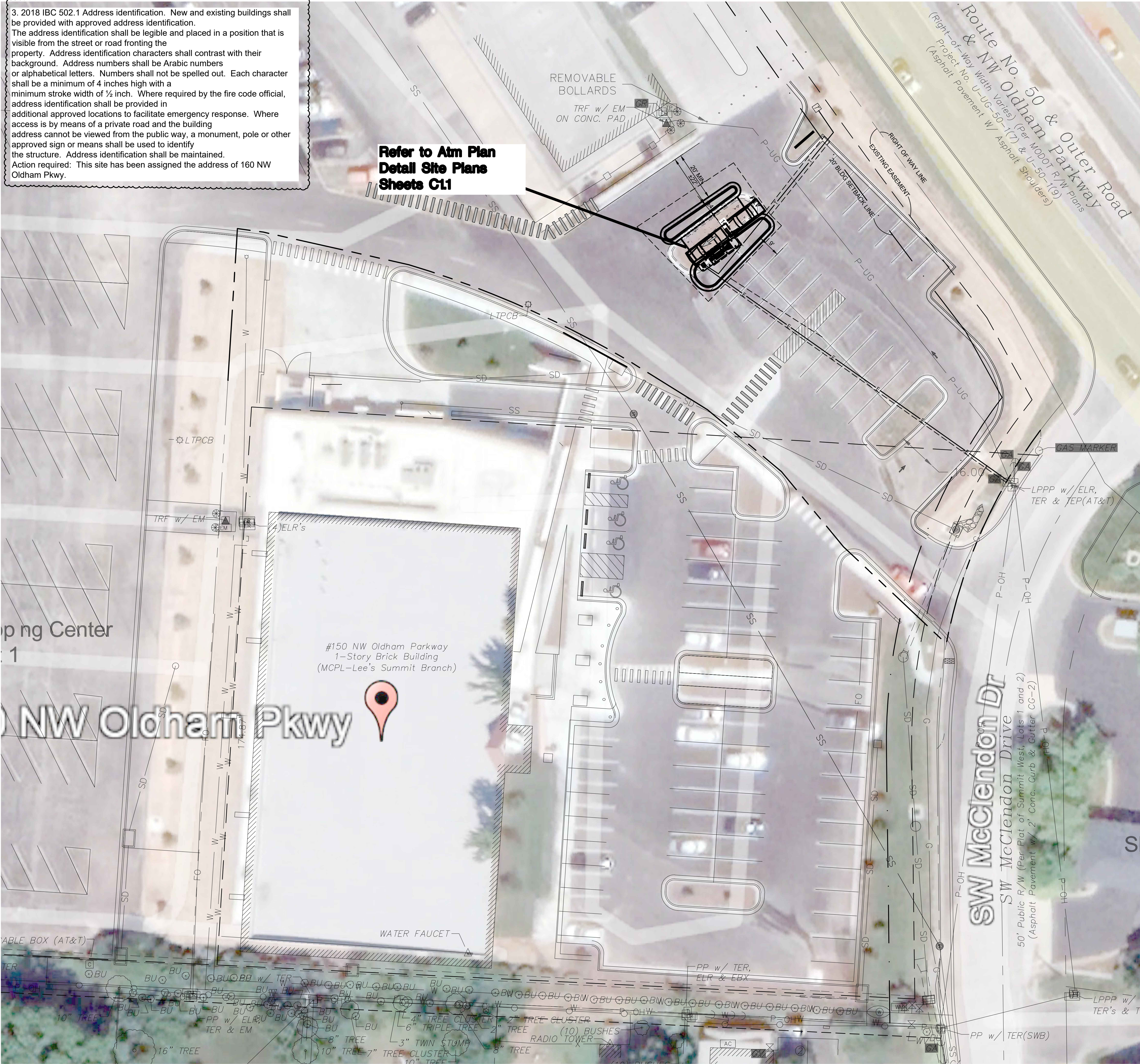




3. 2018 IBC 502.1 Address identification. New and existing buildings shall be provided with approved address identification. The address identification shall be legible and placed in a position that is visible from the street or road fronting the property. Address identification characters shall contrast with their background. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall not be spelled out. Each character shall be a minimum of 4 inches high with a minimum stroke width of 1/2 inch. Where required by the fire code official, address identification shall be provided in additional approved locations to facilitate emergency response. Where access is by means of a private road and the building address cannot be viewed from the public way, a monument, pole or other approved sign or means shall be used to identify the structure. Address identification shall be maintained. Action required: This site has been assigned the address of 160 NW Oldham Pkwy.

Refer to Atm Plan
Detail Site Plans
Sheets C11



LOCATION PLAN
NO SCALE

OVERALL SITE PLAN

Owner/Developer ATM Unit

COMMERCE BANK
8000 FORSYTH SU 1300
CLAYTON, MO 63105
314-746-8571

Outboundary and Topo Survey Info

FROM DOCUMENTS FURNISHED FROM
COMMERCE BANK

Plan Preparers Note:

FARNSWORTH GROUP
20 ALLEN AVE SUITE 200
ST LOUIS MO 63119
ATTENTION JEFF BROCCO/JIM KLEIN
314-963-7900

Parking Note

THERE ARE 28 EXISTING PARKING SPACES.
26 WILL REMAIN AFTER ATM CONSTRUCTION
IS COMPLETE

General Notes

- ALL PAVING TO BE IN ACCORDANCE WITH THE CITY OF LEE'S SUMMIT STANDARDS AND SPECIFICATIONS.
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY OF LEE'S SUMMIT REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ISLANDS AND BANK EQUIPMENT.
- NO NEW SANITARY OR STORM SEWERS ARE REQUIRED FOR THE ATM UNIT.
- NO NEW WATER OR GAS SERVICES ARE REQUIRED FOR THE ATM UNIT.
- CONTRACTOR TO MINIMIZE DISRUPTION TO EXISTING FACILITY AND COORDINATE CONSTRUCTION SCHEDULE WITH FACILITY MANAGER.
- ALL EXISTING IMPROVEMENTS ARE TO REMAIN UNLESS NOTED OTHERWISE.
- BACKFILL ALL UTILITY TRENCHES UNDER PAVEMENT WITH GRANULAR MATERIAL.
- ALL GRADING AND DRAINAGE SHALL CONFORM TO THE LATEST STANDARDS AND SPECIFICATIONS OF THE CITY OF LEE'S SUMMIT.
- ALL EXISTING PAVEMENT TO BE REMOVED SHALL BE SAWCUT, THE CONTRACTOR SHALL TAKE SPECIAL CARE TO CREATE A SMOOTH WORKING EDGE AND TO PLACE BACKFILL AND PAVEMENT SUCH THAT SETTLEMENT DOES NOT OCCUR. ALL NEW PAVEMENT TO MATCH EXISTING IN TYPE AND THICKNESS.
- THE CONTRACTOR SHALL REMOVE AND LEGALLY DISPOSE OF THOSE ITEMS THAT ARE TO BE REMOVED.
- THE CONTRACTOR SHALL PROTECT THOSE EXISTING IMPROVEMENTS THAT ARE TO REMAIN AGAINST DAMAGE AND SOILING DURING CONSTRUCTION.
- THE CONTRACTOR SHALL KEEP ALL ACCESS ROADS FREE FROM MUD AND DEBRIS AT ALL TIMES.
- UTILITIES SHOWN ARE FROM PAST DOCUMENTS. THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES AND HAVE EXISTING UTILITIES MARKED IN THE FIELD PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.
- ALL SIGN LOCATIONS AND SIZES MUST BE APPROVED SEPARATELY THROUGH THE CITY OF LEE'S SUMMIT.
- ALL NEW UTILITIES SHALL BE LOCATED UNDERGROUND.
- NO SLOPES SHALL BE STEEPER THAN 3 (HORIZONTAL) TO 1 (VERTICAL).
- GRADED AREAS THAT ARE TO REMAIN BARE FOR OVER 2 WEEKS ARE TO BE SEEDED AND MULCHED PER DNR REQUIREMENTS.
- ALL EROSION CONTROL SYSTEMS ARE INSPECTED AND NECESSARY CORRECTIONS MADE WITHIN 24 HOURS OF ANY RAINSTORM RESULTING IN ONE-HALF INCH OF RAIN OR MORE.
- TRAFFIC CONTROL SHALL BE PER MUTCD.
- NO NEW OIL/GAS WELLS ARE PRESENT.
- THE CONTRACTOR SHALL CONTACT THE CITY'S DEVELOPMENT SERVICES ENGINEERING INSPECTION TO SCHEDULE A PRE-CONSTRUCTION MEETING WITH A FIELD ENGINEERING INSPECTOR PRIOR TO ANY LAND DISTURBANCE WORK AT 816-969-1200.
- MINIMUM SECURITY REQUIREMENTS HAVE BEEN MET IN THE WAY OF SITE PLACEMENT AND SURVEILLANCE CAMERAS PROVIDED.

Siltation and Erosion Control Note

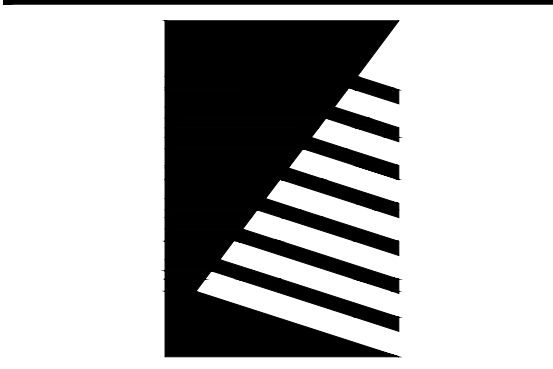
THE CONTRACTOR SHALL ASSUME COMPLETE RESPONSIBILITY FOR CONTROLLING ALL SILTATION AND EROSION OF THE PROJECT AREA. THE CONTRACTOR SHALL USE WHATEVER MEANS NECESSARY TO CONTROL EROSION AND SILTATION INCLUDING, BUT NOT LIMITED TO, STAKED STRAW BALES AND/OR SILTATION FABRIC FENCES. CONTROL SHALL COMMENCE WITH THE CLEARING OPERATIONS AND BE MAINTAINED THROUGHOUT THE PROJECT UNTIL ACCEPTANCE OF THE WORK BY THE OWNER AND OR THE CITY OF LEE'S SUMMIT. THE CONTRACTOR'S RESPONSIBILITIES INCLUDE ALL DESIGN AND IMPLEMENTATION AS REQUIRED TO PREVENT EROSION AND THE DEPOSITING OF SILT. THE OWNER AND/OR THE CITY OF LEE'S SUMMIT MAY AT THEIR OPTION DIRECT THE CONTRACTOR IN HIS METHODS AS DEEMED FIT TO PROTECT PROPERTY AND IMPROVEMENTS. ANY DEPOSITING OF SILT OR MUD ON NEW OR EXISTING PAVEMENT SHALL BE REMOVED IMMEDIATELY. ANY DEPOSITING OF SILTS OR MUD IN NEW OR EXISTING STORM SEWERS OR SWALES SHALL BE REMOVED AFTER EACH RAIN AND AFFECTED AREAS CLEANED TO THE SATISFACTION OF THE OWNER AND/OR THE CITY OF LEE'S SUMMIT.

ATM Sheet Index

A-0	GENERAL NOTES
A-1	ATM FLOOR PLAN
A-2	ATM DETAILS
A-3	ATM DETAILS
A-4	CANOPY ROOF PLAN
S-0	SPECIAL BOLLARD DETAIL
S-1	STRUCTURAL GENERAL NOTES
S-2	FOUNDATION PLAN
S-3	STRUCTURAL DETAILS
E-1	ATM POWER PLAN
E-2	ELECTRICAL DETAILS
E-3	ELECTRICAL DETAILS

Civil Sheet Index

C1.0	OVERALL SITE PLAN
C1.1	DETAIL SITE PLAN
C1.2	PARKING PLAN
C2.0	SITE DETAILS / CANOPY ELEVATIONS

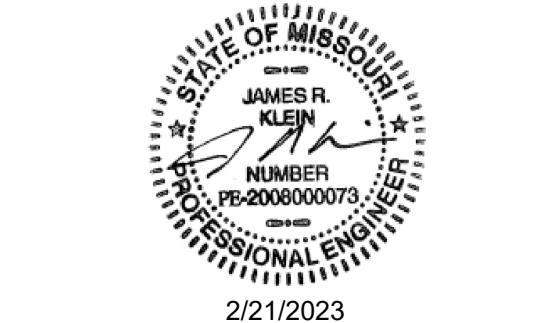


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Farnsworth Group, Inc.
Missouri State Certificate of Authority #001321
www.f-w.com
Engineers | Architects | Surveyors | Scientists

ISSUE:
DATE: DESCRIPTION:
1 2/21/2023 CITY COMMENTS



Permit Set
NOT FOR CONSTRUCTION

PROJECT:
Commerce Bank

New Atm Facility

160 NW Oldham Parkway Lees
Summit Missouri

DATE: 1/25/2023

DESIGNED: JPB

DRAWN: JPB

REVIEWED: JK

FIELD BOOK NO.: NA

SHEET TITLE:

OVERALL SITE PLAN

SHEET NUMBER:

C1.0

PROJECT NO.: 022