

Ron Cowger

From: Shannon McGuire <Shannon.McGuire@cityofls.net>
Sent: Wednesday, January 18, 2023 12:19 PM
To: Ron Cowger
Subject: RE: Summit Orchard (400 NW Chipman)

Yes, that will work.



Shannon McGuire | Planner
220 SE Green Street | Lee's Summit, MO 64063
816.969.1237 | cityofLS.net | Shannon.McGuire@cityofls.net



From: Ron Cowger <rcowger@agcengineers.com>
Sent: Wednesday, January 18, 2023 11:39 AM
To: Shannon McGuire <Shannon.McGuire@cityofls.net>
Subject: Summit Orchard (400 NW Chipman)

CAUTION! This is an **EXTERNAL** email originated from outside the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Regarding the comparison of the PDP to the current, will this work for you?

Thanks
Ron

From: Ron Cowger
Sent: Tuesday, January 17, 2023 3:29 PM
To: Shannon.McGuire@cityofls.net
Subject: Summit Orchard (400 NW Chipman)

Shan
Is this the PDP to compare our development against?

Thanks
Ron

Ronald L. Cowger, PE
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SUMMIT
ORCHARDS

Phase No.	Land Area	Impervious Coverage	Footprint	No. of Stories	Floor Area	Floor Area Ratio (FAR)	Proposed Building Use	Parking	
								Required	Proposed
PHASE 1	17.74 Acres (772,754 SQ. FT.)	Re: Stormwater Report	Varies	5	382,571 SQ. FT.	0.50	Multifamily	1.75 sp. / unit	557 590
PHASE 2	7.55 Acres (328,878 SQ. FT.)	Re: Stormwater Report	Varies	1	40,900 SQ. FT.	0.12	Shopping Center Restaurant	4.5 / 1000 sf 14 / 1000 sf	157 355
PHASE 3	8.48 Acres (369,389 SQ. FT.)	Re: Stormwater Report	Varies	1	66,650 SQ. FT.	0.18	Shopping Center Restaurant	4.5 / 1000 sf 14 / 1000 sf	345 432
PHASE 4	4.00 Acres (174,240 SQ. FT.)	Re: Stormwater Report	50,000 SQ. FT.	3	50,000 SQ. FT.	0.29	Office	4 / 1000 sf	200 209
PHASE 5	9.11 Acres (396,831 SQ. FT.)	Re: Stormwater Report	Varies	3	105,000 SQ. FT.	0.26	Office	4 / 1000 sf	420 420
TOTAL	46.94 Acres (2,044,700 SQ. FT.)				637,896 SQ. FT.	0.27			1,679 2,011

- LEGEND:**
- PROPERTY LINE
 - SETBACK LINE, (PARKING)
 - SIGHT TRIANGLE

LEGAL DESCRIPTION:

Lot 7A in Summit Innovation Center - 2nd Plat, Lots 7A and 8, located in Section 31, Township 48 North, Range 31 West, and Section 36 Township 48 North, Range 32 West of the Fifth Principal Meridian, in the City of Lee's Summit, Jackson County, Missouri, recorded in Book 160, Pages 1-6 and filed as document number 2015E107542 of the Jackson County, Missouri Records; and containing 48.867 acres.

PARKING DESCRIPTION:

Parking for the development shall be considered in total and not on the basis of individual lots. Individual lot lines will be defined by final platting upon finalization of lot areas. All lots will contain a blanket cross parking agreement. Any pad use shown shall be allowed on any pad site regardless of use currently shown. All parking lot aisle widths shall comply with Section 12.120 of the UDO. All pavement and curbing shall comply with Section 12.120 of the UDO.

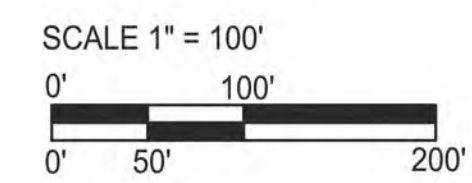
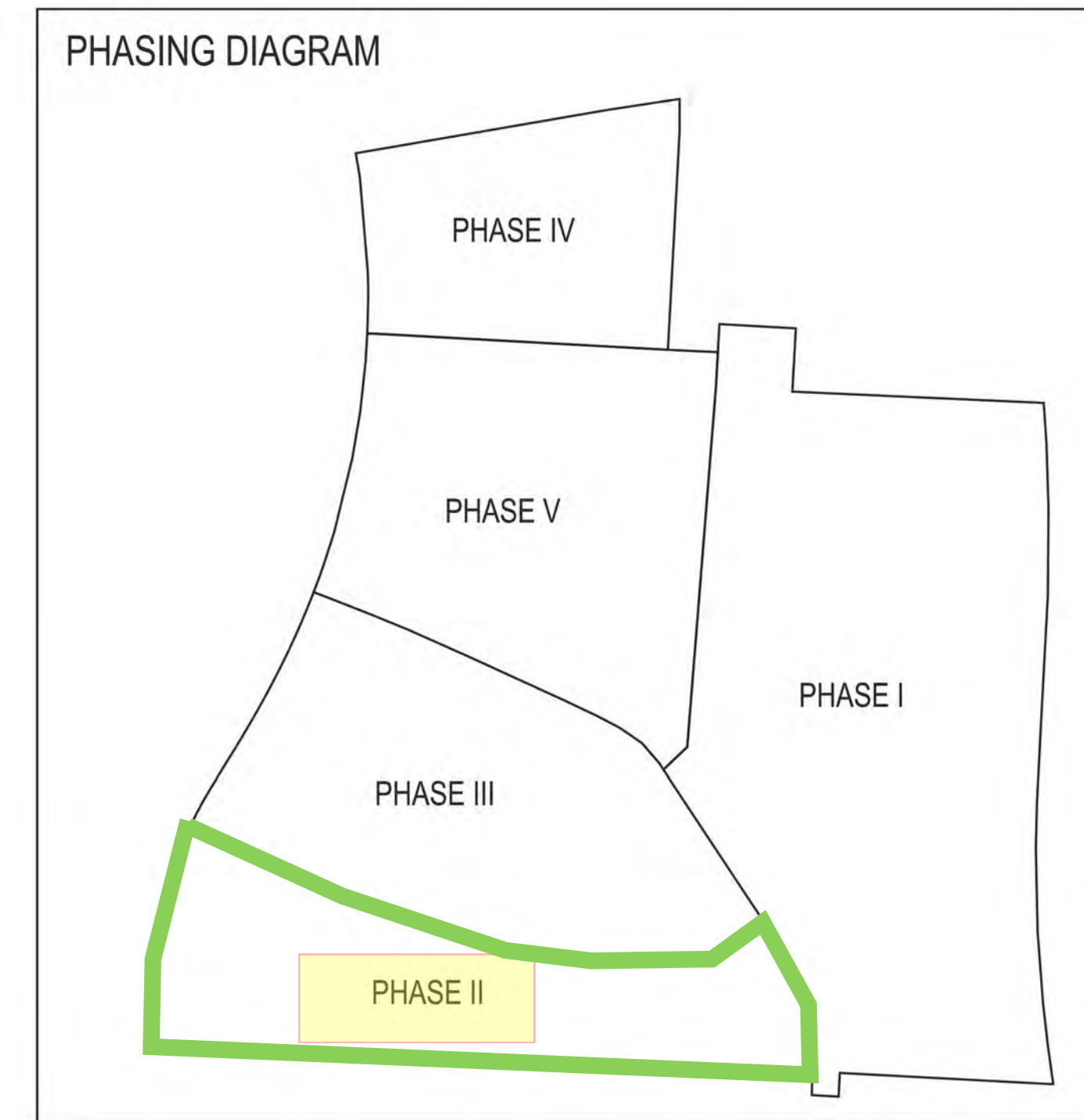
SHOPPING CENTER DESIGN:

Design Criteria established for the Shopping Center that will set the boundaries for tenant specific items, including signage. The signage criteria will closely resemble if not match the same criteria that is already established at Summit Fair.

MECHANICAL:

All mechanical units shall be screened in compliance with Section 7.180 of the UDO.

existing + proposed + future proposed
3000 sf
5000 sf
650 sf
4880 sf
13,530 sf << 40,900 sf allowed



Concept Development Plan **A1**

1" = 100'-0"

owner:
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410.321.1901 fax

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MISSOURI CERTIFICATE OF
AUTHORITY NO. E-2006023253
EXPIRES: DECEMBER 31, 2016

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION

**NOT FOR
CONSTRUCTION**

Architectural Corporation
Missouri License No. 000501
John L. Doe Date: MM/DD/YYYY
Architect License No. A-0000000

Project No 0215-6450.01
Date: March 4th, 2016
City Revision: April 5th, 2016

Concept Development Plan

AS100

PRELIMINARY PLAN

Summit Orchard

PDP Phase II,
approx 5000 sf
C-Store

PDP Phase II,
approx 3000 sf
fast food

Lot 4E-2: proposed 650 sf building
with a future 4880 sf building

400 NW Chipman Rd

May 2021 Aerial Photo from
Google Earth