

	Points			
PNT#	NORTHING	EASTING		
001	1010663.9112	2822810.07		
002	1010683.3018	2822817.01		
003	1010706.4110	2822822.94		
004	1010564.2160	2822946.23		
005	1010435.8537	2822967.09		
006	1010426.0022	2822938.44		
007	1010404.5284	2822945.82		
008	1010392.4896	2822897.09		
009	1010380.1714	2822873.77		
010	1010369.3130	2822833.49		
011	1010427.2440	2822794.01		
012	1010464.0188	2822756.54		
013	1010501.1511	2822708.43		
014	1010706.6061	2822646.38		
015	1010732.6511	2822605.97		
016	1010760.7079	2822695.21		
017	1010771.5610	2822698.83		
018	1010782.5031	2822656.59		
019	1010774.9504	2822655.51		
020	1010778.8381	2822628.38		
021	1010778.1508	2822626.62		
022	1010767.6407	2823010.52		
023	1010753.4676	2822995.72		
024	1010788.6900	2822960.53		
025	1010802.5162	2822973.36		
026	1010914.7347	2822800.02		
027	1010897.0483	2822792.58		

028	1010915.7557	2822742.4019
029	1010933.9612	2822748.3452
030	1010962.3994	2822609.6211
031	1010943.7337	2822606.8999
032	1010950.9468	2822557.4230
033	1010969.6020	2822560.1426
034	1010981.9767	2822476.0482
035	1010963.2161	2822473.3131
036	1010968.1229	2822375.0897
037	1010971.6933	2822374.9029
038	1010726.7800	2822838.0030
039	1010638.8910	2822927.3643
049	1010745.5526	2822930.6172
050	1010753.8369	2822937.2920
051	1010746.2034	2822945.2360
052	1010737.9624	2822938.6043

GENERAL NOTES

- 1. Contractor shall verify the location, size, material and depth of all utilities prior to any excavation or construction activity.
- 2. All materials shall be removed and disposed of off-site. It is the contractors responsibility to meet all applicable laws and regulations pertaining to the disposal of construction/demolition material.
- 3. The Contractor shall ensure that any structures to remain which are damaged during demolition operations shall be repaired to meet current code, at no additional cost to the owner.
- 4. The Contractor shall remove any and all existing debris which is encountered from the existing site. This shall include, but shall not be limited to, footings, concrete slabs, conduits, granular subgrade, utility services, and/or unsuitable structural fill material as determined by the owner's engineer. The cost for these removals shall be considered incidental to the project. Said debris shall become property of the contractor and it shall be the responsibility of the contractor to dispose of properly off-site.
- 5. It shall be the Contractor's responsibility to meet all applicable laws and regulations pertaining to the disposal of construction/demolition material.
- 6. The Contractor shall be responsible for obtaining and payment of any permits for demolition that pertain to
- 7. All protection fencing shall be installed prior to demolition/construction activity. The Contractor shall provide a 6-foot security fence around the entire job site with locked gated access points, if required by the owner or
- 8. All existing utilities removed during construction shall have their trenches backfilled with structural fill and be compacted to the requirements for structural fill.
- 9. All removals required to properly perform the work (whether shown on the plans or not) shall be performed by the Contractor at no additional cost to the owner.

DEMOLITION NOTES

- 01 REMOVE & DISPOSE OF EXISTING ASPHALT.
- 02 REMOVE & DISPOSE OF EXISTING CURB.
- 03 REMOVE AND DISPOSE OF CONCRETE SIDEWALK.
- 04 REMOVE THROAT ON WEST SIDE OF INLET. FILL WEST INLET OPENING WITH MORTAR TO CLOSE
- REMOVE AND DISPOSE OF ENOUGH 8" PVC SANITARY LATERAL TO ALLOW PLACEMENT OF NEW 🛕
- MANHOLE. ABANDON REMAINING SANITARY MAIN AND FILL WITH FLOWABLE FILL.
- 06 EXISTING UTILITY TUNNEL ACCESS LID. REMOVE ACCESS LID.
- 07 SAW CUT EXISTING PAVEMENT TO FULL DEPTH AND CLEAN EDGE.
- 08 REMOVE & DISPOSE OF EXISTING PARKING SIGNS.
- REMOVE AND DISPOSE OF EXISTING 60" RCP. OPENING IN STRUCTURE TO BE REUSED BY PIPE SHOWN ON C502.
- 10 REMOVE EXISTING LIGHT POLE.
- 11 NOT USED.
- 12 REMOVE & DISPOSE OF CONCRETE PAVEMENT.
- 13 EXISTING 8x8 CONCRETE STORM JUNCTION BOX. REMOVE & DISPOSE OF LID AND TOP 2 FT OF STRUCTURE. FILL STRUCTURE WITH FLOWABLE FILL.
- 14 REMOVE AND DISPOSE OF EXISTING LANDSCAPING.
- ABANDON TELECOMMUNICATION LINE WHERE BUILDING EXPANSION WILL BE. REMOVE IF IT WILL BE IN THE WAY OF NEW FOOTINGS. SEE C400 FOR RELOCATION.
- 16 ABANDON POWER LINE WHERE BUILDING EXPANSION WILL BE. REMOVE IF IT WILL BE IN THE WAY OF NEW FOOTINGS. SEE C400 FOR RELOCATION.
- 17 PRIVATE SANITARY MANHOLE IS TO BE ABANDONED. REMOVE LID, RISER RINGS, AND TOP CONE. FILL REMAINING STRUCTURE WITH FLOWABLE FILL.

COORDINATE LEGEND

POINT LOCATION INDICATOR

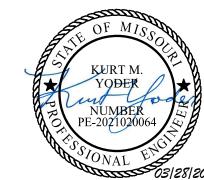
DEMOLITION LEGEND

---- SAW CUT LINE

ASPHALT PAVEMENT TO BE REMOVED CONCRETE SIDEWALK TO BE REMOVED CONCRETE PAVEMENT TO BE REMOVED

EXISTING TREE LINE

. EXISTING TREE LINE TO BE REMOVED



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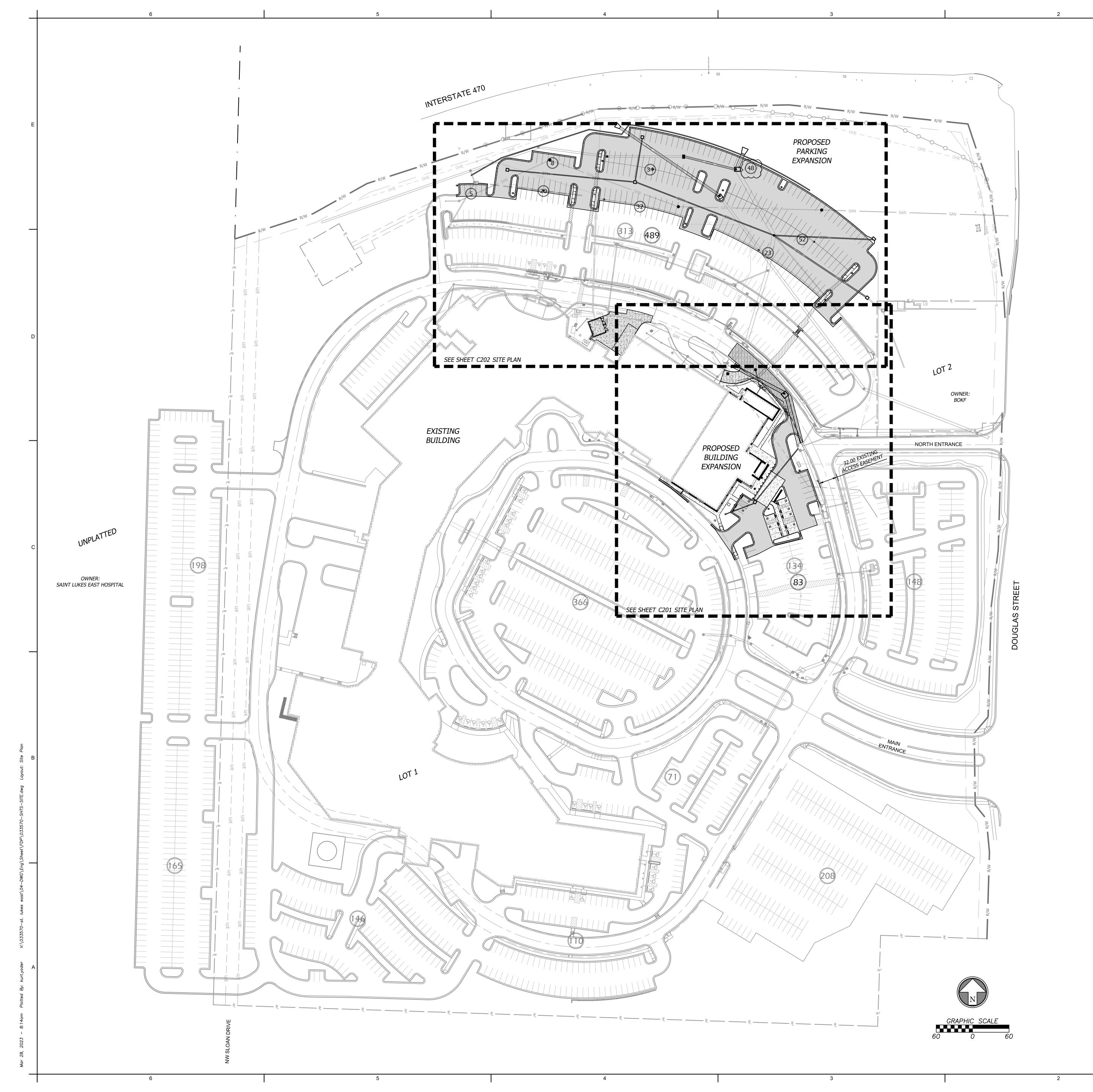
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01/20/2023 Addendum 01 02 02/03/2023 Addendum 02

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DEMOLITION PLAN -**BUILDING EXPANSION**



- 1. CONTAINING THE NET AREA OF 1,753,967 SQ. FT. OR 40.266 ACRES.
- 3. CONTOURS ARE SHOWN AT 1 FEET INTERVALS.
- 4. ALL STREETS, STORM SEWER, SANITARY SEWERS AND WATER LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LEE'S SUMMIT, MISSOURI, DESIGN AND CONSTRUCTION
- 5. TYPE "CG-1" CONCRETE CURB & GUTTER SHALL BE USED THROUGHOUT THIS PROJECT. SEE
- 6. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF LEE'S SUMMIT DESIGN AND

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7. THE WATER & SANITARY SEWER UTILITY CONTACT IS WATER UTILITIES DEPARTMENT, OPERATIONS

CHISELED SQUARE ON THE FRONT FACE OF A DUAL MANHOLE CURB INLET, LOCATED 49.8 FEET NORTHWEST OF THE NORTHEAST CORNER OF THE NORTH END

ELEVATION= 982.88

LOT 1 OF SAINT LUKE'S HOSPITAL OF LEE'S SUMMIT LOTS 1 AND 2

A SUBDIVISION IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

	SITE DATA	
	EXISTING	PROPOSED
SITE		
SITE AREA	40.2	7 AC
	1,753,	967 SF
IMPERVIOUS AREA	1,094,938 SF (62.4%)	1,177,915 SF (67.2%)
PERVIOUS AREA	653,391 SF (37.4%)	570,414 SF (33.0%)
BUILDING		
BUILDING AREA	593,626 SF	655,840 SF
FLOOR AREA RATIO	0.34	0.37
ENERGY CENTER	18,4	95 SF
BASEMENT	14,5	00 SF
EMERGENCY CENTER	13,2	12 SF
DIAGNOSTIC	24,4	00 SF
3-STORY MOB	59,499 SF	
2-STORY HOSPITAL ADDITION	38,4	36 SF
3-STORY HOSPITAL ADDITION	55,5	00 SF
HOSPITAL	251,0)18 SF
SURGERY CENTER	15,5	63 SF
2ND STORY ON SURGERY CENTER	18,6	82 SF
O.R. EXPANSION	7,78	39 SF
EMERGENCY ROOM EXPANSION	3,74	12 SF
CATH LAB ADDITION	3,76	58 SF
EMERGENCY ROOM EXPANSION	5,45	54 SF
2-STORY SURGERY CENTER	24,8	52 SF
RADIATION ONCOLOGY/UROLOGY	2,920 SF	
O.R. HOSPITAL ADDITION	10,847 SF	
FLEX FACILITY EXPANSION	24,949 SF	
3-STORY SURGERY CENTER		62,214 SF
PARKING		
REQUIRED:		
1.8 SPACES PER BED (242 BEDS)		436
5 SPACES PER 1000 SF OFFICE SPACE (178,000 SF)		890
TOTAL REQUIRED PARKING		1326
PARKING STALLS	1,859	1,983
HANDICAP STALLS	36	41

ZONING

CP-2 (PLANNED GENERAL BUSINESS DISTRICT)

SITE LEGEND

EXISTING PARKING STALL COUNT PROPOSED PARKING STALL COUNT

ASPHALT PAVEMENT

CONCRETE PAVEMENT CONCRETE SIDEWALK

STANDARD CURB & GUTTER RETAINING WALL

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GENERAL NOTES

ELEVATIONS ARE BASED ON USGS DATUM, NAVD 88.

KCAPWA STANDARD DETAIL (C-1).

CONSTRUCTION MANUAL, CITY ORDINANCE NO. 5813 DIVISIONS AT (816) 969-1940.

BENCHMARKS

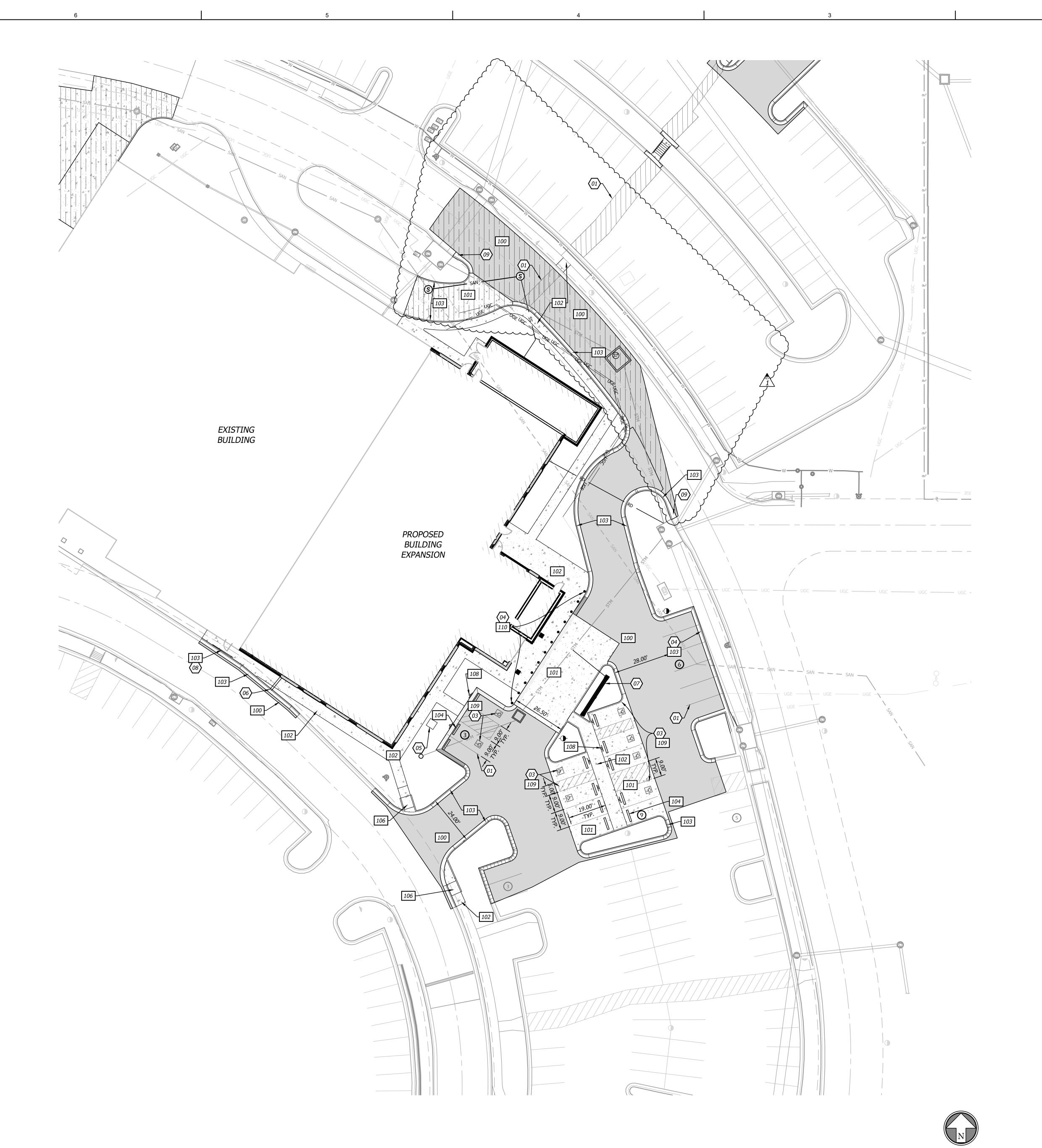
BENCHMARK NUMBER: 1

OF SAINT LUKE'S HOSPITAL.

BENCHMARK NUMBER: 2 CHISELED SQUARE ON THE FRONT FACE OF A CURB INLET, LOCATED ±97.4 FEET SOUTHWEST OF THE SOUTHEAST CORNER ON THE NORTH END SAINT LUKE'S HOSPITAL.

ELEVATION= 979.35

LEGAL DESCRIPTION





- 01 LEAD FREE, WATER-BORNE EMULSION BASED TRAFFIC PAINT FOR PARKING LOT STRIPING (WHITE ON
- ASPHALT & YELLOW ON CONCRETE).
 PROPOSED SITE LIGHTING; REFER TO LIGHTING PLANS.
- ADA PARKING AREA. 1.5% MAXIMUM SLOPE IN ANY DIRECTION. INSTALL CONCRETE BOLLARDS 6 FT APART.
- PROPOSED ACCESS LID TO EXISTING TUNNEL. DESIGN OF CONCRETE ACCESS AND LID BY STRUCTURAL.
- PROPOSED 6" TRENCH DRAIN THROUGH SIDEWALK WITH SOLID LID FOR OVERFLOW DRAIN FROM BUILDING. TRENCH DRAIN TO DRAIN TO PAVEMENT THROUGH CURB. TRENCH DRAIN TO BE EVERGRATE T-06C DIAMOND CONNECTED TO AN EVERGRATE C-646T CURB OPENING OR APPROVED EQUAL.

 PROPOSED CANOPY AND FOOTING. SEE ARCHITECTURAL DRAWINGS FOR DETAILS.
- 08 INSTALL 12 FT LENGTH OF HANDRAIL CENTERED ON THE BUILDING DOOR. HAND RAIL POSTS ARE TO BE
- 4" MINIMUM FROM BACK OF CURB PARALLEL WITH BUILDING WALL. REBUILD PART OF CONCRETE THROAT THAT WAS REMOVED.

DETAILS

SEE CONSTRUCTION DETAILS - SHEETS C700-C702

- 100 ASPHALT PAVEMENT
- 101 CONCRETE PAVEMENT
- 102 CONCRETE SIDEWALK SECTION
- 103 CONCRETE CURB & GUTTER
- 104 CONCRETE WHEEL STOP
- SIDEWALK RAMP (ADA) HANDICAP PARKING SIGNAGE
- 109 (ADA) HANDICAP PARKING STRIPING
- 110 STEEL/CONCRETE BOLLARD 111 HANDRAIL

ZONING

CP-2 (PLANNED COMMUNITY COMMERCIAL)

SITE LEGEND

- EXISTING PARKING STALL COUNT
- PROPOSED PARKING STALL COUNT

EXISTING BUILDING

DRY CURB & GUTTER ZERO HEIGHT CURB

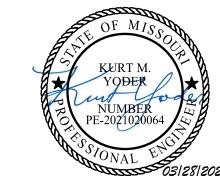
ASPHALT PAVEMENT

TRANSITION CURB

HEAVY DUTY ASPHALT PAVEMENT CONCRETE SIDEWALK

CONCRETE PAVEMENT

HEAVY DUTY CONCRETE PAVEMENT



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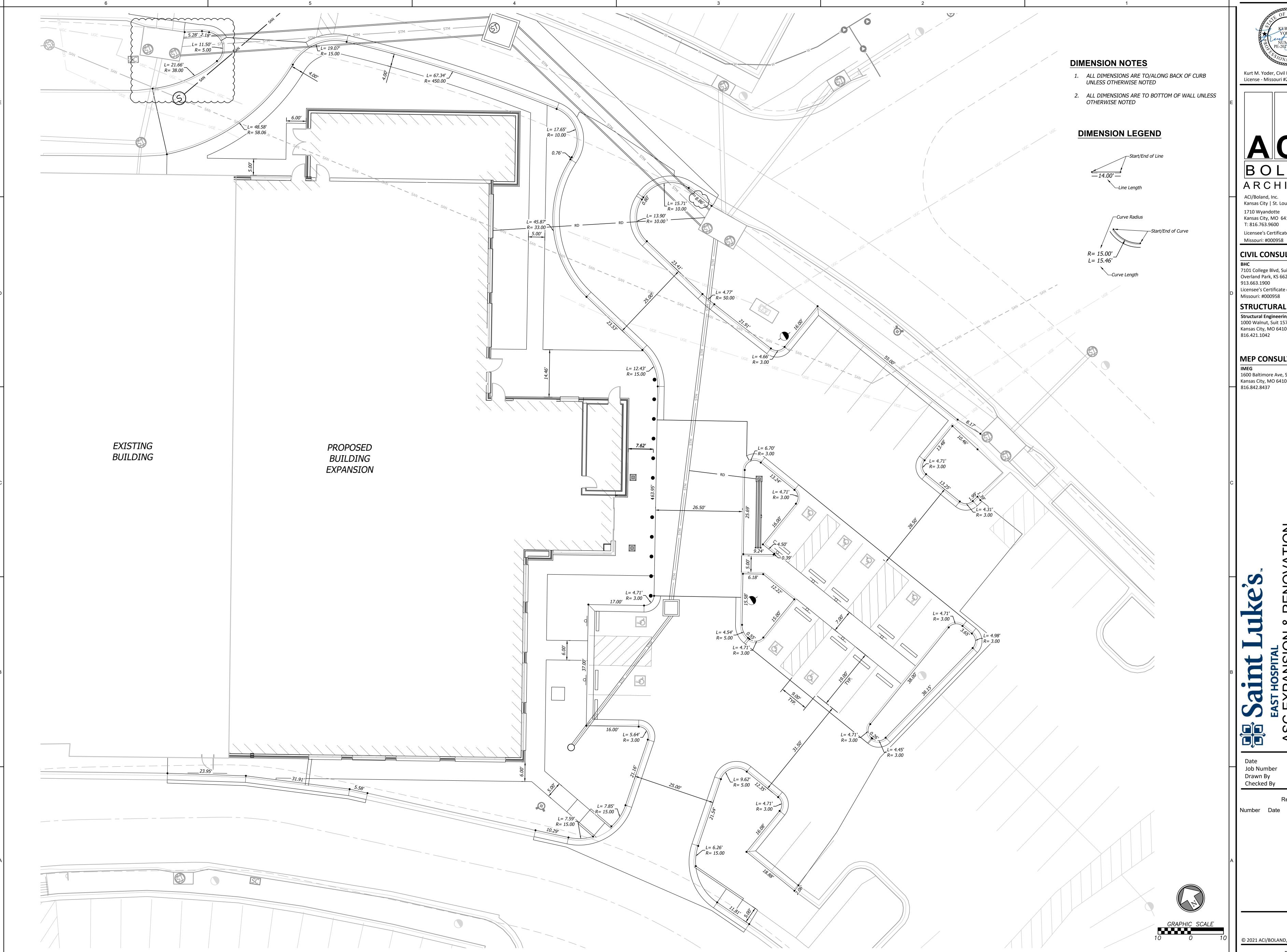
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SITE PLAN - BUILDING EXPANSION





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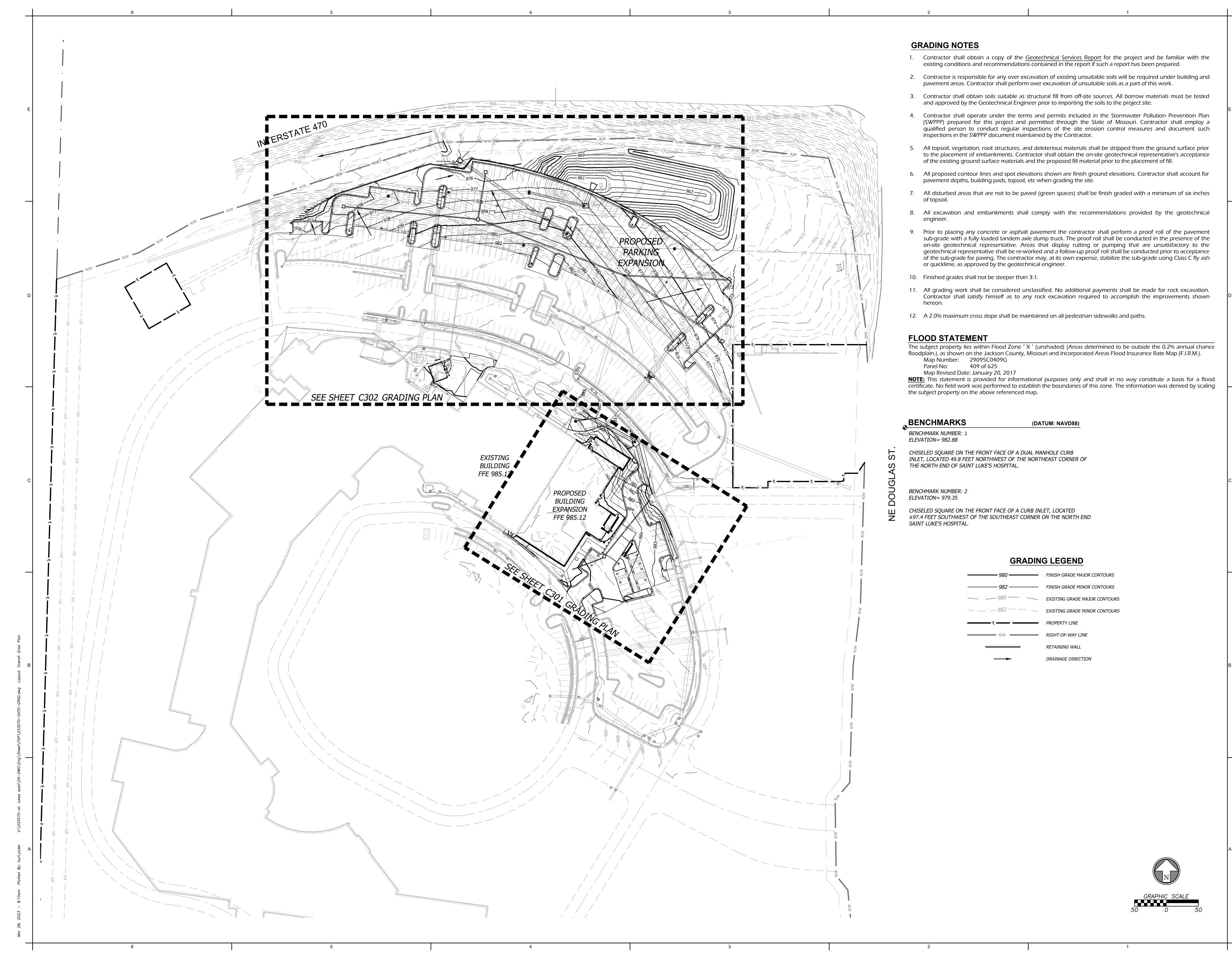
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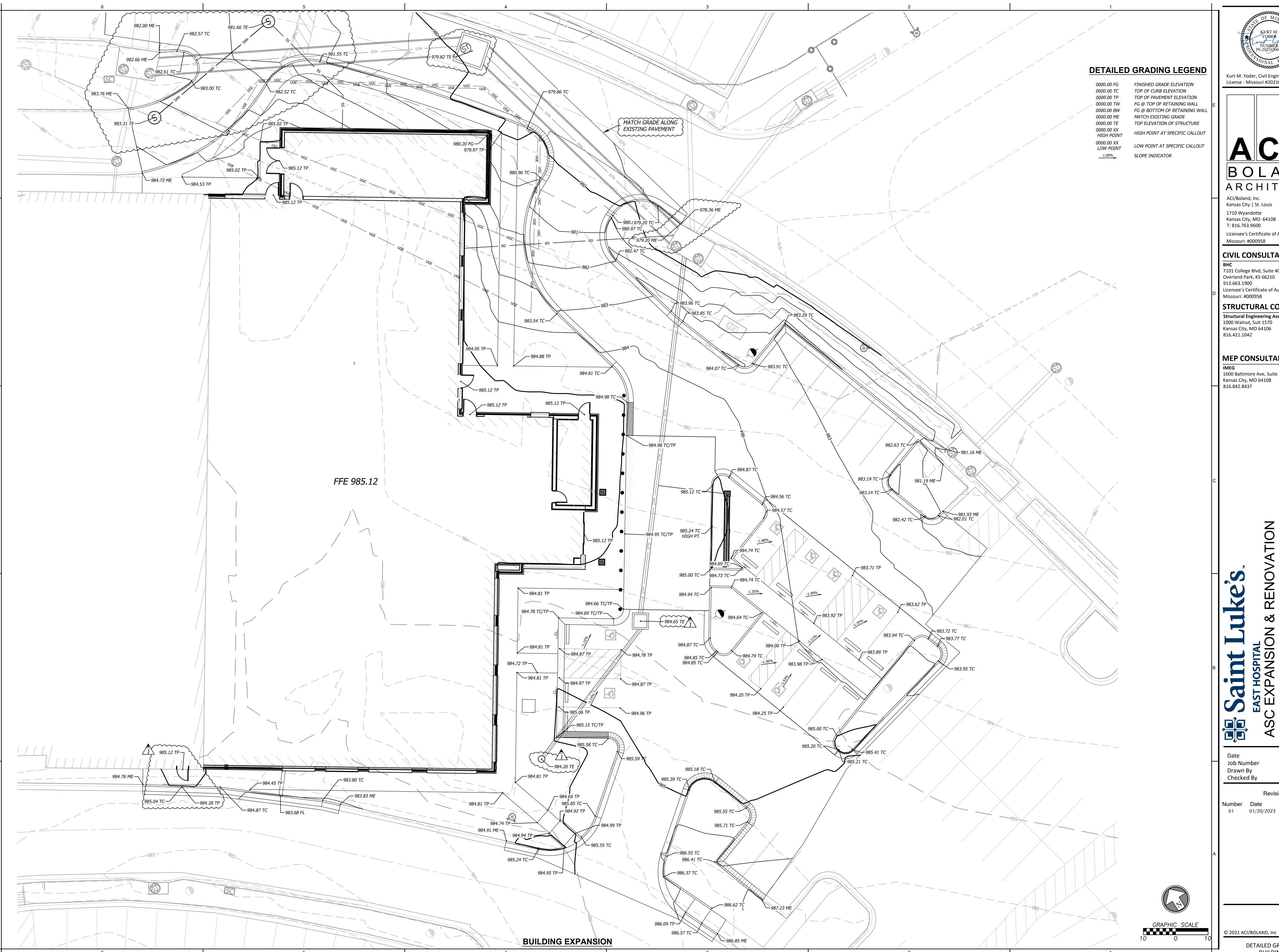
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OVERALL GRADING PLAN





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DETAILED GRADING PLAN -BUILDING EXPANSION

EROSION AND SEDIMENT CONTROL GENERAL NOTES

1. Prior to Land Disturbance activities, the contractor shall:

Delineate the outer limits of any natural stream corridor designated with construction fencing.
Install perimeter controls and request the inspection of the pre-construction erosion and sediment control measures

designated on the approved erosion and sediment control plan. Land disturbance work shall not proceed until there is a satisfactory inspection.

• Identify the limits of construction on the ground with easily recognizable indications such as construction staking,

• Identify the limits of construction on the ground with easily recognizable indications such as construction staking, construction fencing, and placement of physical barriers or other means acceptable to the City inspector and in conformance with the erosion and sediment control plan.

2. The contractor shall comply with all requirements of the Storm Water Pollution Prevention Plan, including but not limited to:

 The contractor shall seed, mulch, or otherwise stabilize any disturbed area where the land disturbance activity has ceased for more than 14 days.

 The contractor shall perform inspections of erosion and sediment control measures at the following minimum intervals:

• The contractor shall perform inspections of erosion and sediment control measures at the following minimum intervals:

o During active construction phases - at least once per week

o During periods of inactivity - at least once per 14 days o After each rainfall event of ½ inch or more - within 24 hours of the rain event

• The contractor shall maintain an inspection log including the inspector's name, date of inspection, observations as to the effectiveness of the erosion and sediment control measures, actions necessary to correct deficiencies, when the deficiencies were corrected, and the signature of the person performing the inspection. The inspection log shall be

available for review by the regulatory authority.
The contractor shall have the erosion and sediment control plan routinely updated to show all changes and amendments to the plan. A copy of the erosion and sediment control plan shall be kept on site and made available for review by the regulatory authority.

3. Unless otherwise noted in the plans, all seeding must conform to Division Il-Construction and Materials Specification-Section 2150 published by the Kansas City Metropolitan Chapter of the American Public Works Association dated May 21, 2008. Permanent seeding shall be installed after completion of final grading except when seeding will occur outside of the acceptable seeding season as specified in Section 2150. When temporary seeding is installed, permanent seeding shall be installed at the next seeding season. Temporary seeding shall not be used as a stabilization measure for a period exceeding 12 months. The Permit will not be closed until permanent seeding has been established to a minimum of 70% density over the entire disturbed area.

4. The contractor shall maintain installed erosion and sediment control devices in a manner that preserves their effectiveness for preventing sediment from leaving the site or entering a sensitive area such as a natural stream corridor, areas of the site intended to be left undisturbed, a storm sewer, or an on-site drainage channel.

5. The contractor is responsible for providing erosion and sediment control for the duration of a project. If the City determines that the BMPs in place do not provide adequate erosion and sediment control at any time during the project, the contractor shall install additional or alternate measures that provide effective control.

6. Concrete wash or rinse water from concrete mixing equipment, tools and/or ready-mix trucks, tools, etc. may not be discharged into or be allowed to run directly into any existing water body or storm inlet. One or more locations for concrete wash out will be designated on site, such that discharges during concrete washout will be contained in a small area where waste concrete can solidify in place.

7. Chemicals or materials capable of causing pollution may only be stored onsite in their original container. Materials stored outside must be in closed and sealed water-proof containers and located outside of drainage ways or areas subject to flooding. Locks and other means to prevent or reduce vandalism shall be used. Spills will be reported as required by law and immediate actions taken to contain them.

8. Silt fences and erosion control BMPs which are shown along the back of curb must be installed within two weeks of curb backfill and prior to placement of base asphalt. Exact locations of these erosion control methods may be field adjusted to minimize conflicts with utility construction; however, anticipated disturbance by utility construction shall not delay installation.

9. Interior Silt Fence as necessary during construction. Portions may be limited as vegetation is established and hardscape is installed. Entire length may be installed at the contractor's option to aid in stabilizing slopes.

10. Private Erosion & Sediment Control inspections are required in accordance with NPDES schedule and requirements. After inspections, provide the City of Lee's Summit with reports and documentation.



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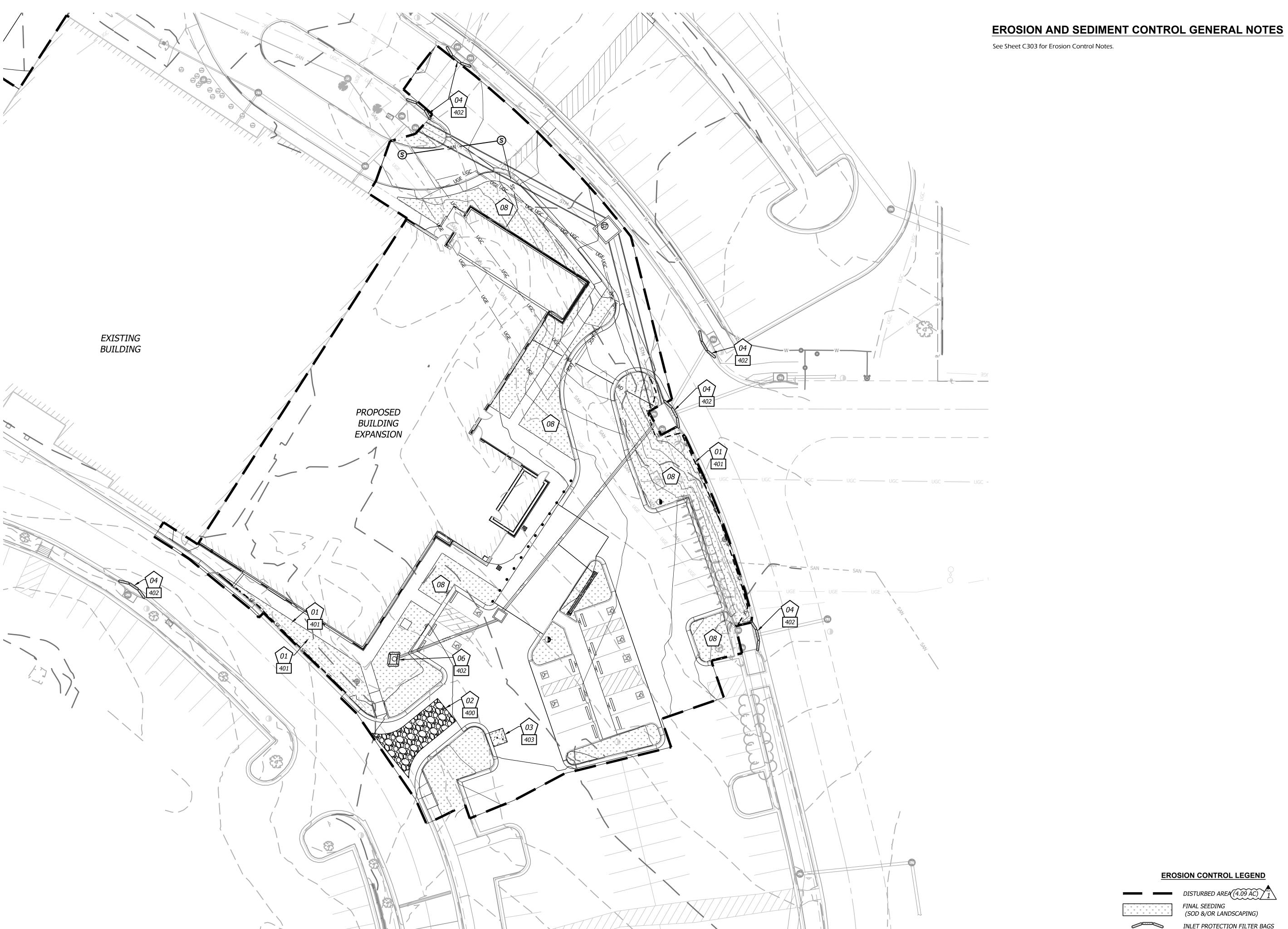
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OVERALL EROSION CONTROL PLAN

GRAPHIC SCALE



Silt fencing & inlet protect may be removed once seed & sodded areas are established on 80% of site.

EROSION CONTROL LEGEND

FINAL SEEDING (SOD &/OR LANDSCAPING)

	BMP Plan Ref. No.	BMP Description	Remove After Stage:	
ior to Land				

Tilasc	1 Tojout Gtago	No.	Bivii Becempaeri	After Stage:	Notes.
Phase I (PRE-CON)	A — Place BMP's Prior to Land Disturbance	01)	Perimeter Silt Fence	Ε	Place as shown on plan
		02)	Construction Entrance & Staging Area	D	Place as shown on plan
		03	Concrete Wash—Out	D	Place as shown on plan
		04)	Existing Inlet Protection	E	Place as shown on plan
Phase II (MID-CON)	B — After Stripping, Grubbing, & Mass Grading	05)	Interior Silt Fence	E	Place as shown on plan
	C — After Utility Storm Sewer Construction	06)	Storm Inlet Protection	D	Place as shown on plan
Phase III (POST–CON)	D — After Construction of Building and Parking Lot	07)	Steep Slope Protection	E	Place as shown on plan

Final Seeding, Sod, and Landscaping

400 TEMPORARY CONSTRUCTION ENTRANCE

Number Date Description
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EROSION CONTROL PLAN
- BUILDING EXPANSION

12/22/2022 3-21037 KMY

EROSION & SEDIMENT CONTROL STAGING CHART Project Stage

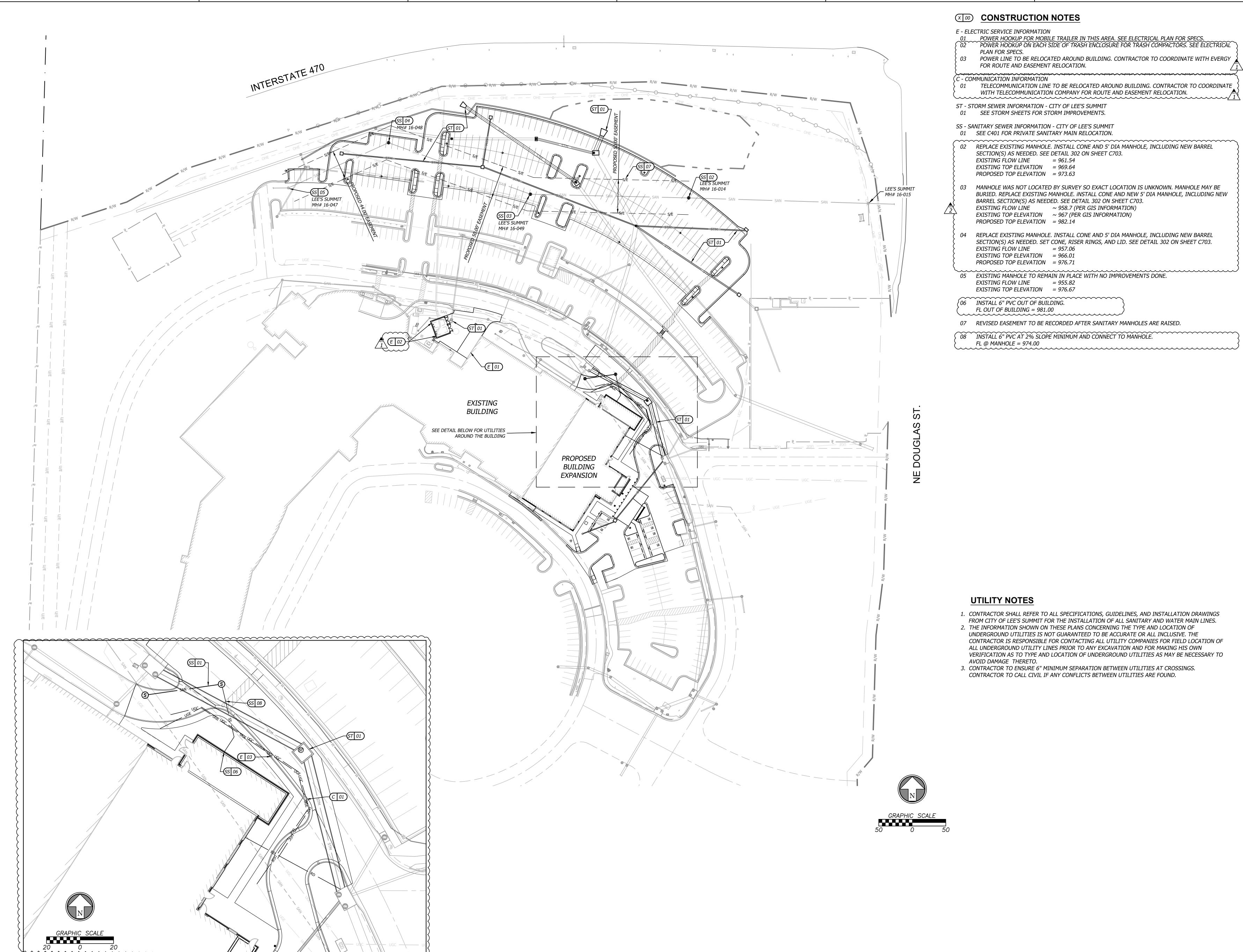
E – Final Grading, Paving &

Landscaping

DETAILS

SEE EROSION CONTROL DETAIL SHEET FOR THE FOLLOWING

401 FILTER FABRIC SILT FENCE 402 STORM INLET PROTECTION 403 CONCRETE WASH-OUT



UTILITIES AROUND BUILDING

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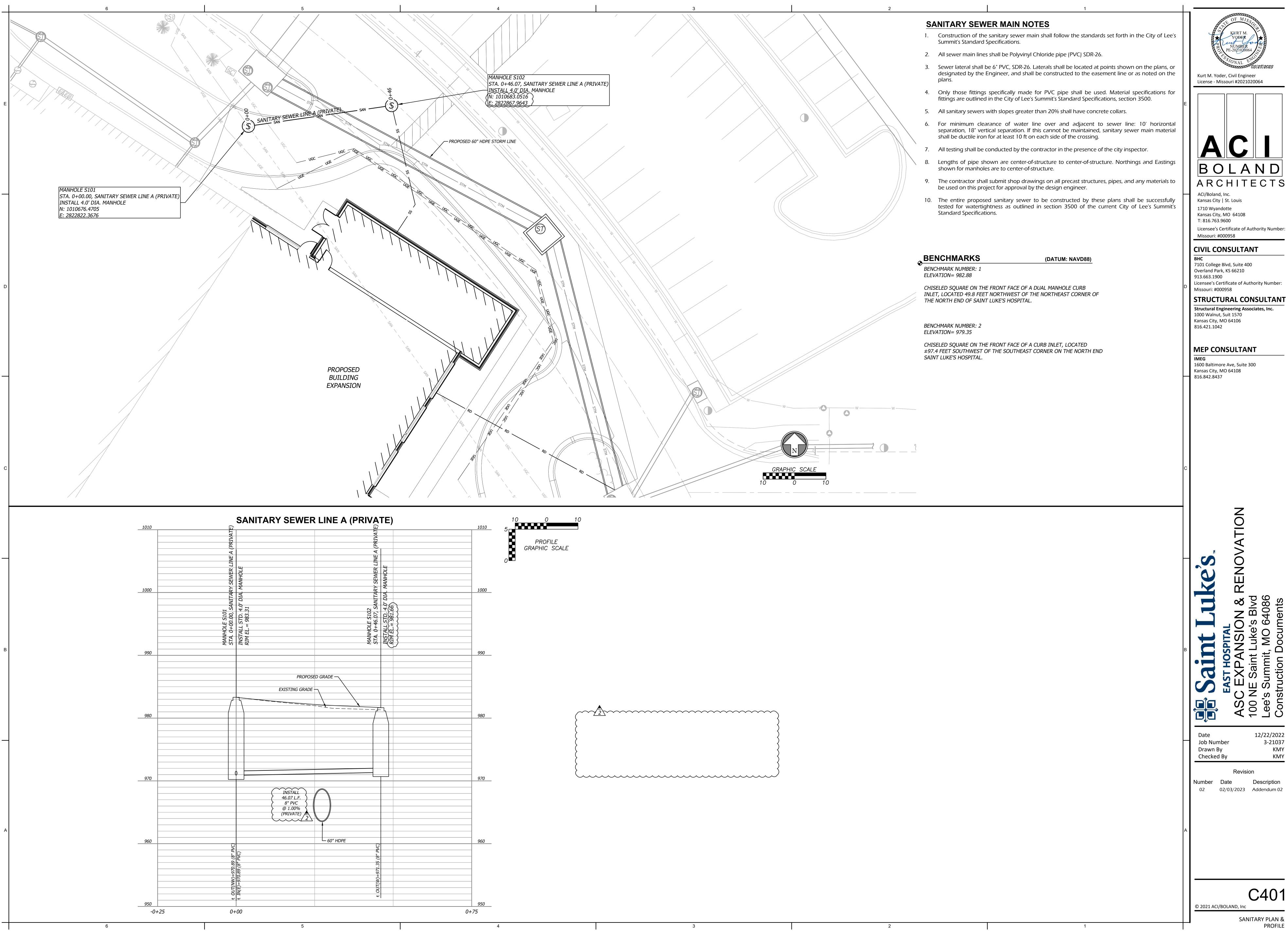
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OVERALL UTILITY PLAN



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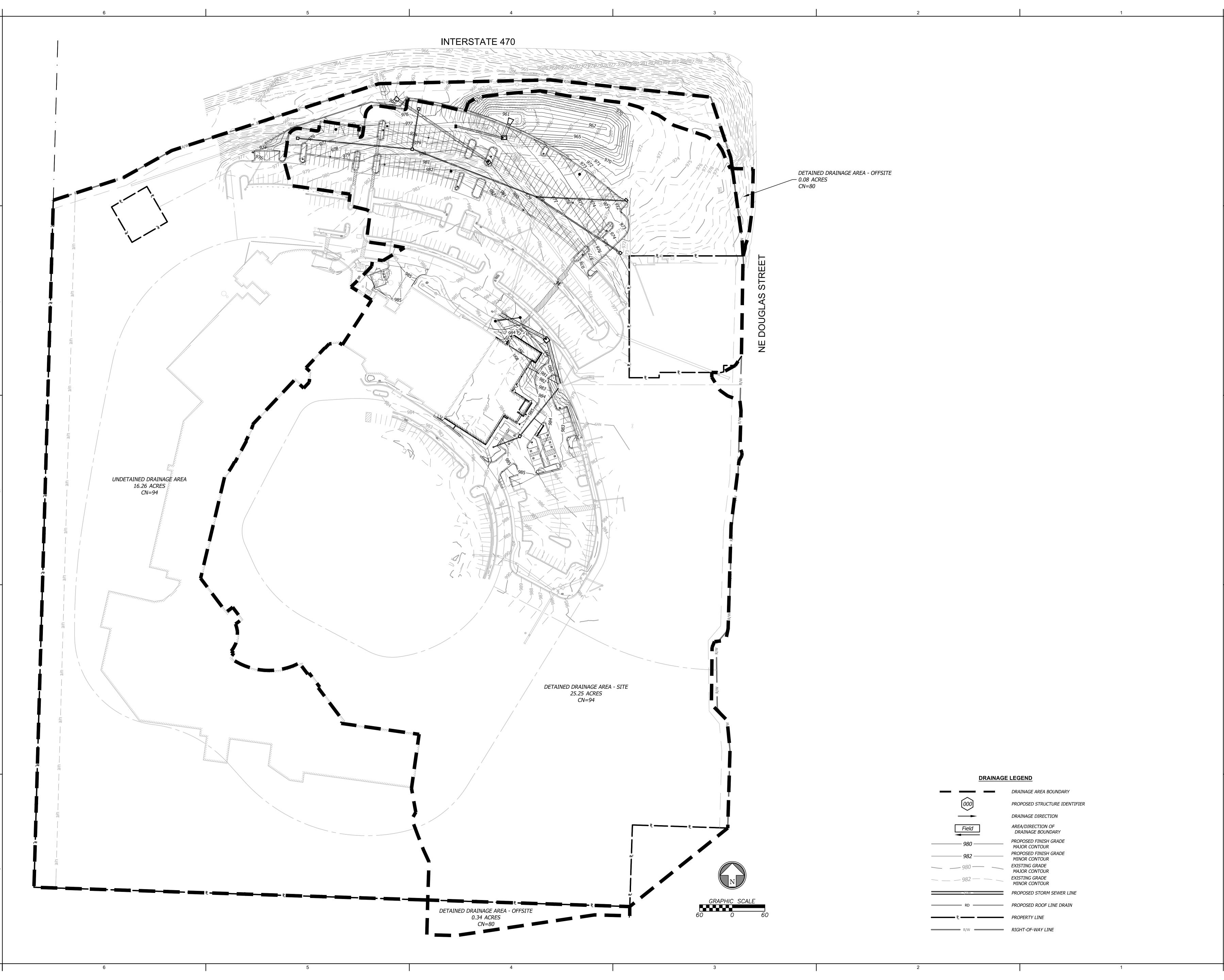
1600 Baltimore Ave, Suite 300

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SANITARY PLAN & PROFILE





BOLAND ARCHITECTS

ACI/Boland, Inc. Kansas City | St. Louis 1710 Wyandotte Kansas City, MO 64108 T: 816.763.9600

Licensee's Certificate of Authority Number: Missouri: #000958

CIVIL CONSULTANT

7101 College Blvd, Suite 400 Overland Park, KS 66210 913.663.1900 Licensee's Certificate of Authority Number: Missouri: #000958

STRUCTURAL CONSULTANT

Structural Engineering Associates, Inc. 1000 Walnut, Suit 1570 Kansas City, MO 64106 816.421.1042

MEP CONSULTANT

IMEG 1600 Baltimore Ave, Suite 300 Kansas City, MO 64108

816.842.8437

Job Number Drawn By Checked By

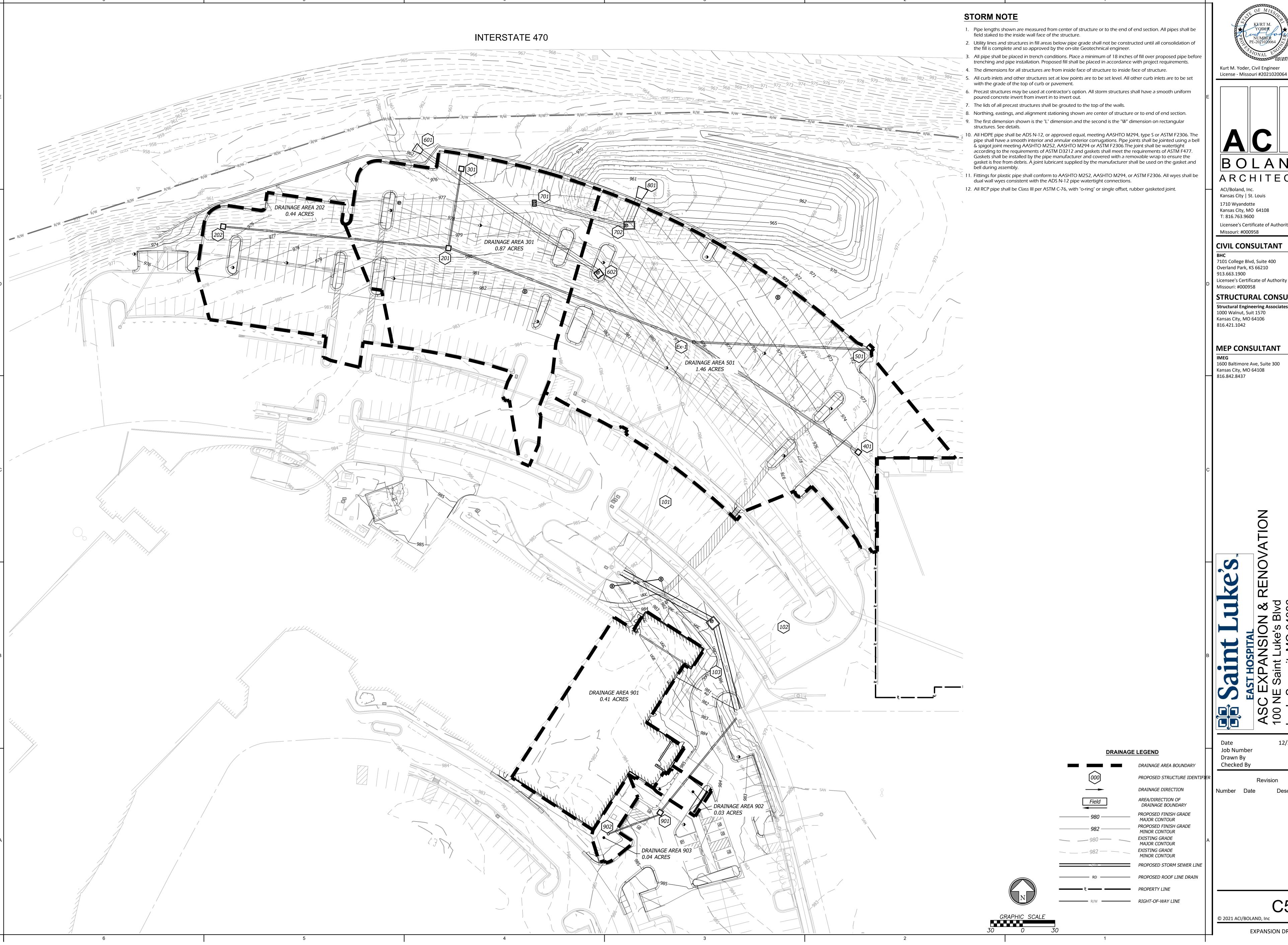
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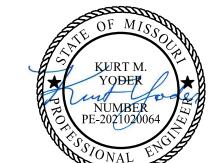
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OVERALL DRAINAGE MAP





Kurt M. Yoder, Civil Engineer

BOLAND ARCHITECTS

Kansas City | St. Louis 1710 Wyandotte Kansas City, MO 64108

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CIVIL CONSULTANT

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Licensee's Certificate of Authority Number: Missouri: #000958 STRUCTURAL CONSULTANT

Structural Engineering Associates, Inc. 1000 Walnut, Suit 1570 Kansas City, MO 64106

MEP CONSULTANT

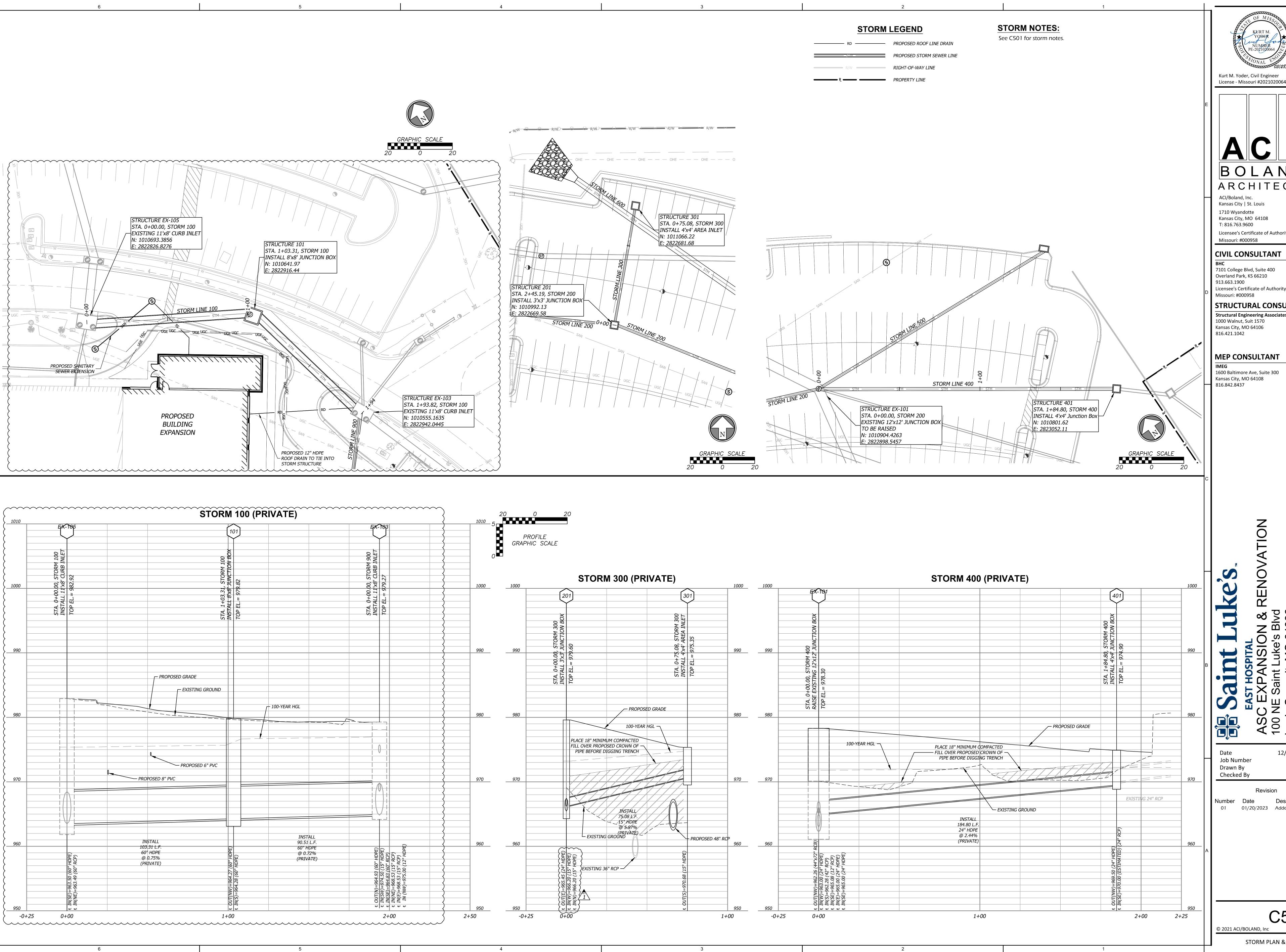
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EXPANSION DRAINAGE MAP



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STORM PLAN & PROFILE