

S:\01 PROJECTS\MULTI-FAMILY\424 SUMMIT SQUARE 3YDP AND PUBLIC IMPROVEMENTS\PLANS\02_SANITARY SEWER PLANS\C-0001 COVER SHEET.DWG



LOCATION MAP
SCALE 1:1700

PROJECT TEAM:

OWNER
TOWNSEND CAPITAL, LLC
CONTACT: TOWNSEND CAPITAL, LLC
PHONE: 303.947.2044

DEVELOPER
NORTHPOINT DEVELOPMENT
3313 N OAK TRAFFICWAY
KANSAS CITY, MO 64116
CONTACT: BRIAN BENJAMIN
PHONE: 816.888.7380
EMAIL: BBENJAMIN@NORTHPOINTKC.COM

ENGINEER
SITEPOINT, LLC
3313 N OAK TRAFFICWAY
KANSAS CITY, MO 64116
CONTACT: MELISSA G. DEGONIA, P.E.
PHONE: 816.888.7380
EMAIL: MDEGONIA@NORTHPOINTKC.COM

SURVEYOR
ANDERSON ENGINEERING, INC
4240 PHILIPS FARM ROAD, SUITE 101
COLUMBIA, MO 65201
CONTACT: JOHN HUSS, P.E.
PHONE: 573.397.5476

UTILITY CONTACT LIST:

PUBLIC WORKS
CITY OF LEE'S SUMMIT
PHONE: 816.969.1800

ELECTRIC
EVERGY
PHONE: 888.471.52.75

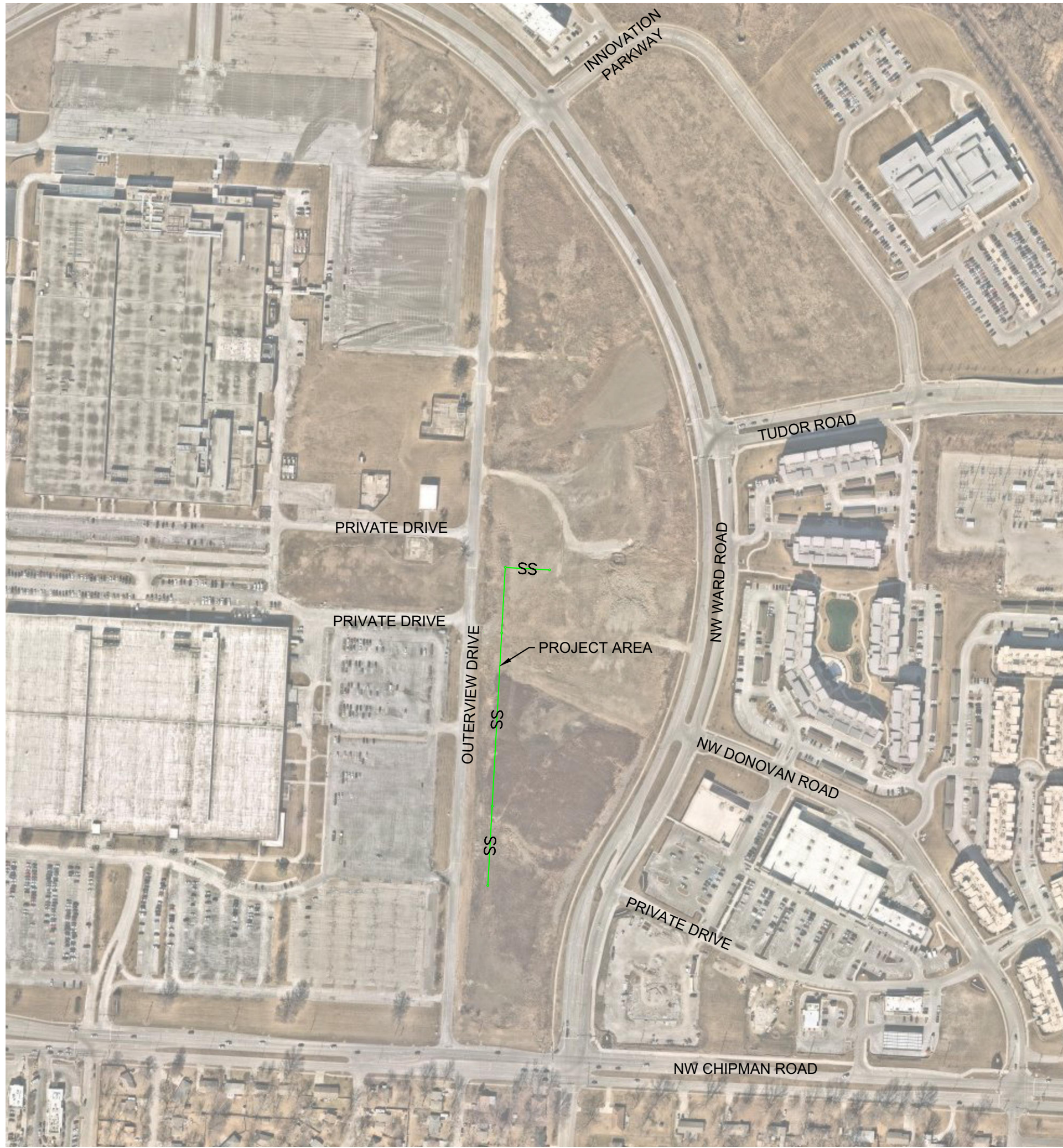
DOMESTIC GAS
SPIRE
PHONE: 816.756.5252

WATER SERVICE
CITY OF LEE'S SUMMIT
PHONE: 816.969.1900



TRILOGY APARTMENTS LEFT TURN LANE ADDITION SANITARY IMPROVEMENT

IN LEE'S SUMMIT, JACKSON COUNTY, MO



SCALE 1:300

PROPERTY DESCRIPTION:

LOT 10, SUMMIT FAIR, SECOND PLAT LOTS 8, 10-14 AND TRACT C

PROJECT CONTROL

CP 1
N: 1005856.64
E: 2818546.66
ELEV: 1010.39
1-1/2" REBAR W/ CAP

CP 2
N: 1005467.89
E: 2819172.83
ELEV: 1006.37
1/2" REBAR W/ CAP

CP 3
N: 1004895.44
E: 2818846.42
ELEV: 1002.66
CHISELED "X"

CP 4
N: 1006085.33
E: 2819227.33
ELEV: 991.98
1/2" REBAR W/ SITEPOINT CAP

CP 1000
N: 1004637.63
E: 2818559.79
ELEV: 997.32
FOUND 1/2" REBAR

CP 1001
N: 1007156.13
E: 2818697.32
ELEV: 976.80
FOUND CHISELED "+"

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C-0610	AREA MAP
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COVER SHEET

TRILOGY APARTMENTS
LEFT TURN LANE ADDITION
SANITARY IMPROVEMENT
LEE'S SUMMIT, JACKSON COUNTY, MO



SHEET #:

C-0001

GENERAL NOTES:

1. LINEAR FOOT MEASUREMENTS SHOWN ON THE PLANS ARE HORIZONTAL MEASUREMENTS (NOT SLOPE MEASUREMENTS) FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
2. ALL CONSTRUCTION SHALL FOLLOW THE CITY OF LEE'S SUMMIT DESIGN AND CONSTRUCTION MANUAL AS ADOPTED BY ORDINANCE 5813. WHERE DISCREPANCIES EXIST BETWEEN THESE PLANS AND THE DESIGN AND CONSTRUCTION MANUAL, THE DESIGN AND CONSTRUCTION MANUAL SHALL PREVAIL.
3. THE DEVELOPER SHALL PERFORM ALIGNMENT AND GRADE, INFILTRATION – EXFILTRATION, DEFLECTION, SOIL DENSITY, AND MANHOLE TESTS AS CALLED OUT IN SECTION 2500 OF THE CURRENT APWA (AMERICAN PUBLIC WORKS ASSOCIATION) STANDARDS AND SPECIFICATIONS. ANY SECTION OF SEWER FAILING ANY OF THE ABOVE MENTIONED TESTS SHALL BE RETESTED BY THE DEVELOPER AFTER REPLACEMENT OR REPAIR.
4. PRIOR TO ORDERING PRE-CAST STRUCTURES, SHOP DRAWINGS ARE TO BE SUBMITTED TO THE DESIGN ENGINEER FOR APPROVAL. THE DESIGN ENGINEER SHALL INDICATE APPROVAL OF THE SHOP DRAWINGS.
5. DURING CONSTRUCTION OF THE PROJECT, THE DEVELOPER SHALL KEEP ONE RECORD COPY OF ALL SPECIFICATIONS, DRAWINGS, ADDENDA, MODIFICATIONS, AND SHOP DRAWINGS AT THE SITE IN GOOD CONDITION. THESE DOCUMENTS SHALL BE ANNOTATED TO SHOW ALL CHANGES MADE DURING CONSTRUCTION. THE EXACT LOCATION OF ALL SEWER WYES, TEES, AND SERVICE LINES SHALL BE RECORD ON THESE DOCUMENTS. AT THE CONCLUSION OF CONSTRUCTION, THESE DOCUMENTS SHALL BE FORWARDED TO THE DESIGN ENGINEER FOR PREPARATION OF AS-BUILT DRAWINGS.
6. THE PROJECT BENCHMARKS AND ALL ELEVATIONS SHOWN ON THE PROFILES ARE N.G.V.D.
7. THE DEVELOPER IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE DEVELOPER MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT IS THE DEVELOPERS RESPONSIBILITY TO RELOCATE AND/OR ADJUST ALL EXISTING UTILITIES, CONFLICT WITH PROPOSED SITE IMPROVEMENTS.
8. THE DEVELOPER SHALL ALSO UTILIZE THE FOLLOWING TOLL FREE PHONE NUMBER PROVIDED BY "MISSOURI ONE CALL SYSTEM, INC." 1-800-DIG-RITE. THIS PHONE NUMBER IS APPLICABLE ANYWHERE WITHIN THE STATE OF MISSOURI. THE NAMES AND TELEPHONE NUMBERS OF UTILITY COMPANIES, EVEN IF ONLY REMOTELY INVOLVED WITH THIS HIS PROJECT ARE LISTED UNDER "UTILITY CONTACTS" THIS SHEET.
9. THE DEVELOPER SHALL PROVIDE AND MAINTAIN ALL TRAFFIC CONTROL MEASURES NECESSARY TO ENSURE THAT THE GENERAL PUBLIC IS PROTECTED AT ALL TIMES. TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD-LATEST EDITION).
10. THE SITE PLAN IS BASED ON SURVEY BY ANDERSON ENGINEERING, INC., COMPLETED 07.21.2022. CONDITIONS ON SITE AT THE TIME OF CONSTRUCTION MAY VARY FROM THE SURVEYED CONDITIONS. DEVELOPER SHALL VERIFY EXISTING SITE CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.
11. THE DEVELOPER IS RESPONSIBLE FOR OBTAINING ALL PERMITS (EXCEPT LAND DISTURBANCE), BONDS, INSURANCE, ETC. AND PAYING ALL FEES. THE COST OF DEVELOPERS BONDS AND INSURANCE AS REQUIRED BY THE CITY OF LEE'S SUMMIT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER.
12. DEVELOPER SHALL COMPLY WITH ALL APPLICABLE REGULATIONS REQUIRED BY THE CITY AND THE STATE.
13. THE DEVELOPER MUST REMOVE AT HIS COST ANY BAD SUBSURFACE SOIL WHICH WOULD NOT BE ABLE TO SUPPORT ANY PROPOSED PUBLIC IMPROVEMENT. BACKFILL SHALL BE ACCOMPLISHED IN ACCORDANCE WITH SECTIONS 2100 AND 2201 ENTITLED "GRADING AND SITE PREPARATION" AND "SUBGRADE PREPARATION".
14. VERTICAL CONTROL IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88). THE DEVELOPER IS ADVISED TO USE BENCHMARK INFORMATION FOR VERTICAL CONTROL. HORIZONTAL CONTROL (CONTROL POINT INFORMATION) IS BASED ON THE NORTH AMERICAN DATUM OF 1983 (NAD83). THE DEVELOPER IS ADVISED TO USE CONTROL POINT INFORMATION FOR HORIZONTAL CONTROL.
15. RAIN WATER FROM ROOFS, STREETS, AND OTHER AREAS AND GROUNDWATER FROM FOUNDATION DRAINS SHALL BE EXCLUDED FROM ALL NEW SEWERS.
16. SERVICE CONNECTIONS TO THE SEWER MAIN SHALL BE WATERTIGHT AND CANNOT PROTRUDE INTO THE SEWER.
17. NO SEWER, SERVICE CONNECTION, OR DROP MANHOLE PIPE SHALL DISCHARGE ONTO THE SURFACE OF THE BENCH.

PLUMBING NOTES:

1. ALL LOTS HAVE BEEN SUPPLIED WITH WYES, TEES OR LATERALS. PLUMBER SHALL CONNECT HOUSE SERVICE TO MAIN AT LOCATIONS INDICATED.
2. ALL SERVICE LINES SHALL BE LAID AT 2% MINIMUM SLOPE, UNLESS OTHERWISE NOTED.
3. M.S.E. ELEVATION - INDICATES BASEMENT FLOOR ELEVATION OR LOWEST FLOOR ELEVATION SERVICEABLE BY PROPOSED SANITARY SEWER.

EXCAVATING NOTES:

1. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO CONTROL DOWNSTREAM EROSION AND SILTATION DURING ALL PHASES OF CONSTRUCTION.
2. THE DEVELOPER SHALL BE RESPONSIBLE FOR RECORDING ROCK ELEVATIONS AT 25 FOOT (MAXIMUM) INTERVALS WHERE ENCOUNTERED, AND FURNISHING THIS INFORMATION TO THE DESIGN ENGINEER FOR USE ON AS-BUILTS.
3. THE LOCATIONS OF EXISTING UTILITIES AS SHOWN ARE APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES. EROSION CONTROL PLANS AND PROCEDURES SHALL BE IN PLACE PRIOR TO ANY EXCAVATION.
4. NO SUBSURFACE EXPLORATION FOR THE DETERMINATION OF AND/OR THE LOCATION OF EXISTING ROCK HAS BEEN MADE.
5. WHEN SEWER LINES CROSS A LOW POINT IN A CREEK, THE SEWER LINE MUST BE ENCASED ACCORDING TO LEE'S SUMMIT.
6. DEVELOPER IS RESPONSIBLE FOR KEEPING ALL PUBLIC ROADWAYS ADJACENT TO THE CONSTRUCTION SITE FREE OF DIRT AND DEBRIS RESULTING FROM ACTIVITIES RELATED TO THE CONSTRUCTION OF THIS PROJECT. INSPECTIONS AND CLEANUP TO OCCUR ON A DAILY BASIS.
7. DEVELOPER SHALL KEEP THE ENTIRE PROJECT SITE FREE OF DEBRIS AND TRASH AT ALL TIMES. DEVELOPER SHALL EXECUTE WORK USING METHODS THAT MINIMIZE EXCESSIVE NOISE OR DUST EMISSIONS. DEVELOPER SHALL PROVIDE METHODS, MEANS AND FACILITIES TO PREVENT CONTAMINATION OF SOIL OR WATER FROM DISCHARGE OF REGULATED MATERIALS (I.E. FUEL) USED DURING CONSTRUCTION.
8. THE DEVELOPER SHALL ERECT AND MAINTAIN ORANGE COLORED TEMPORARY CONSTRUCTION FENCE AROUND ALL AREAS INDICATED ON THE PLANS TO BE LEFT UNDISTURBED. BOTH TEMPORARY AND PERMANENTLY THE DEVELOPER WILL BE GIVEN NOTICE WHEN HE MAY ENTER THESE AREAS MARKED TEMPORARY BY THE OWNER ONCE PERMITS HAVE BEEN OBTAINED. THE FENCE MATERIAL SHALL BE 48" TALL, HIGH DENSITY POLYETHYLENE (HDPE) WITH NOMINAL MESH OPENING SIZE OF 1.25 INCHES X 1.25 INCHES.

SUMMARY OF QUANTITIES

PLAN	UNIT	ITEM
5	EA.	MANHOLE (4' DIA.)
1,025	L.F.	10" (SDR-26)

SUMMARY OF QUANTITIES AS INDICATED ABOVE AND ANY QUANTITIES AS SHOWN WITHIN THE PLANS HAVE BEEN PROVIDED FOR PERMITTING PURPOSES ONLY AND ARE NOT INTENDED FOR USE IN PREPARATION OF CONTRACT DOCUMENTS. QUANTITIES INTENDED FOR, BUT NOT LIMITED TO, THE PREPARATION OF PROPOSALS AND BID DOCUMENTS SHALL BE INDEPENDENTLY EVALUATED BY THE ESTIMATING PARTY BASED UPON THE CONTENTS OF THESE PLANS.

LEGEND

GENERAL	
	EXISTING TREELINE
	PROPOSED TREELINE
	EXISTING SIDEWALK
	PROPOSED SIDEWALK
	FUTURE SIDEWALK
	EXISTING BUILDINGS
	PROPOSED BUILDINGS
	FUTURE BUILDINGS
	EXISTING EDGE OF PAVEMENT
	PROPOSED EDGE OF PAVEMENT
	FUTURE EDGE OF PAVEMENT
	EXISTING ROADWAY CENTER LINE
	PROPOSED ROADWAY CENTER LINE
	FUTURE ROADWAY CENTER LINE
	EXISTING CURB & GUTTER
	PROPOSED CURB & GUTTER
	FUTURE CURB & GUTTER
EASEMENTS & SETBACKS	
A.E.	ACCESS EASEMENT
B.M.P.	BEST MANAGEMENT PRACTICE EASEMENT
B.L.	BUILDING SETBACK
COMM. E.	COMMUNICATION EASEMENT
C.G.E.	CONSTRUCTION GRADING EASEMENT
F.P.E.	FLOOD PLAIN EASEMENT
L.S.	LANDSCAPE EASEMENT
G.E.	NATURAL GAS EASEMENT
P.L.E.	POWER/ELECTRIC LINE EASEMENT
P.S.	PARKING SETBACK
S.B.	STREAM BUFFER
S.D.E.	SURFACE DRAINAGE EASEMENT
S.E.	SANITARY SEWER EASEMENT
D.E.	STORM DRAINAGE EASEMENT
TEMP. ESM.T.	TEMPORARY EASEMENT
U.E.	UTILITY EASEMENT
W.E.	WATER EASEMENT
F.Y.S.	FRONT YARD SETBACK
R.Y.S.	REAR YARD SETBACK
S.Y.S.	SIDE YARD SETBACK
CONTOURS	
	EXISTING INDEX CONTOURS
	EXISTING INTERMEDIATE CONTOURS
	PROPOSED INDEX CONTOURS
	PROPOSED INTERMEDIATE CONTOURS
	FUTURE INDEX CONTOURS
	FUTURE INTERMEDIATE CONTOURS
BOUNDARIES	
	SECTION LINE
	EXISTING PROPERTY BOUNDARY
	PROPOSED PROPERTY BOUNDARY
	FUTURE PROPERTY BOUNDARY
	EXISTING LOT LINE
	PROPOSED LOT LINE
	FUTURE LOT LINE
	EXISTING RIGHT-OF-WAY
	PROPOSED RIGHT-OF-WAY
	FUTURE RIGHT-OF-WAY
UTILITIES	
	EXISTING COMMUNICATIONS LINE
	PROPOSED COMMUNICATIONS LINE
	FUTURE COMMUNICATIONS LINE
	EXISTING NATURAL GAS LINE
	PROPOSED NATURAL GAS LINE
	FUTURE NATURAL GAS LINE
	EXISTING POWER/ELECTRIC LINE
	PROPOSED POWER/ELECTRIC LINE
	FUTURE POWER/ELECTRIC LINE
	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER
	FUTURE SANITARY SEWER
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	FUTURE STORM SEWER
	EXISTING WATER LINE
	PROPOSED WATER LINE
	FUTURE WATER LINE

ALL NOTES REFERENCED ON THIS PLAN SHEET MAY HAVE APPLICATIONS TO EVERY FACET OF THE CONSTRUCTION PLANS. THE NOTE HEADINGS OR TITLES ARE TO BE USED AS A GENERAL GUIDE TO APPLICABLE SITUATIONS.

 **SITEPOINT**
A Division of NorthPoint Development

3315 N Oak Trafficway
Kansas City, MO 64116
816.888.7380
sitepoint@northpointkc.com

DESIGNED BY:	DATE:	NO.:	REVISIONS/APPROVALS:
N W H	2022.10.10	1	INITIAL CITY SUBMITTAL
DRAFTED BY:	2022.12.20	2	REVISED PER CITY COMMENTS
D A H	2023.03.21	1	REVISED PER MDNR COMMENTS
SP PR PLOT #:			
4024			
MELISSA G DEGONIA			
P.E.			

GENERAL NOTES

TRILOGY APARTMENTS
LEFT TURN LANE ADDITION
SANITARY IMPROVEMENT

LEE'S SUMMIT, JACKSON COUNTY, MO

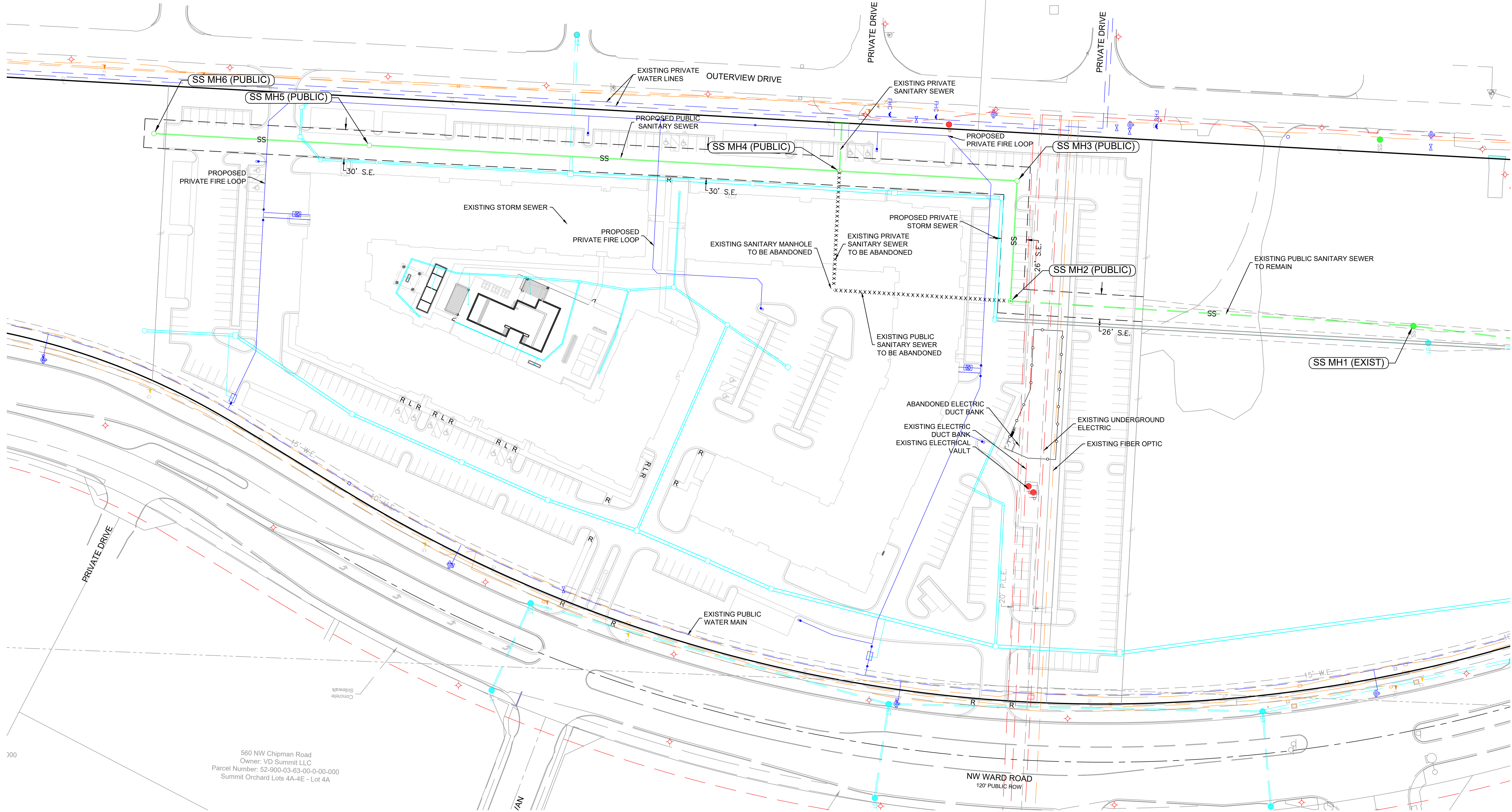


SHEET #:

C-0010

S:\01 PROJECTS\MULTI-FAMILY\424 SUMMIT SQUARE 3YDP AND PUBLIC IMPROVEMENTS\PLANS\02 SANITARY SEWER PLANS\C-0200 GENERAL LAYOUT.DWG

MINOR SUBDIVISION - SUMMIT FAIR
LOTS 27A/27B
(2015E00112075-1)

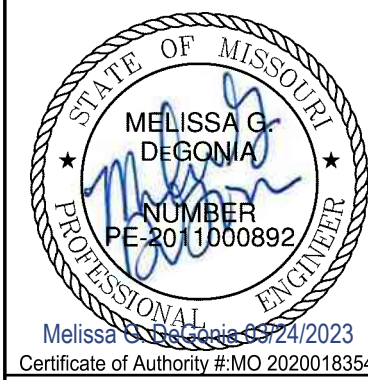


560 NW Chipman Road
Owner: VD Summit LLC
Parcel Number: 52-900-03-63-00-0-00-000
Summit Orchard Lots 4A-4E - Lot 4A

- NOTE:
1. FEMA FLOOD BOUNDARY MAP 29095C0417G DOES NOT DESIGNATE ANY FLOODPLAIN ON THE PROPERTY. THE ENTIRE PROPERTY IS UNSHADED ZONE X.
 2. NO EXISTING OIL AND GAS WELLS LOCATED ON SITE ACCORDING TO MISSOURI DEPARTMENT OF NATURAL RESOURCES MISSOURI GEOLOGICAL SURVEY.

REVIEWED BY:	DATE:	NO.:	REVISIONS/APPROVALS:
N.W.H.	2022.10.10	1	INITIAL CITY SUBMITTAL
N.W.H.	2022.12.20	1	REVISED PER CITY COMMENTS
D.A.H.			
SP PROJECT #:			
MELISSA G. DECONIA			
P.E.			
2011000892			

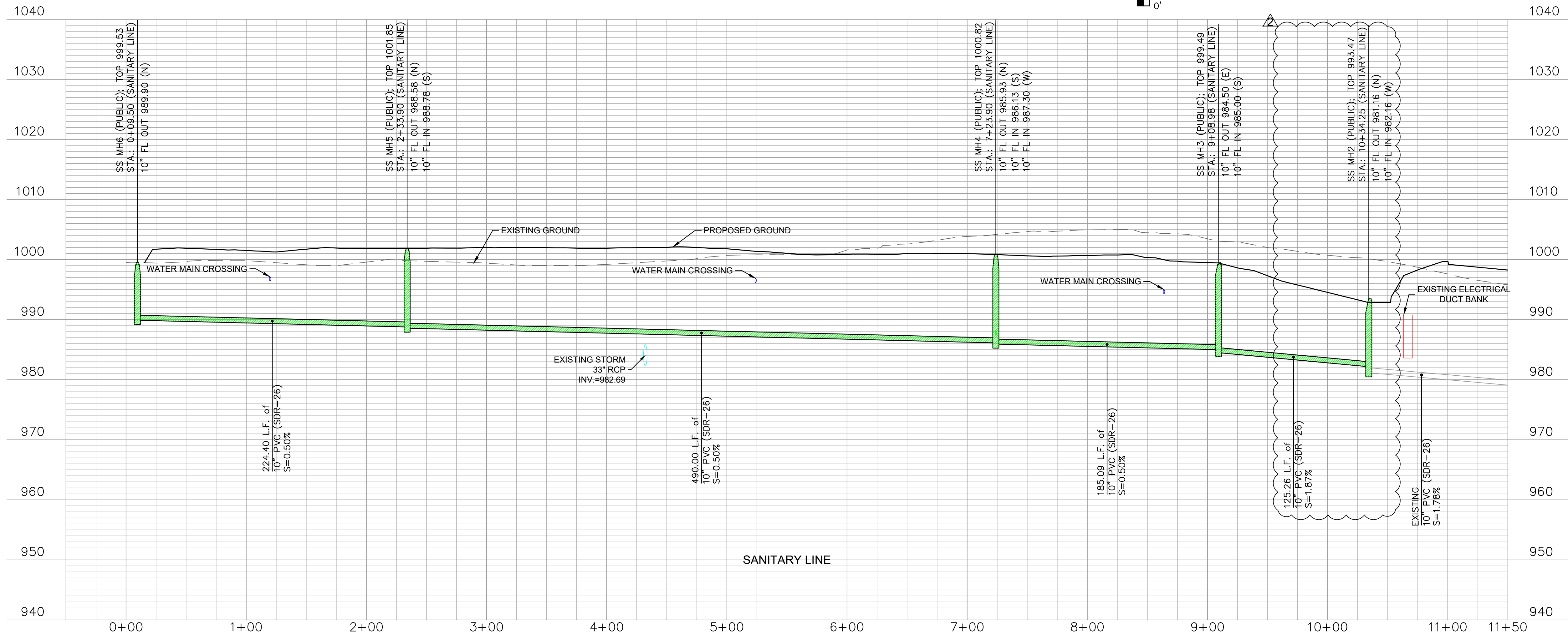
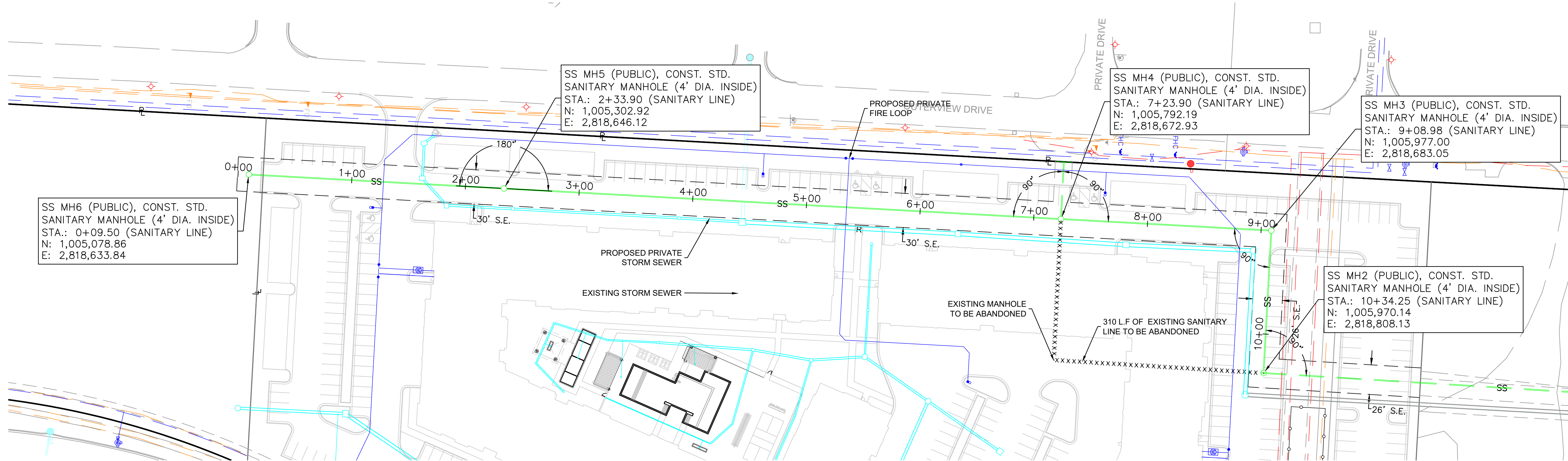
GENERAL LAYOUT
TRILOGY APARTMENTS
LEFT TURN LANE ADDITION
SANITARY IMPROVEMENT
LEE'S SUMMIT, JACKSON COUNTY, MO



SHEET #:

C-0200

S:\01 PROJECTS\MULTI-FAMILY\424 SUMMIT SQUARE 3YDP AND PUBLIC IMPROVEMENTS\PLANS\02_SANITARY SEWER PLANS\C-0600 SANITARY SEWER PLAN & PROFILING.dwg



REVIEWED BY:	DATE:	NO.:	REVISIONS/APPROVALS:
N.W.H.	2022.10.10		INITIAL CITY SUBMITTAL
N.W.H.	2022.12.20	1	REVISED PER CITY COMMENTS
D.A.H.	2023.03.21	2	REVISED PER MDNR COMMENTS
SP PROJECT #:			
MELISSA G. DEGENIA P.E.			
2011000992			

SANITARY SEWER PLAN & PROFILE
TRILOGY APARTMENTS
LEFT TURN LANE ADDITION
SANITARY IMPROVEMENT
LEE'S SUMMIT, JACKSON COUNTY, MO

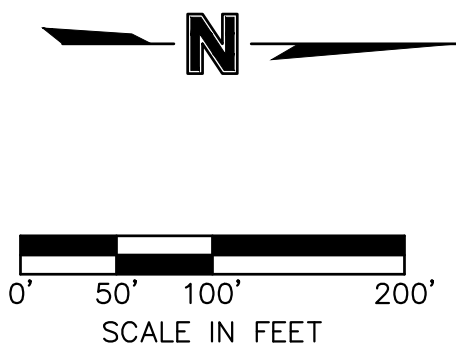
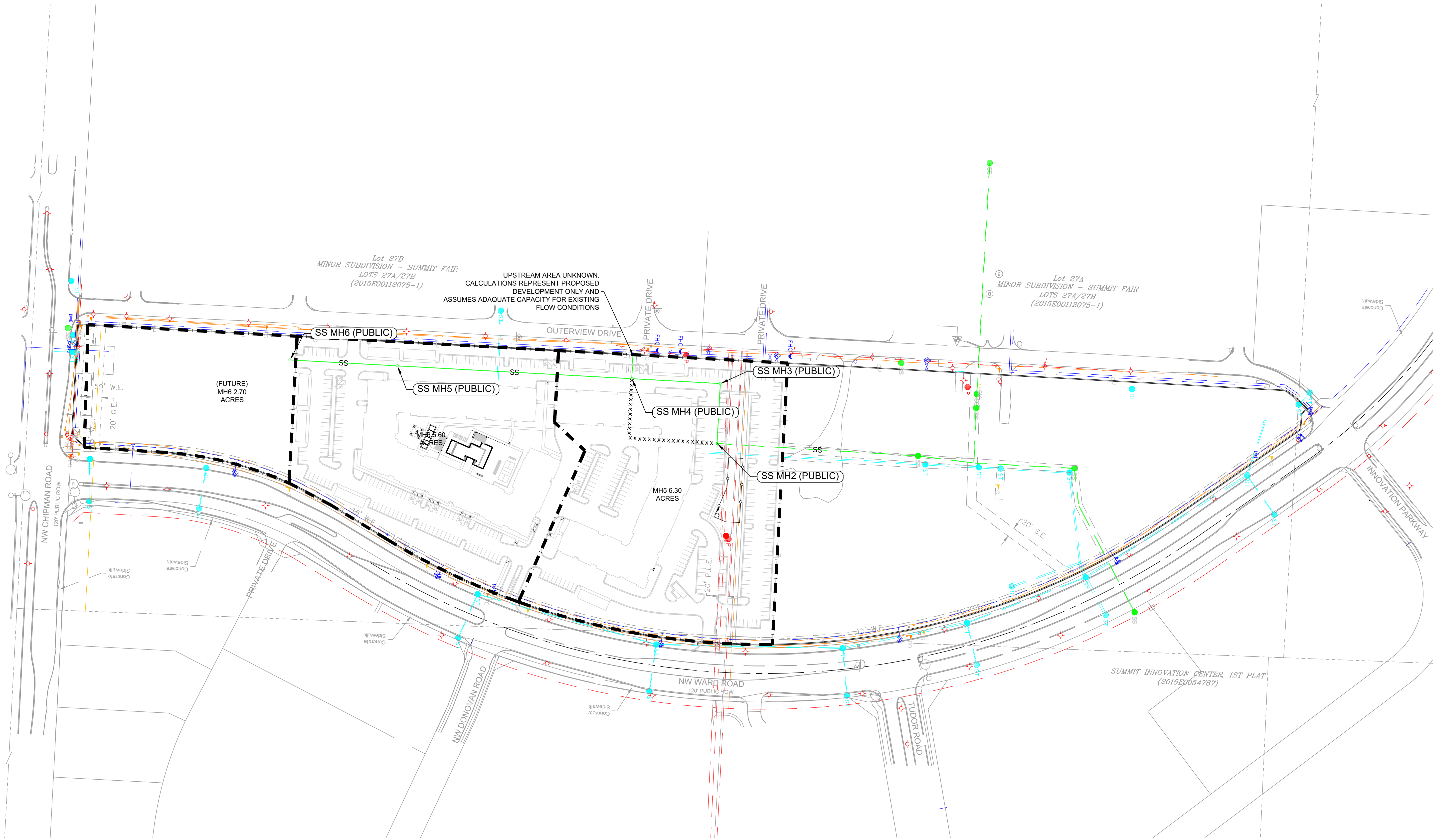


SHEET #:

C-0600

S:\01 PROJECTS\MULTI-FAMILY\424 SUMMIT SQUARE 3YDP AND PUBLIC IMPROVEMENTS\PLANS\02_SANITARY SEWER PLANS\C-0610 SANITARY TABLES.DWG

Sanitary Sewer Design Information											
Upstream Manhole	Downstream Pipe Slope	Downstream Pipe Diameter	Proposed Cumulative Area	Future Area	Peak Base Flow	Peak Infiltration Flow	Peak Inflow	Total Peak Flow	Downstream Pipe Mannings N	Downstream Pipe Capacity	Downstream Pipe Full Flow Velocity
	(%)	(in)	(Ac.)	(Ac.)	(gpd)	(gpd)	(cfs)	(cfs)		(cfs)	(fps)
SS MH3	1.87%	10	11.90	2.70	21900.00	7300.000	0.404	0.449	0.013	3.00	5.49
SS MH4	0.50%	10	11.90	2.70	21900.00	7300.000	0.404	0.449	0.013	1.55	2.84
SS MH5	0.50%	10	11.90	2.70	21900.00	7300.000	0.404	0.449	0.013	1.55	2.84
SS MH6	0.50%	10	5.60	2.70	12450.00	4150.000	0.243	0.269	0.013	1.55	2.84



REVISIONS/APPROVALS:		NO.	DATE
INITIAL CITY SUBMITTAL	1	2022.10.10	
REVISED PER CITY COMMENTS	2	2022.12.20	
REVISED PER MDNR COMMENTS		2023.03.21	
REVIEWED BY:			
DESIGNED BY:			
DRAFTED BY:			
SP PROJECT #:			
MELISSA G. DECONIA			
P.E.			
2011000992			

AREA MAP

TRILOGY APARTMENTS
LEFT TURN LANE ADDITION
SANITARY IMPROVEMENT

LEE'S SUMMIT, JACKSON COUNTY, MO



MELISSA G. DECONIA
PROFESSIONAL ENGINEER
NUMBER 2011000992
Certificate of Authority #MO 2020018354

SHEET #:

C-0610

