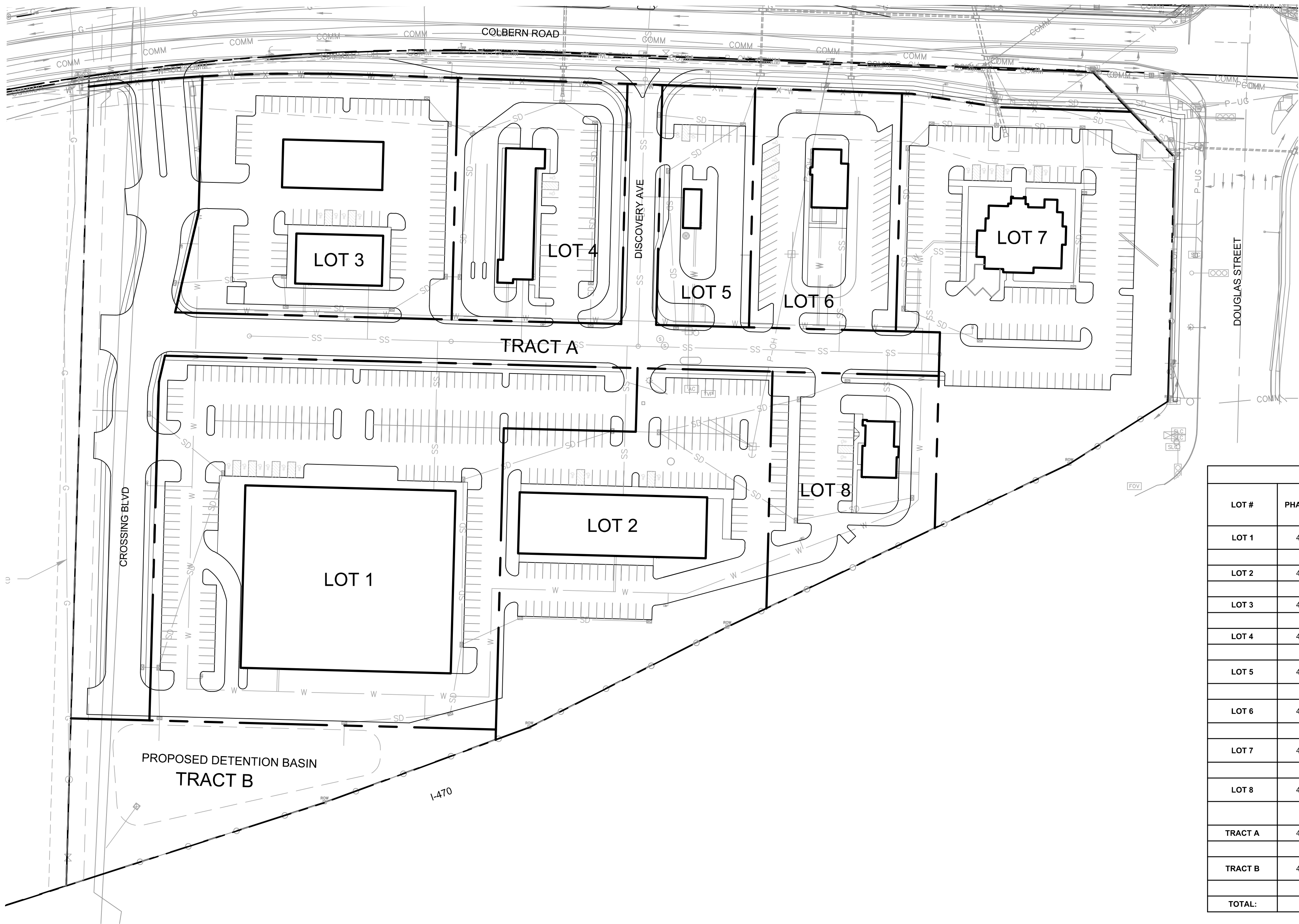
DEVELOPMENT DATA - ZONE 1	
EXISTING ZONING	CP-2
PROPOSED ZONING	PMIX
GROSS AREA (AC.)	39.42 AC
PROPOSED STREET R/W (AC.)	0 AC
NET AREA (AC.)	39.42 AC
IMPERVIOUS COVERAGE	51%
LAND USE (EXISTING / PROPOSED)	UNDEVELOPED / MIXED - USE

DEVELOPMENT DATA CONTINUED - ZONE 1																
LOT #	PHASE	LOT SIZE (SF)	LOT SIZE (AC)	BUILDING COVERAGE (SF)	# OF FLOORS	FLOOR NUMBER	LAND USE	FLOOR SIZE (SF)	TOTAL GROSS FLOOR AREA (SF)	F.A.R.	RESIDENTIAL UNITS	UNITS/ACRE	UDO REQUIRED PARKING SPACES	PROVIDED GARAGE PARKING SPACES	PROVIDED SURFACE PARKING SPACES	PROVIDED ACCESSIBLE PARKING
LOT 1						1ST FLOOR	RESTAURANT / RETAIL / OFFICE	12,500					63			
						2ND FLOOR	OFFICE	12,500					50			
SUBTOTAL:	3	90,831	2.09	12,500	2				25,000	0.28	N/A		113		131	5
LOT 2						4 STORY	HOTEL	15,380								
SUBTOTAL:	2	103,257	2.37	15,380	4				61,500	0.60	N/A		107		107	6
LOT 3						4 STORY	HOTEL	20,075	80,300	0.92	N/A					
SUBTOTAL:	3	87,478	2.01	20,075	4								112	41	64	6
LOT 4						1ST FLOOR	RETAIL / OFFICE	8,600								
						1ST FLOOR	PARKING GARAGE	14,700								
						2ND FLOOR	RESIDENTIAL	23,300			23		46			
						3RD FLOOR	RESIDENTIAL	23,300			23		46			
SUBTOTAL:	3	72,771	1.67	23,300	3				69,900	0.96	46	28	92	43	65	3
LOT 5						1ST FLOOR	RETAIL / OFFICE	13,800					69			
						2ND FLOOR	RESIDENTIAL	13,800			20		40			
						3RD FLOOR	RESIDENTIAL	13,800			20		40			
SUBTOTAL:	3	78,340	1.8	13,800	3				41,400	0.53	40	22	149		73	3
LOT 6						1 STORY	ANIMAL HOSPITAL	7,984					20			
SUBTOTAL:	3	30,336	0.7	7,984	1				7,984	0.26			20		17	0
LOT 7						1 STORY	PET DAY CARE	11,425					29			
SUBTOTAL:	3	52,901	1.21	11,425	1				11,425	0.22			29		48	2
LOT 8						1ST FLOOR	RETAIL / OFFICE	8,600					43			
						1ST FLOOR	PARKING GARAGE	14,700								
						2ND FLOOR	RESIDENTIAL	23,300			23		44			
						3RD FLOOR	RESIDENTIAL	23,300			23		44			
SUBTOTAL:	3	70,318	1.61	23,300	3				69,900	0.99	46	29	131	43	75	2
LOT 9																
					BUILDING A-4	4 STORY	APARTMENTS				124		260			
					BUILDING B-4	TBD	COMMERCIAL	2,800					14			
					BUILDING C-4	TBD	TBD	3,800								
					BUILDING D-1	1 STORY	COMMERCIAL	6,500								
					BROWNSTONE		RESIDENTIAL				8		16			
SUBTOTAL:	3	243,540	5.59	60,150					240,600	0.99	132	24	290	250	44	7
LOT 10																
					BUILDING A-4	4 STORY	APARTMENTS				138		276			
					BUILDING B-4	1ST FLOOR	RESTAURANT	6,500								
						2ND FLOOR	APARTMENTS	6,500			5					
						3RD FLOOR	APARTMENTS	6,500			5					
						4TH FLOOR	APARTMENTS	6,500			5					
					BROWNSTONE		RESIDENTIAL				8		16			
SUBTOTAL:	3	163,047	3.74	65,200					260,800	1.60	161	43	292	250	109	6
LOT 11						4 STORY	APARTMENTS	11,300			80		80			
SUBTOTAL:	3	54,720	1.26	11,300	4				45,200	0.83	80	63	80		70	4
LOT 12						4 STORY	APARTMENTS	31,625			80		80			
SUBTOTAL:	3	96,775	2.22	31,625	4				126,500	1.31	80	36	80		89	2
LOT 13						1 STORY	RESTAURANT	3,600					18			
SUBTOTAL:	3	49,127	1.13	3,600	1				3,600	0.07	N/A		18		51	3
TRACT A	1	344,250	7.9	N/A	N/A	N/A	N/A	N/A	N/A		N/A				N/A	
TRACT B	3	152,987	3.51	N/A	N/A	N/A	N/A	N/A	N/A		N/A				32	
TOTAL:		1,690,678	38.81	299,639					1,044,109	0.62	585		1,513	627	975	27



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1 GENERAL LAYOUT - ZONE 2



DEVELOPMENT DATA - ZONE 2	
EXISTING ZONING	R-1
PROPOSED ZONING	PMIX
GROSS AREA (AC.)	19.83 AC
PROPOSED STREET R/W (AC.)	0 AC
NET AREA (AC.)	19.83 AC
IMPERVIOUS COVERAGE	48%
LAND USE (EXISTING / PROPOSED)	UNDEVELOPED / MIXED - USE

DEVELOPMENT DATA CONTINUED - ZONE 2															
LOT #	PHASE	LOT SIZE (SF)	LOT SIZE (AC)	BUILDING COVERAGE (SF)	# OF FLOORS	FLOOR NUMBER	LAND USE	GROSS FLOOR AREA (SF)	BUILDING COVERAGE (SF)	F.A.R.	RESIDENTIAL UNITS	UNITS/ACR E	UDO REQUIRED PARKING SPACES	PROVIDED SURFACE PARKING SPACES	PROVIDED ACCESSIBLE PARKING
LOT 1	4	177,093	4.07	50,000	1	1ST FLOOR	GROCERY STORE	50,000	50,000	0.28	N/A	N/A	200	200	6
LOT 2	4	97,015	2.23	15,000	1	1ST FLOOR	RETAIL	15,000	15,000	0.15	N/A	N/A	75	105	4
LOT 3	4	81,454	1.87	7,000	1	1ST FLOOR	GAS STATION	5,700	7,000	0.07	N/A	N/A	29	76	4
LOT 4	4	53,544	1.23	6,000	1	1ST FLOOR	CAR WASH	6,000	6,000	0.11	N/A	N/A	8	8	2
LOT 5	4	29,044	0.67	1,000	1	1ST FLOOR	DRIVE-THRU RESTAURANT	1,000	1,000	0.03	N/A	N/A	8	8	2
LOT 6	4	45,864	1.05	3,000	1	1ST FLOOR	FAST-FOOD RESTAURANT	2,400	3,000	0.05	N/A	N/A	34	35	3
LOT 7	4	125,404	2.88	7,000	1	1ST FLOOR	SIT-DOWN RESTAURANT	7,000	7,000	0.06	N/A	N/A	98	138	6
LOT 8	4	42,524	0.83	3,000	1	1ST FLOOR	FAST-FOOD RESTAURANT	2,400	3,000	0.06	N/A	N/A	34	41	2
TRACT A	4	130,935	3.01	N/A		N/A	N/A	N/A	N/A		N/A	N/A		N/A	
TRACT B	4	50,895	1.17	N/A		N/A	N/A	N/A	N/A		N/A	N/A		N/A	
TOTAL:		833,772	19.01					89,500		0.11			485	611	23

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1814 Main St.  
Kansas City, MO 64108 TEL 816.842.8844 www.olson.com

BY  
REVISIONS DESCRIPTION  
DATE  
REV. NO.

REVISIONS

GENERAL LAYOUT - ZONE 2

DISCOVERY PARK REZONING & PRELIMINARY DEVELOPMENT PLAN  
ZONES 1 & 2

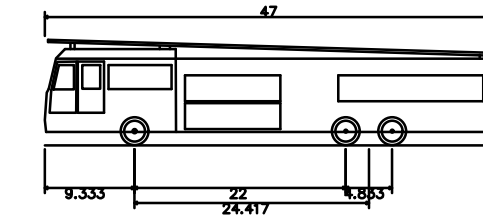
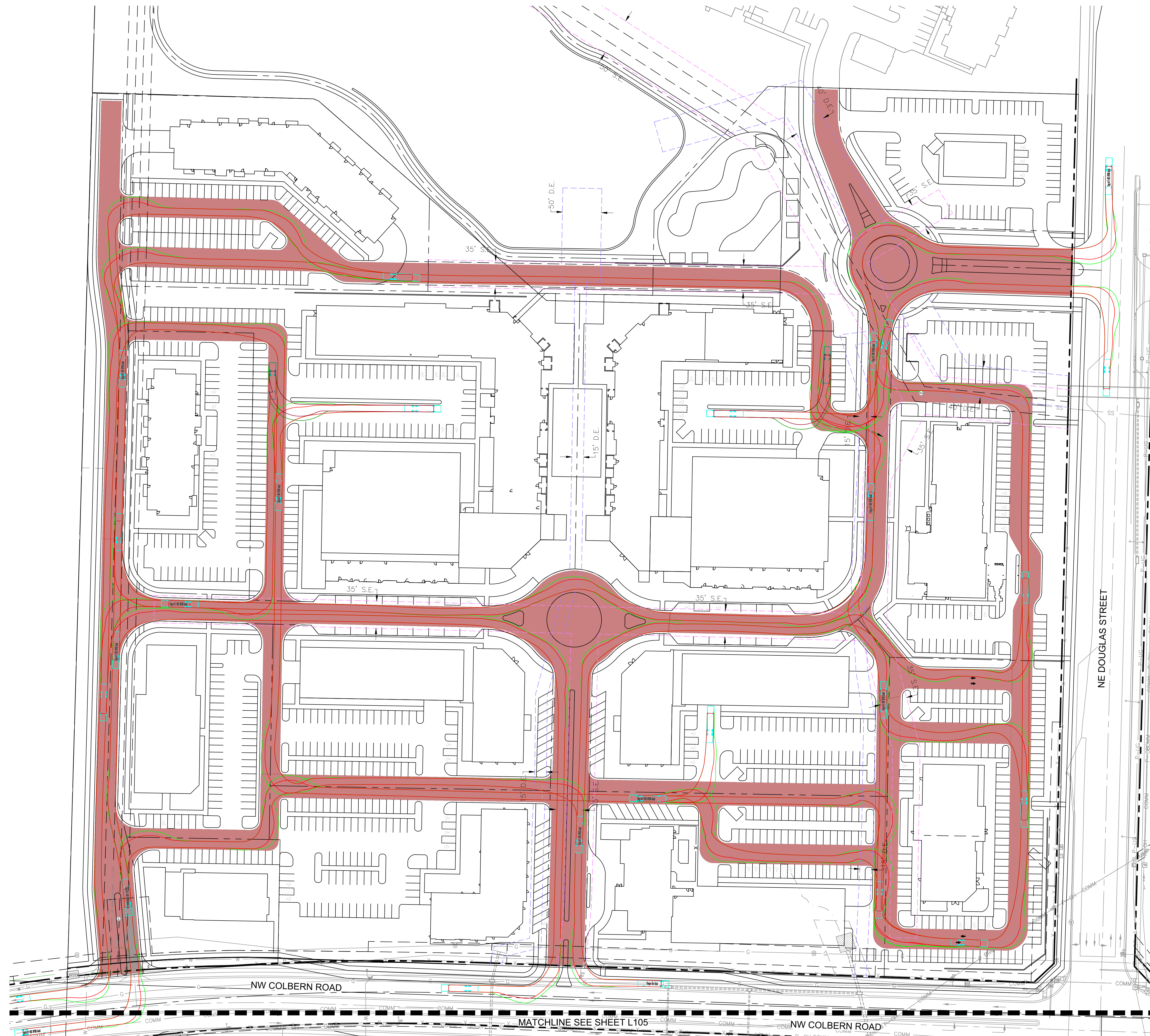
LEE'S SUMMIT, MISSOURI

drawn by: EW  
checked by: CP  
approved by: BM  
QA/QC by: BM  
project no.: A21-04643  
drawing no.: L\_CEN01\_A2104643  
date: 01.20.2023

2023

SHEET  
L103





Copy of E-ONE HP100 Aerial	
Overall Length	47.000ft
Overall Width	8.333ft
Overall Body Height	11.000ft
Min Body Ground Clearance	1.393ft
Track Width	8.333ft
Lock-to-lock time	6.00s
Max Wheel Angle	45.00°









### FIRE TRUCK DIMENSIONS

# NOTES

1. VEHICLE TRAVEL PATH SHOWN IS FOR A FIRE TRUCK. SEE DIMENSIONS ABOVE.

2. WHERE REQUIRED BY THE FIRE CODE OFFICIAL, APPROVED SIGNS OR OTHER APPROVED NOTICES OR MARKINGS THAT INCLUDE THE WORDS NO PARKING—FIRE LANE SHALL BE PROVIDED FOR FIRE APPARATUS ACCESS. ROADS TO IDENTIFY SUCH ROADS OR PROHIBIT THE OBSTRUCTION THEREOF BY THE MEANS BY WHICH FIRE LANES ARE DESIGNATED SHALL BE MAINTAINED IN A CLEAN AND LEGIBLE CONDITION AT ALL TIMES AND BE REPLACED OR REPAIRED WHEN NECESSARY TO PROVIDE ADEQUATE VISIBILITY. FIRE LANES MAY BE MARKED IN ONE OR A COMBINATION OF METHODS AS APPROVED BY THE FIRE CODE OFFICIAL. CURBS. ALL CURBS AND CURB ENDS SHALL BE PAINTED RED WITH FOUR INCH (4") WHITE LETTERING STATING "FIRE LANE—NO PARKING". WORDING MAY NOT BE SPACED MORE THAN FIFTEEN FEET (15') APART. WHERE NO CURB EXISTS OR A ROLLED CURB IS INSTALLED, A 6-INCH (6") WIDE PAINTED RED STRIPE APPLIED TO THE CONCRETE OR ASPHALT WITH FOUR INCH (4") WHITE LETTERING STATING "FIRE LANE—NO PARKING". SIGNAGE SHALL BE PROVIDED WHERE REQUIRED, BUT NO CONTINUOUS CURB IS AVAILABLE, ONE OF THE FOLLOWING METHODS SHALL BE USED TO INDICATE THE FIRE LANE. OPTION 1 : A SIGN TWELVE INCHES (12") WIDE AND EIGHTEEN INCHES (18") IN HEIGHT SHALL BE MOUNTED ON A METAL POST SET IN CONCRETE A MINIMUM OF DEPTH OF EIGHTEEN INCHES (18") SET BACK ONE FOOT (1') IN FROM THE EDGE OF THE ROADWAY WITH THE BOTTOM OF THE SIGN BEING SEVEN FEET (7') FROM FINISHED GRADE. SIGNS SHALL FACE ONCOMING TRAFFIC. SPACING OF SIGNS SHALL NOT EXCEED FIFTY FEET (50') BETWEEN SIGNS. SIGNS SHALL BE REFLECTIVE MATERIAL WITH A WHITE COLOR BACKGROUND WITH SYMBOLS, LETTERS AND BORDER IN RED COLOR. "FIRE LANE—NO PARKING". OPTION 2 : A SIGN TWELVE INCHES (12") WIDE AND EIGHTEEN INCHES (18") IN HEIGHT SHALL BE MOUNTED ON THE SIDE OF A STRUCTURE OR OTHER PERMANENT FIXTURE APPROVED BY THE FIRE CODE OFFICIAL. THE BOTTOM OF THE SIGN BEING SEVEN FEET (7') FROM FINISHED GRADE. SIGNS SHALL FACE ONCOMING TRAFFIC. SPACING OF SIGNS SHALL NOT EXCEED FIFTY FEET (50') BETWEEN SIGNS. SIGNS SHALL BE REFLECTIVE MATERIAL WITH A WHITE COLOR BACKGROUND WITH SYMBOLS, LETTERS AND BORDER IN RED COLOR. "FIRE LANE—NO PARKING"

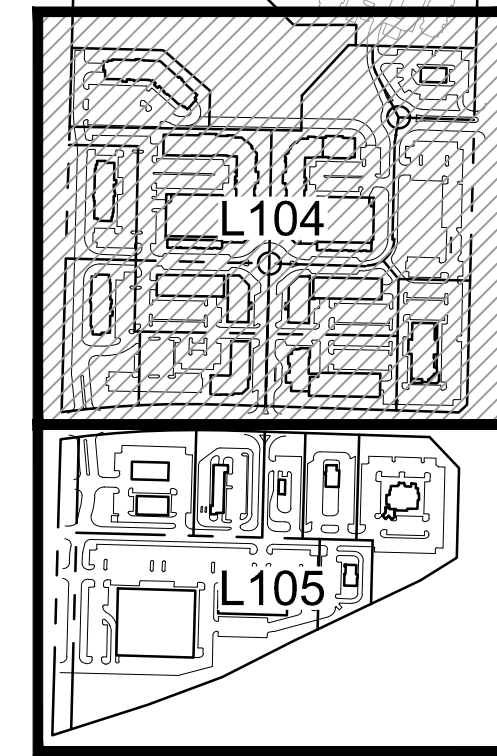
**LEGEND**

-  PROPERTY BOUNDARIES  
 LOT LINE  
 EASEMENT LINE  
 FIRE TRUCK BODY LIMITS (FORWARD)  
 FIRE TRUCK WHEEL LIMITS (FORWARD)  
 FIRE TRUCK BODY LIMITS (REVERSE)  
 FIRE TRUCK WHEEL LIMITS (REVERSE)  
 FIRE TRUCK ACCESSIBLE LANES



0' 30' 60' 120'

SCALE IN FEET

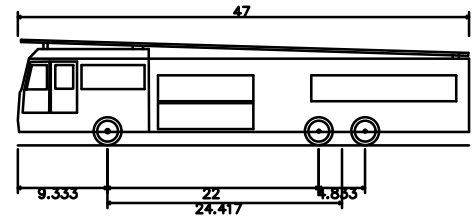
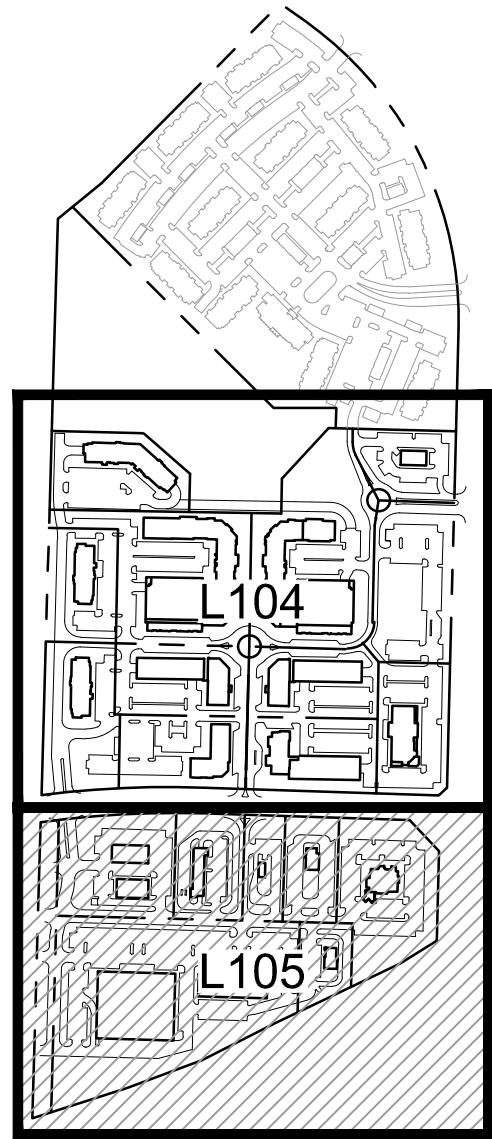
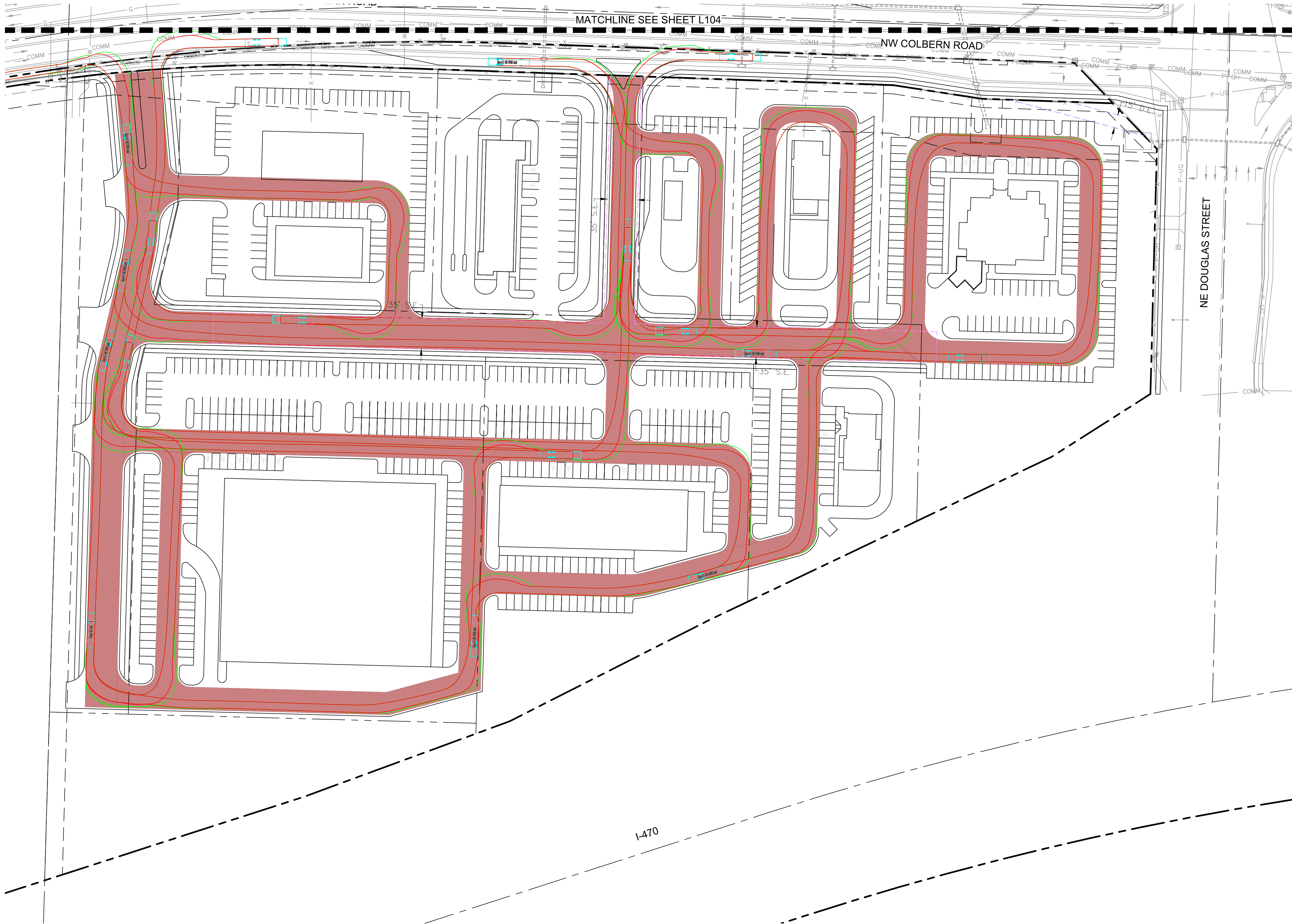


## KEYMAP

drawn by: _____ BMW checked by: _____ BMW approved by: _____ NDH QAC by: _____ NDH project no.: _____ A2104643 drawing no.: C_TRN01_A2104643 date: _____ 01.20.2023	FIRE TRUCK ACCESS PLAN - ZONE 1		REV. NO.	DATE	REVISIONS DESCRIPTION	BY
DISCOVERY PARK REZONING & PRELIMINARY DEVELOPMENT PLAN						
LEE'S SUMMIT, MISSOURI		2022	REVISIONS			



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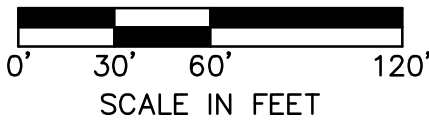


Copy of E-QNE HP100 Aerial	47'000ft
Overall Length	8'600ft
Overall Width	11'000ft
Overall Body Height	8'300ft
Min Body Ground Clearance	5'300ft
Track Width	5'000ft
Lock-to-lock time	5'000ft
Max Wheel Angle	5'000ft

FIRE TRUCK DIMENSIONS  
N.T.S.

NOTES  
1. VEHICLE TRAVEL PATH SHOWN IS FOR A FIRE TRUCK. SEE DIMENSIONS ABOVE.  
2. WHERE REQUIRED BY THE FIRE CODE OFFICIAL, APPROVED SIGNS OR OTHER APPROVED NOTICES OR MARKINGS THAT INCLUDE THE WORDS NO PARKING--FIRE LANE SHALL BE PROVIDED FOR FIRE APPARATUS ACCESS ROADS TO IDENTIFY SUCH ROADS OR PROHIBIT THE OBSTRUCTION THEREOF. THE MEANS BY WHICH FIRE LANES ARE DESIGNATED SHALL BE MAINTAINED IN A CLEAN AND LEGIBLE CONDITION AT ALL TIMES AND BE REPLACED OR REPAIRED WHEN NECESSARY TO PROVIDE ADEQUATE VISIBILITY. FIRE LANES MAY BE MARKED IN ONE OR A COMBINATION OF METHODS AS APPROVED BY THE FIRE CODE OFFICIAL. CURBS, ALL CURBS AND CURB ENDS SHALL BE PAINTED RED WITH FOUR INCH (4") WHITE LETTERING STATING "FIRE LANE--NO PARKING". WORDING MAY NOT BE SPACED MORE THAN FIFTEEN FEET (15') APART. WHERE NO CURB EXISTS OR A ROLLED CURB IS INSTALLED, A 6-INCH (6") WIDE PAINTED RED STRIPE APPLIED TO THE CONCRETE OR ASPHALT WITH FOUR INCH (4") WHITE LETTERING STATING "FIRE LANE--NO PARKING". SIGNS, IN AREAS WHERE FIRE LANES ARE REQUIRED, BUT NO CONTINUOUS CURB IS AVAILABLE, ONE OF THE FOLLOWING METHODS SHALL BE USED TO INDICATE THE FIRE LANE. OPTION 1 : A SIGN TWELVE INCHES (12") WIDE AND EIGHTEEN INCHES (18") IN HEIGHT SHALL BE MOUNTED ON A METAL POST SET IN CONCRETE A MINIMUM OF DEPTH OF EIGHTEEN INCHES (18") SET BACK ONE FOOT (1') IN FROM THE EDGE OF THE ROADWAY WITH THE BOTTOM OF THE SIGN BEING SEVEN FEET (7') FROM FINISHED GRADE. SIGNS SHALL FACE ONCOMING TRAFFIC. SPACING OF SIGNS SHALL NOT EXCEED FIFTY FEET (50') BETWEEN SIGNS. SIGNS SHALL BE REFLECTIVE MATERIAL WITH A WHITE COLOR BACKGROUND WITH SYMBOLS, LETTERS AND BORDER IN RED COLOR. "FIRE LANE--NO PARKING". OPTION 2 : A SIGN TWELVE INCHES (12") WIDE AND EIGHTEEN INCHES (18") IN HEIGHT SHALL BE MOUNTED ON THE SIDE OF A STRUCTURE OR OTHER PERMANENT FIXTURE APPROVED BY THE FIRE CODE OFFICIAL. THE BOTTOM OF THE SIGN BEING SEVEN FEET (7') FROM FINISHED GRADE. SPACING OF SIGNS SHALL NOT EXCEED FIFTY FEET (50') BETWEEN SIGNS. SIGNS SHALL BE REFLECTIVE MATERIAL WITH A WHITE COLOR BACKGROUND WITH SYMBOLS, LETTERS AND BORDER IN RED COLOR. "FIRE LANE--NO PARKING"

- LEGEND
- PROPERTY BOUNDARIES
  - LOT LINE
  - EASEMENT LINE
  - FIRE TRUCK BODY LIMITS (FORWARD)
  - FIRE TRUCK WHEEL LIMITS (FORWARD)
  - FIRE TRUCK BODY LIMITS (REVERSE)
  - FIRE TRUCK WHEEL LIMITS (REVERSE)
  - FIRE TRUCK ACCESSIBLE LANES



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TEL 816.361.1177  
www.olson.com

STATE OF MISSOURI  
BROCK M. WORTHLEY  
Professional Engineer  
PE-2019000237  
4/4/2023

BY  
REVISIONS DESCRIPTION  
DATE  
REV. NO.

REVISIONS

FIRE TRUCK ACCESS PLAN - ZONE 2

DISCOVERY PARK REZONING & PRELIMINARY DEVELOPMENT PLAN

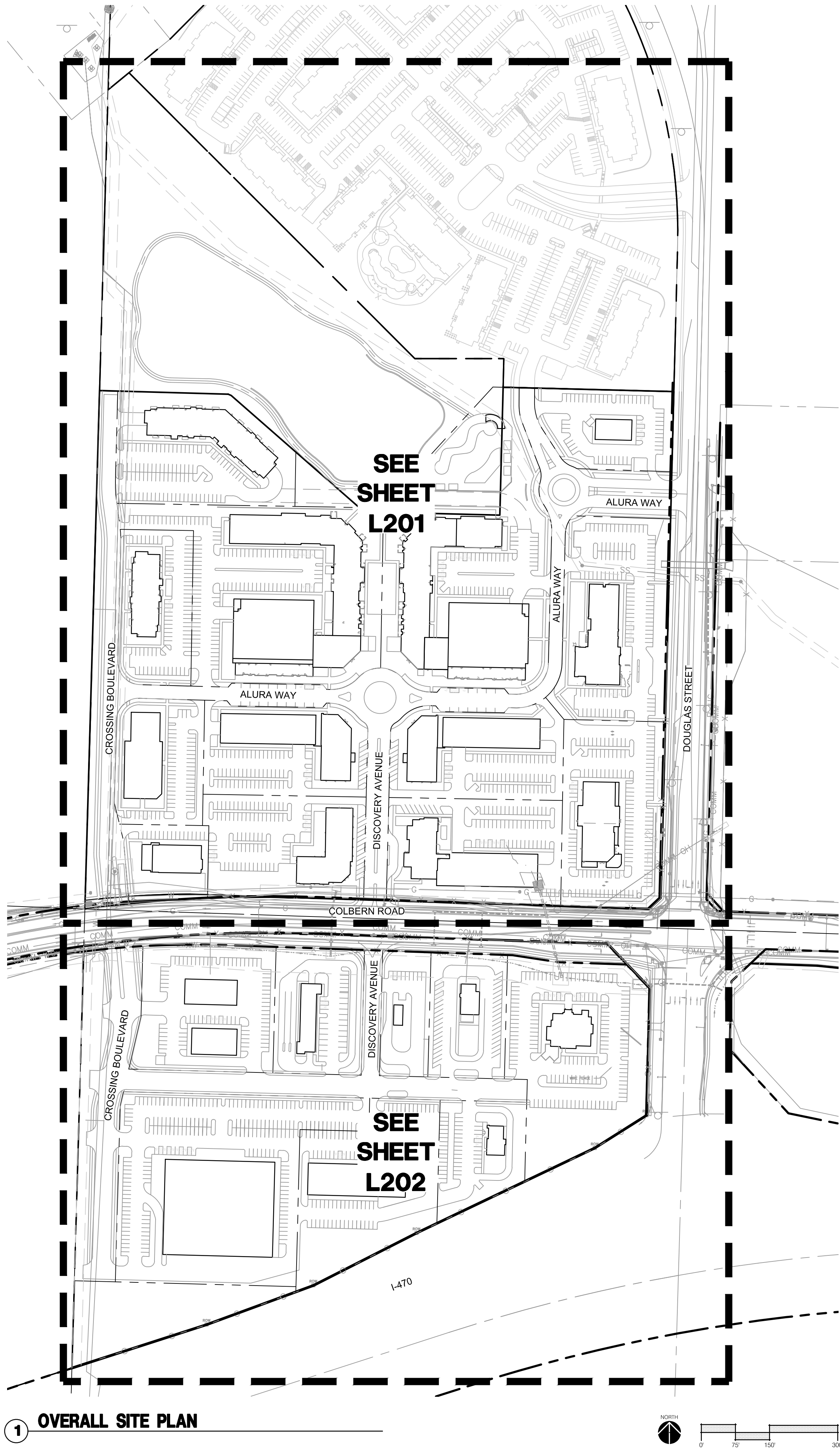
LEE'S SUMMIT, MISSOURI

drawn by: BMW  
checked by: BMW  
approved by: NDH  
QA/QC by: NDH  
project no.: A21-04643  
drawing no.: C\_TRN01\_A2104643  
date: 01.20.2023

SHEET  
L105



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USER: ewilson C\_FBASE\_A2104643 C\_FROAD\_A2104643 L\_SIT\_GEN NOTES\_A2104643



1 OVERALL SITE PLAN

SITE PLAN GENERAL NOTES:

- THE CONSTRUCTION COVERED BY THESE PLANS SHALL CONFORM TO ALL APPLICABLE STANDARDS AND SPECIFICATIONS OF THE CITY OF LEE'S SUMMIT, MISSOURI IN CURRENT USAGE. ALL STANDARDS NOT COVERED BY THE CITY SHALL BE APWA STANDARDS IN CURRENT USAGE UNLESS OTHERWISE NOTED.
- THE UTILITY LOCATIONS SHOWN ON THESE PLANS ARE APPROXIMATE ONLY. THE UTILITY INFORMATION IS NOT MEANT TO BE ALL INCLUSIVE. THE CONTRACTOR SHALL NOTIFY MISSOURI ONE CALL (811) BEFORE THE START OF ANY EXCAVATION WORK. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION TO PROVIDE NON-INTERRUPTION OF SERVICE, TO ENSURE PROPER CLEARANCES, AND TO AVOID DAMAGE THERETO.
- ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL, BY HIS OWN INVESTIGATION, AND PRIOR TO COMMENCING WORK, SATISFY HIMSELF AS TO, AND ACCEPT THE SITE CONDITIONS TO BE ENCOUNTERED.
- WHERE THE NEW IMPROVEMENTS ABUT EXISTING IMPROVEMENTS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MATCHING THE ELEVATION OF THE EXISTING IMPROVEMENTS UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL PROVIDE A SECURE SITE TO PROTECT VEHICLES AND PEDESTRIANS FROM ACCIDENTAL FALLS AND HARM FROM THE CONSTRUCTION PROCESS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DE-WATERING CONSTRUCTION AREAS IN ORDER TO PERMIT CONTINUATION OF THE WORK. ANY WATER ACCUMULATION SHALL BE REMOVED BY PUMPING.
- CONTRACTOR IS RESPONSIBLE FOR ALL QUANTITIES OR MATERIALS AS SHOWN IN THESE PLANS. CONTRACTOR SHALL ACCOMMODATE ALL SLOPE AND GRADE CONDITIONS IN THEIR CALCULATION OF MATERIAL QUANTITIES FOR ALL WORK SHOWN ON THESE PLANS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PEDESTRIAN AND VEHICULAR TRAFFIC CONTROL DURING CONSTRUCTION OPERATIONS, OWNER SHALL APPROVE MEASURES USED TO ALLOW TENANTS AND SHOPPERS PROPER ACCESS DURING CONSTRUCTION.
- CONTRACTOR SHALL TAKE CARE TO CREATE SMOOTH UNIFORM FINISH GRADES IN ALL AREAS.
- SLOPES SHALL BE MADE WITH A 4 TO 1 MAXIMUM GRADE FOR MAINTENANCE PURPOSES, UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL MATCH GRADES AT EXISTING IMPROVEMENTS.
- ALL SPOT ELEVATIONS SHOWN ARE TOP OF PAVEMENT UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL ADJUST ALL VALVE BOXES, MANHOLE RING COVERS, AND OTHER UTILITY APPURTENANCES TO MATCH FINISH GRADE ELEVATIONS.
- TURF & SHRUB BED AREAS SHALL BE GRADED AS NECESSARY TO ALLOW A 2% SLOPE TO INLET LOCATIONS AND SWALES.
- ALL WORK CONSTRUCTED UNDER THESE PLANS SHALL MEET SLOPE REQUIREMENTS PER THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN, THE 2012 TAS STANDARDS FOR ACCESSIBLE DESIGN, AND INTERNATIONAL BUILDING CODE IN CURRENT USAGE. MAXIMUM 5% RUNNING SLOPE AND MAXIMUM 2% CROSS SLOPE FOR SIDEWALKS.
- ALL WORK CONSTRUCTED UNDER THESE PLANS SHALL HAVE A MINIMUM OF A 1% SLOPE. LANDSCAPE BEDS AND TURF AREAS SHALL HAVE A MINIMUM OF A 2% SLOPE.
- CHANGES IN LEVEL SHALL NOT BE GREATER THAN 1/4" AND A MAXIMUM OF 1/2" ARE ALLOWED WITH A BEVELED SLOPE NOT STEEPER THAN 1:2.
- B.L. TO ALIGN TO BUILDING SETBACK

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Kansas City, MO 64108 TEL 816.842.8844 www.olsson.com

STATE OF MISSOURI  
CODY  
REGISTERED  
LANDSCAPE ARCHITECT  
1814 MAIN ST.  
KANSAS CITY, MO 64108  
816.842.8844

BY

REV. NO.

DATE

REVISIONS DESCRIPTION

OVERALL SITE PLAN

DISCOVERY PARK REZONING & PRELIMINARY DEVELOPMENT PLAN  
ZONES 1 & 2

LEE'S SUMMIT, MISSOURI

drawn by: \_\_\_\_\_ EW

checked by: \_\_\_\_\_ CP

approved by: \_\_\_\_\_ CP

QA/QC by: \_\_\_\_\_ BM

project no.: A21-04643

drawing no.: L\_OVR01\_A2104643

date: 01.20.2023

SHEET

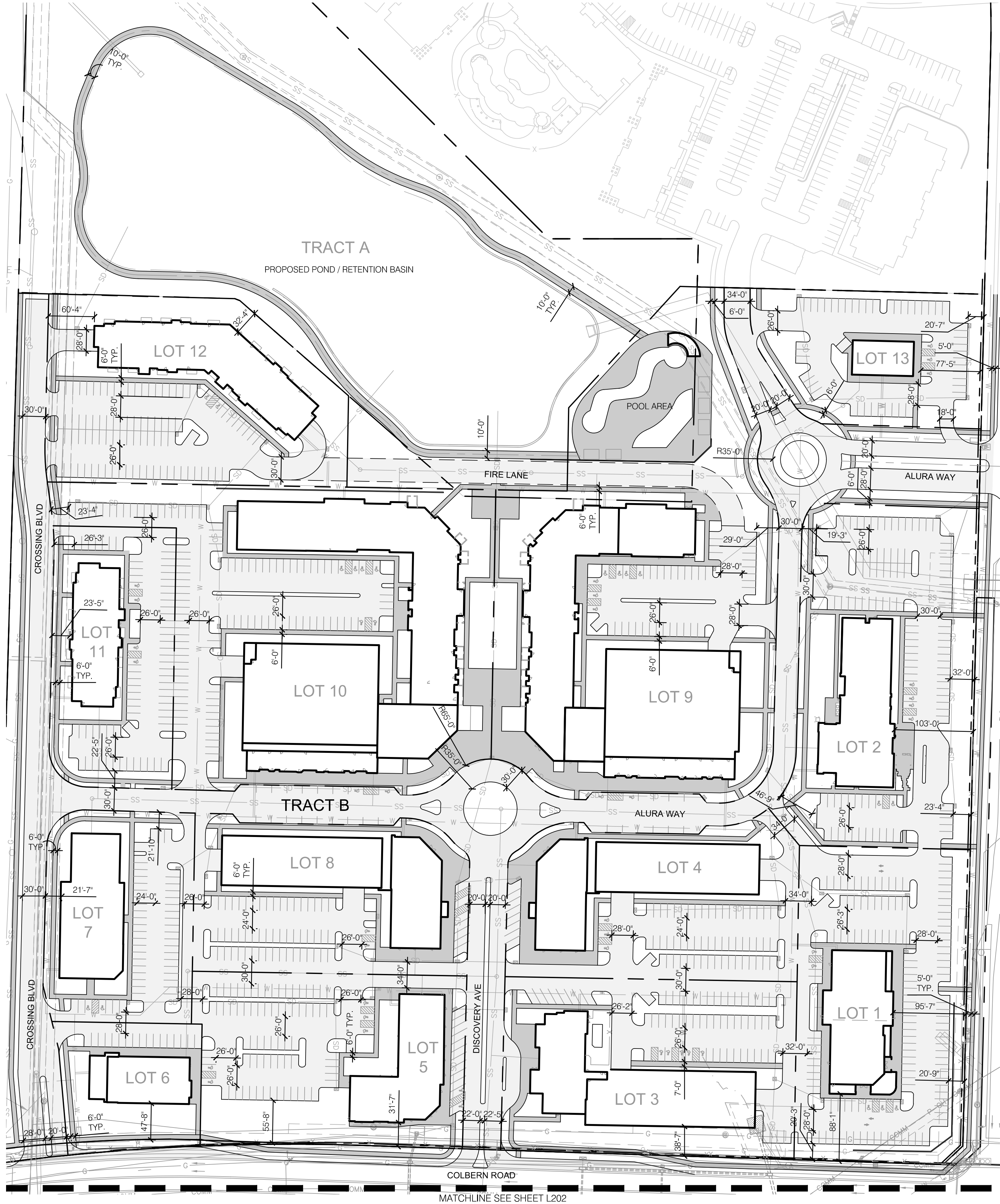
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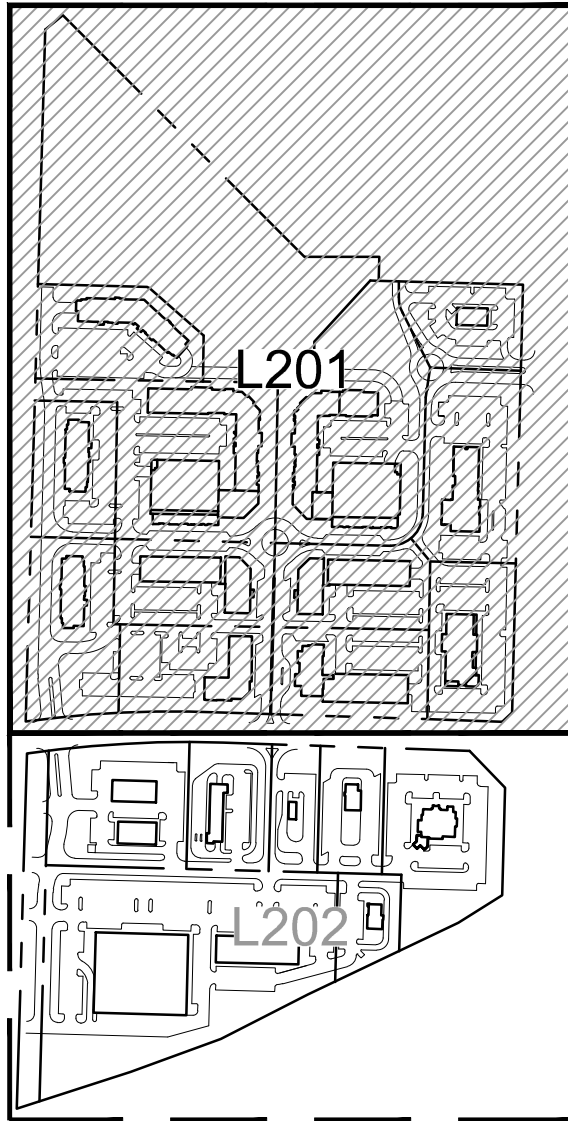
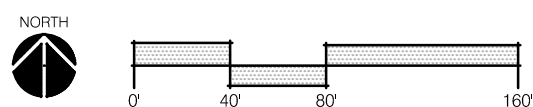
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USER: ewilson



1 SITE PLAN - ZONE 1



KEYMAP

SITE PLAN LEGEND:

- RIGHT OF WAY / PROPERTY LINE
- SHEET MATCHLINE
- PROPOSED SIDEWALK & TRAIL
- PROPOSED VEHICULAR PAVEMENT

SITE PLAN NOTES:

- ALL PROPOSED PARKING SPACES SHALL MEET MINIMUM DIMENSIONS AS SPECIFIED IN LEE'S SUMMIT UDO SEC. 8.620.
- SPECIFIC LOT TRASH ENCLOSURES SHALL MATCH MATERIALS OF ADJACENT BUILDINGS AND SHALL COMPLY WITH REQUIREMENTS PER UDO SEC. 9.790 C.
- PARKING LOT PAVING SHALL MEET THE DESIGN STANDARDS UNDER UDO SECTION 8.620.

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1814 Main St.  
Kansas City, MO 64108 TEL 816.842.8844 www.olsson.com

STATE OF MISSOURI  
CODY  
REBUT  
3-31-2023  
LOCAL PROJECT

BY

REV. NO.

DATE

REVISIONS DESCRIPTION

REVISIONS

SITE PLAN - ZONE 1

DISCOVERY PARK REZONING & PRELIMINARY DEVELOPMENT PLAN  
ZONES 1 & 2

LEE'S SUMMIT, MISSOURI

2023

drawn by: EW

checked by: CP

approved by: BM

QA/QC by: BM

project no.: A21-04643

drawing no.: L\_SIT01\_A2104643

date: 01.20.2023

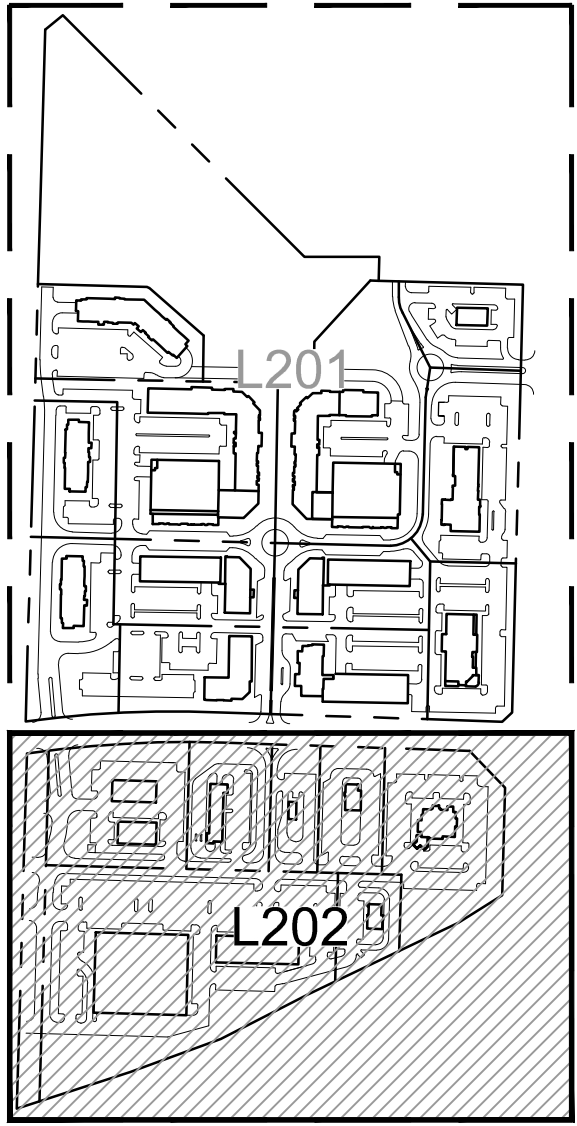
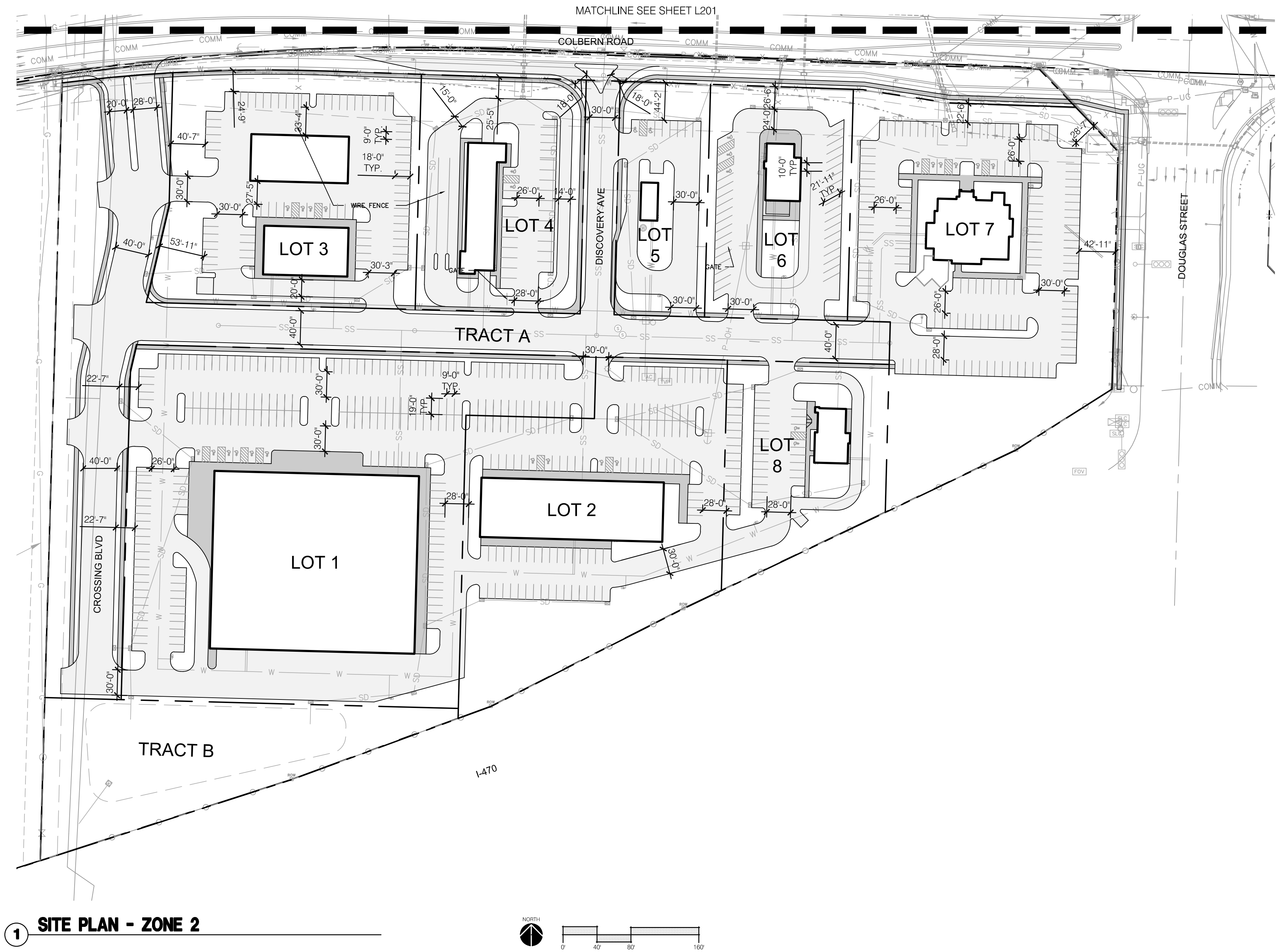
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L201



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KEYMAP

SITE PLAN LEGEND:

- RIGHT OF WAY / PROPERTY LINE
- SHEET MATCHLINE
- PROPOSED SIDEWALK & TRAIL
- PROPOSED VEHICULAR PAVEMENT

SITE PLAN NOTES:

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- SPECIFIC LOT TRASH ENCLOSURES SHALL MATCH MATERIALS OF ADJACENT BUILDINGS AND SHALL COMPLY WITH REQUIREMENTS PER UDO SEC. 9.790 C.
- PARKING LOT PAVING SHALL MEET THE DESIGN STANDARDS UNDER UDO SECTION 8.620.

drawn by: EW  
checked by: CP  
approved by: CP  
QA/QC by: BM  
project no.: A21-04643  
drawing no.: L\_SIT01\_A2104643  
date: 01.20.2023

SHEET  
L202

SITE PLAN - ZONE 2	REV. NO.	DATE	REVISIONS DESCRIPTION	BY
DISCOVERY PARK REZONING & PRELIMINARY DEVELOPMENT PLAN ZONES 1 & 2				REVISIONS
LEE'S SUMMIT, MISSOURI				

olsson studio

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1814 Main St.  
Kansas City, MO 64108 TEL 816.842.8844 www.olson.com

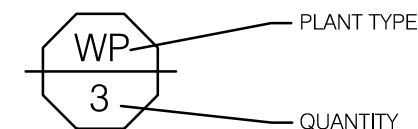




**SEE  
SHEET  
L302**

**SEE  
SHEET  
L303**

1. THE CONSTRUCTION COVERED BY THESE PLANS SHALL CONFORM TO ALL APPLICABLE STANDARDS AND SPECIFICATIONS OF THE CITY OF LEE'S SUMMIT, MISSOURI IN CURRENT USAGE. ALL STANDARDS NOT COVERED BY THE CITY SHALL BE APWA STANDARDS IN CURRENT USAGE UNLESS OTHERWISE NOTED.
2. CONTRACTOR SHALL VERIFY EXACT LOCATION OF ALL EXISTING UTILITIES, DRAIN LINES AND IRRIGATION PIPING PRIOR TO COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES, DRAIN LINES AND IRRIGATION PIPING.
3. CONTRACTOR SHALL VERIFY AND COORDINATE ALL FINAL GRADES WITH LANDSCAPE ARCHITECT PRIOR TO COMPLETION.
4. DEBRIS SHALL NOT BE ALLOWED TO ACCUMULATE AND SHALL BE REMOVED AT FREQUENT INTERVALS. AT COMPLETION OF WORK IN EACH AREA, THE CONTRACTOR SHALL GATHER AND REMOVE ALL DEBRIS, EQUIPMENT, AND EXCESS MATERIAL FROM THAT AREA. AT FINAL COMPLETION OF ALL WORK HE SHALL REMOVE ALL SUCH ITEMS FROM THE PREMISES.
5. LOCATION AND PLACEMENT OF ALL PLANT MATERIAL SHALL BE COORDINATED WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
6. THE LANDSCAPE PLANTING PLAN GRAPHICALLY ILLUSTRATES OVERALL PLANT MASSINGS. EACH PLANT SPECIES SHALL BE PLACED IN THE FIELD TO UTILIZE THE GREATEST COVERAGE OF THE GROUND PLANE. THE FOLLOWING APPLIES FOR INDIVIDUAL PLANTINGS:
  - ALL EVERGREEN SHRUBS AND CREEPING GROUNDCOVERS SHALL BE MINIMUM OF 2' FROM ANY PAVING EDGE.
  - ALL PLANTS OF THE SAME SPECIES SHALL BE EQUALLY SPACED AND SITED FOR THE BEST AESTHETIC VIEWING.
  - ALL TREES, EVERGREEN OR DECIDUOUS, SHALL BE A MINIMUM OF 4' FROM ANY PAVING EDGE.
7. ANY SUBSTITUTION OF SPECIFIED PLANT MATERIAL WILL NOT BE ALLOWED WITHOUT WRITTEN AUTHORIZATION FROM LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
8. MULCH ALL PLANTING AREAS TO A DEPTH OF 3" DEPTH ACCORDING TO PLANS AND SPECIFICATIONS. SAMPLES SHALL BE APPROVED BY LANDSCAPE ARCHITECT.
9. ALL PLANT MATERIAL WILL BE HEALTHY, VIGOROUS AND FREE OF DISEASE AND INSECTS PER ANA STANDARDS. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY INFERIOR OR OTHERWISE UNSUITABLE PLANT MATERIAL PROPOSED FOR USE ON THE PROJECT.
10. ALL PLANTING BEDS NOT FULLY CONTAINED BY CONCRETE CURBS OR WALKS SHALL BE EDGED ACCORDING TO PLANS AND SPECIFICATIONS.
11. PLANTS AND LANDSCAPE MATERIALS SHALL BE INSTALLED AS DETAILED ON PLANS.
12. PLANT BACKFILL FOR TREES AND SHRUBS SHALL BE PER SPECIFICATIONS.
13. ALL PLANTING BEDS SHALL BE TREATED WITH DACTHAL PRE-EMERGENT HERBICIDE AT MANUFACTURER RECOMMENDED RATES AND SHALL BE COVERED WITH SPECIFIED MULCH APPLICATION. APPLY LIGHTER APPLICATION OF DACTHAL HERBICIDE TO TOP OF MULCH LAYER.
14. ALL AREAS DISTURBED DURING CONSTRUCTION THAT ARE NOT DESIGNATED AS PLANTING BEDS OR PAVEMENT AREAS SHALL BE SEEDED WITH A TURF TYPE TALL FESCUE PER SPECIFICATIONS.
15. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER OWNER'S FINAL ACCEPTANCE OF FINISHED JOB. ALL DEAD AND DAMAGED PLANT MATERIAL SHALL BE REPLACED BY LANDSCAPE CONTRACTOR AT THEIR EXPENSE. LANDSCAPE CONTRACTOR SHALL MAINTAIN PLANT MATERIAL UNTIL FINAL ACCEPTANCE.
16. ALL LANDSCAPE BEDS SHALL BE MOUNDED AS SHOWN ON PLANS AND DETAILS.
17. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ACTUAL PLANT QUANTITIES REQUIRED TO COMPLETE THE PROJECT AS SHOWN ON THE PLANS, AND BASE THEIR BID ACCORDINGLY.
18. PLANT KEY DESCRIPTION.



19. MECHANICAL SCREENING SHALL BE PROVIDED IN ACCORDANCE WITH UDO SECTION 8.180.E AND 8.180.F.

[illegible]

## OVERALL LANDSCAPE PLAN

# DISCOVERY PARK REZONING & PRELIMINARY DEVELOPMENT PLAN ZONES 1 & 2

LEE'S SUMMIT, MISSOURI

2023



BY

## REVISIONS

olsson studio

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108

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Kansas City, MO 64

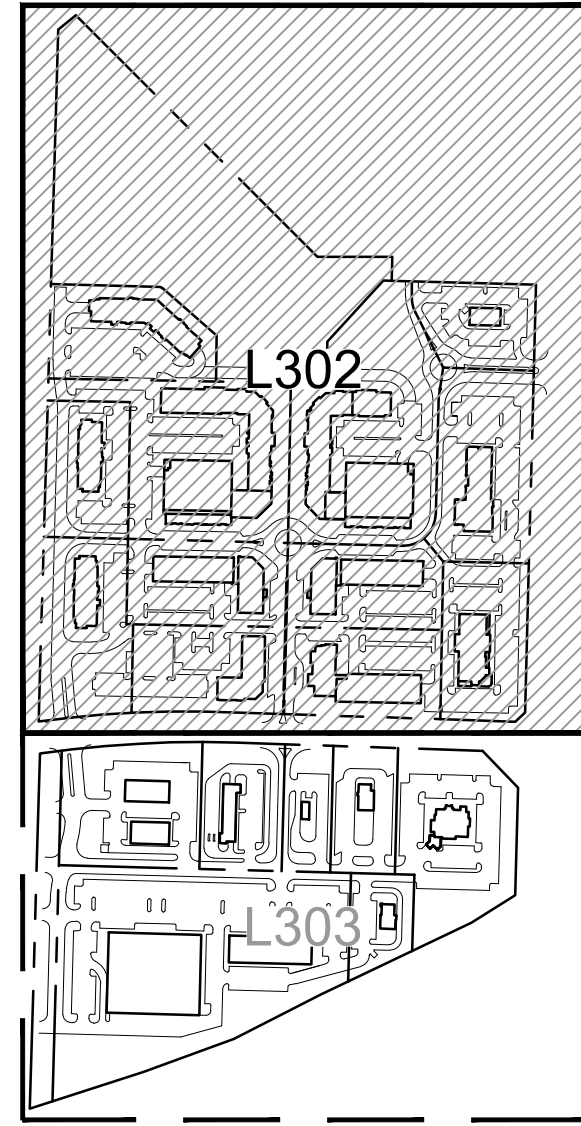
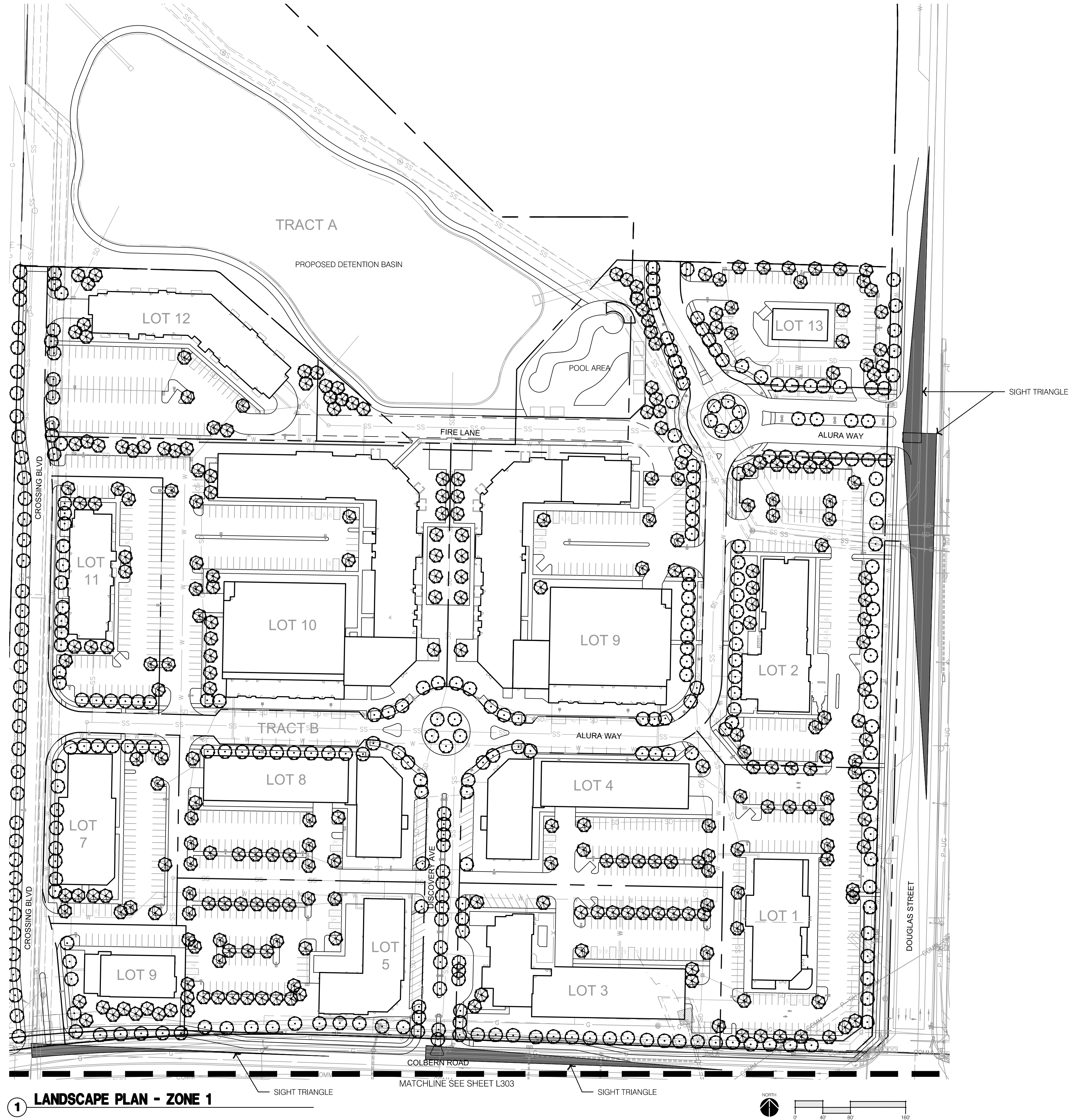
drawn by: \_\_\_\_\_ EW  
checked by: \_\_\_\_\_ CP  
approved by: \_\_\_\_\_ CP  
QA/QC by: \_\_\_\_\_ BM  
project no.: \_\_\_\_\_ A21-04643  
drawing no.: L\_OVR01 A2104643  
date: \_\_\_\_\_ 01.20.2023

SHEET  
L300











## KEYMAP

### LANDSCAPE LEGEND:

- 
- RIGHT OF WAY / PROPERTY LINE
- SIGHT TRIANGLE
- OVERSTORY TREE

## PRELIMINARY PLANT SCHEDULE

- |   |  |            |
|---|--|------------|
|  | <u>STREET FRONTAGE TREE</u><br>DECIDUOUS: B&B, 3' CAL<br>ORNAMENTAL: B&B, 3' CAL<br>EVERGREEN: B&B, 8' HT. | TOTAL: 301 |
| <br>  |  |            |
|  | <u>OPEN YARD AREA TREE</u><br>DECIDUOUS: B&B, 3' CAL<br>ORNAMENTAL: B&B, 3' CAL<br>EVERGREEN: B&B, 8' HT.  | TOTAL: 284 |

drawn by: _____ EW checked by: _____ CP approved by: _____ GP OACB by: _____ BM project no.: A21-04643 drawing no.: LSC01 A2104643 date: 01.20.2023	LANDSCAPE PLAN - ZONE 1		REV.	DATE	REVISIONS DESCRIPTION	BY
DISCOVERY PARK REZONING & PRELIMINARY DEVELOPMENT PLAN ZONES 1 & 2						
LEE'S SUMMIT, MISSOURI		2023	REVISIONS			

**SHEET**

**L302**

**olsson studio**

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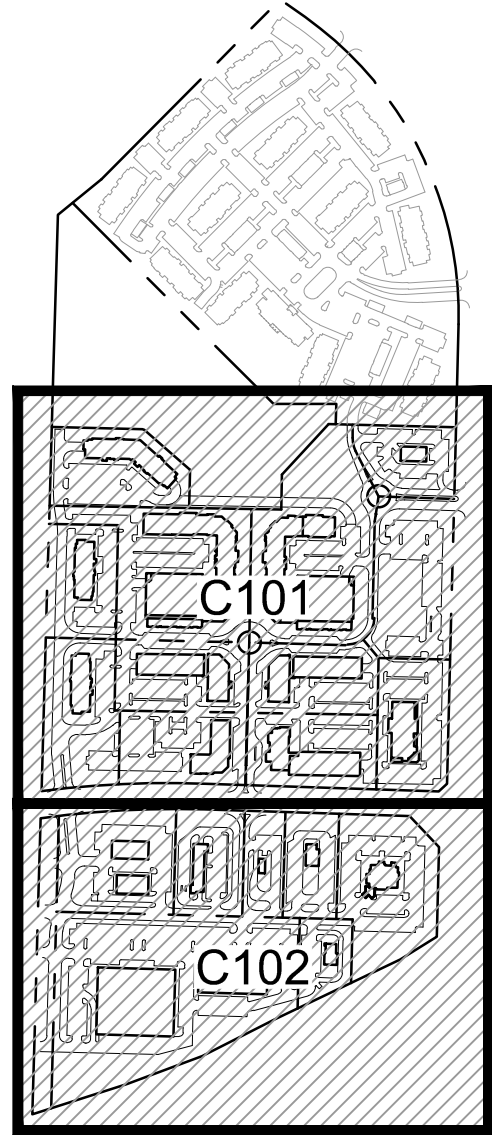






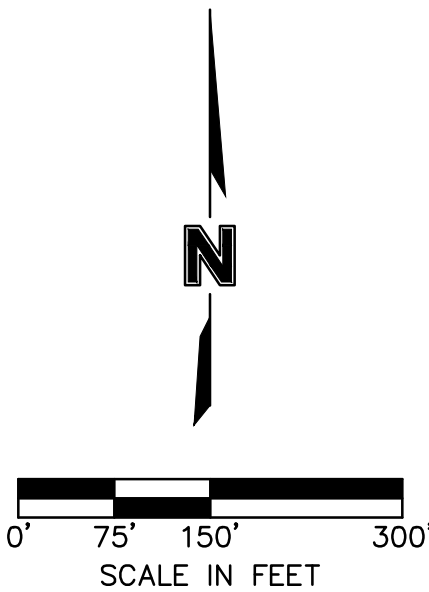


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KEYMAP

- LEGEND**
- PROPERTY BOUNDARIES
  - LOT LINE
  - EASEMENT LINE
  - ## S.E. SANITARY SEWER EASEMENT
  - ## D.E. STORM DRAINAGE EASEMENT
  - FO EXISTING FIBER OPTIC LINE
  - G EXISTING GAS LINE
  - T EXISTING TELEPHONE LINE
  - P-UG EXISTING UNDERGROUND POWER LINE
  - SS EXISTING STORM SEWER
  - SS EXISTING SANITARY SEWER
  - W EXISTING WATER LINE
  - 999- EXISTING MAJOR CONTOUR (10' INTERVAL)
  - 999- EXISTING MINOR CONTOUR (2' INTERVAL)
  - 999- PROPOSED MAJOR CONTOUR (10' INTERVAL)
  - 999- PROPOSED MINOR CONTOUR (2' INTERVAL)
  - 999- FUTURE MAJOR CONTOUR (10' INTERVAL)
  - 999- FUTURE MINOR CONTOUR (2' INTERVAL)



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STATE OF MISSOURI  
BROCK M. WORTHLEY  
REGISTERED PROFESSIONAL ENGINEER  
PE-2019000237  
4/4/2023

BY

REVISIONS DESCRIPTION

DATE

REV. NO.

REVISIONS

OVERALL GRADING PLAN

DISCOVERY PARK REZONING & PRELIMINARY DEVELOPMENT PLAN

LEE'S SUMMIT, MISSOURI

2022

drawn by: BMW  
checked by: BMW  
approved by: NDH  
QA/QC by: NDH  
project no.: A21-04643  
drawing no.: C\_GRD01\_A2104643  
date: 01.20.2023

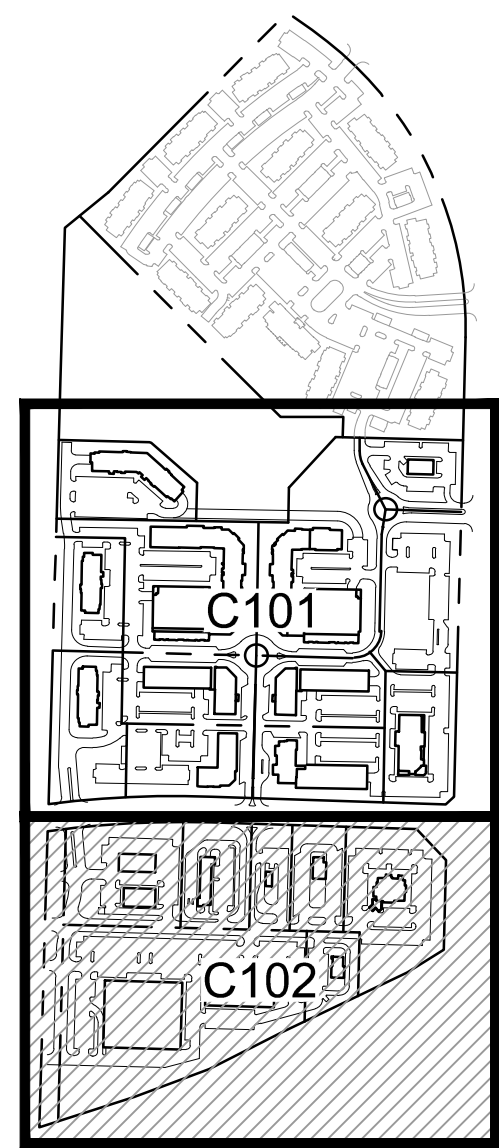
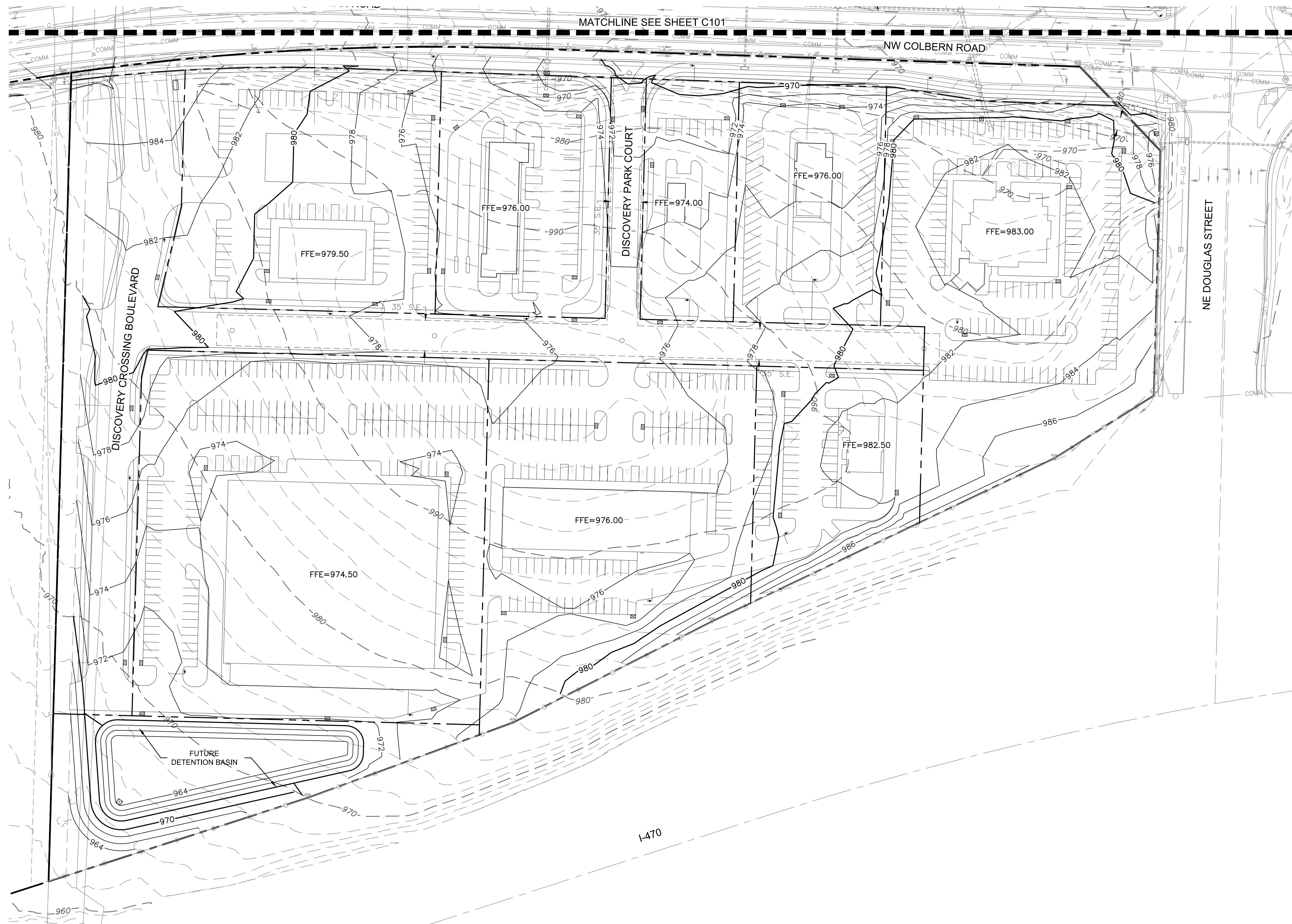
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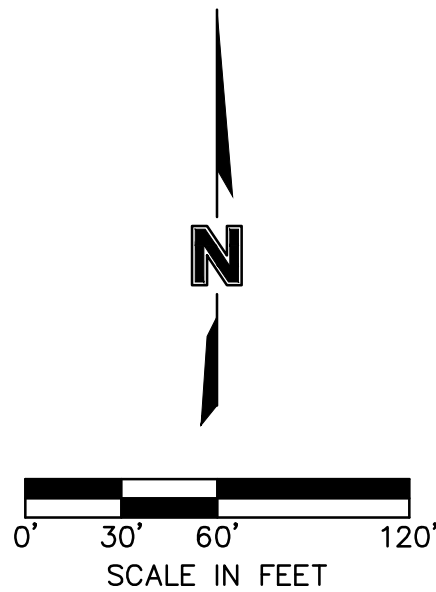


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USER: bworthley E\_PBASE\_A2104643



## KEYMAP

- ### LEGEND
- |             |                                       |
|-------------|---------------------------------------|
| — — — — —   | PROPERTY BOUNDARIES                   |
| - - - - -   | LOT LINE                              |
| - - - - -   | EASEMENT LINE                         |
| ##' S.E.    | SANITARY SEWER EASEMENT               |
| ##' D.E.    | STORM DRAINAGE EASEMENT               |
| — FO —      | EXISTING FIBER OPTIC LINE             |
| — G —       | EXISTING GAS LINE                     |
| — T —       | EXISTING TELEPHONE LINE               |
| — P-UG —    | EXISTING UNDERGROUND POWER LINE       |
| — [ ] —     | EXISTING STORM SEWER                  |
| — SS —      | EXISTING SANITARY SEWER               |
| — W —       | EXISTING WATER LINE                   |
| --- 99g --- | EXISTING MAJOR CONTOUR (10' INTERVAL) |
| --- 99g --- | EXISTING MINOR CONTOUR (2' INTERVAL)  |
| --- 99g --- | PROPOSED MAJOR CONTOUR (10' INTERVAL) |
| --- 99g --- | PROPOSED MINOR CONTOUR (2' INTERVAL)  |
| --- 99g --- | FUTURE MAJOR CONTOUR (10' INTERVAL)   |
| --- 99g --- | FUTURE MINOR CONTOUR (2' INTERVAL)    |



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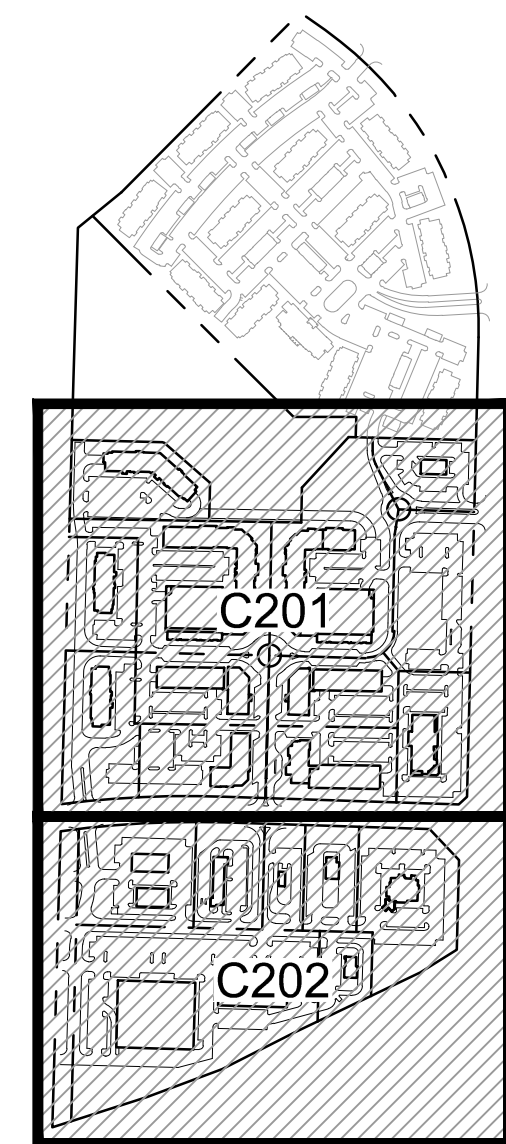
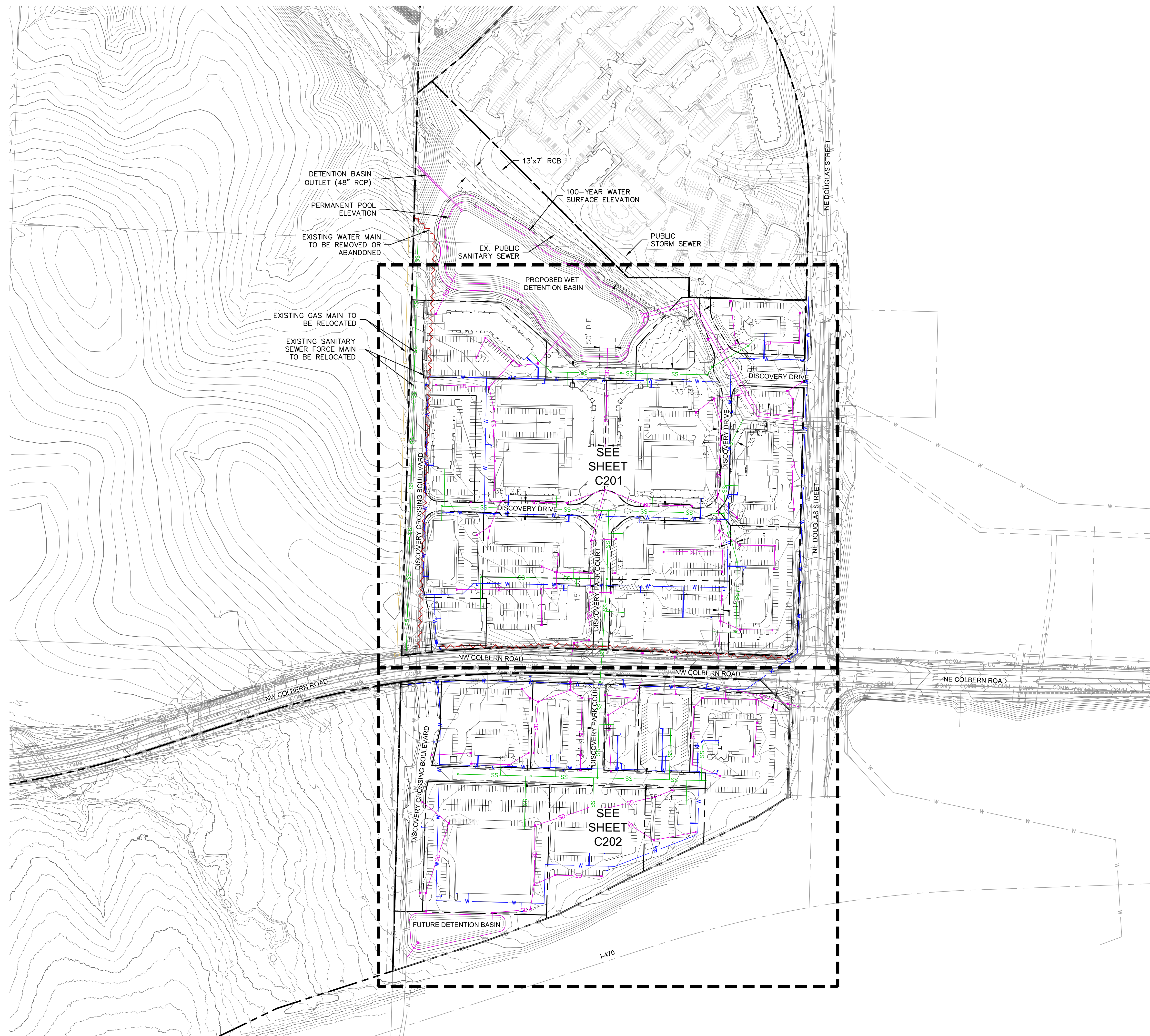
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GRADING PLAN - ZONE 2	
DISCOVERY PARK REZONING & PRELIMINARY DEVELOPMENT PLAN	
LEE'S SUMMIT, MISSOURI	2022

drawn by: \_\_\_\_\_ BMW  
checked by: \_\_\_\_\_ BMW  
approved by: \_\_\_\_\_ NDH  
QA/QC by: \_\_\_\_\_ NDH  
project no.: \_\_\_\_\_ A21-04643  
drawing no.: C GRD01 A2104643  
date: \_\_\_\_\_ 01.20.2023

SHEET  
C102

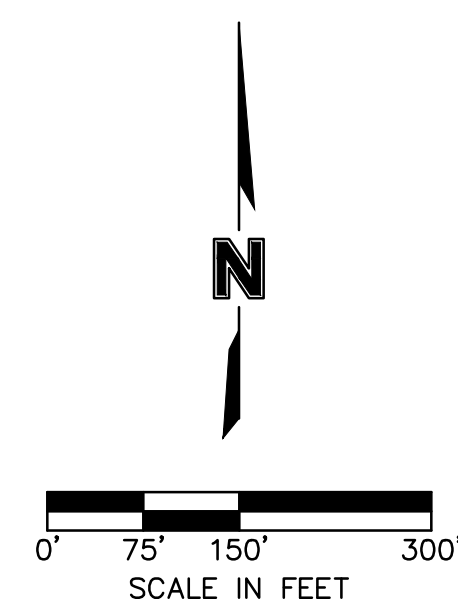




## KEYMAP

LEGEND

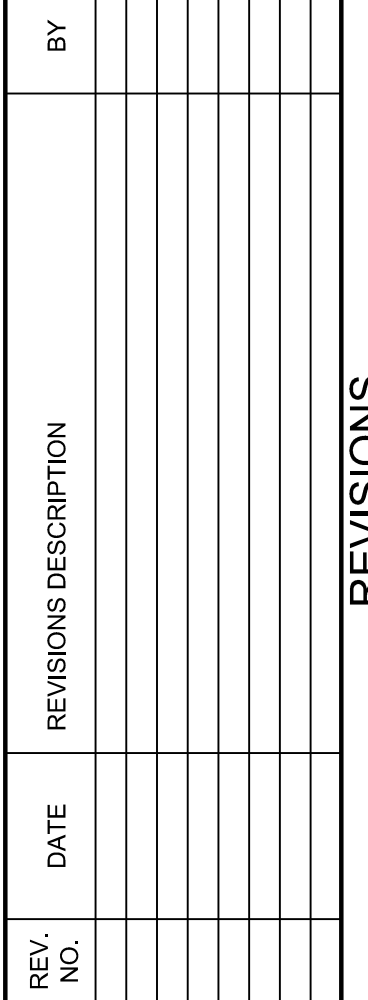
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|--|---------------------------------------|
|  | PROPERTY BOUNDARIES                   |
|  | LOT LINE                              |
|  | EASEMENT LINE                         |
|  | SANITARY SEWER EASEMENT               |
|  | STORM DRAINAGE EASEMENT               |
|  | EXISTING FIBER OPTIC LINE             |
|  | EXISTING GAS LINE                     |
|  | EXISTING TELEPHONE LINE               |
|  | EXISTING UNDERGROUND POWER LINE       |
|  | EXISTING STORM SEWER                  |
|  | EXISTING SANITARY SEWER               |
|  | EXISTING WATER LINE                   |
|  | PROPOSED GAS LINE                     |
|  | PROPOSED STORM SEWER                  |
|  | PROPOSED SANITARY SEWER               |
|  | PROPOSED WATER LINE                   |
|  | PROPOSED LIGHT POLE                   |
|  | EXISTING PIPE REMOVAL/ABANDONMENT     |
|  | FINISHED MAJOR CONTOUR (10' INTERVAL) |
|  | FINISHED MINOR CONTOUR (2' INTERVAL)  |







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# DISCOVERY PARK REZONING & PRELIMINARY DEVELOPMENT PLAN ZONES 1 & 2

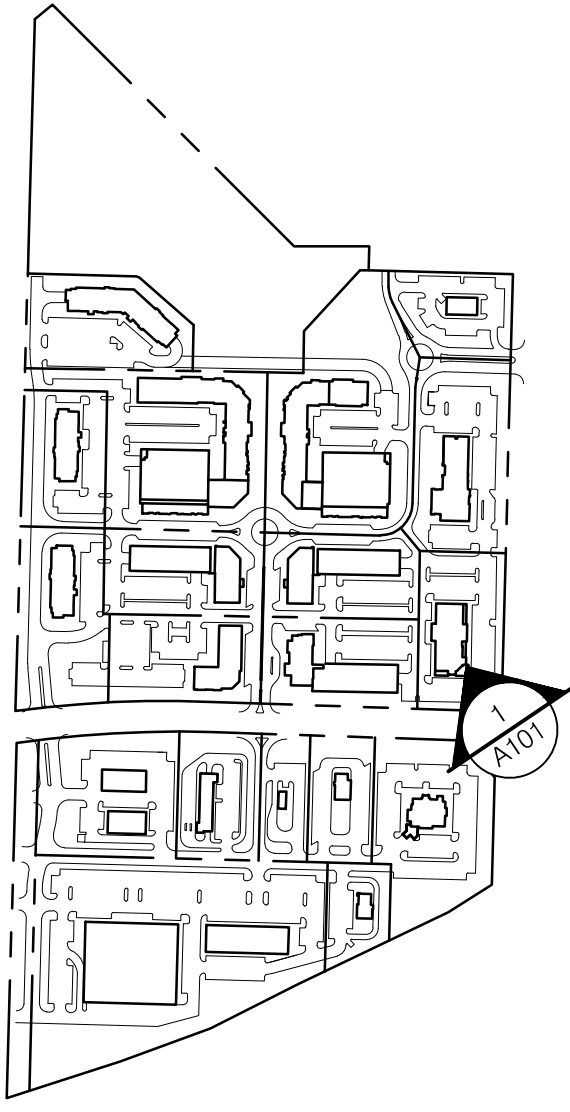
2023

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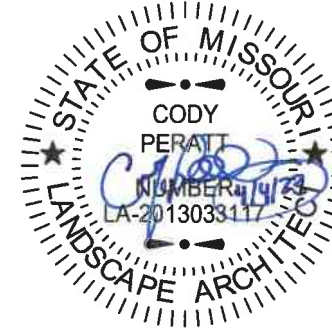




## 1 ARCHITECTURAL RENDERING - LOT 1



## KEYMAP



BY

REVISIONS DESCRIPTION

ATE

REV.

ARCHITECTURAL RENDERING - LOT 1

# DISCOVERY PARK REZONING & PRELIMINARY DEVELOPMENT PLAN ZONES 1 & 2

LEE'S SUMMIT, MISSOURI

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2023

drawn by: \_\_\_\_\_ EW  
checked by: \_\_\_\_\_ CP  
approved by: \_\_\_\_\_ CP  
QA/QC by: \_\_\_\_\_ BM  
project no.: \_\_\_\_\_ A21-04643  
drawing no. A\_ARCH01 A2104643  
date: \_\_\_\_\_ 01.20.2023

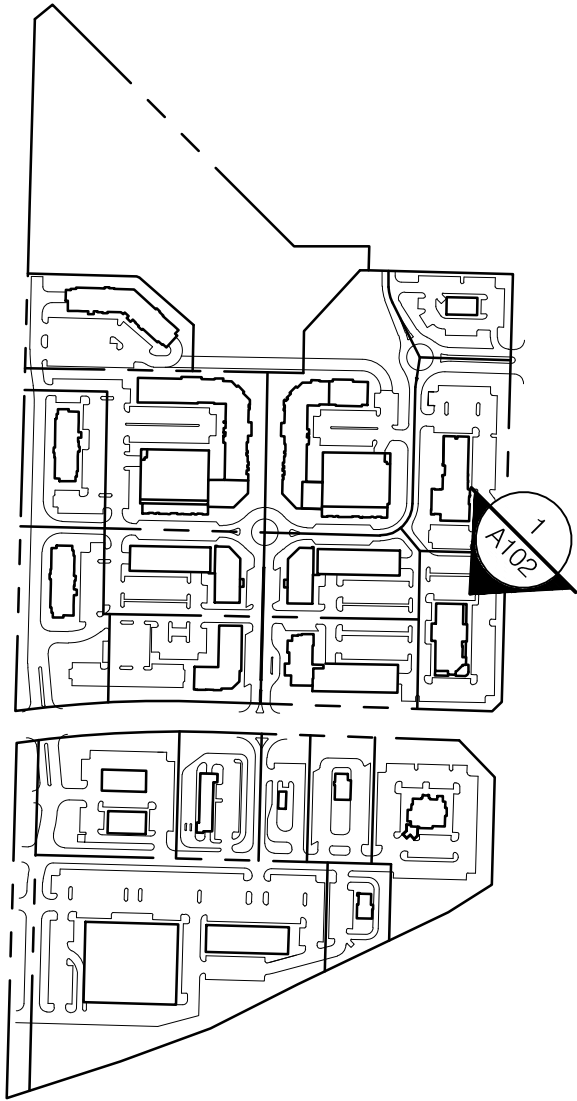
SHEET  
A101

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KEYMAP

1 ARCHITECTURAL RENDERING - LOTS 1 & 4

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CITY OF KANSAS CITY  
PLANNING & ZONING DEPARTMENT  
APPROVED  
04/04/2023  
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REVISIONS DESCRIPTION

DATE

REV. NO.

REVISIONS

ARCHITECTURAL RENDERING - LOTS 1 & 4

DISCOVERY PARK REZONING & PRELIMINARY DEVELOPMENT PLAN  
ZONES 1 & 2

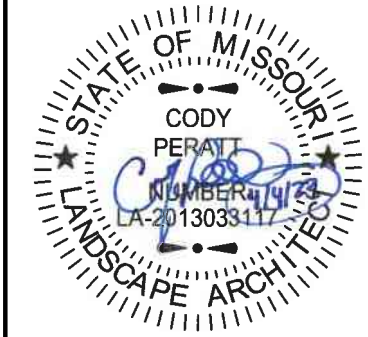
LEE'S SUMMIT, MISSOURI

2023

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checked by: CP  
approved by: BM  
QA/QC by: BM  
project no.: A21-04643  
drawing no.: A\_ARCH01\_A2104643  
date: 01.20.2023

SHEET  
A102



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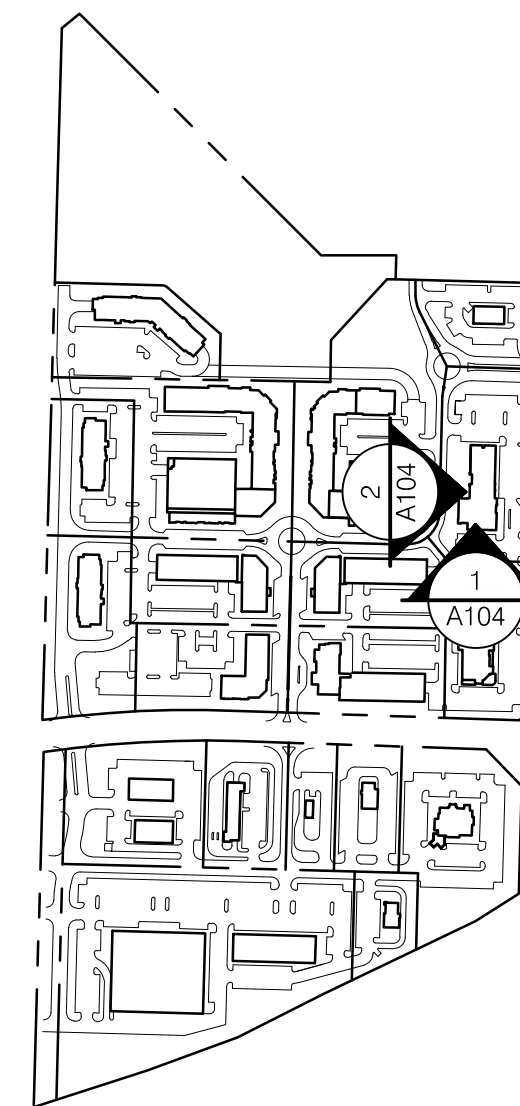
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DISCOVERY PARK REZONING & PRELIMINARY DEVELOPMENT PLAN ZONES 1 & 2	
LEE'S SUMMIT, MISSOURI	2023

drawn by: \_\_\_\_\_ EW  
checked by: \_\_\_\_\_ CP  
approved by: \_\_\_\_\_ CP  
QA/QC by: \_\_\_\_\_ BM  
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SHEET  
A103

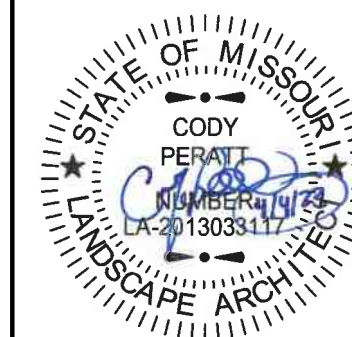
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ARCHITECTURAL RENDERING - LOT 2	
DISCOVERY PARK REZONING & PRELIMINARY DEVELOPMENT PLAN ZONES 1 & 2	
LEE'S SUMMIT, MISSOURI	2023

drawn by: \_\_\_\_\_ EW  
checked by: \_\_\_\_\_ CP  
approved by: \_\_\_\_\_ CP  
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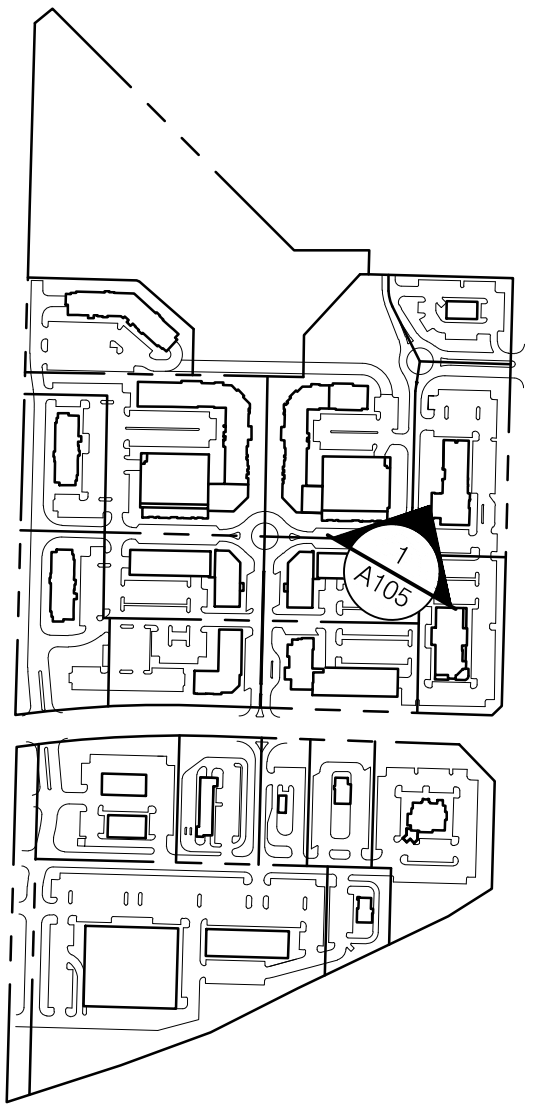
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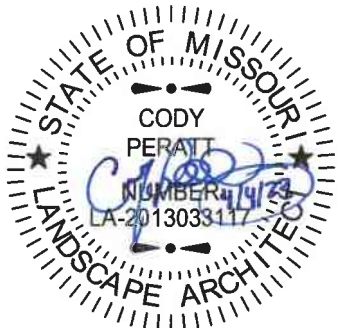




## 1 ARCHITECTURAL RENDERING - LOT 2



## KEYMAP



REVISIONS DESCRIPTION

DATE \_\_\_\_\_

REV. AIC

ARCHITECTURAL RENDERING - LOT 2

## DISCOVERY PARK REZONING & PRELIMINARY DEVELOPMENT PLAN ZONES 1 & 2

LEE'S SUMMIT, MISSOURI

2023

drawn by: \_\_\_\_\_ EW  
checked by: \_\_\_\_\_ CP  
approved by: \_\_\_\_\_ CP  
QA/QC by: \_\_\_\_\_ BM  
project no.: \_\_\_\_\_ A21-04643  
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date: \_\_\_\_\_ 01.20.2023

SHEET  
A105

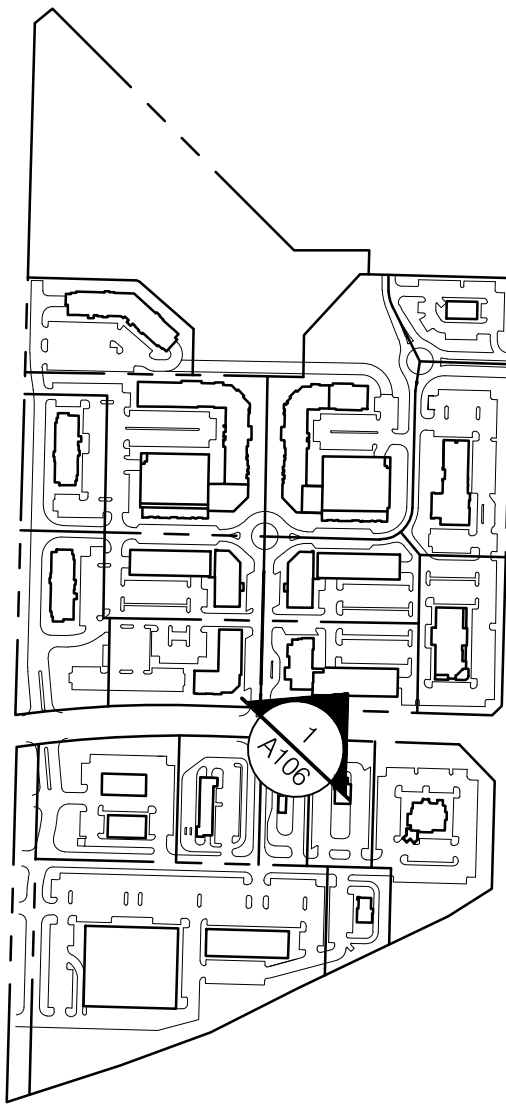
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## 1 ARCHITECTURAL RENDERING - LOT 3



## KEYMAP



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## REVIEWS AND REVISIONS

DATE

REV.

ARCHITECTURAL RENDERING - LOT 3

ARCHITECTURAL RENDERING - LOT 3

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DISCOVERY PARK REZONING & PRELIMINARY DEVELOPMENT PLAN  
ZONES 1 & 2

LEE'S SUMMIT, MISSOURI

2023

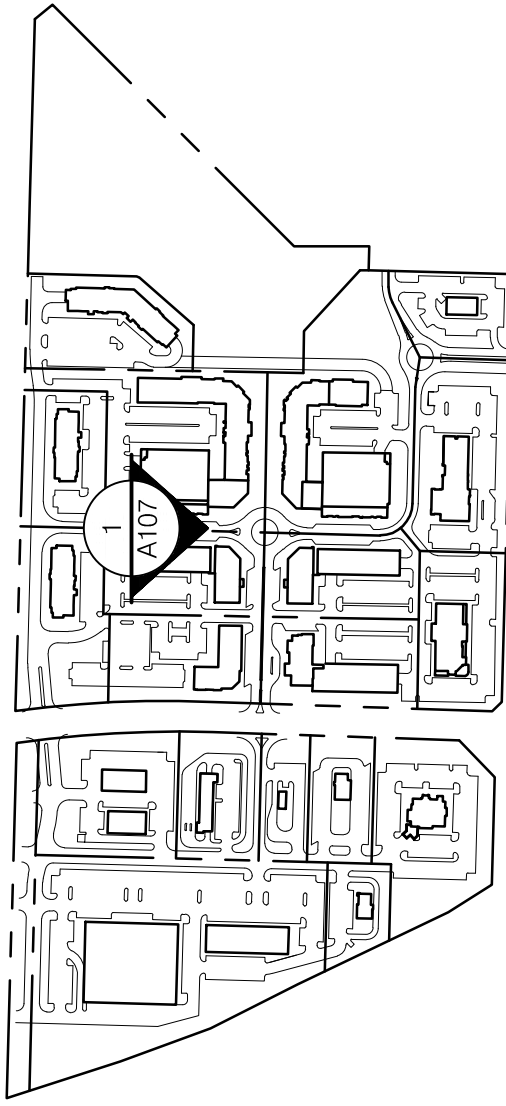
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SHEET  
A106

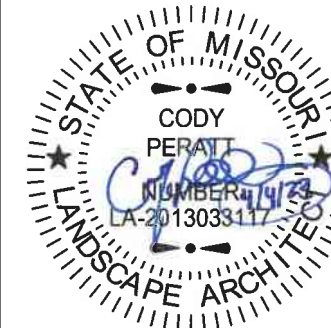




## 1 ARCHITECTURAL RENDERING - LOTS 8, 9, & 10



## KEYMAP



BY

REVISIONS DESCRIPTION

REV. DATE

ARCHITECTURAL RENDERING - LOTS 8, 9, &amp; 10

# DISCOVERY PARK REZONING & PRELIMINARY DEVELOPMENT PLAN ZONES 1 & 2

LEE'S SUMMIT MISSOURI

2023

DEVICIONS

drawn by: \_\_\_\_\_ EW  
checked by: \_\_\_\_\_ CP  
approved by: \_\_\_\_\_ CP  
QA/QC by: \_\_\_\_\_ BM  
project no.: \_\_\_\_\_ A21-04643  
drawing no. A\_ARCH01 A2104643  
date: \_\_\_\_\_ 01.20.2023

SHEET  
A107

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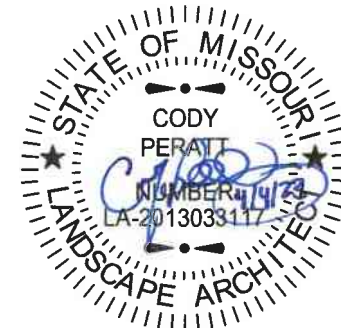
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ARCHITECTURAL RENDERING - LOTS 9 & 10	
DISCOVERY PARK REZONING & PRELIMINARY DEVELOPMENT PLAN ZONES 1 & 2	
PEAK SUMMIT MISSOULID	2023

drawn by: \_\_\_\_\_ EW  
checked by: \_\_\_\_\_ CF  
approved by: \_\_\_\_\_ CF  
QA/QC by: \_\_\_\_\_ BM  
project no.: \_\_\_\_\_ A21-0464;  
drawing no. A\_ARCH01 A210464;  
date: \_\_\_\_\_ 01.20.2023

SHEET  
A108

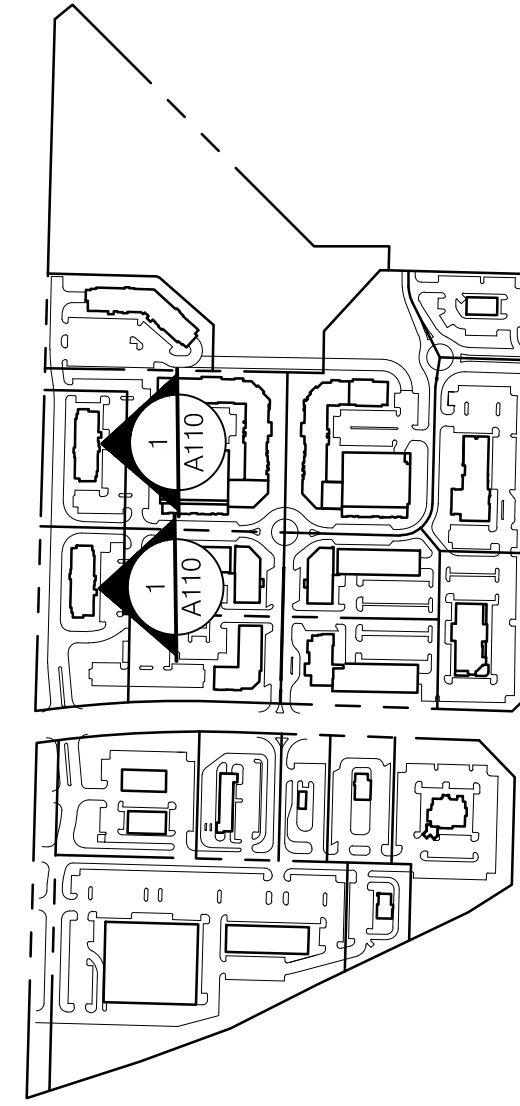




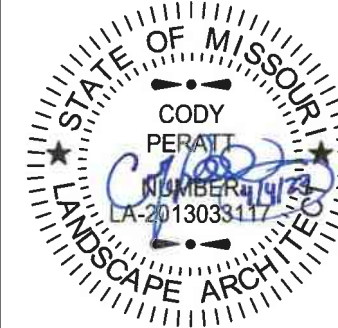




## 1 ARCHITECTURAL RENDERING - LOT 11



## KEYMAP



BY

REVISIONS DESCRIPTION

DATE \_\_\_\_\_

REV.

ARCHITECTURAL RENDERING - LOT 11

DISCOVERY PARK REZONING & PRELIMINARY DEVELOPMENT PLAN  
ZONES 1 & 2

LEE'S SUMMIT, MISSOURI

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2023

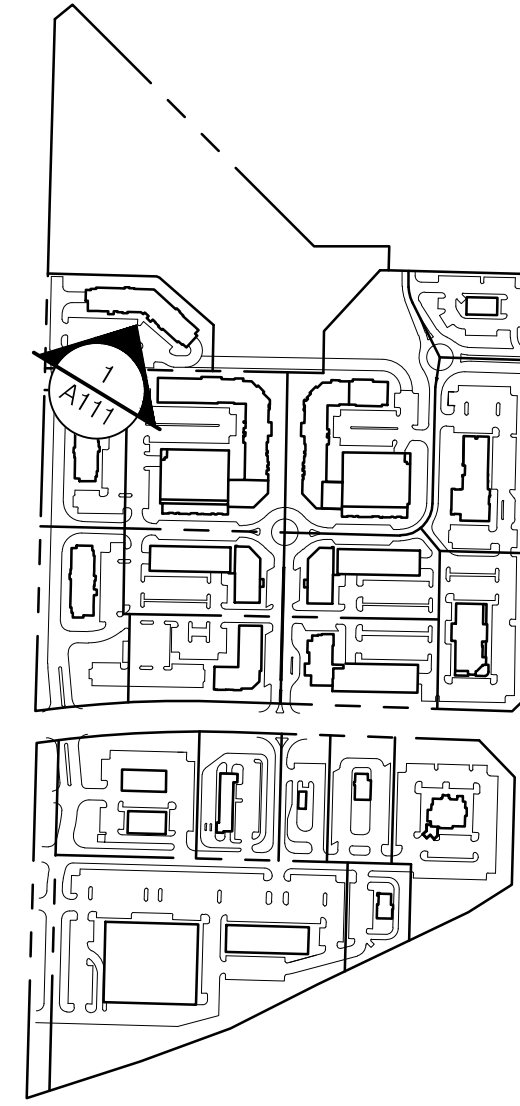
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checked by: \_\_\_\_\_ CP  
approved by: \_\_\_\_\_ CP  
QA/QC by: \_\_\_\_\_ BM  
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drawing no. A\_ARCH01 A2104643  
date: \_\_\_\_\_ 01.20.2023

SHEET  
A110

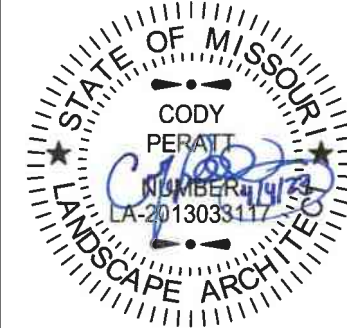




## 1 ARCHITECTURAL RENDERING - LOT 12



## KEYMAP



BY

REVISIONS DESCRIPTION

REV.	DATE
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ARCHITECTURAL RENDERING - LOT 12

DISCOVERY PARK REZONING & PRELIMINARY DEVELOPMENT PLAN  
ZONES 1 & 2

LEE'S SUMMIT, MISSOURI

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2023

REVISIONS

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MISSOURI CERTIFICATE OF AUTHORITY #2005000285  
1814 Main St.

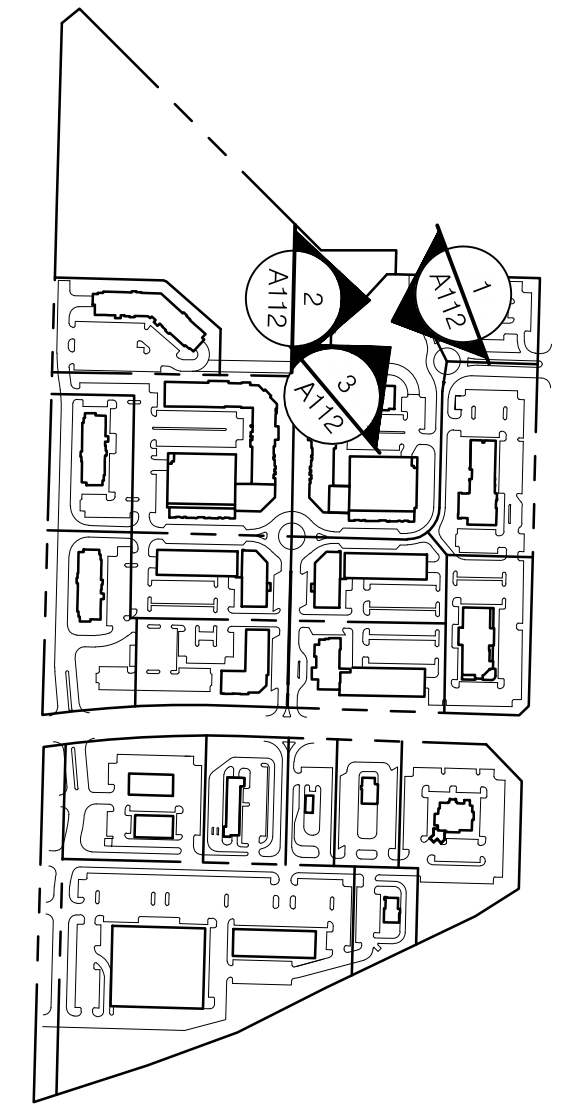
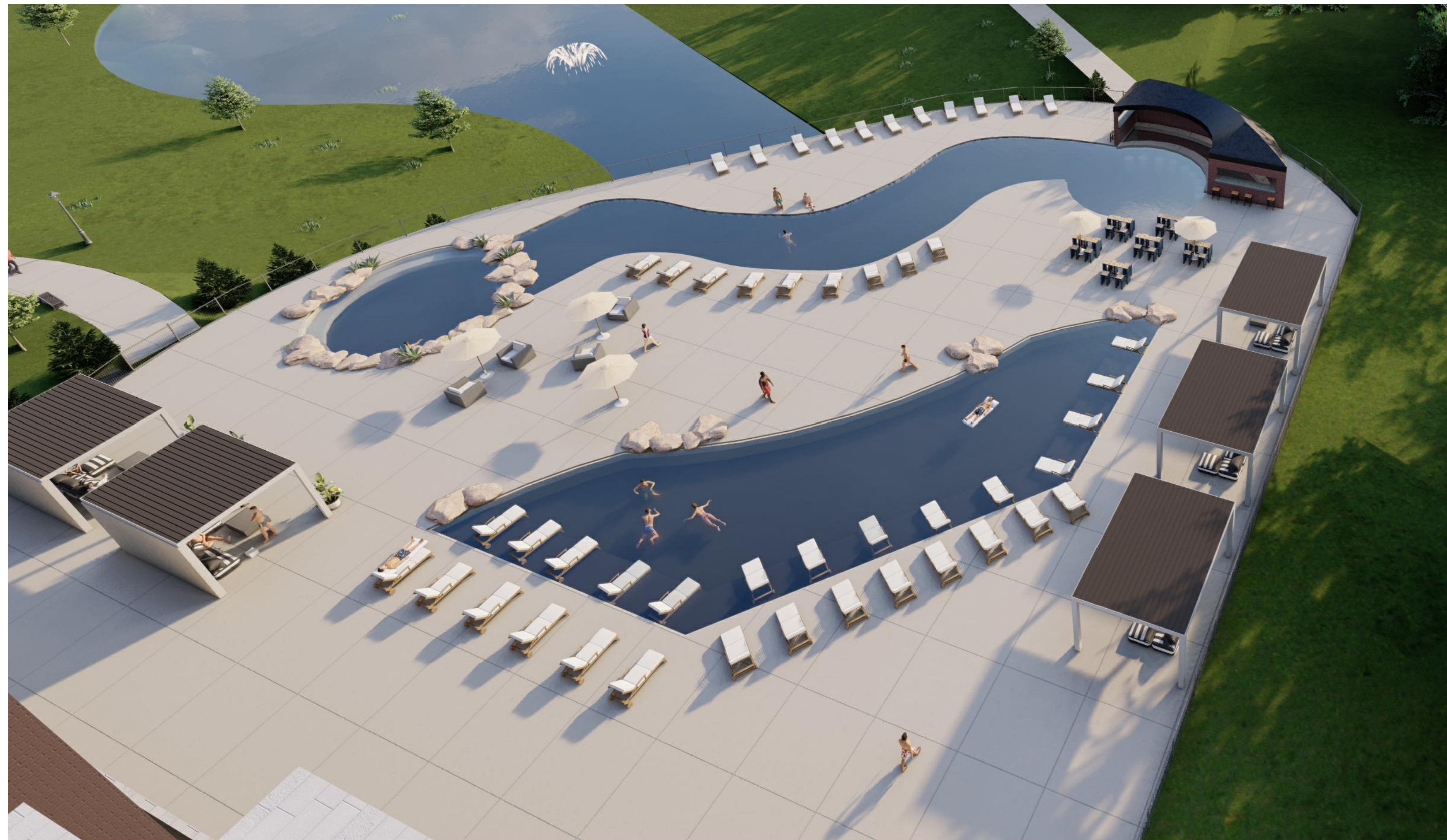
MISSOURI CERTIFICATE OF AUTHORITY #2005000285  
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project no.: \_\_\_\_\_ A21-04643  
drawing no. A\_ARCH01 A2104643  
date: \_\_\_\_\_ 01.20.2023

SHEET  
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MISSOURI CERTIFICATE OF AUTHORITY #2005000288  
1814 Main St.  
Kansas City, MO 64108 TEL 816.842.8844 www.olss

[illegible]

ARCHITECTURAL RENDERING - POOL AREA	
DISCOVERY PARK REZONING & PRELIMINARY DEVELOPMENT PLAN ZONES 1 & 2	
EE'S SUMMIT, MISSOURI	2023

Drawn by: \_\_\_\_\_ EW  
 Checked by: \_\_\_\_\_ CP  
 Approved by: \_\_\_\_\_ CP  
 A/QC by: \_\_\_\_\_ BM  
 Project no.: \_\_\_\_\_ A21-04643  
 Drawing no. A\_ARCH01 A2104643  
 Date: \_\_\_\_\_ 01.20.2023

SHEET  
A112

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