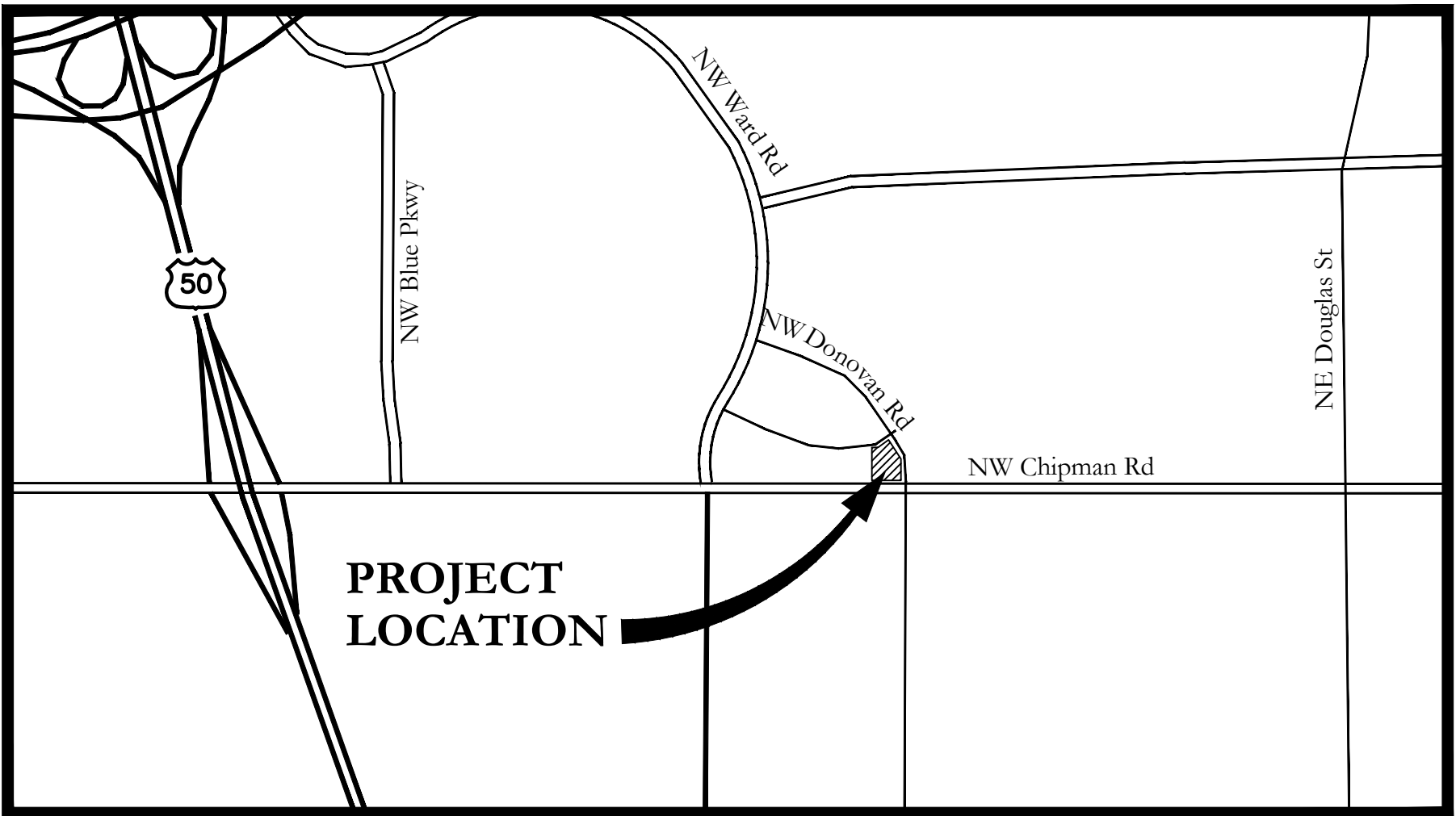


SUMMIT ORCHARDS - LOTS 4E-2A & 4E-2B

FINAL DEVELOPMENT PLANS

400 NW CHIPMAN ROAD
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI
SEC. 31-48-31



LOCATION MAP
NOT TO SCALE

LEGAL DESCRIPTION

LOTS 4E-2A & 4E-2B A REPLAT OF LOT 4E-2, SUMMIT ORCHARD, LOTS 4E-1 AND 4E-2 LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

FLOOD NOTE

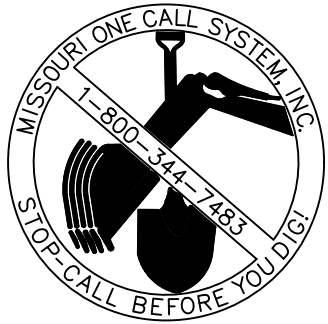
THIS PROPERTY DOES NOT LIE WITHIN A FLOOD ZONE AS SHOWN ON THE FLOOD INSURANCE RATE MAP 29095C0417G. DATED 1/20/2017

OIL AND GAS WELL NOTE

THERE WAS NO OIL OR GAS WELLS LOCATED ON PROPERTY PER MISSOURI DEPARTMENT OF NATURAL RESOURCES OIL AND GAS PERMITS WEBSITE.

UTILITIES AND PUBLIC AGENCIES

CITY OF LEE'S SUMMIT PUBLIC WORKS	Dena Mezger	(816) 969-1800
WATER UTILITIES	Mark Schauffer	(816) 969-1900
ELECTRIC EVERGY	Ron Dejarnette	(816) 347-4316
GAS SPIRE	Brent Jones	(816) 399-9633
TELEPHONE AT&T	Marty Loper Mark Manion	(816) 275-1550 (816) 325-6516
CABLE COMCAST	Barbara Brown	(816) 795-2255



NOTE:

Contractor shall be responsible for determining the exact locations of all underground utilities or appurtenances prior to commencing construction. Existing underground utilities shown on the drawings are for reference only, and their accuracy and completeness are not guaranteed. Contractor shall be responsible for repair or replacement of all underground utilities damaged during construction.

AGC Engineers, INC.

405 S. Leonard St., Suite D
Liberty, Missouri 64068
www.agcengineers.com
816.781.4200 ■
fax 792.3666

BY	REVISION	DATE
RC/ACA	FOR REVIEW	2-17-23

SHEET LIST

SHEET NUMBER	SHEET TITLE
1	COVER
2	GENERAL NOTES & LEGEND
3A	EXISTING CONDITIONS
3B	PROPOSED MINOR PLAT
4	SITE PLAN
5	GRADING & EROSION CONTROL PLAN
6	GRADING PLAN - CUT & FILL
7	SPOT ELEVATION PLAN
8	SPOT ELEVATION PLAN
9	DRAINAGE AREA MAP & CALCS
10	UTILITY PLAN
11	UTILITY PROFILES
12	DETAILS
13	DETAILS
14	DETAILS
15	DETAILS
LS101	LANDSCAPE PLAN

SEE ADDITIONAL PLANS PREPARED BY OLSON ARCHITECTURAL GROUP ARCHITECTS AND SCHARHAG ARCHITECTS.

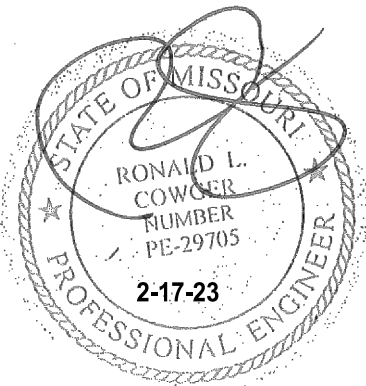
MCLAUGHLIN MUELLER INC HAS SOLE RESPONSIBILITY FOR SHEET 3A, HG CONSULT INC HAS SOLE RESPONSIBILITY FOR SHEET 3B, VSR DESIGN HAS SOLE RESPONSIBILITY FOR SHEET LS101

ENGINEER'S CERTIFICATION:

I hereby certify that this project has been designed, and these plans prepared, to meet or exceed the design criteria of City of Lee's Summit, Missouri, in current usage, except as indicated below.

Exceptions: 1. _____
2. _____
3. _____
4. _____

I have not been retained to coordinate as-built drawings for this project.



Ronald L. Cowger, PE
AGC Engineers, Inc.

GENERAL PROJECT NOTES:

1. The Contractor shall, at a minimum, have the following document(s) at the job site at all times:
Signed approved plans,
Contract Documents and Project Specifications,
Standard Specifications (Kansas City Metro Chapter-APWA)
All required permits

2. The Contractor shall reference the City of Lee's Summit Design Criteria, Standard Specifications, Standard Details, Approved Products Lists found at the following website
https://cityofls.net/development-services/design/design-criteria/design-construction-manual-infrastructure

3. This Project shall be constructed in accordance with these Plans, City of Lee's Summit criteria and specifications (listed above), and their absence the Kansas City Metro Chapter of American Public Works Association (most current version) "APWA".

4. All work required to complete the project and that is not specifically itemized in the Contractor's proposal shall be considered subsidiary to other work itemized in the proposal.

5. All materials and workmanship associated with this project shall be subject to inspection by the City of Lee's Summit and the Owner. The City and/or Owner reserves the right to accept or reject any such materials and workmanship that does not conform to the Standards and Technical Specifications.

6. RESERVED

7 The Contractor shall notify the Engineer immediately of any discrepancies in the Plans.

8. By use of these Plans the Contractor agrees that he shall be solely responsible for the safety and protection of the construction workers and the public.

9. Contractor is to obtain the necessary permits for all construction activities.

10. Contractor shall be responsible for determining the exact locations of all underground utilities or appurtenances prior to commencing construction. Existing underground utilities shown on the drawings are for reference only, and their accuracy and completeness are not guaranteed. Contractor shall be responsible for repair or replacement of all underground utilities damaged during construction.

11. RESERVED

12. It shall be the responsibility of the Contractor to control erosion and siltation during all phases of construction.

13. Any sidewalk, curb & gutter or pavement disturbed, damaged or destroyed during construction shall be replaced by Contractor at no additional cost to Owner.

14. Modified curb shall be used at all locations where pavement drains away from curb.

15. The Contractor shall contact the City's Development Service Engineering Inspectors 48 hours prior to any land disturbance work at (816) 969-1200.

16. Contractor shall be responsible to install pavement joints on all concrete pavement, slabs, and / or sidewalk. At a minimum, an expansion joint shall be provided along all interfaces of
1. Building to sidewalk
2. Building to concrete pavement
3. Sidewalk to concrete pavement
Contractor shall submit a joint plan to the Engineer for review.

GRADING NOTES:

1. Erosion protection shall be in place prior to any land disturbance.

2. Contours shown are to finished grade.

3. The construction area shall be cleared, grubbed, and stripped of topsoil and organic matter from all areas. Excess topsoil shall be stockpiled separately from compactable material. Stripping existing topsoil and organic matter shall be to a minimum depth of six (6) inches.

4. Areas to receive fill shall be striped of top soil and other organic material, scarified, and the top eight (8) inch depth compacted to 98% standard proctor density prior to the placement of any fill material. Any unsuitable areas shall be undercut and replaced with suitable material before any fill material can be placed.

5. Fill material shall be made in lifts not to exceed nine (9) inches depth compacted to 98% standard proctor density (per ASTM D-698) with a moisture content -3% and +2% optimum moisture. Contractor shall provide (at his/her sole cost) an independent geotechnical report certifying compaction at a sample interval of one (1) sample per 5000 square feet per lift or more frequent if required/recommended by the geotechnical firm. Geotechnical firm shall be approved by Owner prior to beginning fill operations. Fill material may include rock from on-site excavation if carefully placed so that large stones are well disturbed and voids are completely filled with smaller stones, earth, sand or gravel to furnish a solid embankment. No rock larger than three (3) inches in any dimension nor any shale shall be placed in the top 12 inches of embankment.

6. In all areas of excavation, if unsuitable soil conditions are encountered, a qualified Geotechnical engineer shall recommend to the Owner on the methods of undercutting and replacement of property compacted, approved fill material.

7. All slopes are to be 3:1 or flatter unless otherwise indicated.

8. All slopes and areas disturbed by construction shall be graded smooth and a minimum four (4) inches of topsoil applied. If adequate topsoil is not available on-site, the Contractor shall provide topsoil, approved by the Owner, as needed. Any areas disturbed for any reason shall be corrected by the Contractor at no additional cost to the Owner prior to final acceptance of the project.

9. All disturbed areas shall be seeded, fertilized and mulched or sodded in accordance with the standards and specifications adopted by the reviewing governing agency and good engineering practices.

EROSION CONTROL NOTES:

1. Control of sediment is a very dynamic (ever changing) process. These plans are provided as a basis of anticipated erosion control measures. The Contractor shall modified add or delete with the Owner's permission the erosion control measure shown to prevent the migration of sediment off of the Owner's property and/or into jurisdictional waters/waterways.

2. Any sediment deposited on public streets shall be removed immediately by Contractor at his sole expense.

3. Stockpile excavation materials away from existing channels and grade to drain to adequate erosion control measures.

4. Remove silt build up in temporary sediment basins (if applicable), inlet protection devices and/or silt fence until site is completely stabilized. Verify grade prior to final seeding, lining or rip-rap installation.

5. All disturbed areas shall be seeded, fertilized and mulched, or sodded, in accordance with the Kansas City Metro Chapter of American Public Works Association. Seeding/Sodding shall be completed within 14 days after completing the work, in any area. If this is outside of the recommended seeding period, erosion control measures or other similarly effective measure shall remain and be maintained by Contractor until such time that the areas can be seeded and a stand of grass established per Missouri DNR or MoDOT Section 805.4 standards.

6. When sediment deposits reach approximately one-half the height of the BMP, the sediment shall be removed or a second BMP shall be installed. All costs associated with this work, including related incidents, shall be the Contractor's responsibility and shall be included in the bid for the proposed work.

7. Contractor shall perform BMP inspection once a week and after each rainfall event, and provide Owner a copy of report within 48 hrs. Faulty or inadequate erosion control measures shall be remediated or modified the same day of inspection so as to minimize the risk of sediment discharge from the Owner's property or jurisdictional waters/waterways.

8. Contractor shall protect and maintain erosion control measures until a complete stand of grass as defined by Missouri DNR has been established.

9. Concrete Washout Areas will be determined onsite by the Job Superintendent.

10. At a minimum the following permits/approvals shall be posted on site or as required by the permit terms and conditions:
City of Lee's Summit Land Disturbance Permit.

11. Permanent fertilizing, seeding (Type "A") and mulch shall be in accordance with Kansas City Metro Chapter of American Public Works Association. Final acceptance per MoDOT Sections 805.4

12. The Contractor shall install Erosion Control Blanket (ECB) on all slopes with 3:1 slope or greater. ECB shall be Landlok CS2 or approved equal.

13. Provide temporary silt fencing at all pipe entrances until all site seeding and sodding has been established. Maintain as necessary.

14. Immediately remove sediments or other materials tracked onto public roadways.

15. Provide and maintain stabilized roadway construction entrance (or entrances as may be required).

16. Coordinate site grading with existing and proposed utilities.

17. Stock pile waste excavation materials away from existing channels and grade to drain.

18. Remove silt build up in basin and verify grade prior to final seeding, lining or rip-rap installation and clean up.

19. All disturbed areas shall be seeded, fertilized and mulched, or sodded, in accordance with the Standards and Specifications adopted by the City of Lee's Summit, MoDOT, MoDNR or other governing agency and good engineering practices.

20. Silt fences, whether straw bales or filter fabric, require maintenance to preserve their effectiveness. All silt fences shall be inspected immediately after each heavy rainstorm and at least daily during prolonged rainfall. Any required repairs shall be made immediately. When sediment deposits reach approximately one-half the height of the silt fence, the sediment shall be removed or a second silt fence shall be installed. All costs associated with this work, including related incidentals, shall be the contractor's responsibility and shall be included in the bid for the proposed work.

WATER NOTES:

1. Reference MEP Plans to confirm fire protection main size, domestic water and meter sizes. If a discrepancy exists between the Plans contact the Engineer prior to ordering material.

2. Domestic water shall be 1-inch "k" copper conforming to the latest federal specifications or cross-linked polyethylene (PEX) meeting current City Code.

3. Minimum cover for water lines shall be 42 inches.

4. Install fittings as required. maximum pipe deflection per manufacturers recommendations.

5. Install 1-inch water meter at property line (on private property side).

6. All water service installation, including back-flow devices, are subject to field verification and approval by City inspector.

STORM NOTES:

1. All HDPE pipe shall be Water-Tight

2. All High Density Polyethylene (HDPE) pipe shall conform to AASHTO M294 Type S. Acceptable pipe must come from a Plastic Pipe Institute (PPI) certified manufacturer and have passed the PPI 3rd Party Certification testing. Each individual section of pipe shall be marked in accordance with AASHTO M294 and shall be affixed with the PPI Certification label. HDPE pipe shall be joined with water tight joints meeting the requirements of AASHTO M294 Paragraph 7.9.3.

3. Pipe lengths are from inside face to inside face.

4. End sections for HDPE pipe shall be metal with concrete toe wall unless noted otherwise.

ELECTRIC:

1. Contractor to coordinate with Evergy Electric for electrical service.

2. Contractor to coordinate with Evergy Electric for location of transformer pad and transformer if required.

GAS:

1. Contractor to coordinate with Spire for gas service, and location of meter.

TELEPHONE:

1. Site contractor to install PVC conduit(s) for use by telephone company. Site contractor to coordinate with telephone company for installation of service and location of proposed pedestals, etc. Telephone conduit shall have a minimum cover of 30". Site contractor shall coordinate location with telephone company representative and locate PVC crossings as necessary. See building plans for entrance locations.

REFERENCE DOCUMENTS & DRAWINGS:

- Contractor shall reference the following documents prior to beginning Work

1. Architectural Plans (including but not limited to MEP and Structural Plans)

2. Landlord Work Order list from Superstar Holdings, LLC

LEGEND

EXISTING

- DOWN GUY

FINISH FLOOR ELEVATION

FIRE HYDRANT

IRON BAR

MANHOLE

POWER POLE

SIGN

TREE

WATER METER

WATER VALVE

YARD LIGHT

OVERHEAD POWER

UNDERGROUND GAS

UNDERGROUND POWER

UNDERGROUND WATER

PROPOSED

- SANITARY STRUCTURE

SANITARY SEWER

STORM STRUCTURE

STORM SEWER

WATERLINE

WATER METER

WATER VALVE

GAS LINE

CLEANOUT

CONTOUR

LIGHT POLE (SITE PARKING)

SANITARY NOTES:

1. All sanitary stub lines shall be laid on 2.00% grade unless approved otherwise.

2. The Contractor shall install and properly maintain a mechanical plug at all connection points with existing lines until such time that the new line is tested and approved.

3. Where sanitary sewer lines are to be installed over and across water lines, a minimum of 24 inches of clearance shall be provided. Where clearance is not provided, construct sanitary sewer line of ductile iron pipe for a distance of at least 10 feet in each direction from crossing, with no joint within 6 feet of crossing.

4. Performance testing in accordance with APWA Section 2508. Witness and acceptance by City is required before placing in service.

5. All service lines shall be PVC (SDR 26) conforming to ASTM D 1764 and F1336 and having a cell classification of 12454B or 12364B as defined in ASTM D 1784 with Push-On joints.

6. All pre-cast manholes shall meet or exceed standards and specifications as set forth in ASTM C-478.

7. All PVC pipe shall meet or exceed standards and specifications as set forth in ASTM D-3034.

8. All proposed and existing street crossings shall be tamped granular backfill (Type 3) from the bottom of the trench to a point that is 15" below the finished grade of the street. All existing street crossings shall be filled with flowable fill per detail STR-011.

9. Mandrel testing is required and shall be performed in accordance with APWA 2508.5, at a minimum of 30 days after installation.

10. All inspection of sanitary sewer construction shall be performed by the City of Lee's Summit.

11. It is the responsibility of the contractor to have sanitary sewer lines air tested and sanitary sewer manholes vacuum tested for new construction and modifications to existing. Contractor shall provide city with test results upon completion of construction.

12. Areas with less than three (3) feet of depth from existing grade to proposed top of pipe shall be filled to an elevation of three (3) feet above the proposed top of pipe, compacted to 95% density +/-2% prior to trenching or laying of any pipe.

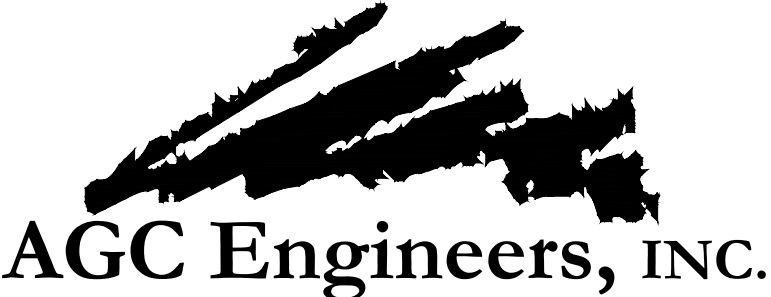
13. Sanitary sewer piping material shall be as follows:
0 to 15' depth; SDR-35 PVC
15' to 22' depth; SDR-26 PVC
22' to 30' depth; SDR-21 PVC
greater than 30' depth; D.I.P.
6" service laterals; SDR-35 PVC at 2.0% minimum.

14. All manholes, catch basins, utility valves, and meter pits shall be adjusted or rebuilt to grade as required.

15. Service lines shall be extended a minimum of 1 foot past the house side of all utility easements.

16. Insert Tee's or Saddles for service lines are not allowed except in special cases with prior City approval and City observation of installation.

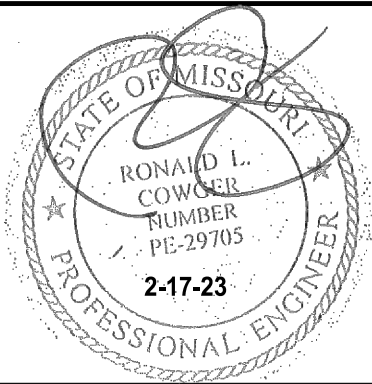
BY	REVISION	DATE
RC/ACA	FOR REVIEW	2-17-23



405 S. Leonard St., Suite D
Liberty, Missouri 64068

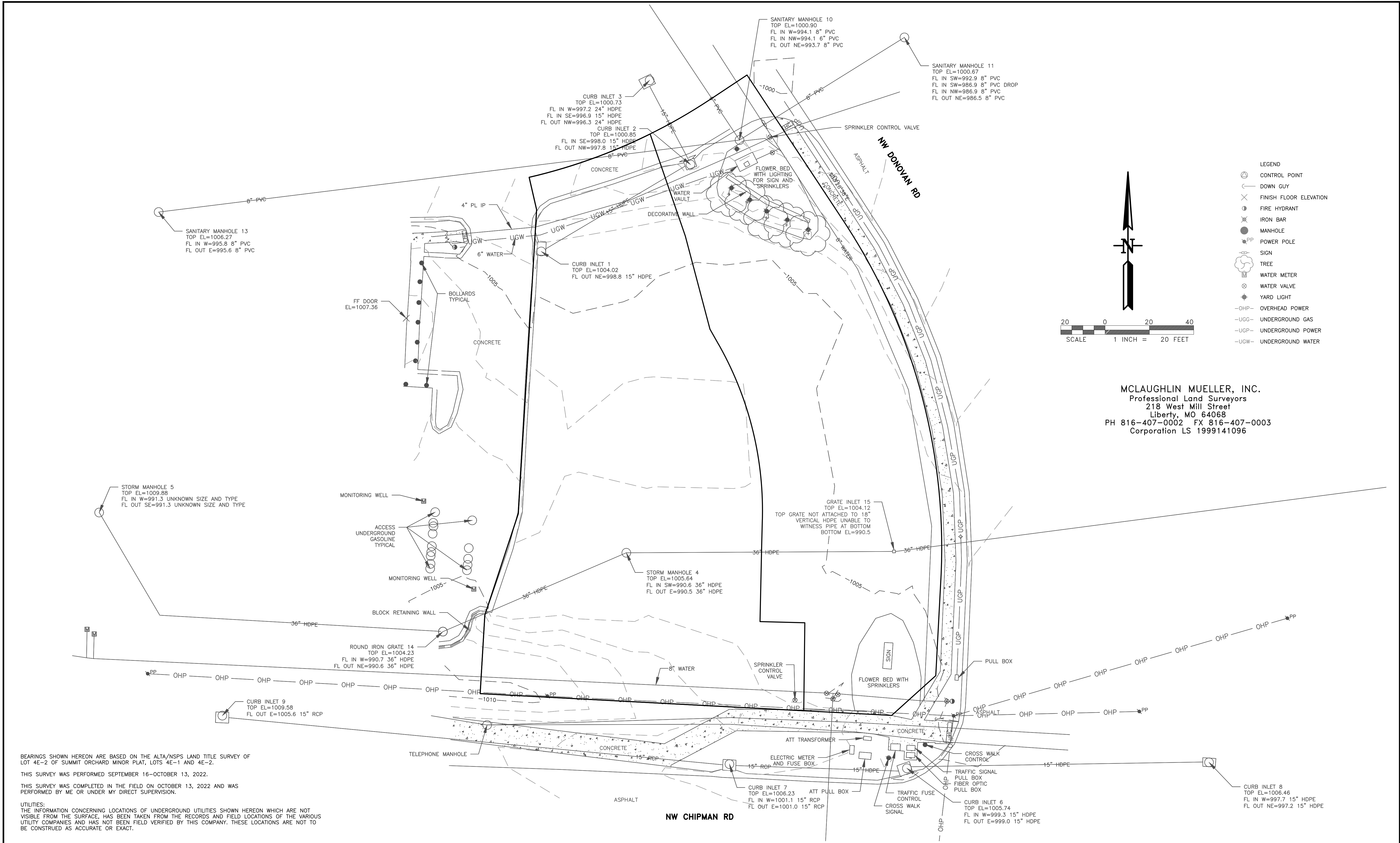
816.781.4200 ■
fax 792.3666

www.agcengineers.com



SUMMIT ORCHARDS - SWIG
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

SITE DEVELOPMENT PLANS
GENERAL SPOTES & LEGEND



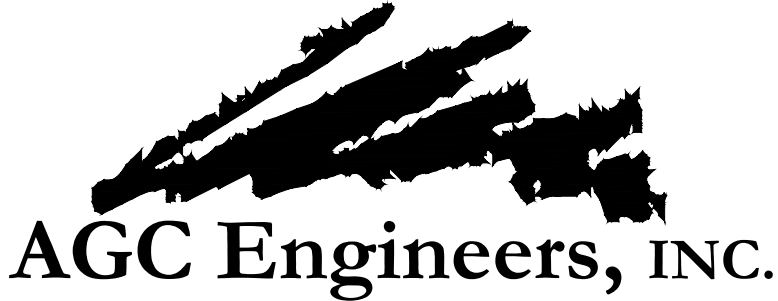
BEARINGS SHOWN HEREON ARE BASED ON THE ALTA/NSPS LAND TITLE SURVEY OF LOT 4E-2 OF SUMMIT ORCHARD MINOR PLAT, LOTS 4E-1 AND 4E-2.

THIS SURVEY WAS PERFORMED SEPTEMBER 16-OCTOBER 13, 2022.

THIS SURVEY WAS COMPLETED IN THE FIELD ON OCTOBER 13, 2022 AND WAS PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION.

UTILITIES:
THE INFORMATION CONCERNING LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON WHICH ARE NOT VISIBLE FROM THE SURFACE, HAS BEEN TAKEN FROM THE RECORDS AND FIELD LOCATIONS OF THE VARIOUS UTILITY COMPANIES AND HAS NOT BEEN FIELD VERIFIED BY THIS COMPANY. THESE LOCATIONS ARE NOT TO BE CONSTRUED AS ACCURATE OR EXACT.

BY	REVISION	DATE
RC/ACA	FOR REVIEW	2-17-23



405 S. Leonard St., Suite D
Liberty, Missouri 64068

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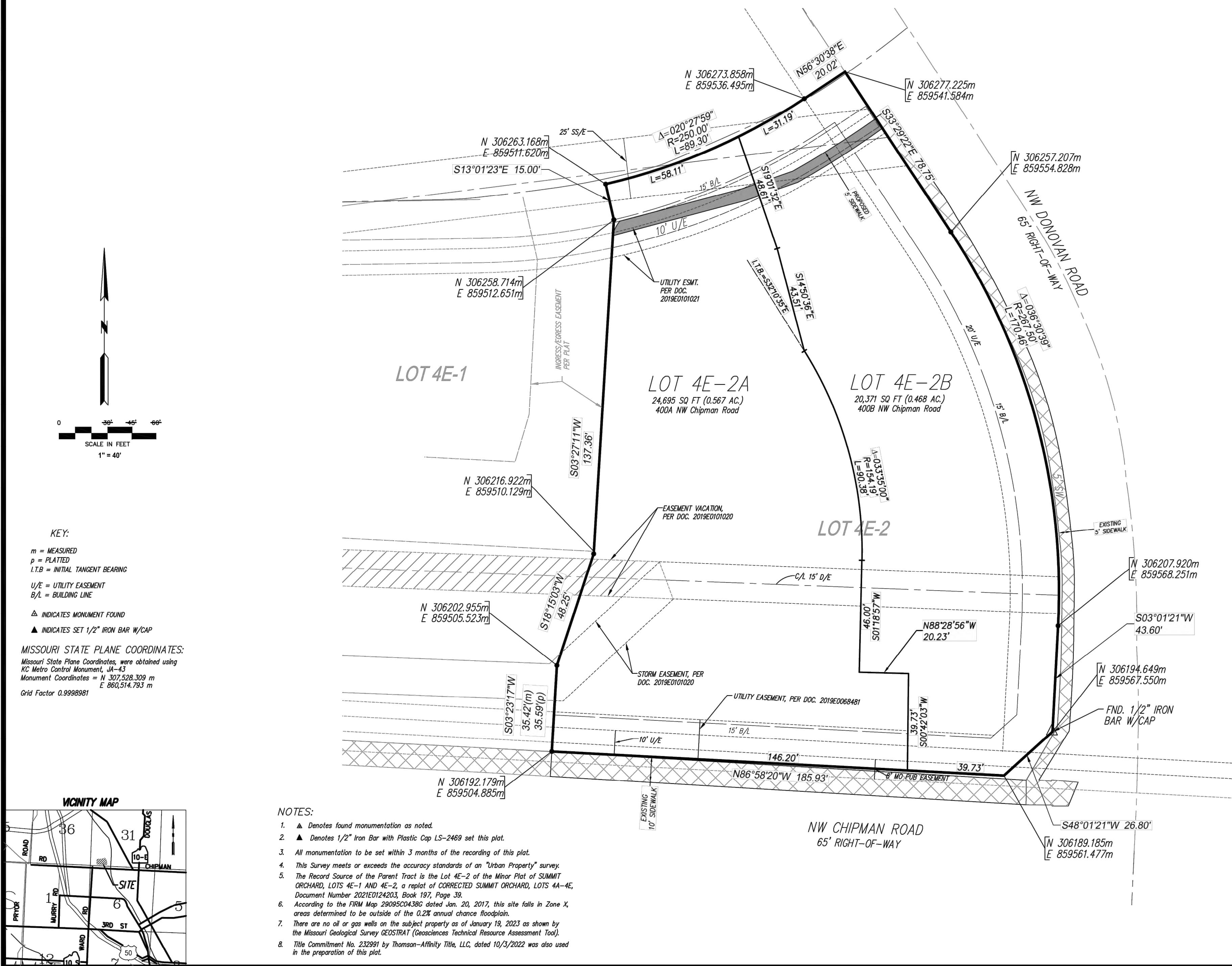
www.agcengineers.com

SUMMIT ORCHARDS - SWIG
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

SITE DEVELOPMENT PLANS
EXISTING CONDITIONS

3A

MINOR PLAT
SUMMIT ORCHARD MINOR PLAT, 4E-2A & 4E-2B
A REPLAT OF LOT 4E-2, SUMMIT ORCHARD, LOTS 4E-1 AND 4E-2
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI



PROPERTY DESCRIPTION:
ALL OF LOT 4E-2, SUMMIT ORCHARD MINOR PLAT, LOTS 4E-1 AND 4E-2, A SUBDIVISION IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, CONTAINING 1.04 ACRES.

DEDICATION: THE UNDERSIGNED OWNER(S) OF THE PROPERTY DESCRIBED HEREIN HAS/HAVE CAUSED THE SAME TO BE SUBDIVIDED IN THE MANNER SHOWN ON THIS PLAT AND THE PROPERTY SHALL HEREAFTER BE KNOWN AS "SUMMIT ORCHARD MINOR PLAT, LOTS 4E-2A AND 4E-2B".

EASEMENTS: AN EASEMENT OR LICENSE IS HEREBY GRANTED TO THE CITY OF LEE'S SUMMIT, MISSOURI, TO LOCATE, CONSTRUCT AND MAINTAIN, OR TO AUTHORIZE THE LOCATION, CONSTRUCTION AND MAINTENANCE OF POLES, WIRES, ANCHORS, CONDUITS, AND/OR STRUCTURES FOR WATER, GAS, SANITARY SEWER, STORM SEWER, ELECTRICITY, TELEPHONE, CABLE TELEVISION, OR ANY OTHER NECESSARY PUBLIC UTILITY OR SERVICES, ANY OR ALL OF THEM, UPON, OVER, OR UNDER THOSE AREAS OUTLINED OR DESIGNATED UPON THIS PLAT AS UTILITY EASEMENTS (U/E), OR WITHIN ANY STREET OR THOROUGHFARE DEDICATED TO PUBLIC USE ON THIS PLAT.

GRANTOR, ON BEHALF OF HIMSELF, HIS HEIRS, HIS ASSIGNS AND SUCCESSORS IN INTEREST, HEREBY WAIVES, TO THE FULLEST EXTENT ALLOWED BY LAW, INCLUDING, WITHOUT LIMITATION, SECTION 527.188, RSMO, (2006), ANY RIGHT TO REQUEST RESTORATION OF RIGHTS PREVIOUSLY TRANSFERRED AND VACATION OF THE EASEMENT HEREIN GRANTED.

DRAINAGE PLAN: INDIVIDUAL LOT OWNERS SHALL NOT CHANGE OR OBSTRUCT THE FLOW PATH ON LOTS, UNLESS SPECIFIC APPLICATION IS MADE AND APPROVED BY THE CITY ENGINEER.

BUILDING LINES: BUILDING LINES OR SETBACK LINES ARE HEREBY ESTABLISHED AS SHOWN ON THE ACCOMPANYING PLAT AND NO BUILDING OR PORTION THEREOF SHALL BE CONSTRUCTED BETWEEN THIS LINE AND THE STREET RIGHT-OF-WAY LINE.

IN TESTIMONY WHEREOF, THE UNDERSIGNED OWNERS HAVE HEREUNTO SET THEIR HANDS THIS _____ DAY OF _____, 20____.

SUPERSTAR HOLDINGS, LLC, ROBERT DE LA FUENTES - MEMBER

STATE OF _____
COUNTY OF _____
ON THIS _____ DAY OF _____, 20____, BEFORE ME PERSONALLY APPEARED THE ABOVE PERSON(S), TO ME KNOWN TO BE THE PERSON(S) DESCRIBED IN AND WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THAT THEY EXECUTED THE SAME AS THEIR FREE ACT AND DEED. IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIRMED MY NOTARIAL SEAL AT MY OFFICE IN SMO COUNTY AND STATE THE DATE AND YEAR LAST WRITTEN ABOVE.

NOTARY PUBLIC: _____ MY COMMISSION EXPIRES: _____

APPROVED:
THIS IS TO CERTIFY THAT THE MINOR PLAT OF "SUMMIT ORCHARD MINOR PLAT, LOTS 4E-2A AND 4E-2B" WAS SUBMITTED TO AND DULY APPROVED BY THE CITY OF LEE'S SUMMIT, MISSOURI, PURSUANT TO CHAPTER 33, THE UNIFIED DEVELOPMENT ORDINANCE, OF THE CODE OF ORDINANCES.

TRISHA FOWLER ARCURI - CITY CLERK DATE _____

GEORGE M. BINGER III, P.E. - CITY ENGINEER DATE _____

JOSHUA JOHNSON - DIRECTOR OF DEVELOPMENT SERVICES DATE _____

APPROVED BY JACKSON COUNTY ASSESSOR/GIS DEPARTMENT:

By _____

Date _____

I hereby certify that the within plat of SUMMIT ORCHARD MINOR PLAT, LOTS 4E-2A AND 4E-2B, is based on an actual survey made by me or under my direct supervision and that said survey meets or exceeds the current MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS as adopted by the Missouri Board of Architects, Professional Engineers, and Land Surveyors and the Missouri Department of Natural Resources. I further certify that the Section and Sectional Subdivision corner monuments and survey boundary corner monuments were either found or set as indicated on this plat; that I have complied with all State and City of Lee's Summit statutes, ordinances and regulations governing the practice of surveying and plotting of subdivisions to the best of my knowledge and belief.

REVIEW COPY

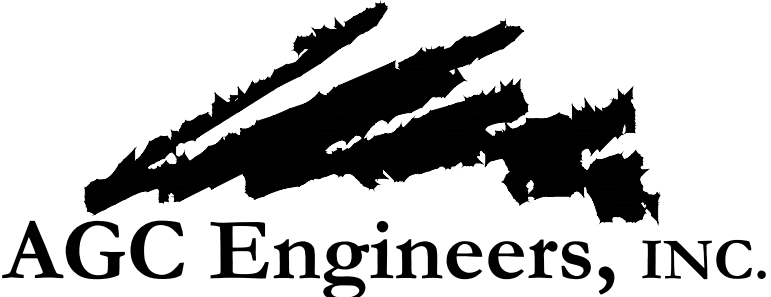
R. Kevin Starrett, MO LS-2469 Date _____

Surveyed for:
Superstar Holdings, LLC
Robert De La Fuentes
244 W. Mill Street, Suite 101
Liberty, Mo. 64068

g Consult Inc
engineers planners
1533 Locust Street, Kansas City, Missouri 64108
CORPORATE LICENSE No. E201000573 (MO.) / E-1736 (KS.)

Sheet 1 of 1
Project No.: 23.008
Prepared: 01/18/2023
Prepared By: SPW

BY	REVISION	DATE
RC/ACA	FOR REVIEW	2-17-23



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SUMMIT ORCHARDS - SWIG
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

SITE DEVELOPMENT PLANS
PROPOSED MINOR PLAT

3B

SITE DATA:

Lot No.	Address	Existing Zoning	Proposed Zoning	Proposed Use	Anticipated Schedule	Land Area (sf)						Proposed Building Area (sf)	No. Stories	FAR	Parking Data				Impermeable Area
						Gross	R/W	PC ² 1	PC ² 2	Parkland	Net				Criteria Used	as compared to UDO	required parking	provided parking	
4E-2B	to be determined	CP-2	CP-2	exclusive drive-thru	2023-2024	20,371.00	0.000	0.000	0.000	0.000	20,371.00	660	1	0.03	2/1000 + 1/employee at max shift	parking for employees only	3.0	10.0	0.46 AC / 36%
4E-2A	to be determined	CP-2	CP-2	retail	2023-2025	24,695.00	0.000	0.000	0.000	0.000	24,695.00	1,080	1	n/a	14/1000	meets UDO	15.1	15.0	
				retail	2023-2025	3,850	1	n/a	5/1000			3,850	1	n/a	5/1000	meets UDO	19.0	12.0	
						24,695.00	0.000	0.000	0.000	0.000	24,695.00	8,880	1	0.20			37.1	37.0	0.33 AC / 35%
Totals						45,066.00													

Legend

PC²1 = Private Open Space not intended to be counted toward parkland dedication

PC²2 = Private Open Space to be counted toward parkland dedication

FAR = Floor Area Ratio

Notes:

1. At the election of the Developer the units may be FOR SALE or FOR RENT / LEASE.

Special Parking Notes:

1. UDO parking ratios

drive thru/drop down
drive thru only
office
retail

14/1000
2/1000 + 1/employee at max shift
4/1000
5/1000

2. Parking is shared per Development Covenants & Conditions

LEGEND:

- ADA PEDESTRIAN ROUTE
- 6 PARKING STALL COUNTS

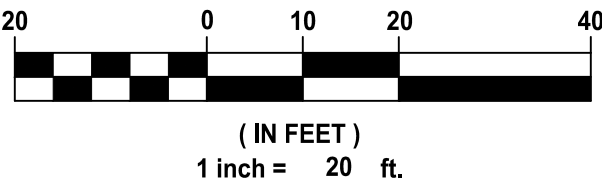
KEY LEGEND

- (A) CURB INLET (RE: UTILITY PROFILES)
- (B) CONCRETE PAVEMENT
- (C) HEAVY DUTY CONCRETE
- (D) CG-1 CURB & GUTTER (RE: SPOT ELEVATION PLANS)
- (E) PARKING STRIPING - 4" YELLOW
- (F) STRIPING - (RE: ADA ACCESSIBLE STRIPING LAYOUT)
- (G) TRASH ENCLOSURE (RE: ARCH)
- (H) ELECTRICAL TRANSFORMER
- (I) PROPOSED 5' CONCRETE SIDEWALK
- (J) SEGMENTAL BLOCK WALL
- (K) LIGHT POLE (RE: MEP)
- (L) CONCRETE WHEEL STOP
- (M) INTEGRAL SIDEWALK / CURB

NOTES:

1. CONTRACTOR SHALL COORDINATE WITH SUPERSTAR HOLDINGS, LLC. FOR ANY TENANT - SPECIFIC SIGNAGE, MENU BOARDS, CLEARANCE POSTS, ETC. NOT AVAILABLE TO CIVIL ENGINEER AT TIME OF SITE DESIGN.
2. CONTRACTOR SHALL REVIEW LANDLORD WORK ORDER LETTER PRIOR TO BEGINNING CONSTRUCTION.

BY	REVISION	DATE
RC/ACA	FOR REVIEW	2-17-23

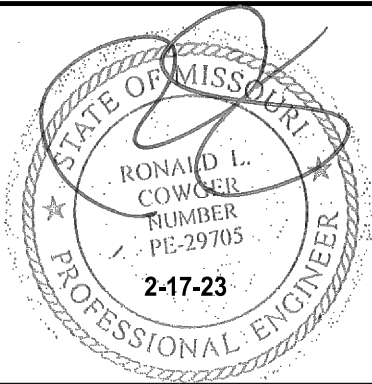


AGC Engineers, INC.

405 S. Leonard St., Suite D
Liberty, Missouri 64068

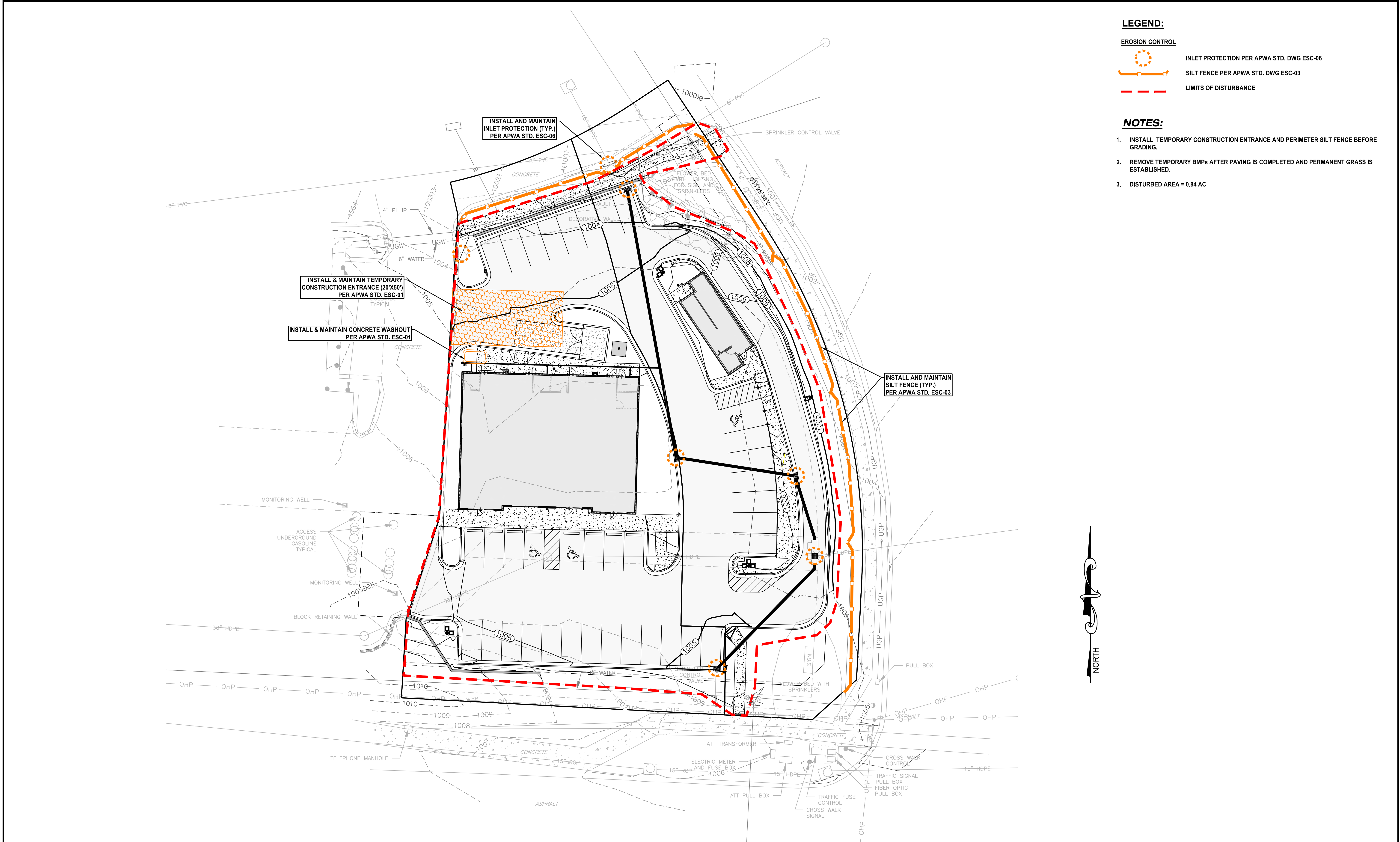
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SUMMIT ORCHARDS - SWIG
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

SITE DEVELOPMENT PLANS
SITE PLAN



LEGEND:

EROSION CONTROL

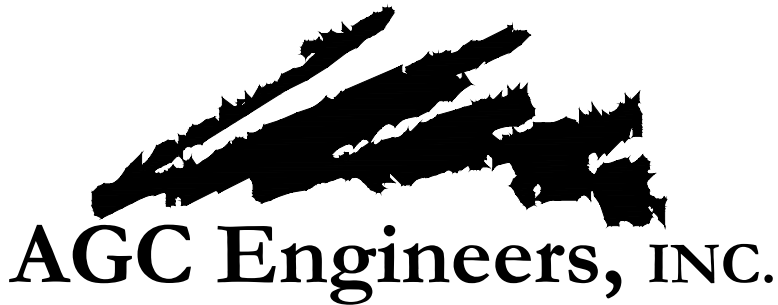
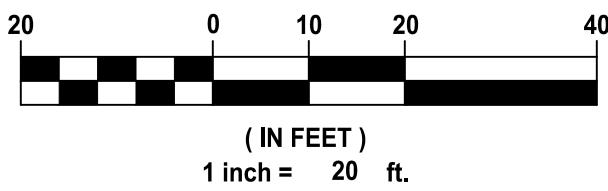


INLET PROTECTION PER APWA STD. DWG ESC-06
SILT FENCE PER APWA STD. DWG ESC-03
LIMITS OF DISTURBANCE

NOTES:

1. INSTALL TEMPORARY CONSTRUCTION ENTRANCE AND PERIMETER SILT FENCE BEFORE GRADING.
2. REMOVE TEMPORARY BMPs AFTER PAVING IS COMPLETED AND PERMANENT GRASS IS ESTABLISHED.
3. DISTURBED AREA = 0.84 AC

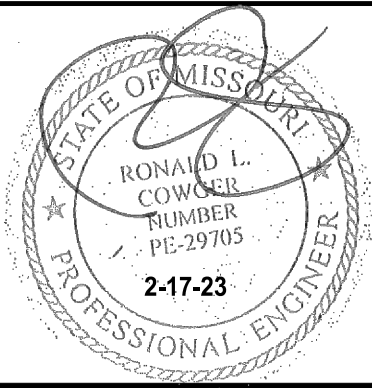
BY	REVISION	DATE
RC/ACA	FOR REVIEW	2-17-23



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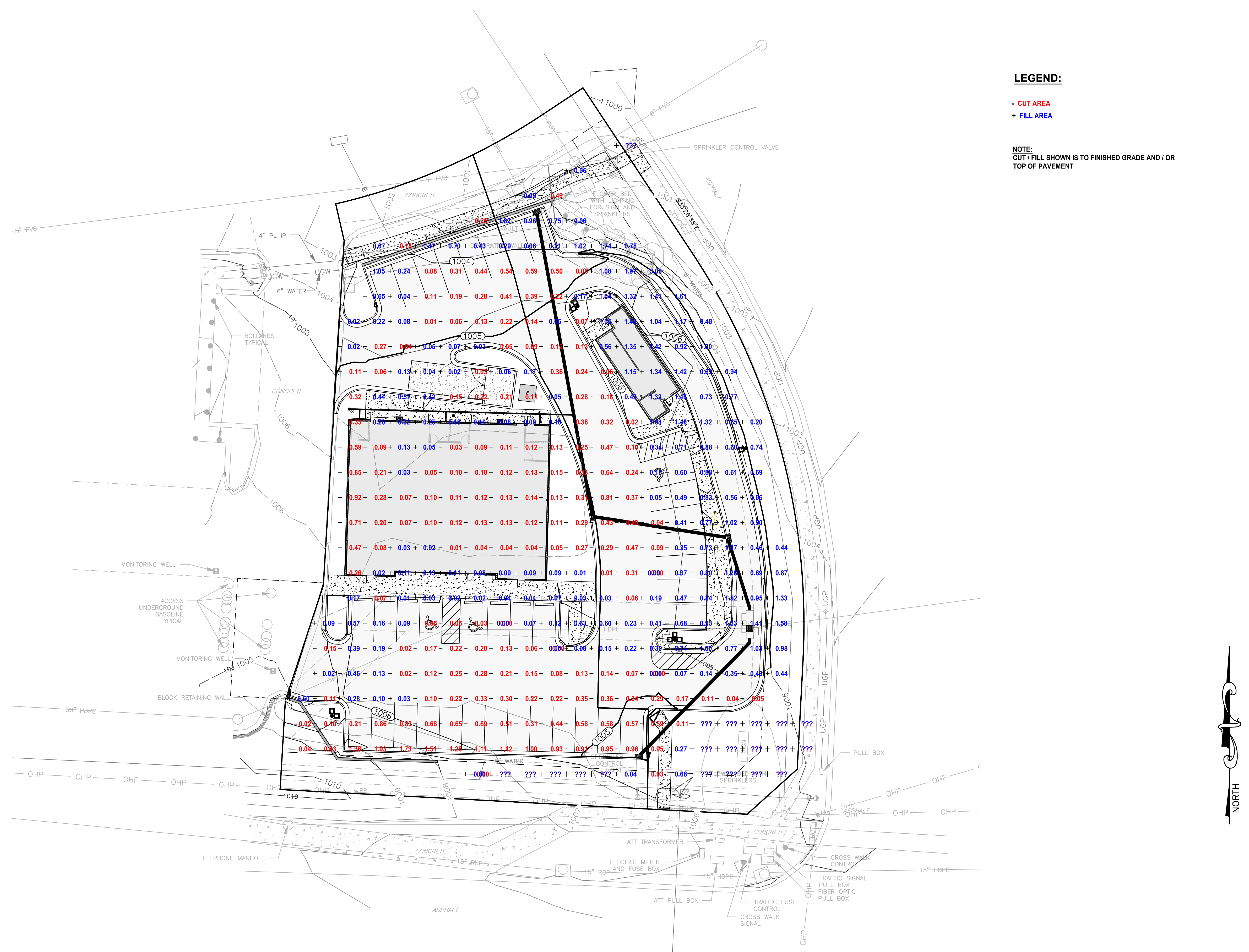
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SITE DEVELOPMENT PLANS
GRADING & EROSION CONTROL PLAN

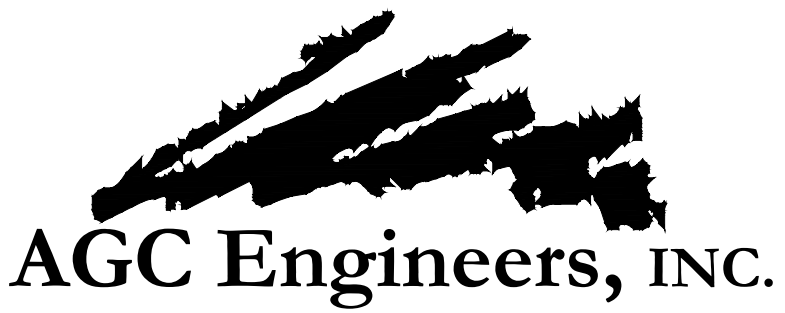
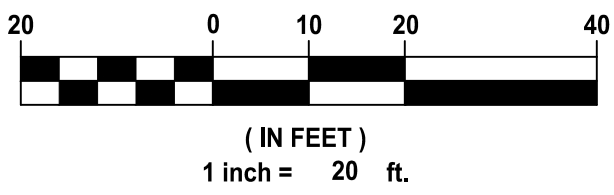


LEGEND:

- CUT AREA
- + FILL AREA

NOTE:
CUT / FILL SHOWN IS TO FINISHED GRADE AND / OR
TOP OF PAVEMENT

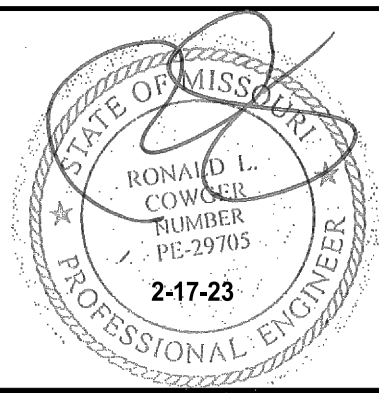
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SITE DEVELOPMENT PLANS
GRADING PLAN - CUT & FILL

LEGEND

EXISTING

EX800

EXISTING GROUND ELEVATION

PROPOSED

G800

GROUND ELEVATION

P800

PAVEMENT ELEVATION

TC800

TOP OF CURB ELEVATION

TW800

TOP OF WALL ELEVATION

LP800

LOW POINT

HP800

HIGH POINT

SW800

SIDEWALK ELEVATION

SW/TC800

SIDEWALK/TOP OF CURB

SW/P800

SIDEWALK/TOP OF PAVEMENT

FF800

FINISHED FLOOR

CG-1 CURB AND GUTTER

CG-1 MODIFIED CURB AND GUTTER

R

RAMP

L

LANDING

T

TRANSITION

GRADE BREAK

BY	REVISION	DATE
RC/ACA	FOR REVIEW	2-17-23

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SUMMIT ORCHARDS - SWIG LEE'S SUMMIT, JACKSON COUNTY, MISSOURI	
SITE DEVELOPMENT PLANS SPOT ELEVATION PLAN	7

LEGEND

- EXISTING

PROPOSED
- EX800

G800

P800

TC800

TW800

LP800

HP800

SW800

SW/TC800

SW/P800

FF800

CG-1 CURB AND GUTTER

CG-1 MODIFIED CURB AND GUTTER

R

L

T

GRADE BREAK
- EXISTING GROUND ELEVATION

GROUND ELEVATION

PAVEMENT ELEVATION

TOP OF CURB ELEVATION

TOP OF WALL ELEVATION

LOW POINT

HIGH POINT

SIDEWALK ELEVATION

SIDEWALK/TOP OF CURB

SIDEWALK/TOP OF PAVEMENT

FINISHED FLOOR

CG-1 CURB AND GUTTER

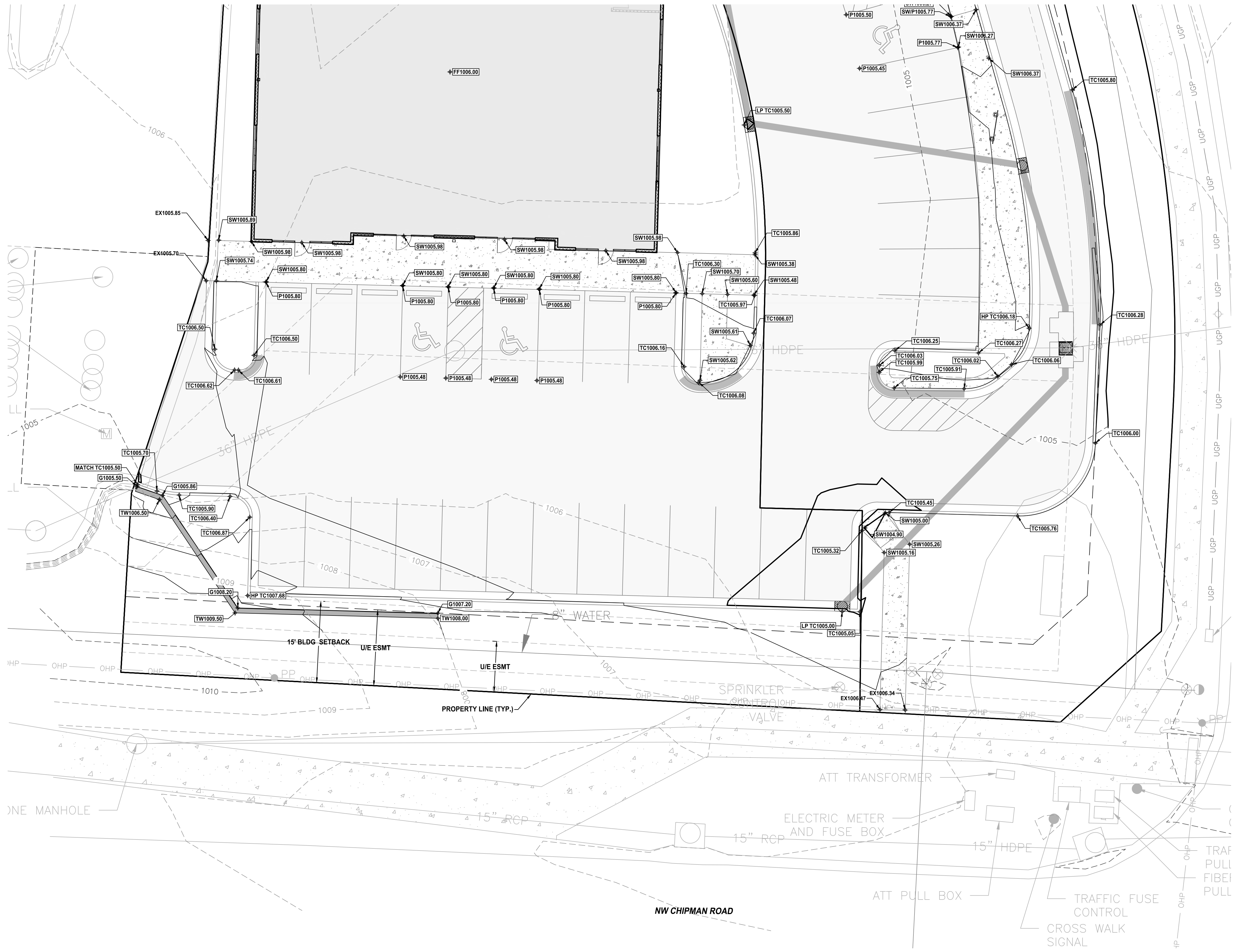
CG-1 MODIFIED CURB AND GUTTER

RAMP

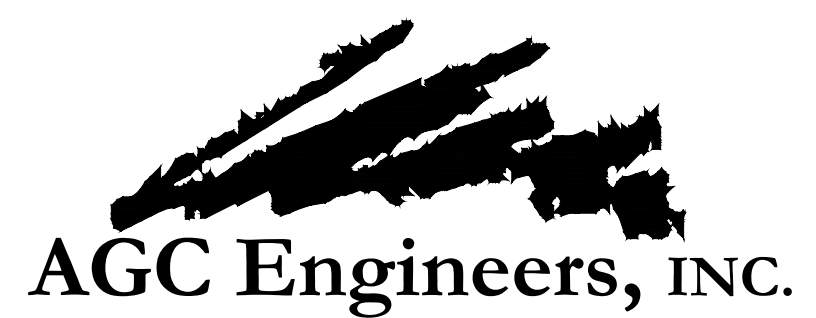
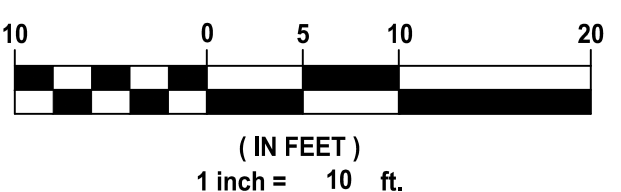
LANDING

TRANSITION

GRADE BREAK



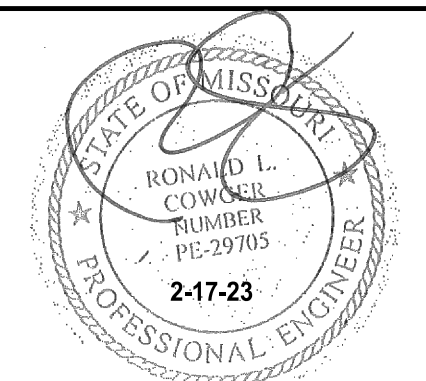
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SITE DEVELOPMENT PLANS
SPOT ELEVATION PLAN

8

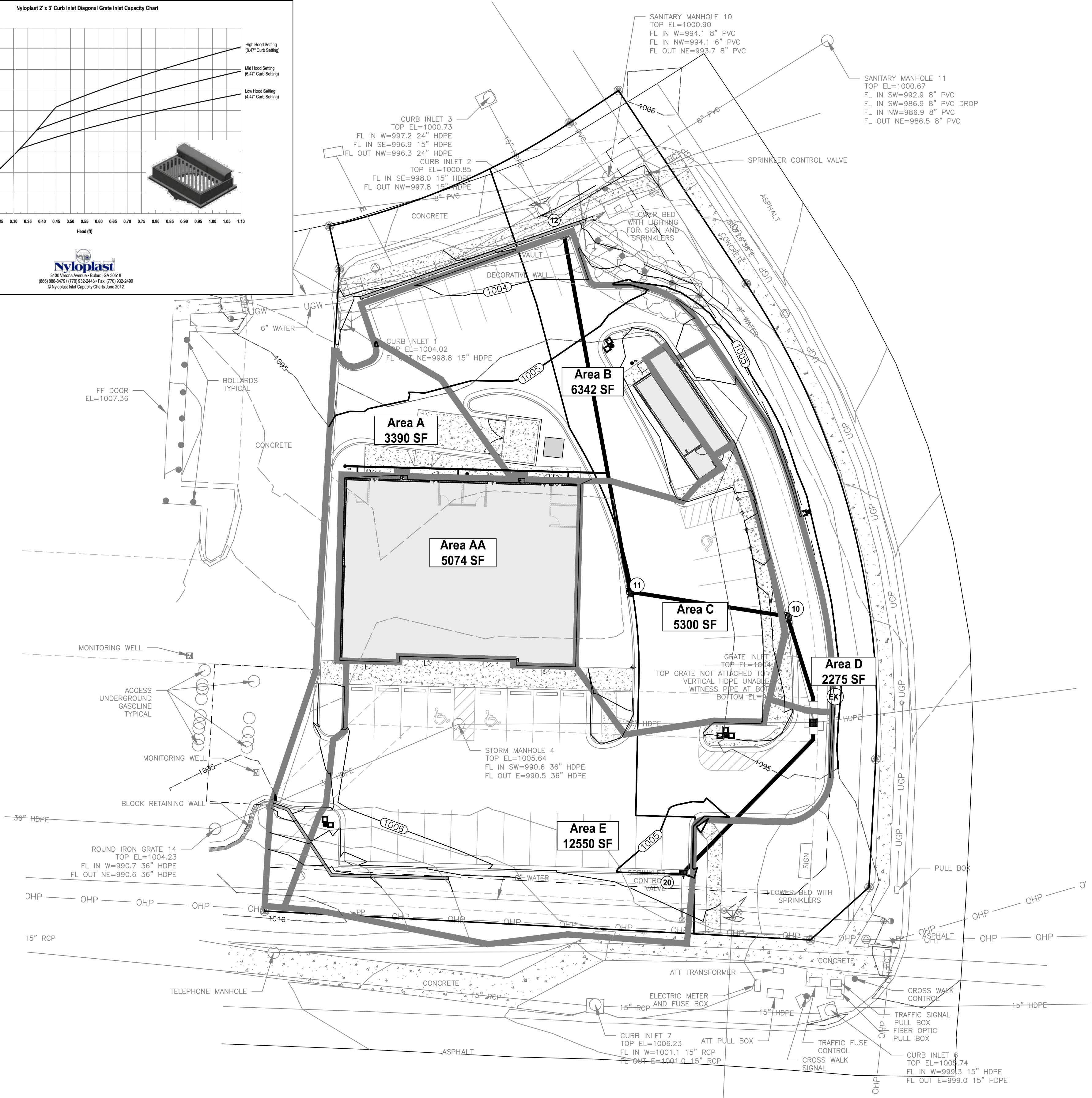
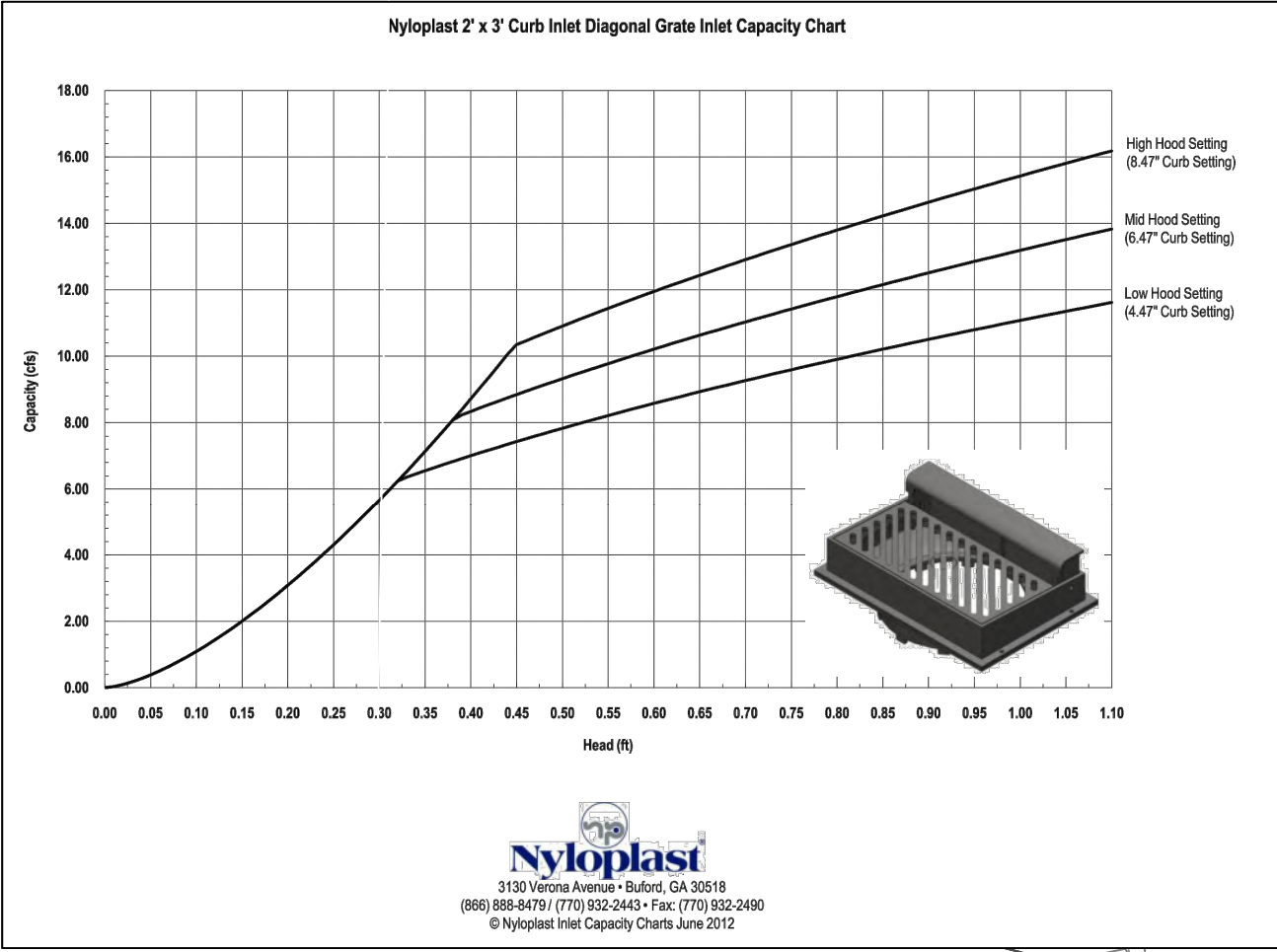
CURB INLET DESIGN TABLE																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																	
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Inlet Struct #	Overland Flow (T)						Gutter Flow (T)			Inlet Time			K	I	Area		Q	Back of Curb to Back of Curb Gutter Type (1 = CG-1 or 2 = CG-2)										Allowable Gutter Spread		Street Cross Slope		Max. Gutter Depth		Max. Gutter Area		Gutter Cap.		Gutter Bypass (positive # = bypass)		Slope (%)	Str. Size	100% Cap(cfs)		80% Cap(cfs)		Inlet Bypass (positive # = bypass)																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
	L	S	C	L	S	Mannings n	T1 (min)	T2 (min)	Tc (min)	Inlet (in/hr)	Label	Inlet (ac)			Inlet (cfs)	(ft)		(ft)	(%)	(ft)	(sq)	(cfs)	(cfs)	(cfs)	(cfs)	(cfs)	(cfs)	(cfs)	(cfs)	(cfs)	(cfs)	(cfs)	(cfs)	(cfs)	(cfs)																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
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Inlet Struct #	Return Frequency 100 yr												Gutter Capacity						Inlet Capacity								
Overland Flow (T)												Gutter Flow (T)			Inlet Time			K	I	Area	Q	Back of Curb to Back of Curb					
L	S	C	L	S	Mannings	T1	T1	Tc	Inlet	Label	Inlet	Inlet	2)	Allowable Gutter Spread	Street Cross Slope	Max. Gutter Depth	Max. Gutter Area					Gutter Cap.	Gutter Bypass (positive # = bypass)	Use a slope of 0.0% for pump conditions	Slope	100%	80%
(ft)	(%)	(%)	(ft)	(%)	n	(min)	(min)	(min)	(in/hr)	(deg)	(cfs)	(cfs)	(ft)	(ft)	(ft)	(ft)	(sq ft)	(cfs)	(cfs)	(ft)	(%)	Width	Capacity	Capacity	(cfs)		
10	10	1.3	0.9	88	1.3	0.014	1.04	0.33	5.00	1.25	10.32	D	0.05	0.6	28	1	10.5	2.08	0.24	1.04	3.3	-2.7	ssg	3	5.00	4.00	-3.59
11	60	1.3	0.9	20	1.2	0.014	2.96	0.08	5.00	1.25	10.32	C	0.12	1.4	28	1	10.5	2.08	0.24	1.04	3.2	-1.8	ssg	3	5.00	4.00	-2.59
12	85	3	0.9	15	3.5	0.014	2.31	0.03	5.00	1.25	10.32	B	0.15	1.7	28	1	10.5	2.08	0.24	1.04	5.4	-3.7	ssg	3	5.00	4.00	-2.31
20	90	1.5	0.9	10	1.3	0.014	2.99	0.04	5.00	1.25	10.32	E	0.29	3.3	28	1	10.5	2.08	0.24	1.04	3.3	0.0	ssg	3	5.00	4.00	-0.65

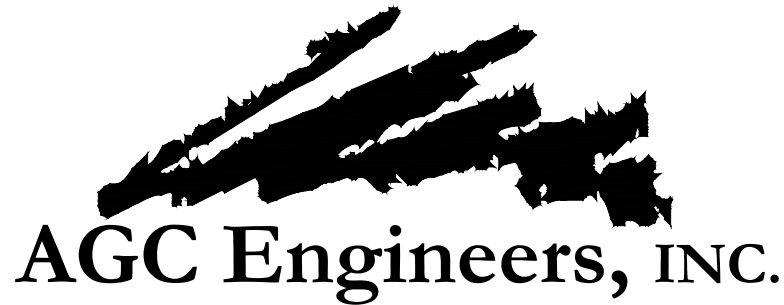
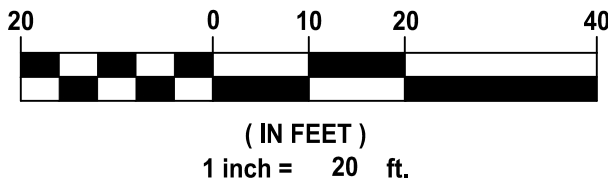
ROOF DRAIN DESIGN TABLE																						
Return Frequency 10-yr																						
Inlet Struct. #	Overland Flow (T)			Channel Flow (T)			Inlet Time			K	I	Area (ac)	Q (cfs)	Back of Curb to Back of Curb (ft)	Gutter Type (1 = CG-1 or 2 = CG-2)	Allowable Gutter Spread (ft)	Street Cross Slope (%)	Max. Gutter Depth (ft)	Max. Gutter Area (sq ft)	Gutter Cap. (cfs)	Gutter Bypass (positive # = bypass)	
	L (ft)	S (%)	C (%)	L (ft)	S (%)	C (%)	T ₁ (min)	T ₂ (min)	T ₃ (min)												Upper Inlet Flow (cfs)	Total Design Flow (cfs)
RD1	20	2.0	0.90	60	0.5	1.00	1.28	1.0	2.3	0.90	8.30	0.11	0.92	0.0	0.92							roof drain from Lot 4E-2A building (approx 4800 sf)
Return Frequency 100-yr																						
Inlet Struct. #	Overland Flow (T)			Channel Flow (T)			Inlet Time			K	I	Area (ac)	Q (cfs)	Back of Curb to Back of Curb (ft)	Gutter Type (1 = CG-1 or 2 = CG-2)	Allowable Gutter Spread (ft)	Street Cross Slope (%)	Max. Gutter Depth (ft)	Max. Gutter Area (sq ft)	Gutter Cap. (cfs)	Gutter Bypass (positive # = bypass)	
	L (ft)	S (%)	C (%)	L (ft)	S (%)	C (%)	T ₁ (min)	T ₂ (min)	T ₃ (min)												Upper Inlet Flow (cfs)	Total Design Flow (cfs)
RD1	20	2.0	0.90	60	0.5	1.00	1.28	1.0	2.3	0.90	11.60	0.11	1.44	0.0	1.44							roof drain from Lot 4E-2A building (approx 4800 sf)

PIPE DESIGN TABLE																							
Return Frequency 10 yr										Pipe Capacity													
Line	Inlet Struct #	Inlet Type	Pipe		K	C	Pipe		Total	Pipe dia (in)	Manning's "n"	Pipe slope (%)	Full Pipe Capacity (cfs)	Full Pipe Velocity (ft/s)	Gravity Flow Pipe Velocity (ft/s)	Pressure Flow Pipe Velocity (ft/s)	Gravity Pipe Flow Depth	Minor Head Loss Coefficient "K"	Gravity V/2g feet	Pressure V/2g feet	Length to downstream inlet (ft)	Pressure Slope of Friction %	
			Tc (min)	Tc (min)			I (in/hr)	A (ac)															Pipe dia (in)
1	12	CI	5.00	5.00	1.00	0.90	7.35	0.15	0.15	1.0	15	0.012	0.80	6.3	5.1	3.7	0.8	0.33	1.00	0.21	0.01	81	0.02%
RD1	AI	228	5.37	1.00	0.90	7.24	0.11	0.37	2.4	15	0.012	0.80	6.3	5.1	4.7	1.9	0.53	0.50	0.17	0.03	42	0.12%	
11	CI	5.00	5.62	1.00	0.90	7.20	0.12	0.49	3.2	15	0.012	0.80	6.3	5.1	5.1	2.6	0.63	0.50	0.20	0.05	53	0.26%	
10	CI	5.00	5.69	1.00	0.90	7.15	0.05	0.54	3.5	15	0.012	0.80	6.3	5.1	5.2	2.8	0.66	0.50	0.21	0.06	29	0.24%	
EX1 Connection to Ex 36" HDPE Pipe Structure																							
2	20	CI	5.00	5.00	1.00	0.90	7.35	0.29	0.29	1.9	15	0.012	0.80	6.3	5.1	4.4	1.6	0.46	1.00	0.31	0.04	63	0.07%
EX2 Connection to Ex 36" HDPE Pipe Structure																							
4	RD1	AI	228	228	1.00	0.90	8.30	0.11	0.11	0.8	6	0.012	6.00	1.5	7.6	7.8	4.2	0.27	1.00	0.94	0.27	90	1.81%
x1 connection at Line 1																							
1 Line 3 not used																							
2 Inlet RD1 represents the roof drain from Lot 4E-2A building (approx 4800 sf)																							

Return Frequency 100 yr										Pipe Capacity													
Line	Inlet Struct. #	Inlet Type	T _c for pipe calculations			K	C	I	A	Pipe dia.	Manning's	Pipe slope	Full Pipe Capacity	Full Pipe Velocity	Grav./Flow Pipe Velocity	Pressure Flow Pipe Velocity	Grav./Flow Pipe Depth	Minor Head loss Coefficient	Grav. V ² /2g	Pressure V ² /2g	Length to downstream structure	Friction Slope of Pipe	
			T _c (min)	T _c (min)	T _c (hr)																		Pipe (in/hr)
1	12	CI	5.00	5.00	1.25	0.90	10.32	0.15	0.15	1.7	15	0.012	0.80	6.3	5.1	4.3	1.4	0.44	1.0	0.3	0.03	81	0.06%
RD1	AI	228	5.37	1.25	0.90	10.17	0.11	0.37	4.2	15	0.012	0.80	6.3	5.1	5.5	3.4	0.74	0.5	0.2	0.09	42	0.36%	
11	CI	5.00	5.62	1.25	0.90	10.11	0.12	0.49	5.5	15	0.012	0.80	6.3	5.1	5.8	4.5	0.91	0.5	0.3	0.16	53	0.62%	
10	CI	5.00	5.69	1.25	0.90	10.04	0.05	0.54	6.1	15	0.012	0.80	6.3	5.1	5.8	5.0	0.99	0.5	0.3	0.19	29	0.75%	
EX1 Connection to Ex 36" HDPE Pipe Structure																							
2	20	CI	5.00	5.00	1.25	0.90	10.32	0.29	0.29	3.3	15	0.012	0.80	6.3	5.1	5.2	2.7	0.64	1.0	0.4	0.12	63	0.23%
EX2 Connection to Ex 36" HDPE Pipe Structure																							
4	RD1	AI	228	228	1.25	0.90	11.59	0.11	0.11	1.4	6	0.012	6.00	1.5	7.6	8.6	7.3	0.39	1.0	1.2	0.83	90	5.53%
x1 connection at Line 1																							
1 Line 3 not used																							
2 Inlet RD1 represents the roof drain from Lot 4E-2A building (approx 4800 sf)																							



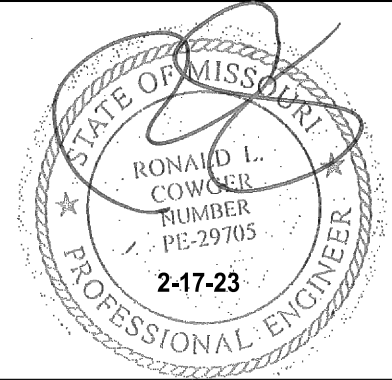
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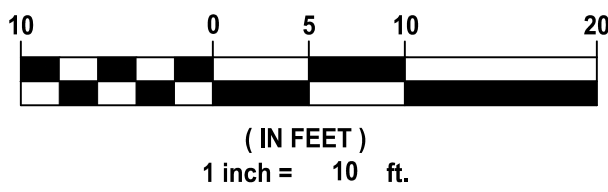
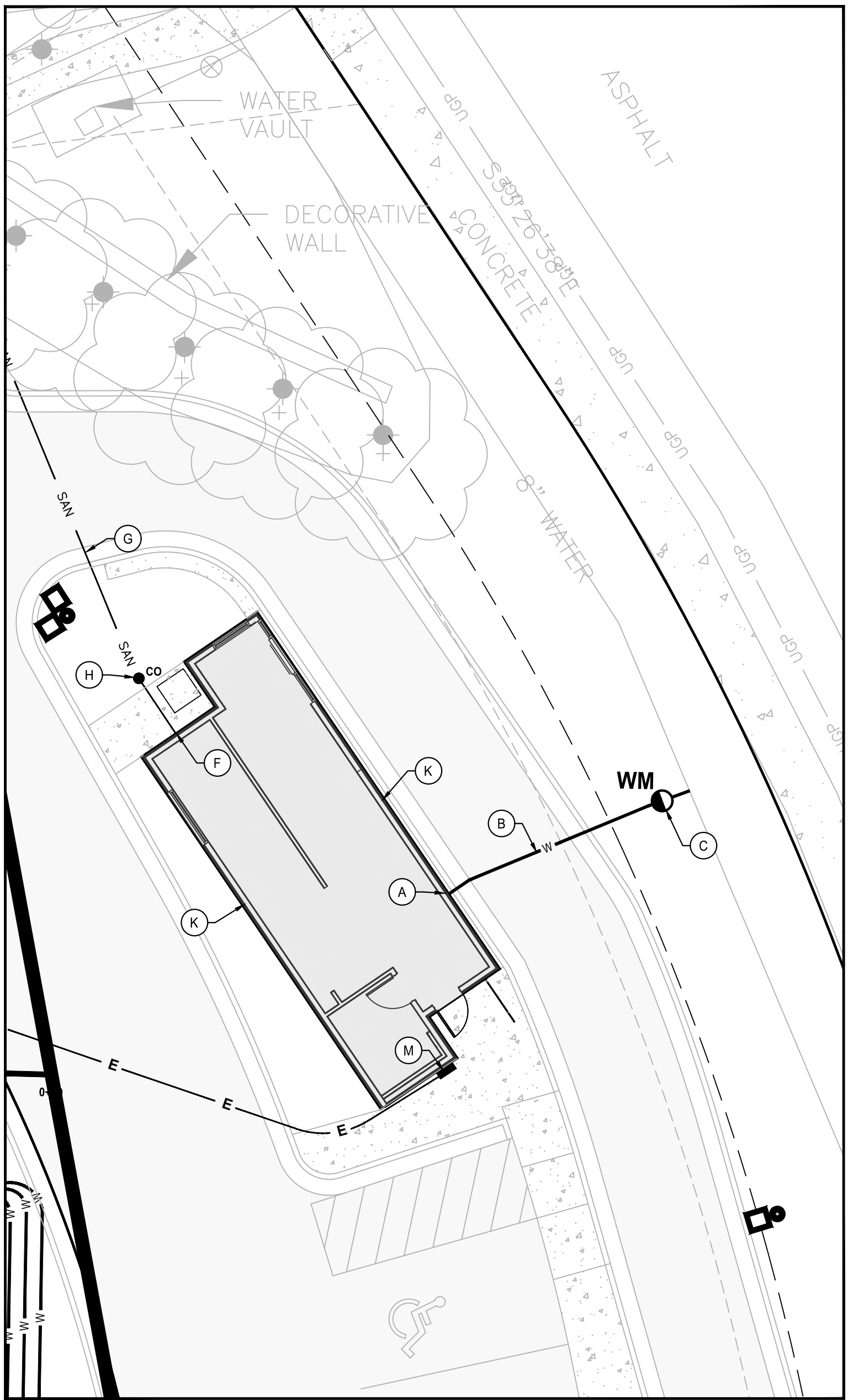
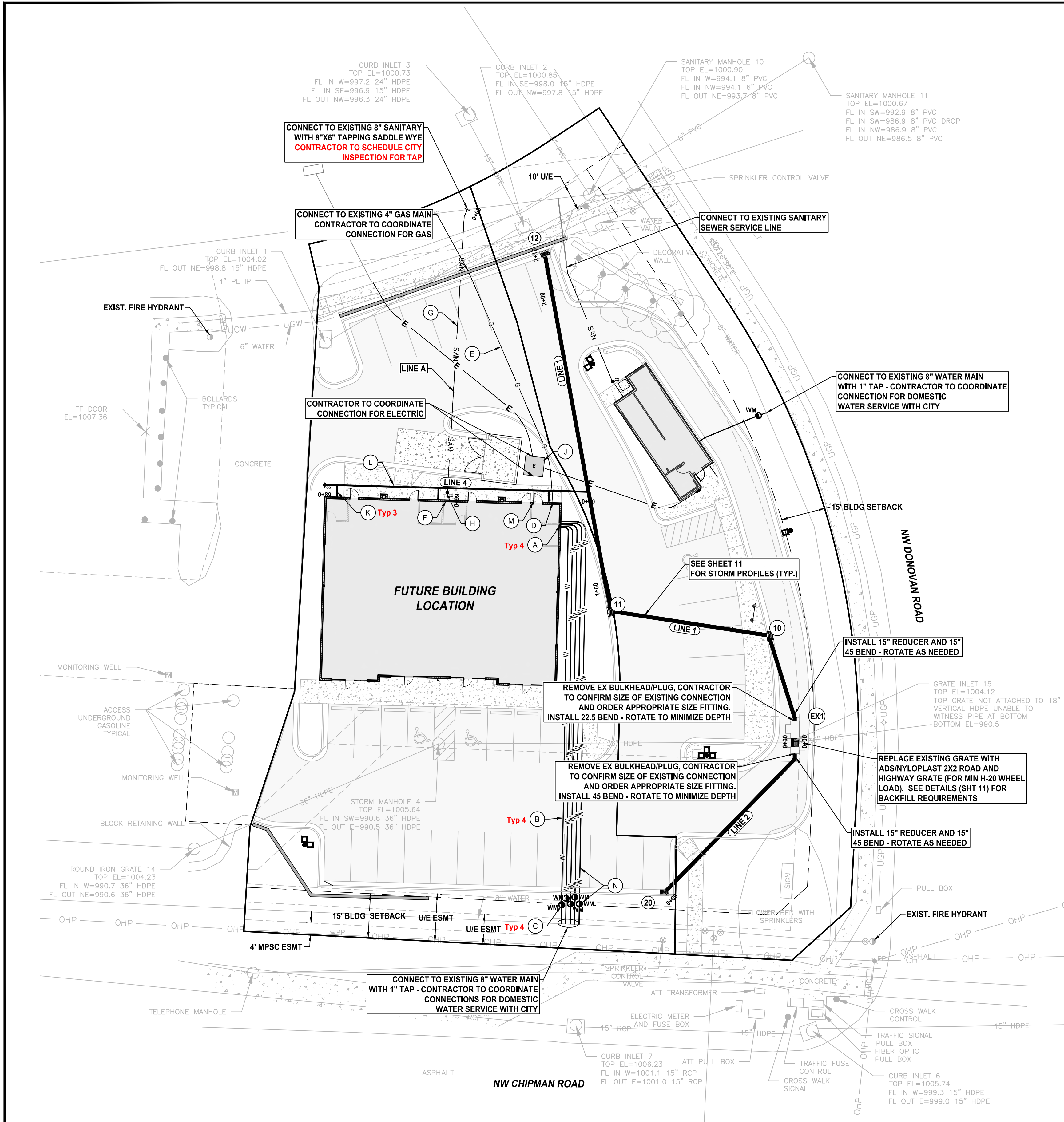
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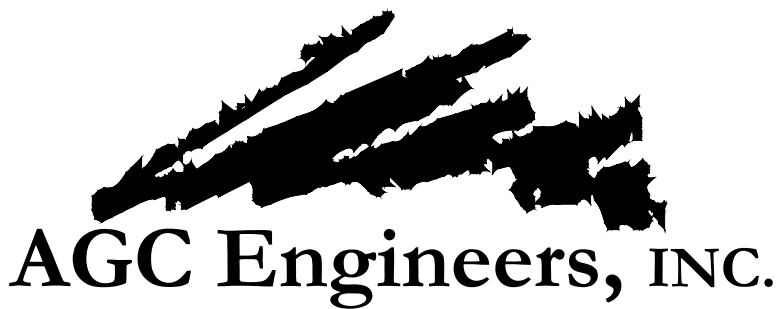
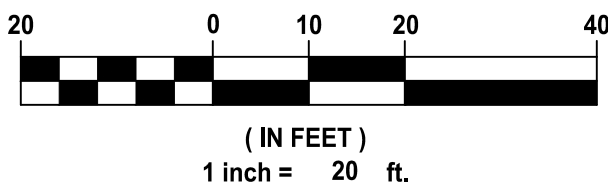
SITE DEVELOPMENT PLANS
DRAINAGE AREA MAP & CALCS



- NOTES:**
1. CONTRACTOR SHALL COORDINATE WITH SUPERSTAR HOLDINGS, LLC PRIOR TO BEGINNING UNDERGROUND UTILITIES TO VERIFY SPECIFIC TENANT REQUIREMENTS SUCH AS DOMESTIC WATER, WATER METER AND FIRE LINE SIZES, CONDUITS TO / FROM MESSAGE BOARDS, AND GROUND LOOP DETECTION SYSTEMS.
 2. SANITARY SEWER CROSSING WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF EIGHTEEN INCHES (18") BETWEEN THE OUTSIDE BOTTOM OF THE WATER MAIN AND THE OUTSIDE TOP OF THE SANITARY SEWER. MAINTAIN EIGHTEEN INCHES (18") MINIMUM SEPARATION FROM THE TOP OF THE SANITARY SEWER TO THE BOTTOM OF THE WATER MAIN. WHEN WATER LINE GOES UNDER A SANITARY SEWER THEN THE SANITARY SEWER SHOULD BE PRESSURE RATED PIPE OR ENCASED IN CONCRETE.

- KEY LEGEND**
- (A) DOMESTIC WATER ENTRY (RE: MEP)
 - (B) 1" DOMESTIC WATER LINE (CONFIRM WITH MEP PRIOR TO INSTALLATION)
 - (C) 1" WATER METER AND METER PIT
 - (D) GAS ENTRY (RE: MEP)
 - (E) GAS LINE (RE: SPIRE OR MEP FOR GAS SIZE AND MATERIAL)
 - (F) SANITARY SEWER ENTRY (RE: MEP)
 - (G) 6" SANITARY SEWER LINE (2% MIN. SLOPE)
 - (H) CLEANOUT
 - (I) PHONE / DATA SERVICE ENTRY (RE: ARCH)
 - (J) ELECTRICAL TRANSFORMER (RE: MEP)
 - (K) DOWNSPOUT (RE: ARCH) (SEE DOWNSPOUT DRAIN DETAIL)
 - (L) 6" PVC DOWNSPOUT STORM LINE
 - (M) ELECTRICAL ENTRY
 - (N) 1" IRRIGATION METER AND LINE

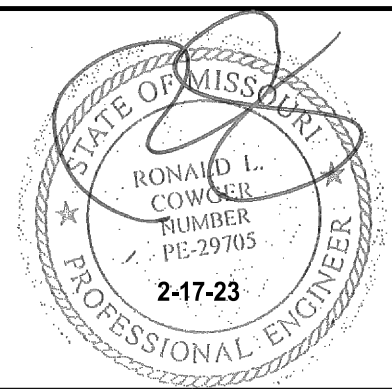
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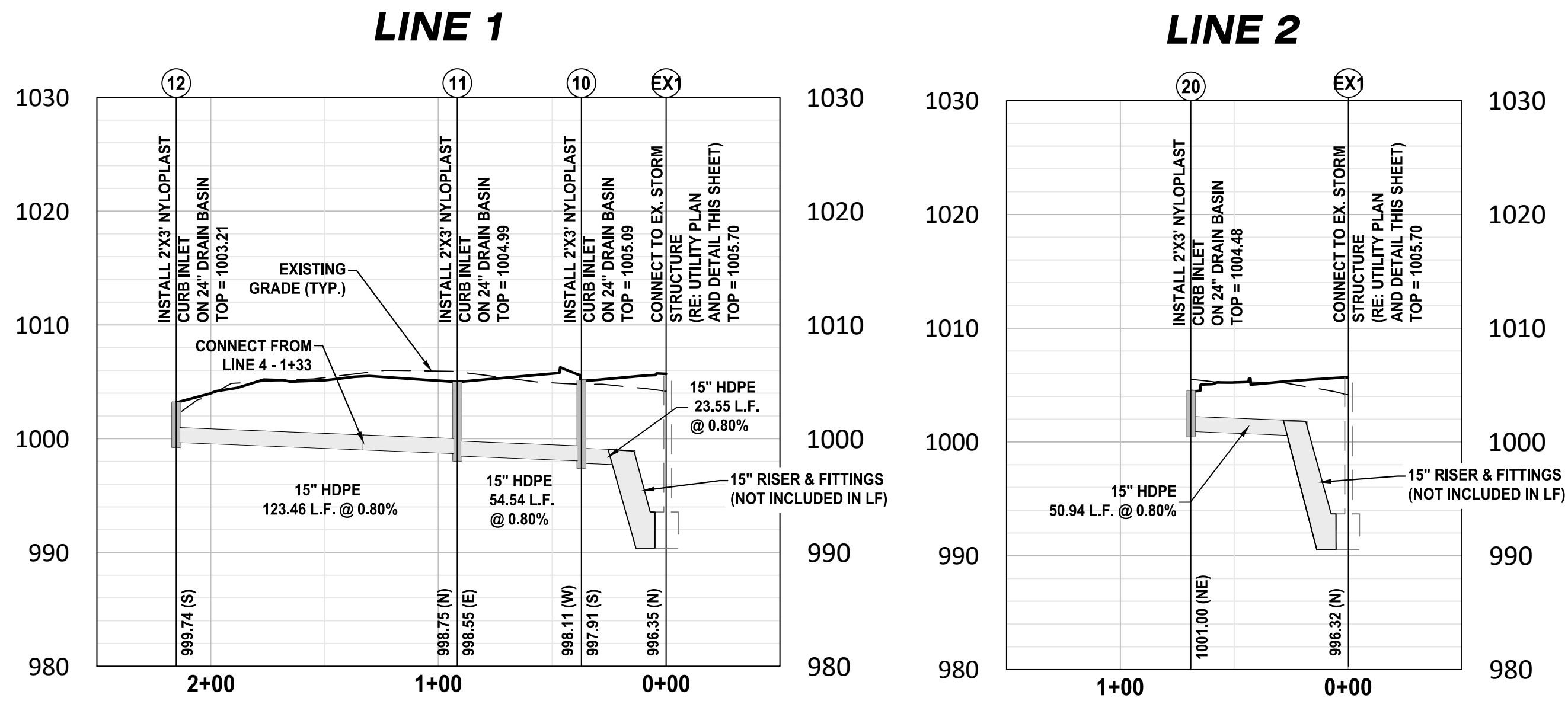
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SITE DEVELOPMENT PLANS
UTILITY PLAN

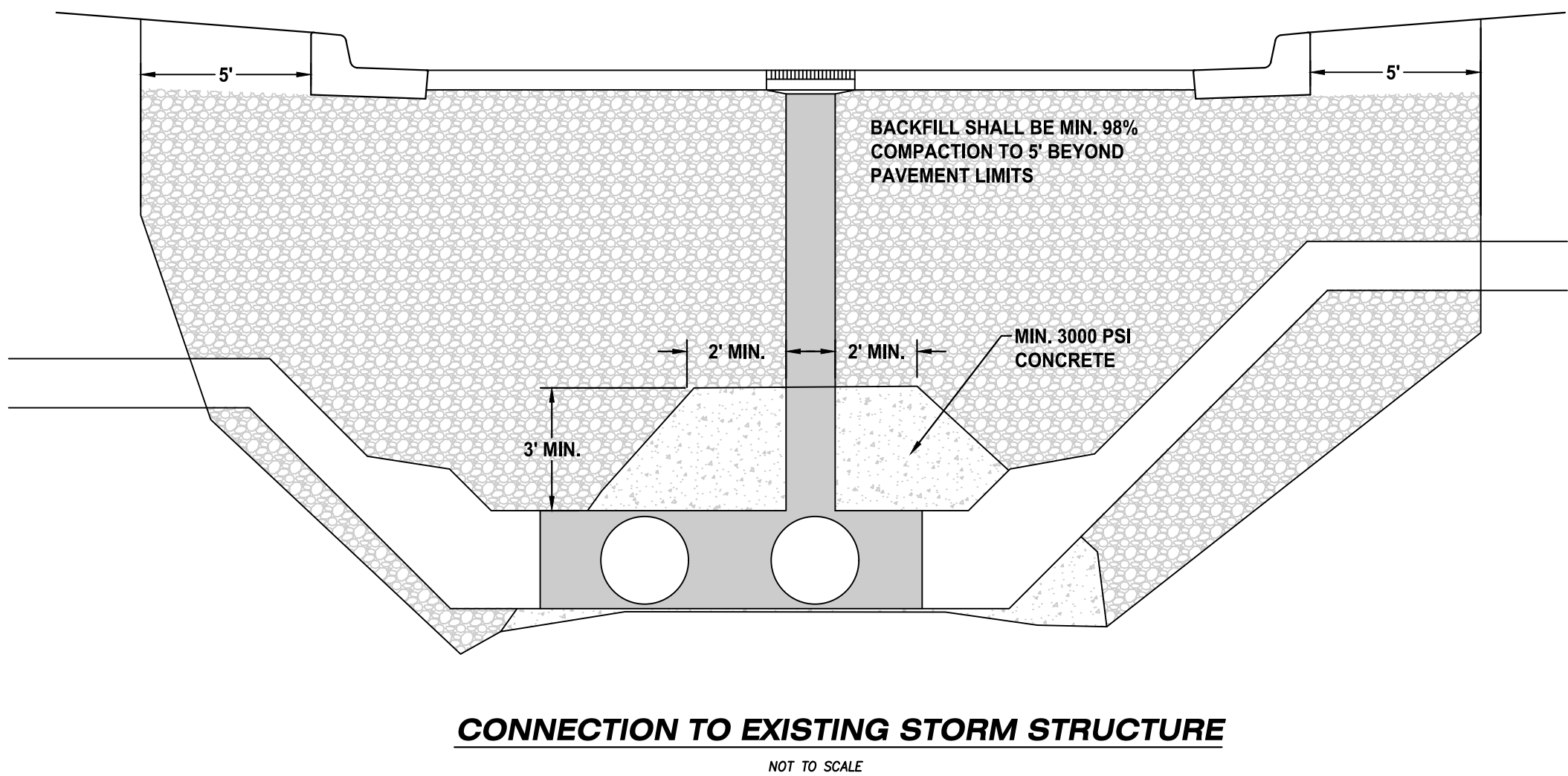
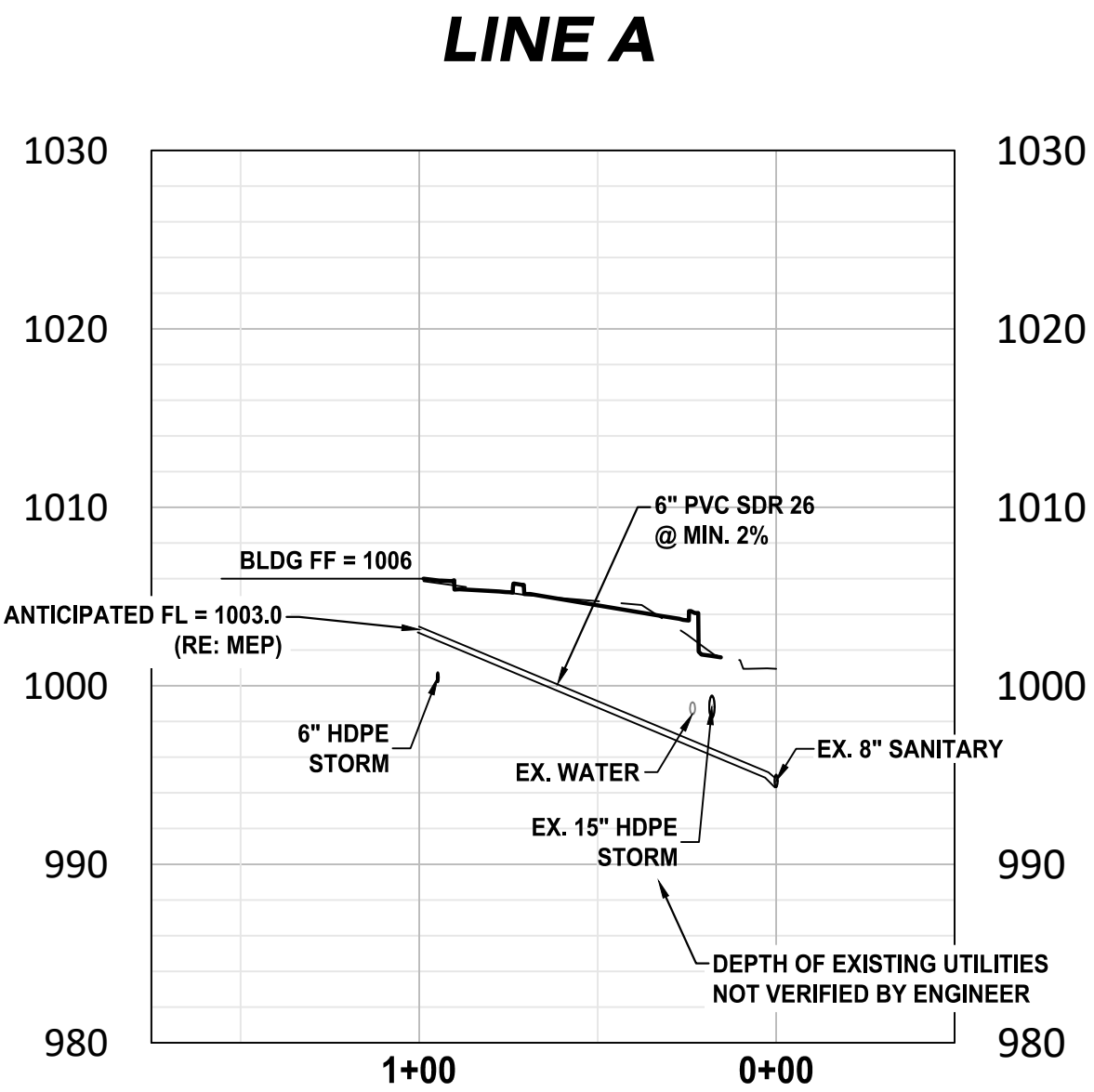
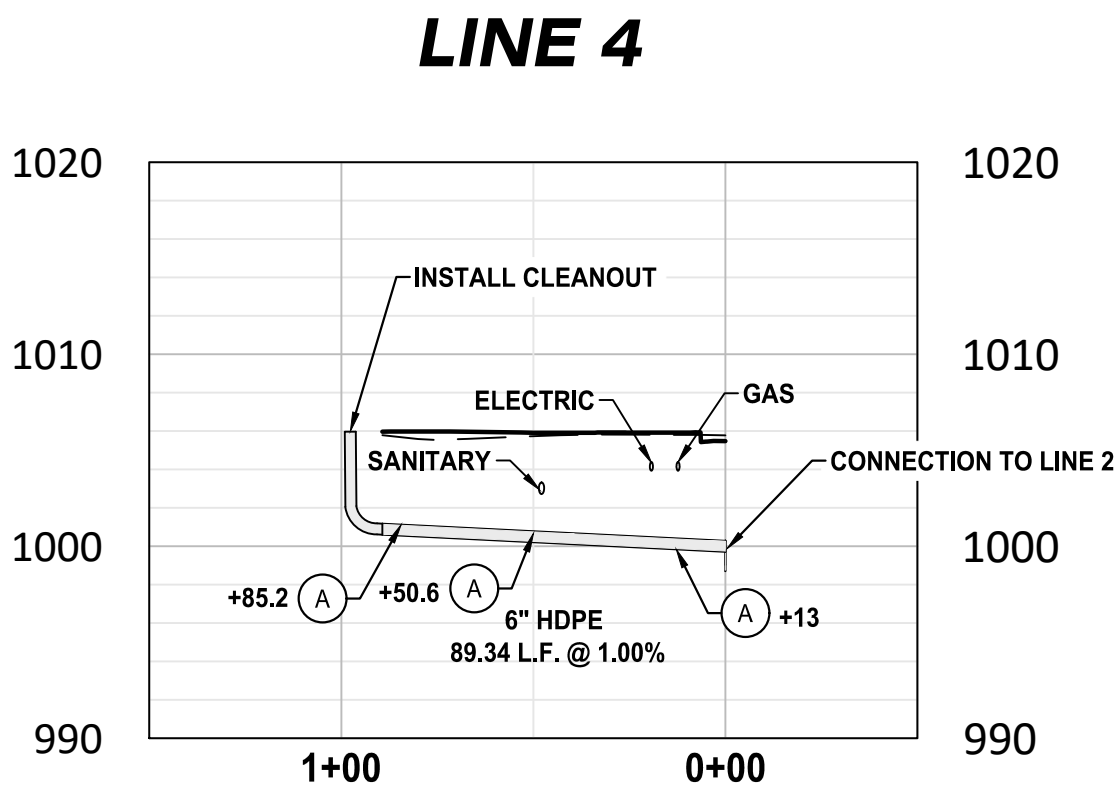
- NOTES:
1. CONTRACTOR SHALL COORDINATE WITH SUPERSTAR HOLDINGS, LLC PRIOR TO BEGINNING UNDERGROUND UTILITIES TO VERIFY SPECIFIC TENANT REQUIREMENTS SUCH AS DOMESTIC WATER, WATER METER AND FIRE LINE SIZES, CONDUITS TO / FROM MESSAGE BOARDS, AND GROUND LOOP DETECTION SYSTEMS.
 2. SANITARY SEWER CROSSING WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF EIGHTEEN INCHES (18") BETWEEN THE OUTSIDE BOTTOM OF THE WATER MAIN AND THE OUTSIDE TOP OF THE SANITARY SEWER. MAINTAIN EIGHTEEN INCHES (18") MINIMUM SEPARATION FROM THE TOP OF THE SANITARY SEWER TO THE BOTTOM OF THE WATER MAIN. WHEN WATER LINE GOES UNDER A SANITARY SEWER THEN THE SANITARY SEWER SHOULD BE PRESSURE RATED PIPE OR ENCASED IN CONCRETE.

KEY LEGEND

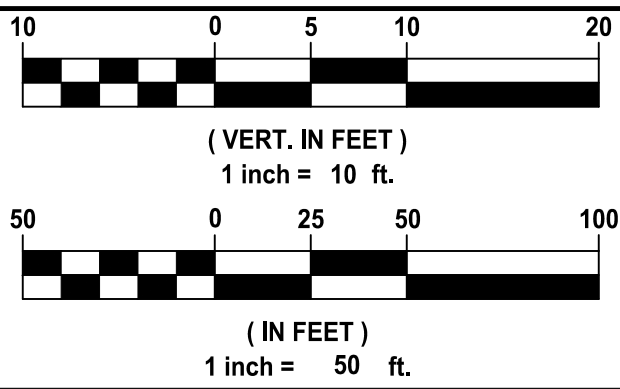
(A) DOWNSPOUT CONNECTION



LINE 3 NOT USED



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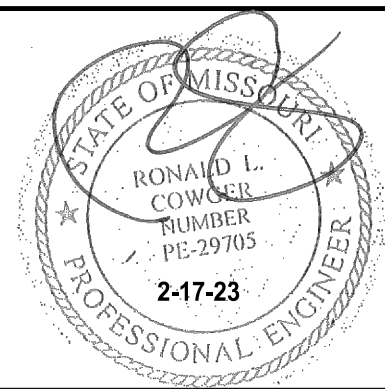


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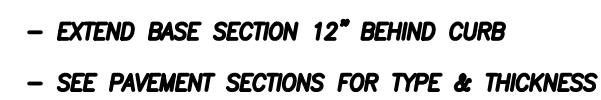
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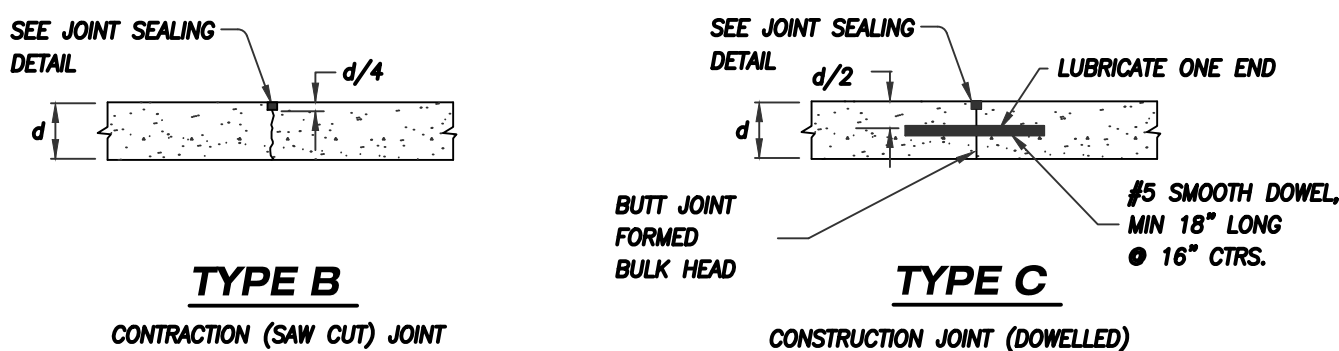
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SITE DEVELOPMENT PLANS
UTILITY PROFILES

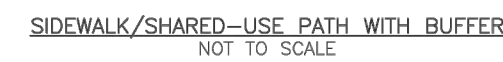
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NOT TO SCALE



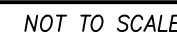
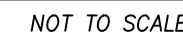
NOT TO SCALE



1. SUBGRADE MUST BE OF STABLE, COMPACTED EARTH AND SHALL BE OVERLAYED WITH 4" COMPACTED DENSE GRADED AGGREGATE BASE.
2. 1.5% CROSS SLOPE MUST BE MAINTAINED THROUGH DRAINWAYS.
3. KOWMIX 4K CONCRETE MIX SHALL BE REQUIRED FOR ALL SIDEWALKS/SHARED-USE PATHS.
4. ALL SIDEWALKS/SHARED-USE PATHS SHALL MEET CURRENT PUBLIC RIGHT OF WAY ACCESSIBILITY GUIDELINES (PROWIS).
5. AN ISOLATION JOINT SHALL BE PLACED AT A MAXIMUM OF 100 FT. CONSTRUCTION JOINTS SHALL BE PLACED THE SAME JOINT OF SIDEWALK/SHARED-USE PATHS, BUT NO GREATER THAN 10 FT.
6. AN ISOLATION JOINT SHALL BE PLACED WHERE THE SIDEWALK/SHARED-USE PATHS MEETS A RESIDENTIAL DRIVEWAY.
7. SHARED-USE PATHS WIDTH SHALL BE 10 FT. WIDE.
8. SIDEWALKS/SHARED-USE PATHS FINISHING SHALL BE FULL BROOM FINISH OR AS DIRECTED BY CITY INSPECTOR.
9. WHITE CURING COMPOUND MUST BE APPLIED UNIFORMLY TO THE CONCRETE SURFACE IMMEDIATELY AFTER FINISHING.

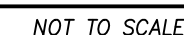


GEN-2



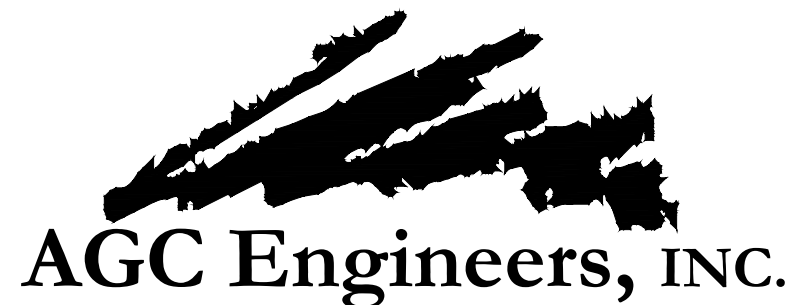
1. 3/4" ISOLATION JOINTS SHALL BE 3 (2'-#8 BARS) SMOOTH DOWELS SHALL BE PLACED AT RADIUS POINTS AND AT 150' INTERVALS. THESE DOWEL BARS SHALL BE GREASED AND WRAPPED ON ONE END WITH EXPANSION TUBES.
2. 3" DEEP CONTRACTION JOINTS SHALL BE INSTALLED AT APPROXIMATELY 10' INTERVALS. THESE JOINTS SHALL PASS ACROSS THE ENTIRE CURB SECTION.
3. CONCRETE FILL SHALL HAVE UNIFORM AND SMOOTH FINISH
4. KCMMD 4K CONCRETE SHALL BE USED FOR ALL CURB.
5. ASPHALTIC CONCRETE SURFACE COURSE SHALL CONFORM TO STANDARD SPECIFICATIONS SECTION 2205.2.
6. CURBS FOR NEW STREETS SHALL BE BUILT ON ASPHALT OR AGGREGATE BASE AS SHOWN IN TYPICAL SECTION DETAIL.
7. WHITE CURING COMPOUND MUST BE APPLIED UNIFORMLY TO THE CONCRETE SURFACE IMMEDIATELY AFTER FINAL FINISHING.
8. ALL DOWELS & TIE BARS SHALL BE EPOXY COATED.

GEN-4

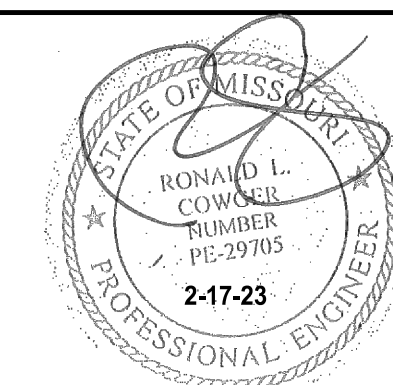


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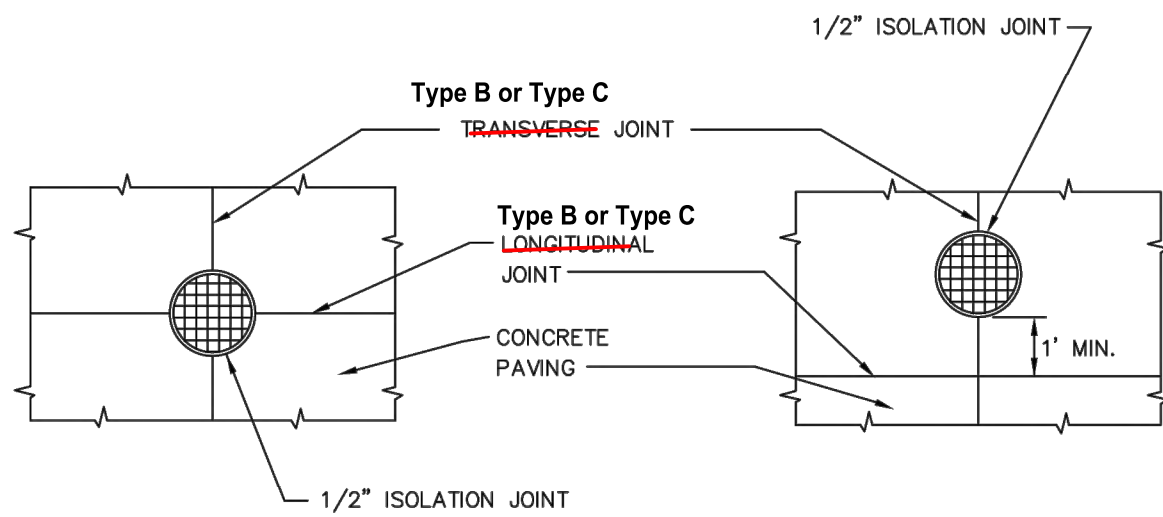
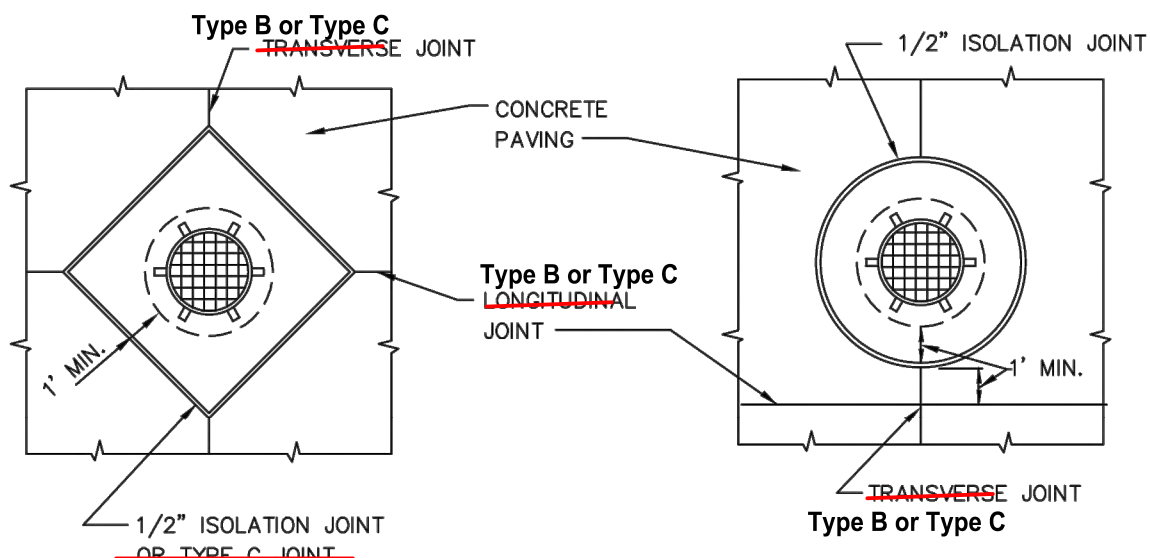


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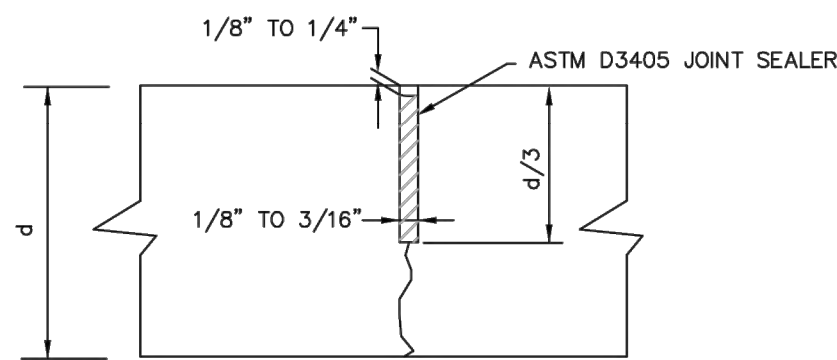


SITE DEVELOPMENT PLANS

DETAILS



CONCRETE PAVING ISOLATION JOINTS

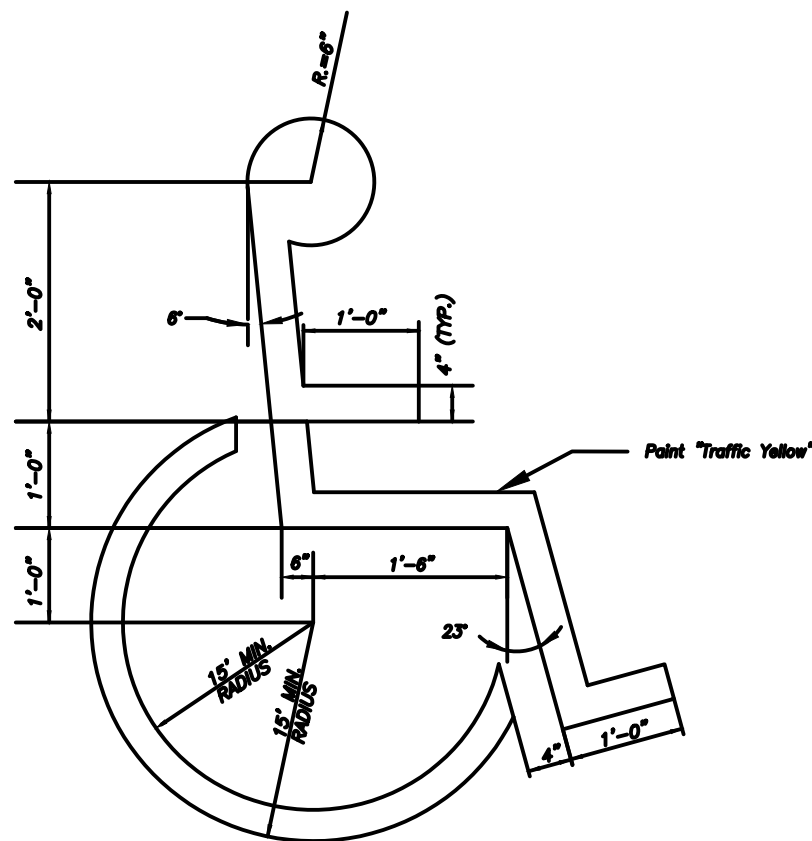


TYPICAL SECTION

NOTES:

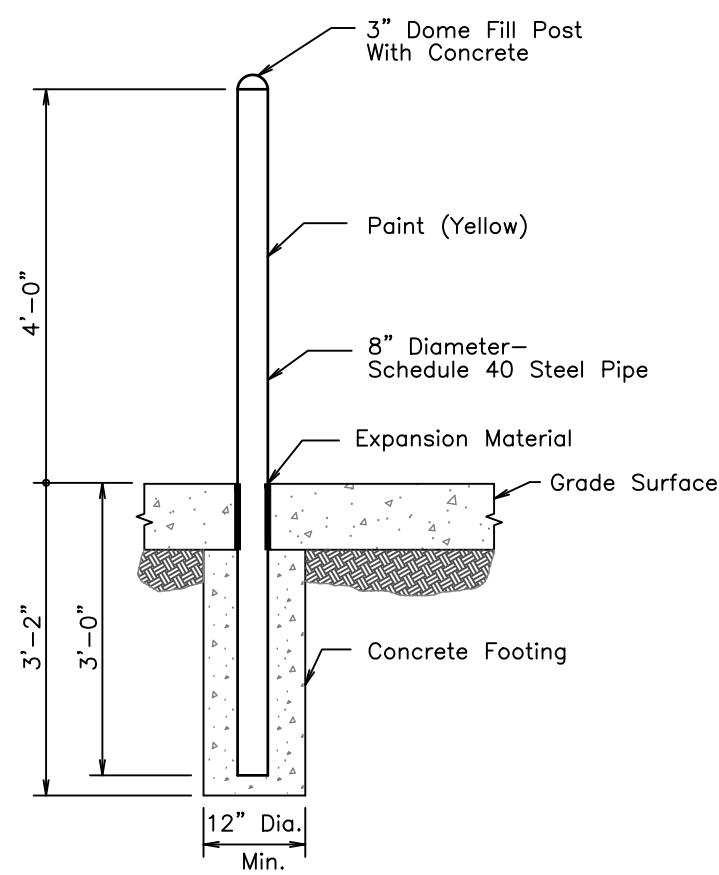
1. JOINT SEALING MATERIAL SHALL CONFORM TO ASTM D3405 AND SHALL BE APPLIED IN ACCORDANCE WITH MATERIAL MANUFACTURER'S RECOMMENDATIONS.
2. d = DEPTH OF SLAB

CONCRETE PAVING JOINT SEALING



ACCESSIBLE PARKING SYMBOL

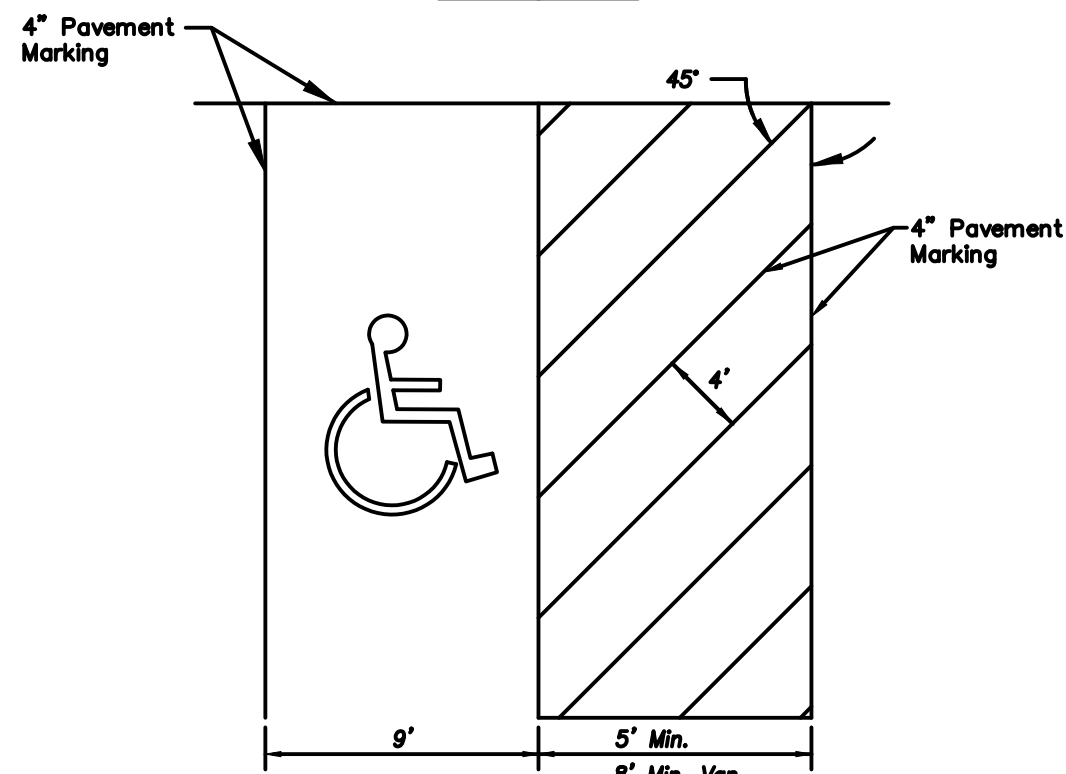
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BOLLARD

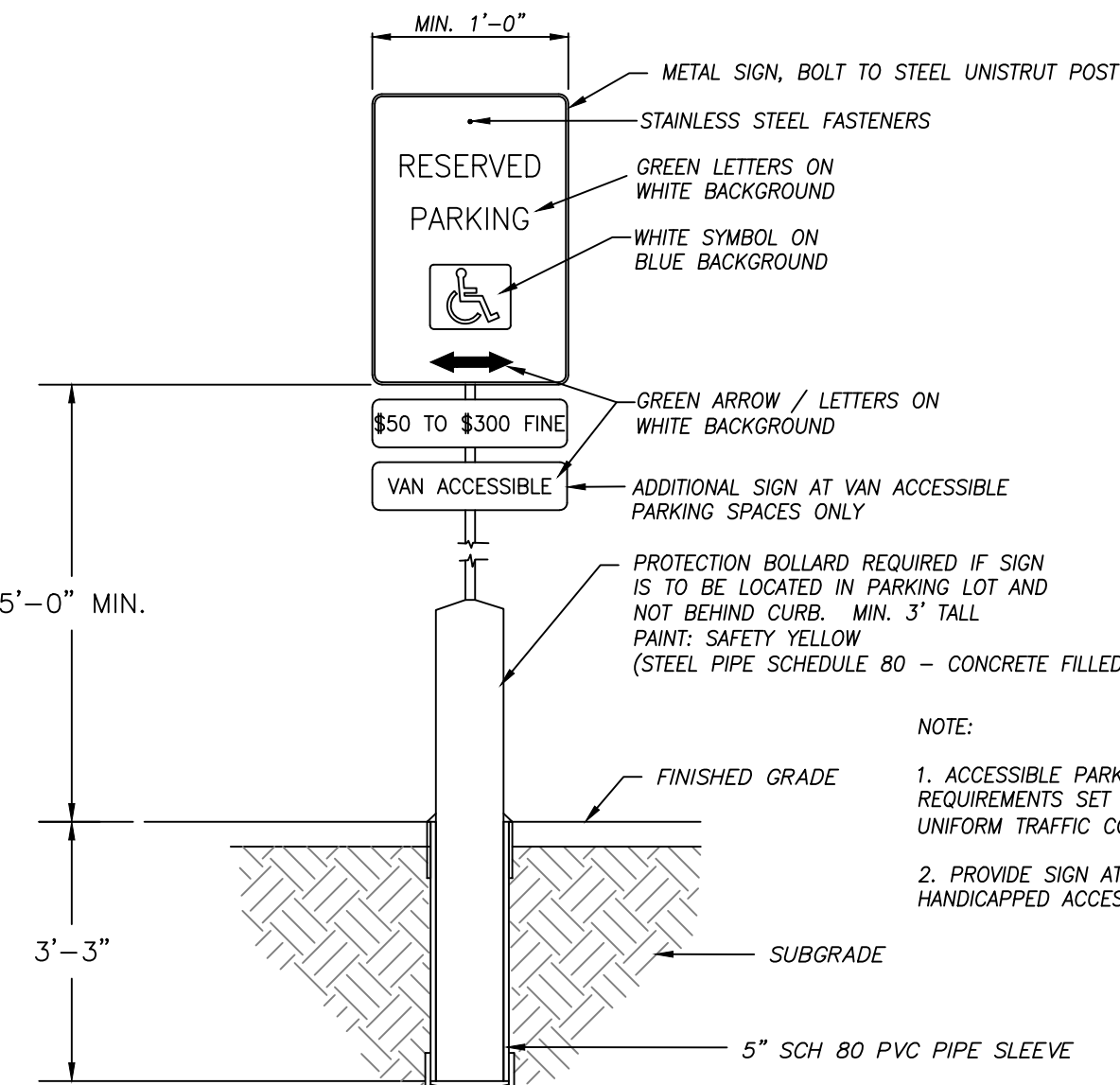
NOT TO SCALE

ADA Parking with curb -
locate 3.0' behind 4" pavement marking
or at building front



ADA ACCESSIBLE STRIPING LAYOUT

NOT TO SCALE

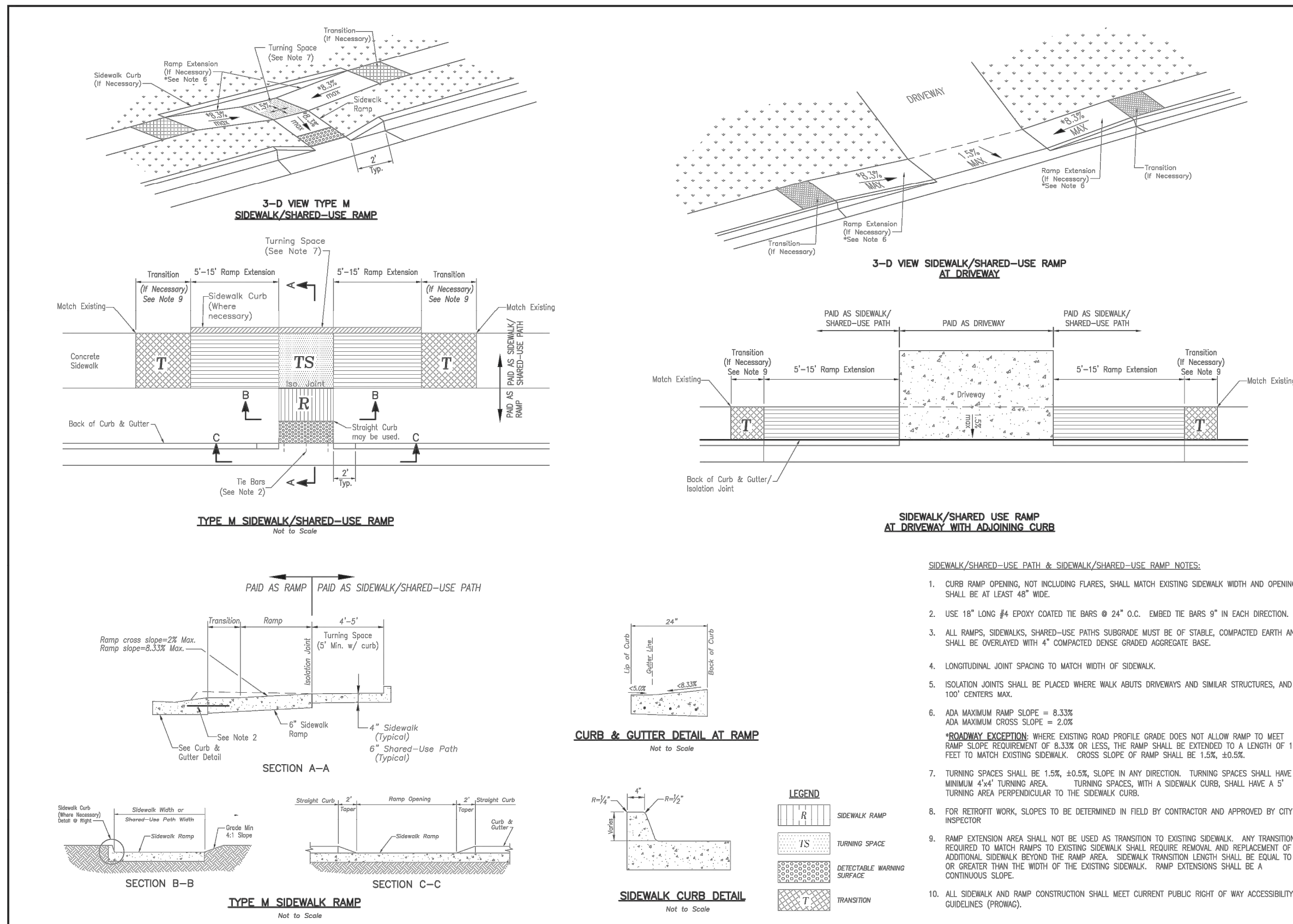
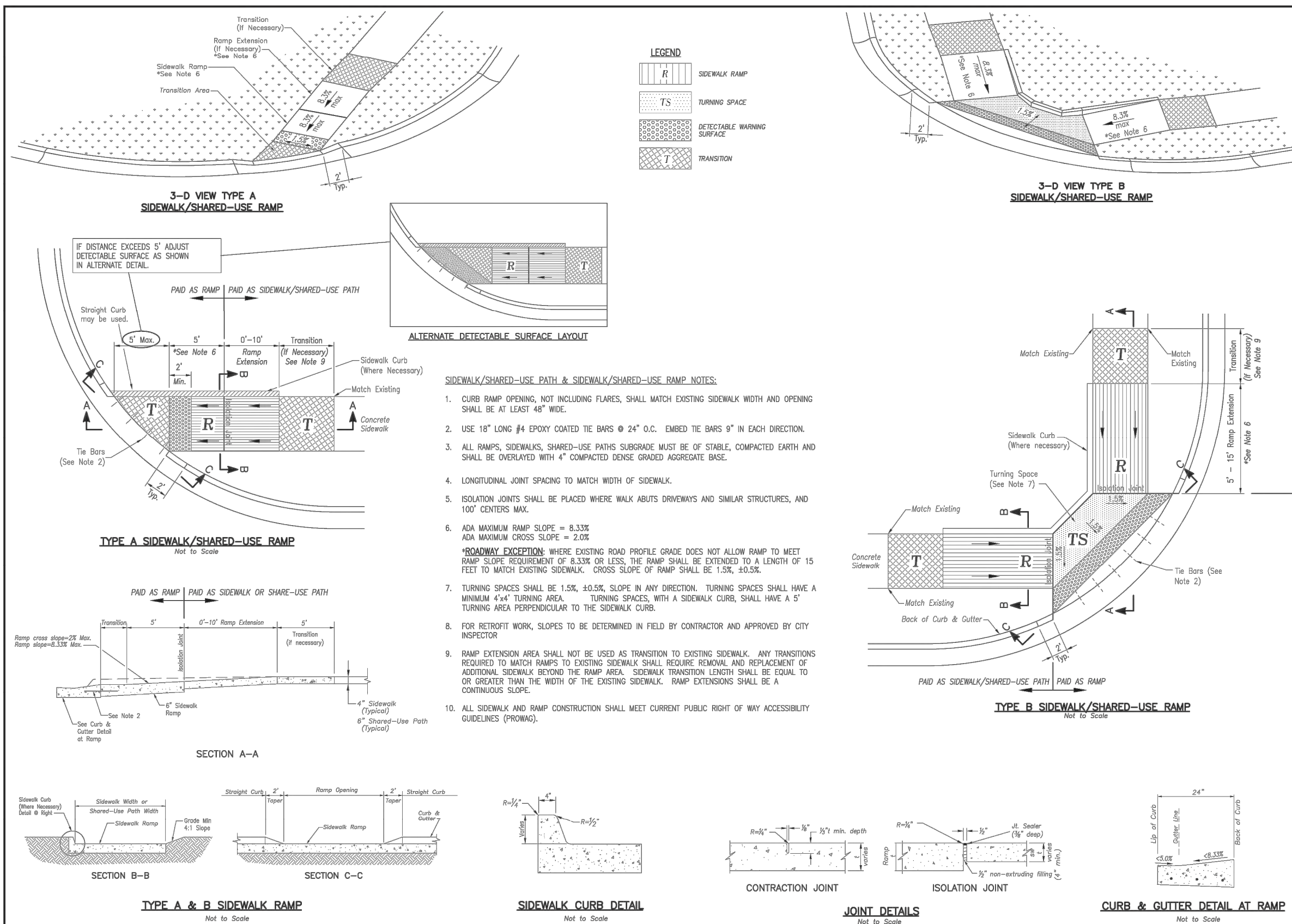


HANDICAP BOLLARD / SIGN

NOT TO SCALE

NOTE:

1. ACCESSIBLE PARKING SIGNS SHALL MEET THE REQUIREMENTS SET FORTH IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
2. PROVIDE SIGN AT THE HEAD OF EACH HANDICAPPED ACCESSIBLE PARKING STALL.



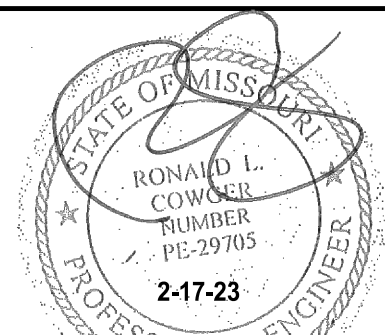
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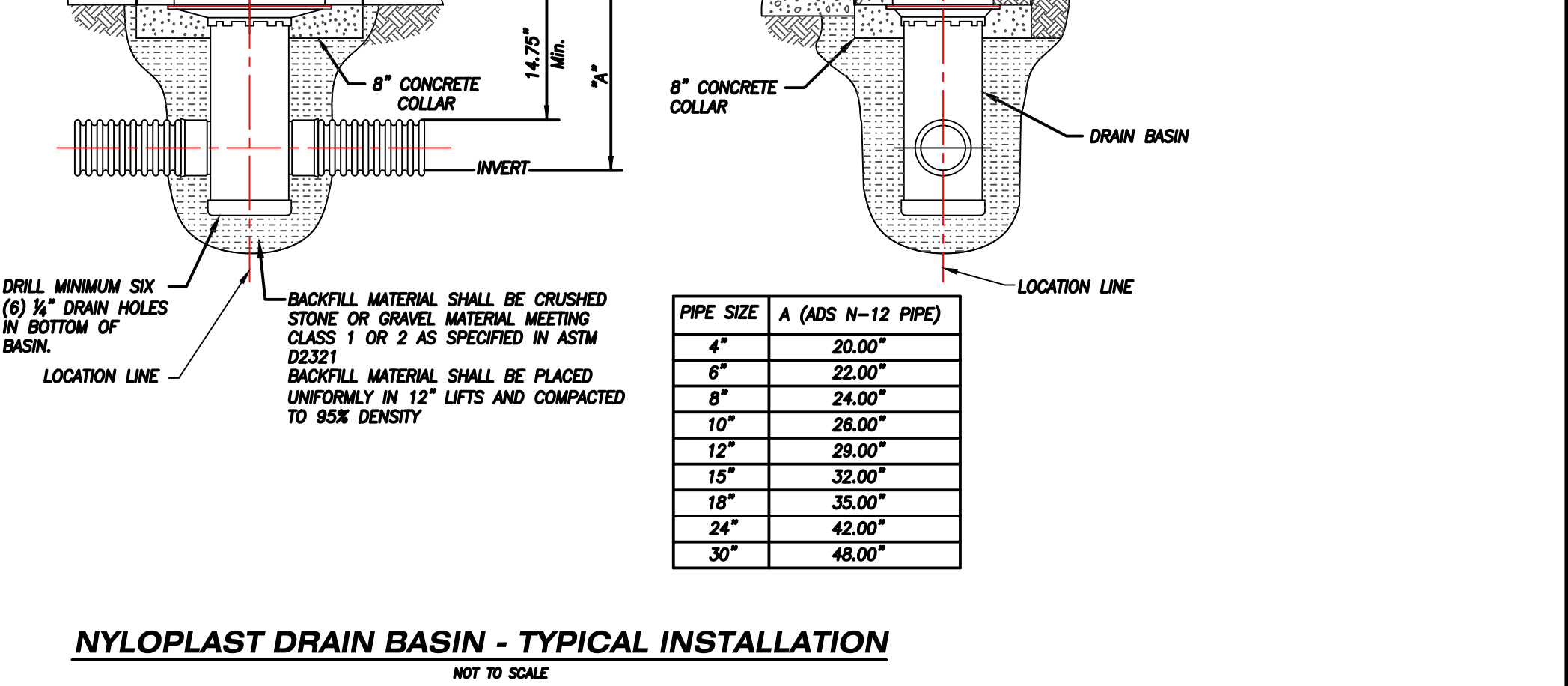
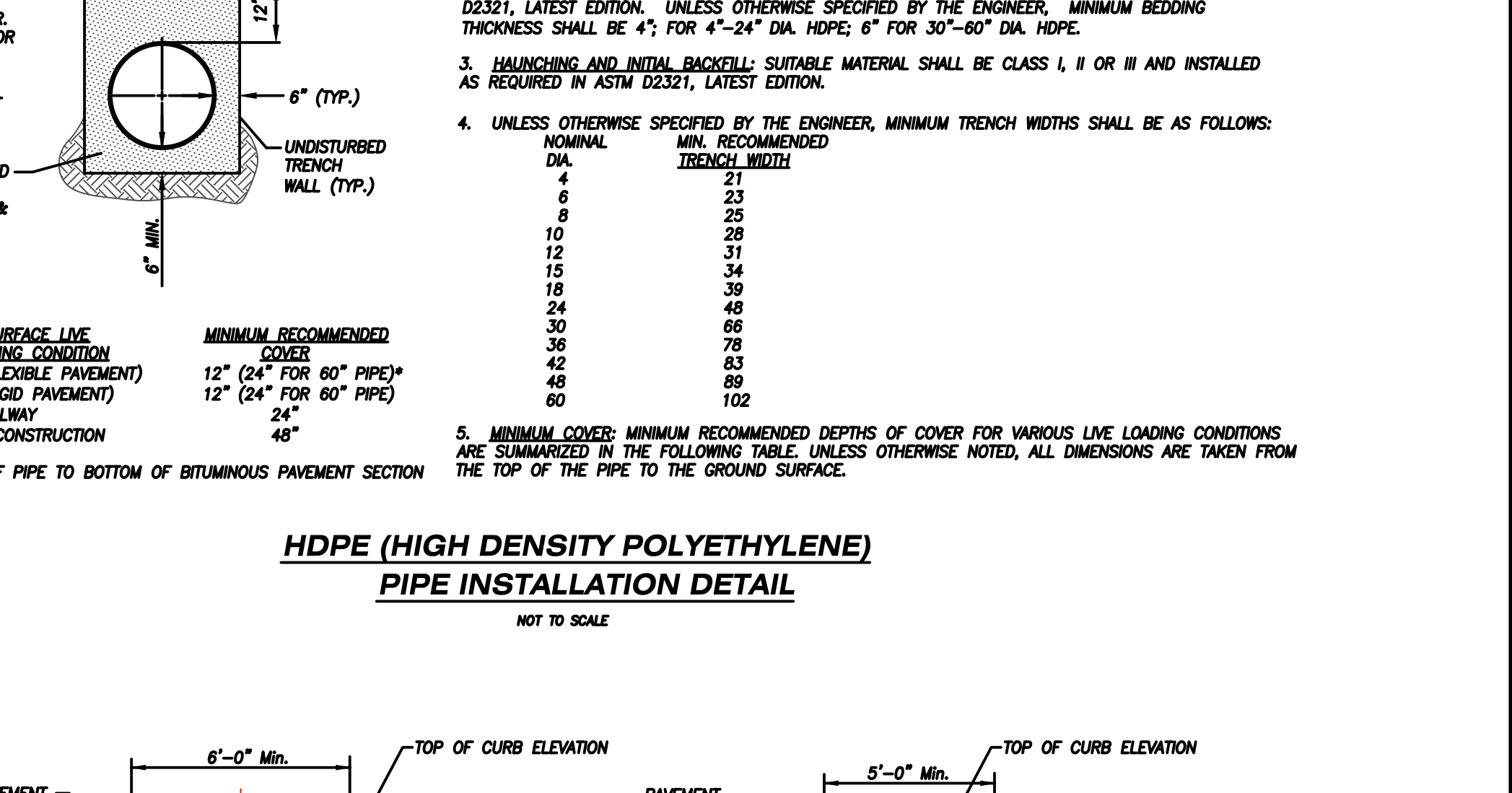
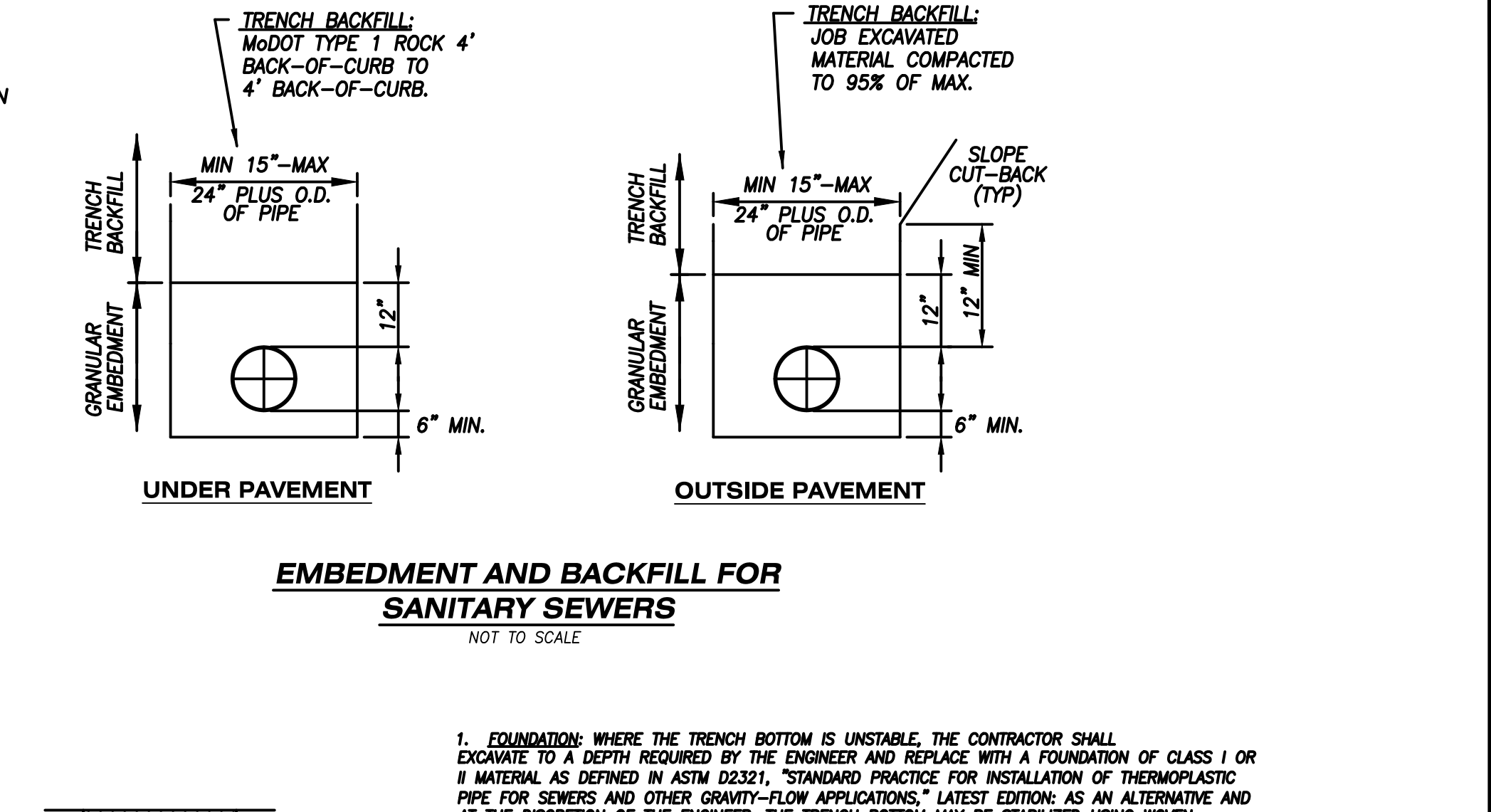
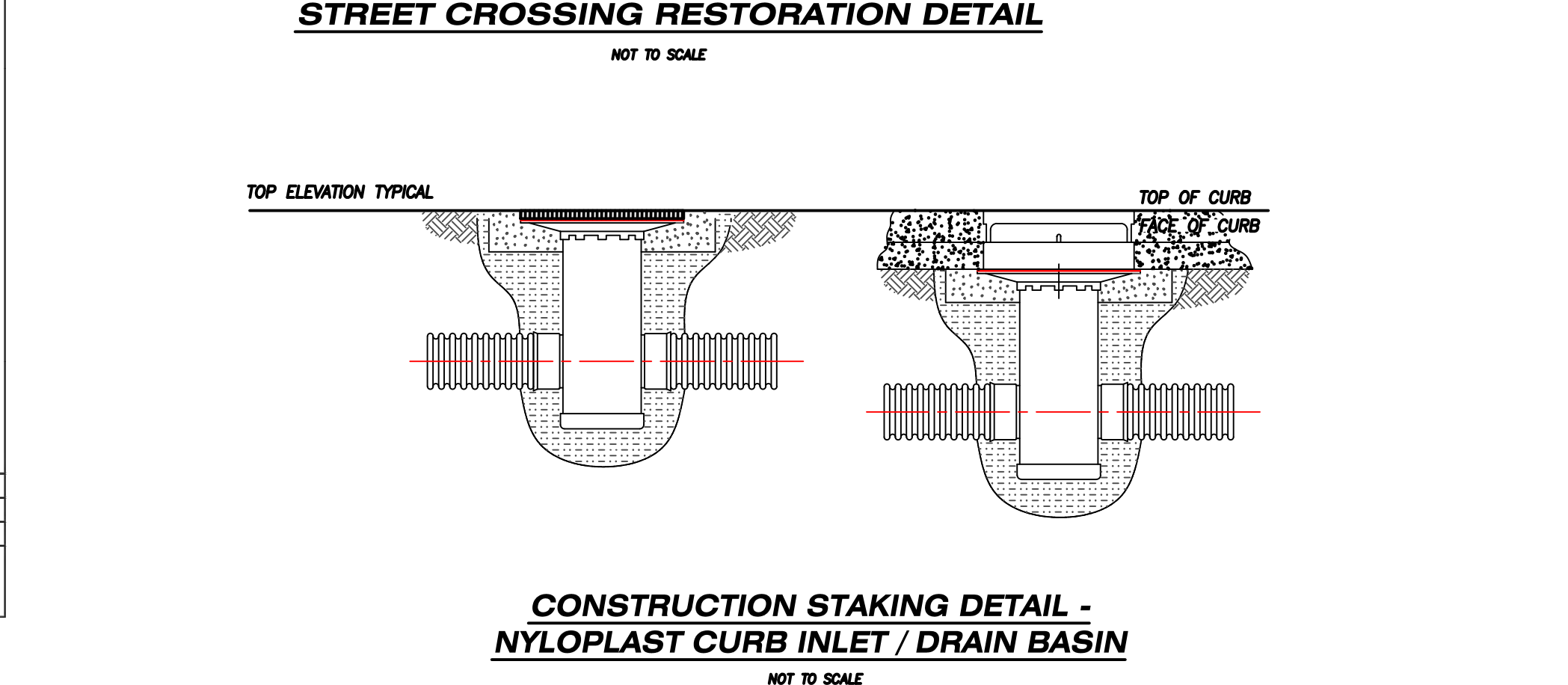
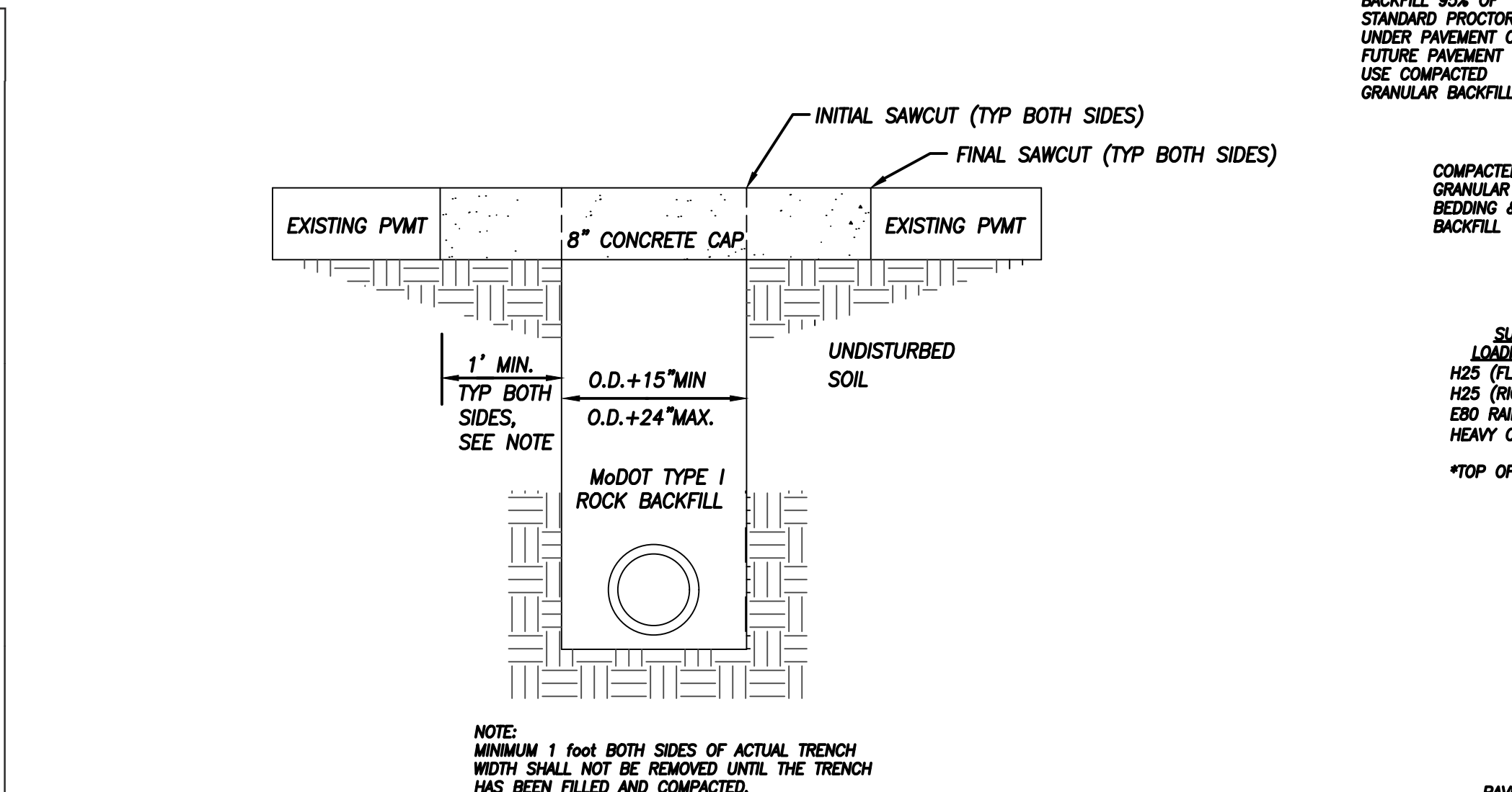
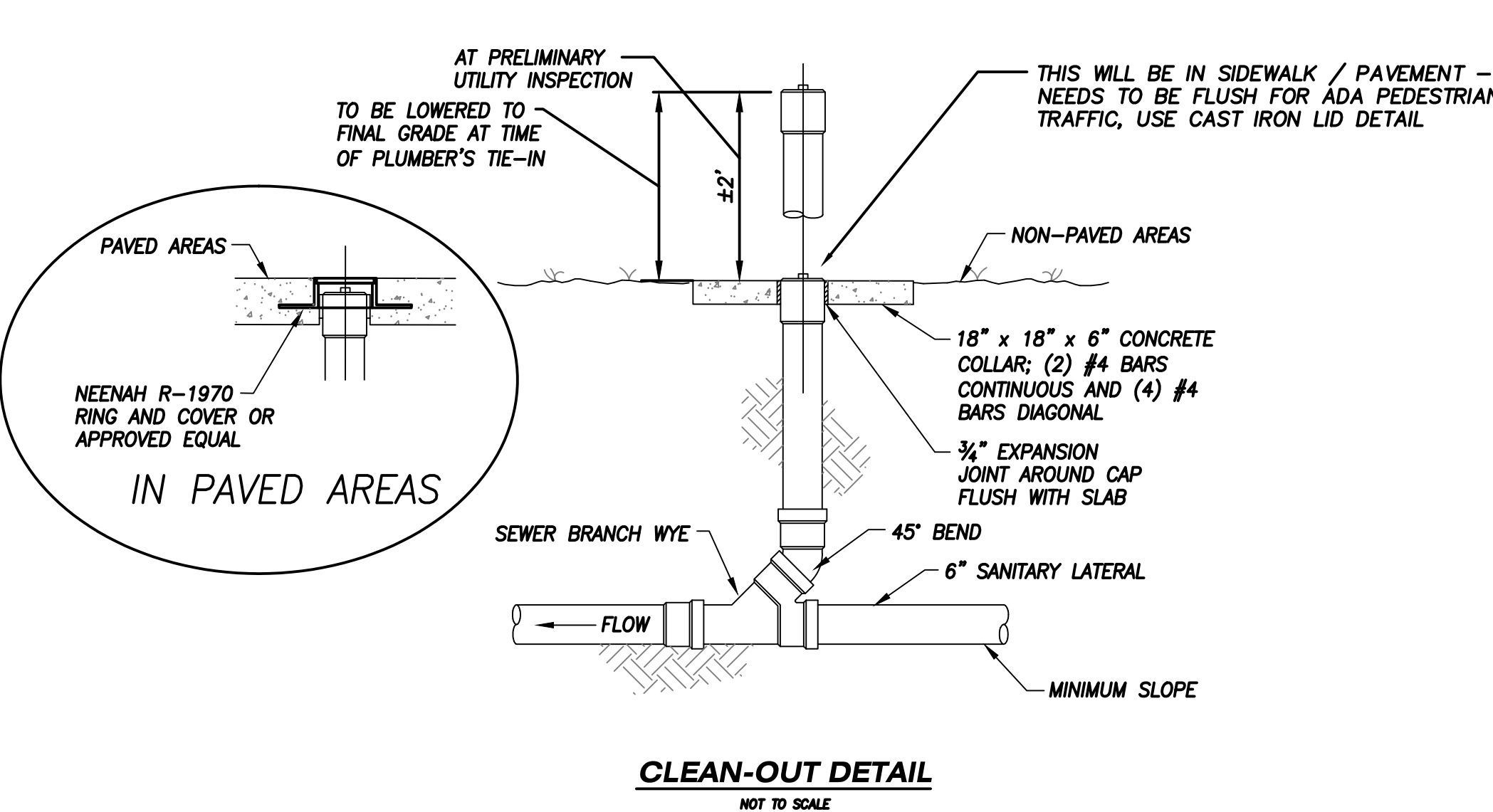
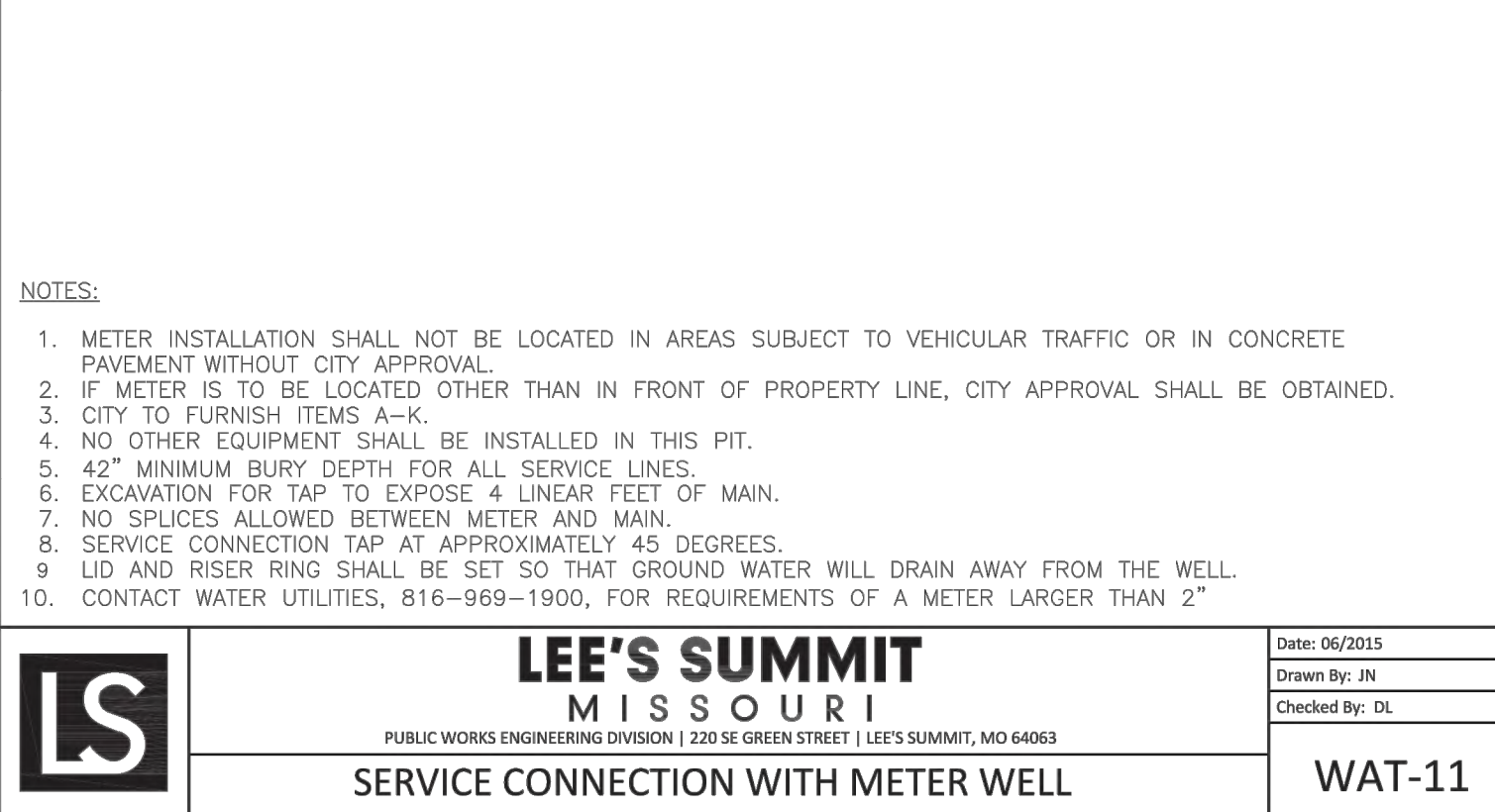
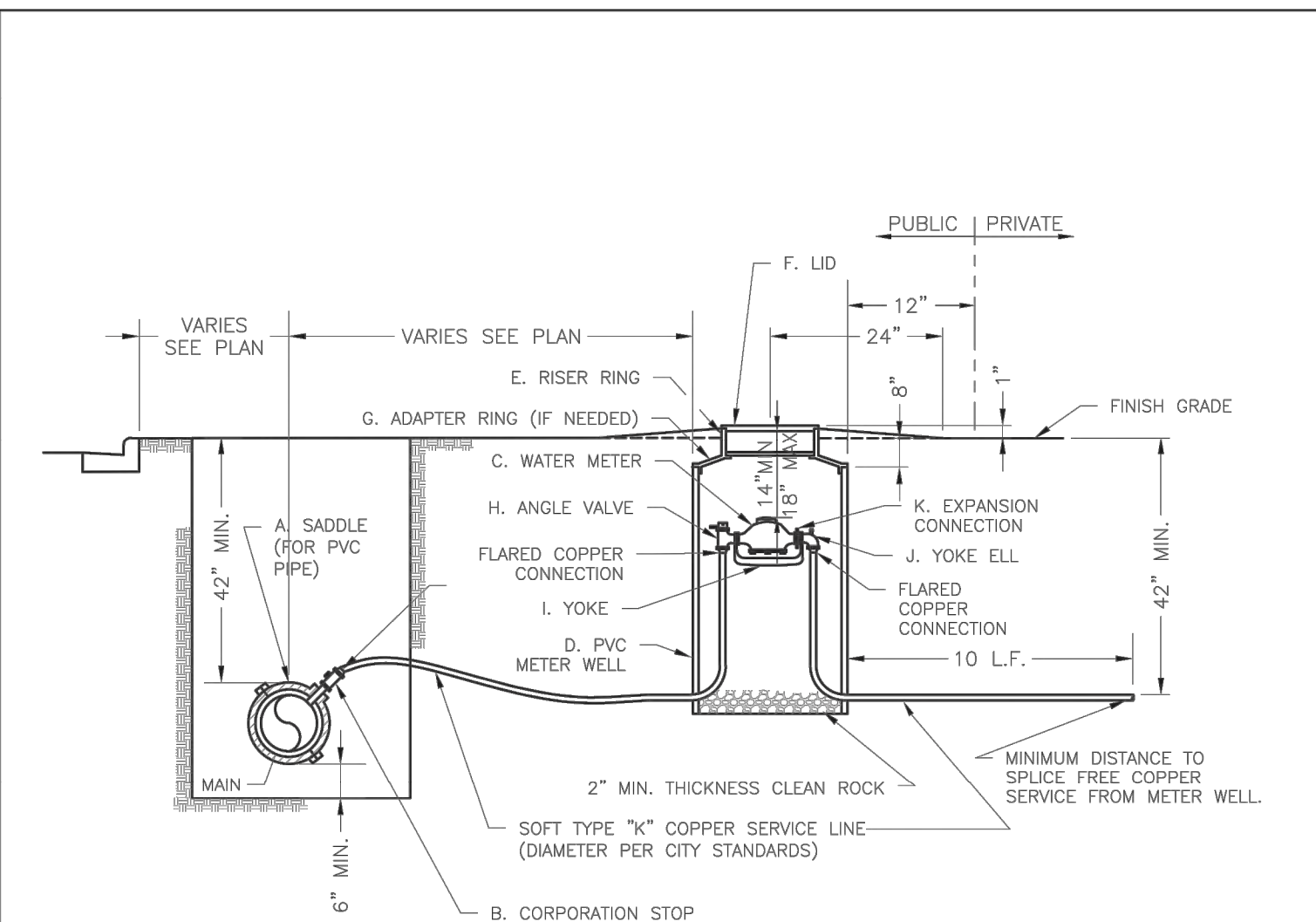
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SITE DEVELOPMENT PLANS
DETAILS



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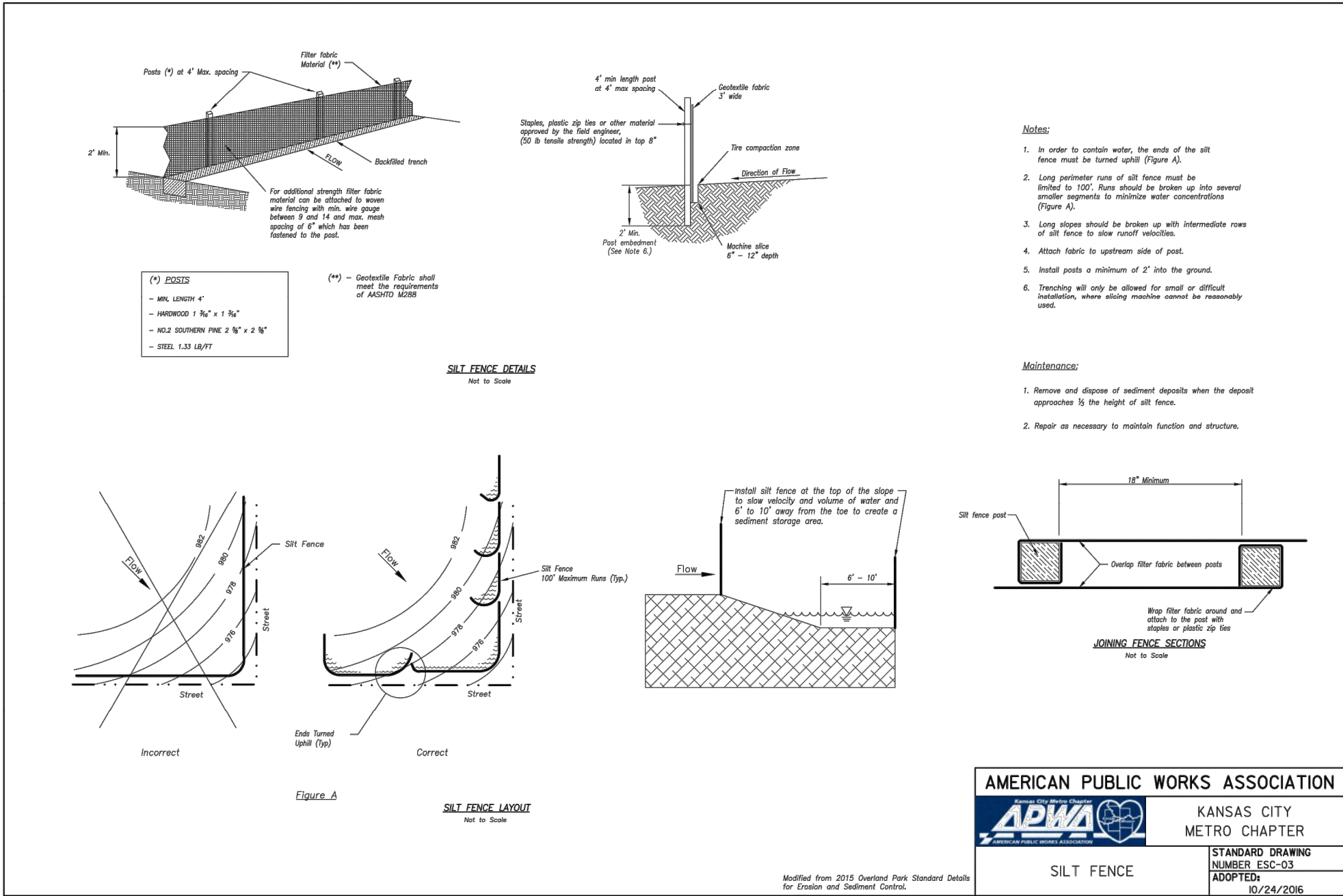
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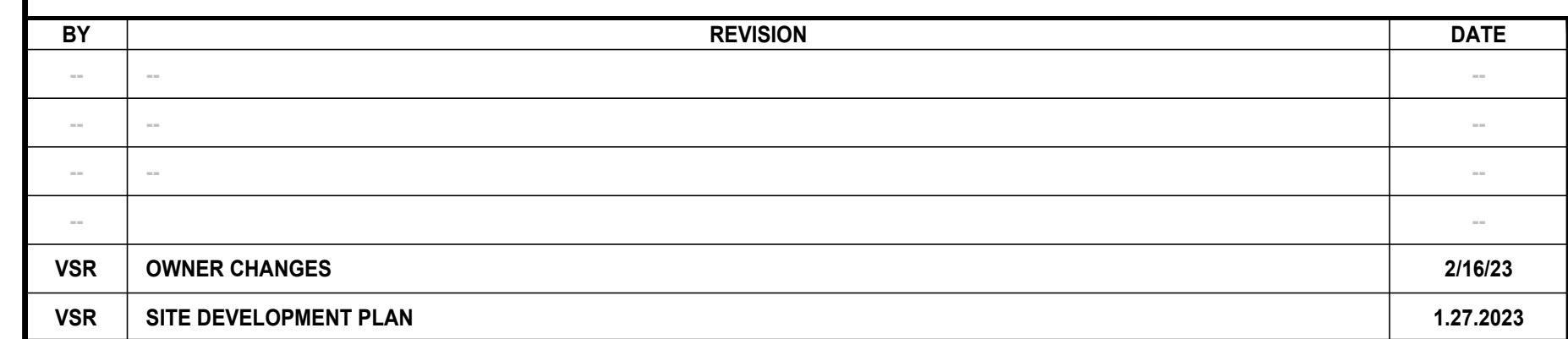
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SITE DEVELOPMENT PLANS
DETAILS

14

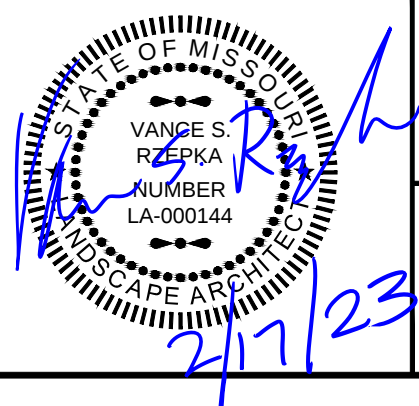




SUBMIT AS-BUILT DRAWING IN FULL SIZE DRAWING FORM AS WELL AS PDF ELECTRONIC FORMAT. (SCANNING FULL SIZE COPY OF PLAN IS ACCEPTABLE IF IT CAN BE PRINTED TO SCALE)

PLANT SCHEDULE				
KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE/REMARKS
TREES				
CSM	6	ACER SACHARUM 'AUTUMN SPLENDOR'	CADDO SUGAR MAPLE	3" CAL. B&B
HL	3	GLEEDITAS TRIACANTHOS 'SKYLINE'	SKYLINE HONEYLOCUST	3" CAL. B&B
RO	7	QUERCUS RUBRA	RED OAK	3" CAL. B&B
PJ	8	JUNIPEROUS CHINENSIS 'PERFECTA'	PERFECTA JUNIPER	6' HT. B&B
SHRUBS/GRASSES/GROUNDCOVER				
SGJ	24	JUNIPEROUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNIPER	5 GAL
TX	31	TAXUS x MEDIA 'DENSIFORMIS'	DENSIFORMIS YEW	5 GAL

LANDSCAPE WORKSHEET			
	ORDINANCE REQUIREMENT	REQUIRED FOR THIS SITE	PROPOSED (EXISTING AND NEW LANDSCAPE)
8.790.A.1 Street Frontage Trees (NW Chipman)	1 tree per 30 feet of street frontage	215 ft. of street frontage /30 = 8 trees required	8 trees
8.790.A.3 Street Frontage Shrubs (NW Chipman)	1 shrub per 20 feet of street frontage	215 ft. of street frontage /20 = 11 shrubs required	11 shrubs *
8.790.A.2 Street Frontage Green Strip (NW Chipman)	20 feet	20 feet	20 feet
8.790.B.1 Open Yard Shrubs	2 shrubs per 5000 sq. ft. of total lot area excluding building footprint.	20,452 sq.ft. of total lot area minus 678 sq.ft. of bldg. = 19,774/5,000 x 2 = 8 shrubs.	8 shrubs
8.790.B.3 Open Yard Trees	1 tree per 3000 sq. ft. of total lot area excluding building and parking.	20,452 sq.ft. of total lot area minus 678 sq.ft. of bldg. 19,774/3,000 = 7 trees.	7 trees
8.810. Parking Lot Landscape Islands	5% of entire parking area (spaces, aisles & drives); 1 island at end of every parking bay, min. 9' wide	18,707 sq.ft. of parking area x .05 = 935 sq.ft. of landscape parking lot islands required	1,008 sq.ft.
8.820 Screening of Parking Lot, NW Chipman	12 shrubs per 40 linear feet (must be 2.5 feet tall; berms may be combined with shrubs)	120 linear feet/40 x 12 = 36 shrubs required.	36 shrubs



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LANDSCAPE PLAN	LS101