

BILL NO. 23-040**ORDINANCE NO. 9623**

AN ORDINANCE APPROVING A PRELIMINARY DEVELOPMENT PLAN FOR SUMMER MOON COFFEE ON LAND LOCATED AT 699 NW BLUE PKWY, ALL IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 33, THE UNIFIED DEVELOPMENT ORDINANCE, OF THE CODE OF ORDINANCES FOR THE CITY OF LEE'S SUMMIT, MISSOURI.

WHEREAS, Application #PL2022-405 submitted by Yaeger Architecture, requesting approval of a preliminary development plan in District CP-2 on land located at 699 NW Blue Pkwy was referred to the Planning Commission to hold a public hearing; and,

WHEREAS, the Unified Development Ordinance provides for the approval of a preliminary development plan by the City following public hearings by the Planning Commission and City Council; and,

WHEREAS, after due public notice in the manner prescribed by law, the Planning Commission held public hearings for the consideration of the preliminary development plan on January 26, 2023, and rendered a report to the City Council recommending that the preliminary development plan be approved; and,

WHEREAS, after due public notice in the manner prescribed by law, the City Council held a public hearing on February 28, 2023, and rendered a decision to approve the preliminary development plan for said property.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF LEE'S SUMMIT, MISSOURI, as follows:

SECTION 1. That a preliminary development plan is hereby approved on the following described property:

SUMMIT FAIR 3RD PLAT LOTS 15-27 & TRACTS F-I---LOT 17

SECTION 2. That the following conditions of approval apply:

1. Development shall be in accordance with the preliminary development plan dated December 6, 2022.
2. A second "Do Not Enter" sign shall be installed at the drive-thru exit.

SECTION 3. That development shall be in accordance with the preliminary development plan dated December 6, 2022, appended hereto as Attachment A.

SECTION 4. Nonseverability. All provisions of this ordinance are so essentially and inseparably connected with, and so dependent upon, each other that no such provision would be enacted without all others. If a court of competent jurisdiction enters a final judgment on the merits that is not subject to appeal and that declares any provision or part of this ordinance void, unconstitutional, or unenforceable, then this ordinance, in its collective entirety, is invalid and shall have no legal effect as of the date of such judgment.

SECTION 5. That failure to comply with all of the provisions contained in this ordinance shall constitute violations of both this ordinance and Chapter 33, the City's Unified Development Ordinance, of the Code of Ordinances for the City of Lee's Summit.

BILL NO. 23-040**ORDINANCE NO. 9623**

SECTION 6. That this ordinance shall be in full force and effect from and after the date of its passage and adoption, and approval by the Mayor.

PASSED by the City Council of the City of Lee's Summit, Missouri, this 7th day of March, 2023.

ATTEST:

Trisha Fowler Arcuri
City Clerk Trisha Fowler Arcuri



William A. Baird
Mayor William A. Baird

APPROVED by the Mayor of said city this 8th day of March, 2023.

ATTEST:

Trisha Fowler Arcuri
City Clerk Trisha Fowler Arcuri



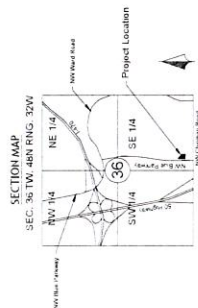
William A. Baird
Mayor William A. Baird

APPROVED AS TO FORM:

Brian W. Head
City Attorney Brian W. Head

Preliminary Development Plans

Know what's below.
Call before you dig.

[illegible]

Sheet List Table
Sheet Number Sheet Title
C01 Title Sheet
C02 Existing Conditions
C03 Area Plan
C04 General Layout
C05 Pavement Plan
C06 Grading Plan

Preliminary Development Plans

Title Sheet

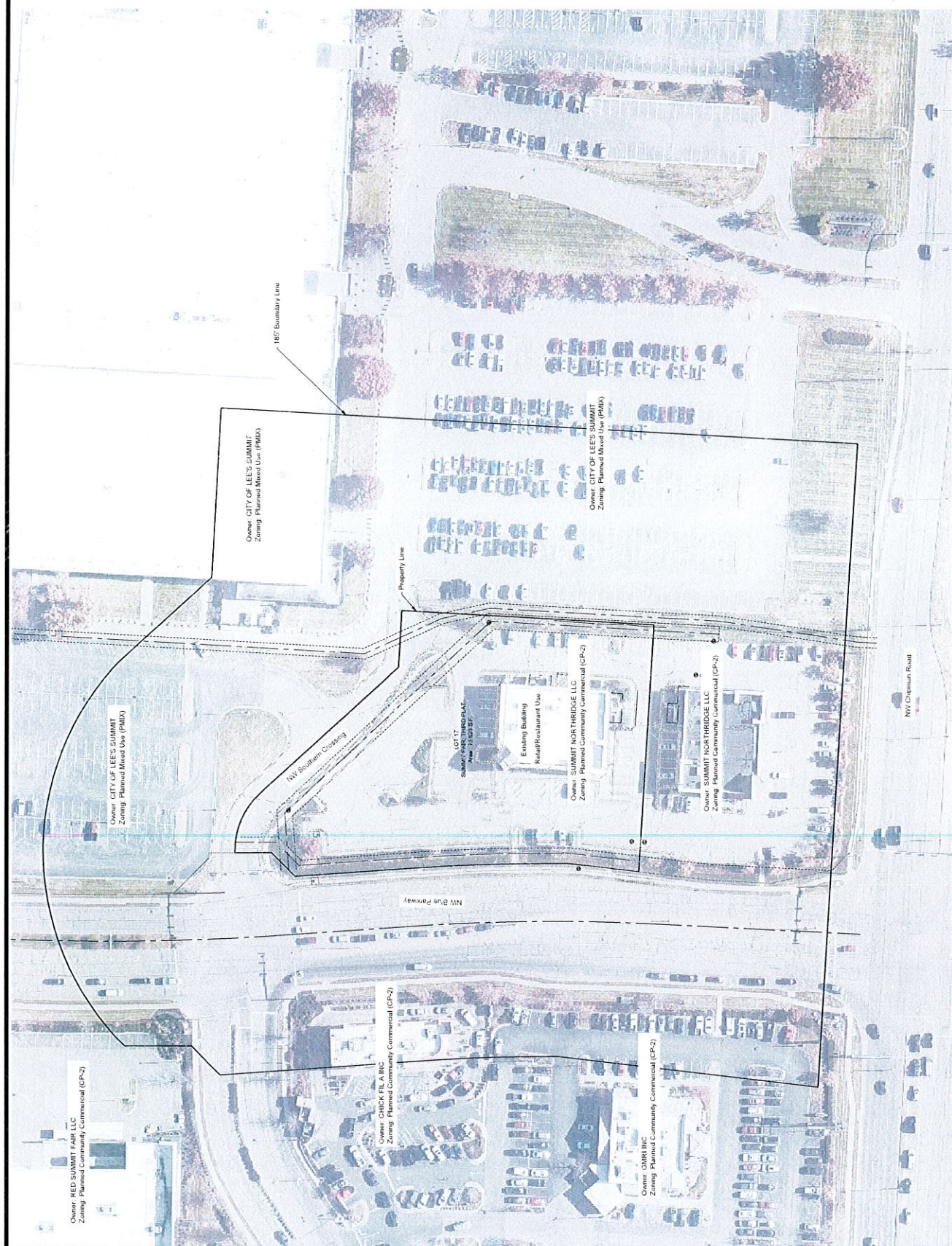
DATE	10/24/2022	For the Government
FILE NO.	10/24/2022	Original Submission
O. DATE		REVISION

Sheet
C-01



Site Data Table
Existing Lot 75,623 SF (1.74 Acres)
Existing Building 7,500 SF (0.17 Acres)
Existing Paved Area 1.16 Acres





NO.	DATE	REVISION
1	01/15/2021	Initial
2	01/15/2021	Revised

General Layout

Preliminary Development Plans
22-0188
Lee's Summit, Jackson County, Missouri



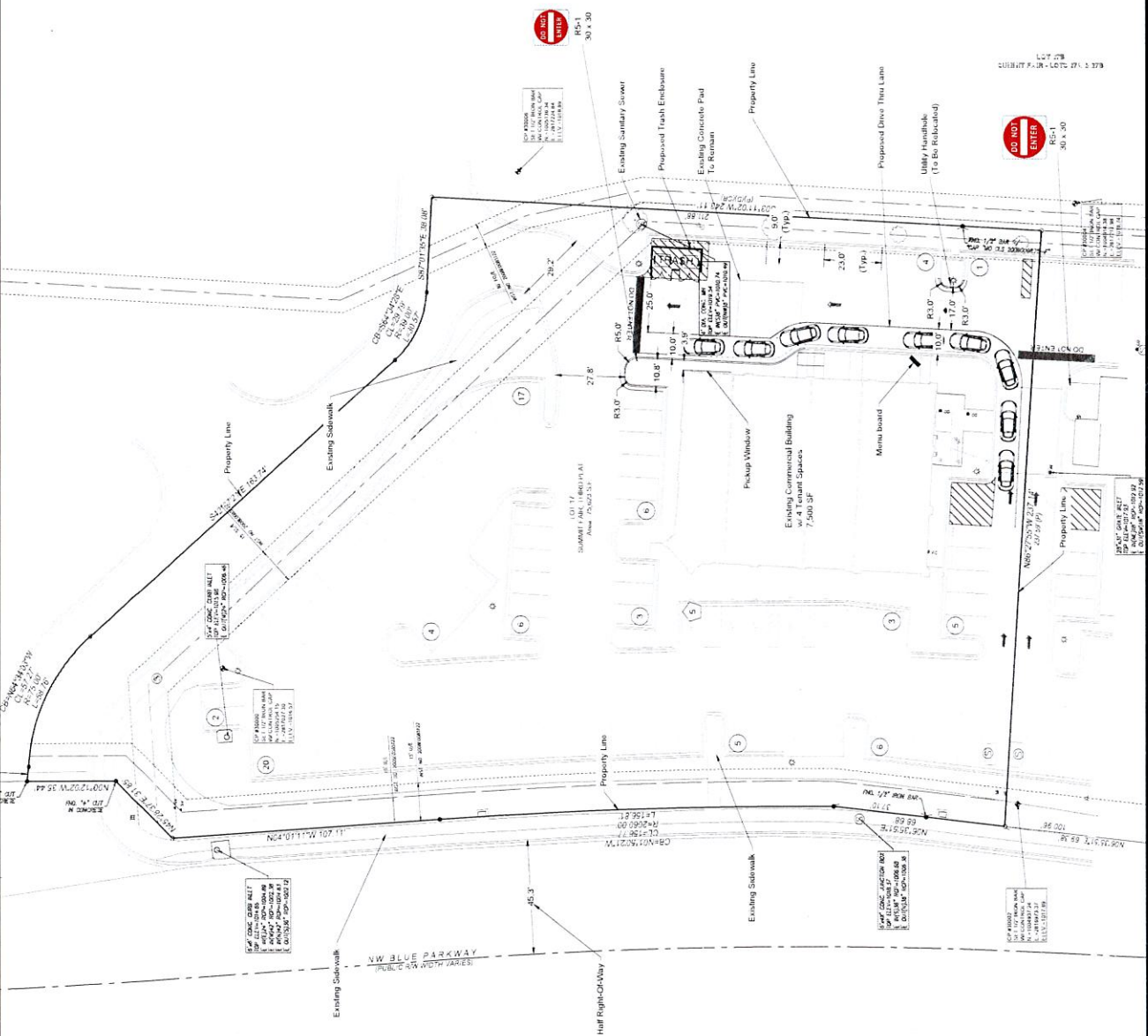
Site Data Table

Existing Lot Area	75,623 SF (1.74 Acres)
Existing Impervious Area	51,009 SF (87.34%)
Proposed Impervious Area	51,009 SF (87.34%)
Proposed Paved Area	51,009 SF (87.34%)
Proposed Floor Area Ratio (FAR)	0.098

Parking Data

Proposed Parking Stalls	87 (6 ADA)
Required Parking Stalls	85 (4 ADA)
Ratio	2.25 SF @ 5'x10' = 11.25 stalls
Ratio	3.25 SF @ 14'x10' = 7.33 stalls

- 2 ADA Parking Stall Count
- 1 Car Parking Stall Count





Renaissance Infrastructure Consulting
 100 E. 11th Street
 Kansas City, Missouri 64105
 Phone: 816.592.7500
 Fax: 816.592.7501
 Email: info@rii.com

DESIGNED BY: [Name]
 CHECKED BY: [Name]
 DATE: [Date]

Pavement Plan

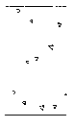
Preliminary Development Plans
 22-0188
 Summer Moon Coffee
 Lee's Summit, Jackson County, Missouri



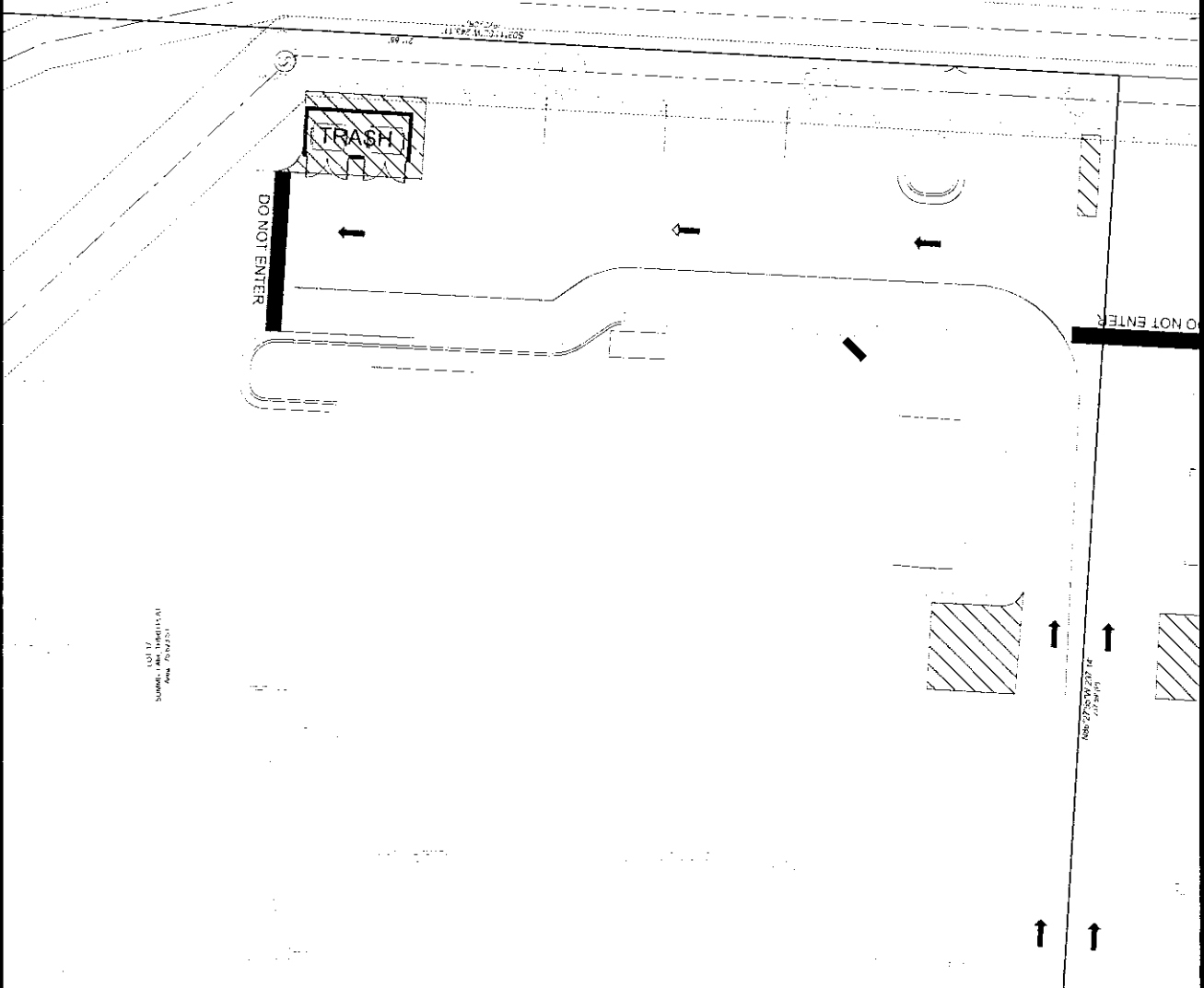
Proposed Asphalt Pavement



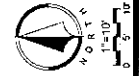
Proposed Concrete Pavement



	Vehicle parking areas & drives	Fire lanes and truck access
Asphalt	Sec. 8.620.F.1.a.(1)	Sec. 8.620.F.1.b.(1)
Asphalt surface course	1.5"	1.5"
Asphalt base course	4"	5"
Subgrade	6" granular base course with Geogrid, or 6" granular base course with 6" stabilized subgrade	6" granular base course with Geogrid, or 6" granular base course with 6" stabilized subgrade
Concrete	Sec. 8.620.F.1.a.(2)	Sec. 8.620.F.1.b.(2)
Concrete - Full depth	6"	8"
Subgrade	4" granular base course	4" granular base course



LOU W.
 SUMMER MOON COFFEE
 100 E. 11th Street
 Lee's Summit, MO 64105



LEGEND
 Proposed Major Contour
 Proposed Minor Contour
 Existing Major Contour
 Existing Minor Contour

