

# SUMMIT SQUARE III APARTMENTS FINAL DEVELOPMENT PLANS

IN LEE'S SUMMIT, JACKSON COUNTY, MO



LOCATION MAP  
SCALE 1:1500



SCALE 1:300

### PROPERTY DESCRIPTION:

AN 11.830 ACRE PORTION OF LOT 10, SUMMIT FAIR, SECOND PLAT, LOTS 8, 10-14 AND TRACT C, A SUBDIVISION IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE WEST LINE OF SAID LOT 10 BEING NORTH 3° 08' 10" EAST, A DISTANCE OF 457.59 FEET FROM A 1/2" IRON BAR FOUND AT THE SOUTHEAST CORNER THEREOF;

THENCE NORTH 3° 08' 10" EAST, A DISTANCE OF 1025.00 FEET ALONG SAID WEST LINE;

THENCE, DEPARTING SAID LINE AT RIGHT ANGLES, SOUTH 86° 51' 50" EAST, A DISTANCE OF 587.85 FEET TO THE EAST LINE OF SAID LOT 10;

THENCE SOUTHERLY ALONG THE EAST LINE OF LOT 10, ON A CURVE TO THE RIGHT 848.89 FEET, SAID CURVE HAVING A RADIUS OF 1514.91 FEET, CENTRAL ANGLE OF 32° 06' 23" AND A CHORD BEARING SOUTH 15° 21' 15" WEST FOR 837.83 FEET;

THENCE SOUTH 31° 24' 27" WEST ALONG THE EAST LINE OF LOT 10, A DISTANCE OF 132.80 FEET TO A POINT OF CURVATURE;

THENCE SOUTHERLY ALONG THE EAST LINE OF LOT 10, ON A CURVE TO THE LEFT 98.13 FEET, SAID CURVE HAVING A RADIUS OF 760.00 FEET, CENTRAL ANGLE OF 7° 23' 53" AND A CHORD BEARING SOUTH 27° 42' 30" WEST FOR 99.06 FEET;

THENCE, DEPARTING SAID EAST LINE, NORTH 86° 51' 50" WEST, A DISTANCE OF 306.85 FEET TO THE POINT OF BEGINNING.

NOTE: ALL BEARINGS HEREIN ARE BASED ON MISSOURI STATE PLANE GRID NORTH, WEST ZONE, NAD 83 (NSRS 2011) AS OBSERVED BY TOBIN ROBERTS, MORLS 2001015269 IN JANUARY OF 2022 AT WHICH POINT 5/8" IRON BARS WITH ID CAPS WERE SET AT ALL CORNERS.

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C-0211	DIMENSION PLAN
C-0212	DIMENSION PLAN
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C-0512	STORM SEWER PLAN AND PROFILE
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C-0530	DRAINAGE PLAN
C-0540	DRAINAGE TABLES
C-0601	SANITARY SEWER PLAN & PROFILE
C-0700	WATER MAIN PLAN & PROFILE
C-0701	WATER MAIN PLAN & PROFILE
C-0702	WATER MAIN PLAN & PROFILE
C-0900	UTILITY PLAN
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C-2001	DETAIL SHEET
C-2002	DETAIL SHEET
C-2003	DETAIL SHEET
C-2004	DETAIL SHEET
C-2005	DETAIL SHEET
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L-0300	LANDSCAPE PLAN
L-0301	LANDSCAPE PLAN
L-0302	LANDSCAPE PLAN
L-0303	LANDSCAPE PLAN
L-0400	DETAIL SHEET

### PROJECT TEAM:

**OWNER**  
NORTHPOINT DEVELOPMENT  
3313 N OAK TRAFFICWAY  
KANSAS CITY, MO 64116

**DEVELOPER**  
NORTHPOINT DEVELOPMENT  
3313 N OAK TRAFFICWAY  
KANSAS CITY, MO 64116  
CONTACT: BRIAN BENJAMIN  
PHONE: 816.888.7380  
EMAIL: BBENJAMIN@NORTHPOINTKC.COM

**ENGINEER**  
SITEPOINT, LLC  
3313 N OAK TRAFFICWAY  
KANSAS CITY, MO 64116  
CONTACT: NEIL W. HAAS, P.E.  
PHONE: 913.653.9109  
EMAIL: NHAAS@NORTHPOINTKC.COM

**SURVEYOR**  
ANDERSON ENGINEERING, INC.  
4240 PHILIPS FARM ROAD, SUITE 101  
COLUMBIA, MO 65201  
CONTACT: JOHN HUSS, P.E.  
PHONE: 573.397.5476

**ARCHITECT**  
NSPJ ARCHITECTS  
3515 W. 75TH STREET, SUITE 201  
PRAIRIE VILLAGE, KS 66208  
CONTACT: TIM BALDRIDGE  
PHONE: 913.8311415

### UTILITY CONTACT LIST:

**PUBLIC WORKS**  
CITY OF LEE'S SUMMIT  
PHONE: 816.969.1800

**ELECTRIC**  
EVERGY  
PHONE: 888.471.52.75

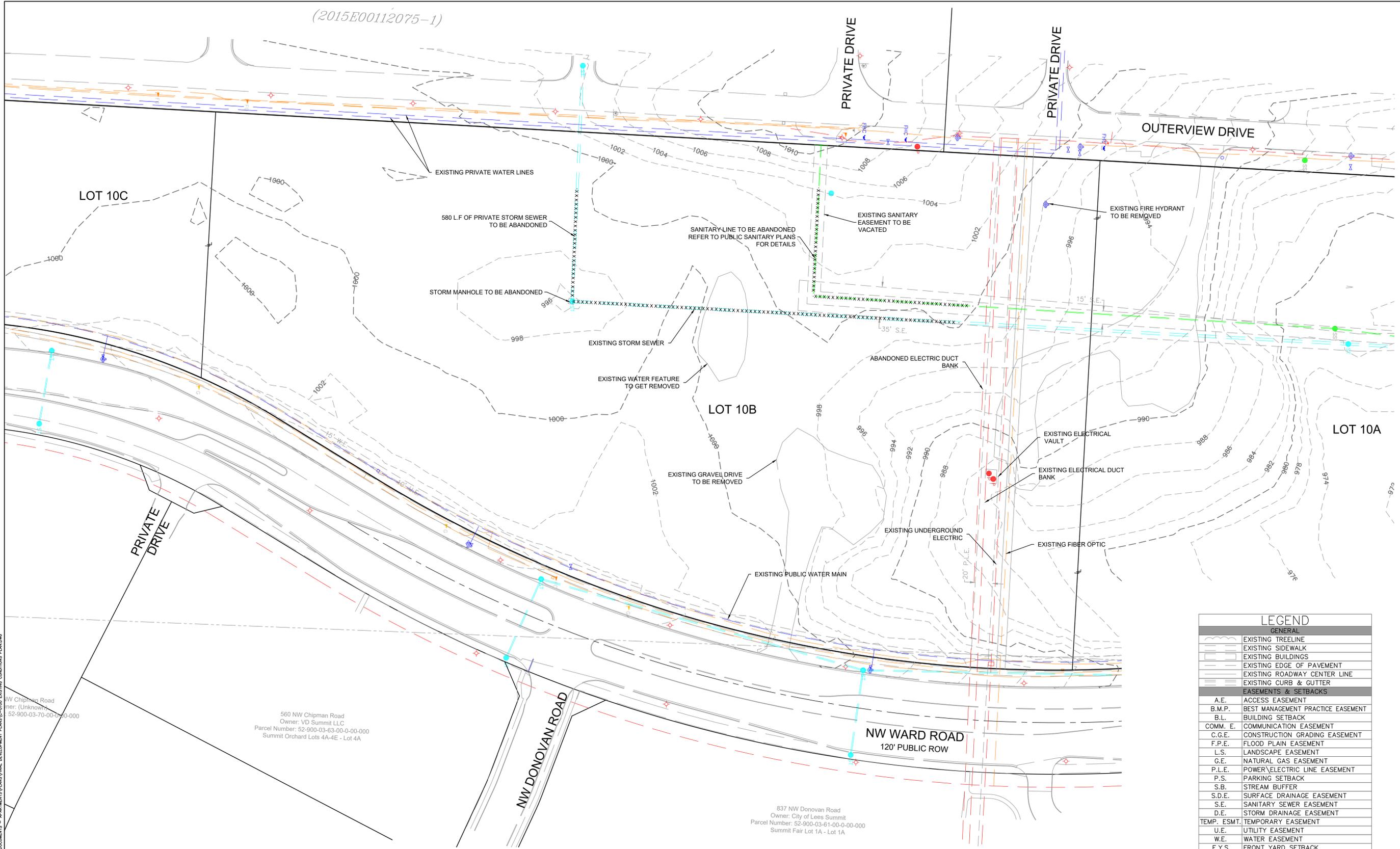
**DOMESTIC GAS**  
SPIRE  
PHONE: 816.756.5252

**WATER SERVICE**  
CITY OF LEE'S SUMMIT  
PHONE: 816.969.1900





(2015E00112075-1)



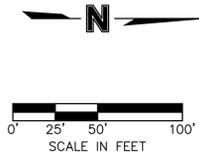
560 NW Chipman Road  
 Owner: VD Summit LLC  
 Parcel Number: 52-900-03-63-00-0-00-000  
 Summit Orchard Lots 4A-4E - Lot 4A

837 NW Donovan Road  
 Owner: City of Lees Summit  
 Parcel Number: 52-900-03-61-00-0-00-000  
 Summit Fair Lot 1A - Lot 1A

52-900-03-70-00-0-00-000  
 (Unknown)

LEGEND	
GENERAL	
	EXISTING TREELINE
	EXISTING SIDEWALK
	EXISTING BUILDINGS
	EXISTING EDGE OF PAVEMENT
	EXISTING ROADWAY CENTER LINE
	EXISTING CURB & GUTTER
EASEMENTS & SETBACKS	
A.E.	ACCESS EASEMENT
B.M.P.	BEST MANAGEMENT PRACTICE EASEMENT
B.L.	BUILDING SETBACK
COMM. E.	COMMUNICATION EASEMENT
C.G.E.	CONSTRUCTION GRADING EASEMENT
F.P.E.	FLOOD PLAIN EASEMENT
L.S.	LANDSCAPE EASEMENT
G.E.	NATURAL GAS EASEMENT
P.L.E.	POWER/ELECTRIC LINE EASEMENT
P.S.	PARKING SETBACK
S.B.	STREAM BUFFER
S.D.E.	SURFACE DRAINAGE EASEMENT
S.E.	SANITARY SEWER EASEMENT
D.E.	STORM DRAINAGE EASEMENT
TEMP. ESMT.	TEMPORARY EASEMENT
U.E.	UTILITY EASEMENT
W.E.	WATER EASEMENT
F.Y.S.	FRONT YARD SETBACK
R.Y.S.	REAR YARD SETBACK
S.Y.S.	SIDE YARD SETBACK
CONTOURS	
	EXISTING INDEX CONTOURS
	EXISTING INTERMEDIATE CONTOURS
BOUNDARIES	
	SECTION LINE
	EXISTING PROPERTY BOUNDARY
	EXISTING LOT LINE
	EXISTING RIGHT-OF-WAY
UTILITIES	
	EXISTING COMMUNICATIONS LINE
	EXISTING NATURAL GAS LINE
	EXISTING POWER/ELECTRIC LINE
	EXISTING SANITARY SEWER
	EXISTING STORM SEWER
	EXISTING WATER LINE

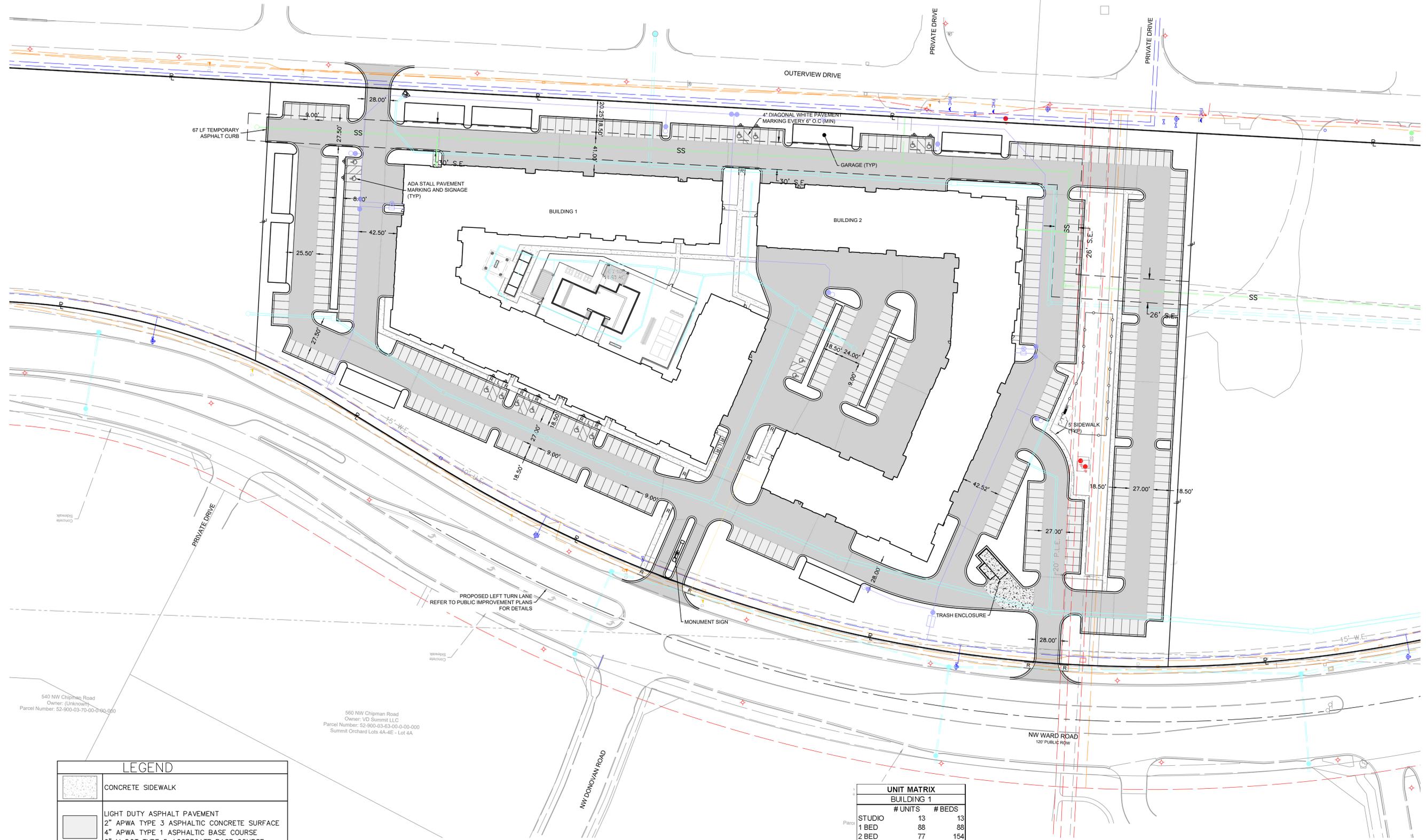
SURVEY PREPARED BY ANDERSON ENGINEERING, INC.  
 LOTS PROPOSED BY MINOR LOT LINE ADJUSTMENT BY ANDERSON ENGINEERING, INC.  
 NO EXISTING OIL AND GAS WELLS LOCATED ON SITE ACCORDING TO MISSOURI DEPARTMENT OF NATURAL RESOURCES' MISSOURI GEOLOGICAL SURVEY



REVIEWED BY:	DATE:	NO.:	REVISIONS/APPROVALS:
M.G.D.	2022.12.21	FDP SUBMITTAL	
N.W.H.	2023.01.30	REVISED PER CITY COMMENTS	
D.A.H.			
SP PROJECT #:			
4024			
NEIL W. HAAS, P.E.			
2022034072			

EXISTING CONDITIONS PLAN  
 SUMMIT SQUARE III  
 APARTMENTS  
 FINAL DEVELOPMENT PLANS  
 LEE'S SUMMIT, JACKSON COUNTY, MO

(2015E00112075-1)



LEGEND	
	CONCRETE SIDEWALK
	LIGHT DUTY ASPHALT PAVEMENT 2" APWA TYPE 3 ASPHALTIC CONCRETE SURFACE 4" APWA TYPE 1 ASPHALTIC BASE COURSE 6" MODOT TYPE 5 AGGREGATE BASE COURSE
	HEAVY DUTY ASPHALT PAVEMENT 2" APWA TYPE 3 ASPHALTIC CONCRETE SURFACE 6" APWA TYPE 1 ASPHALTIC CONCRETE BASE 6" MODOT TYPE 5 AGGREGATE BASE COURSE
	HEAVY DUTY CONCRETE PAVEMENT 8" PORTLAND CEMENT CONCRETE 6" MODOT TYPE 5 AGGREGATE BASE COURSE
	CG-1 CURB & GUTTER (See Detail Sheet)

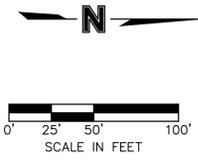
NOTE: AGGREGATE BASE AND COMPACTED SUBGRADE SHALL EXTEND 1' BEYOND THE BACK OF CURB

SITE DATA						
Lot No.	Total Area	Impervious Coverage	Maximum Building Height	Building Area (All stories)	Floor Area Ratio (FAR) Density	Proposed Building Use
108	11.83 AC. (515,315 S.F.)	351,720 S.F. (68%)	65', 4 Stories	470,000 S.F. (Building 1, 255,000 S.F. Building 2, 215,000 S.F.)	27 DU/Acre	Multifamily Residential

Parking		
Requirement	Proposed	
1.75 per DU	565	579
Lot 108 - PARKING TYPES		
Garage Spaces	48	
Surface Stalls	406	
Under Ground Parking	125	
<b>Total</b>	<b>579</b>	

UNIT MATRIX		
BUILDING 1		
	# UNITS	# BEDS
STUDIO	13	13
1 BED	88	88
2 BED	77	154
GUEST	1	1
<b>TOTAL</b>	<b>179</b>	<b>256</b>
BUILDING 2		
	# UNITS	# BEDS
STUDIO	7	7
1 BED	69	69
2 BED	69	138
<b>TOTAL</b>	<b>145</b>	<b>214</b>
SITE TOTAL		
	# UNITS	# BEDS
STUDIO	20	20
1 BED	157	157
2 BED	146	292
GUEST	1	1
<b>TOTAL</b>	<b>323</b>	<b>469</b>
GUEST STALLS		



REVIEWED BY:	DATE:	NO.:	REVISIONS/APPROVALS:
M.G.D.	2022.12.21	FDP SUBMITTAL	
N.W.H.	2023.01.30	REVISED PER CITY COMMENTS	
D.A.H.			
SP PROJECT #:			
4024			
NEIL W. HAAS, P.E.			
2022034072			

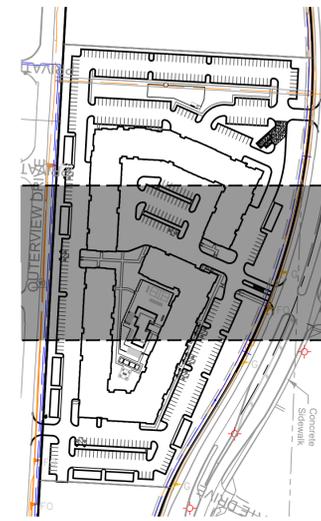
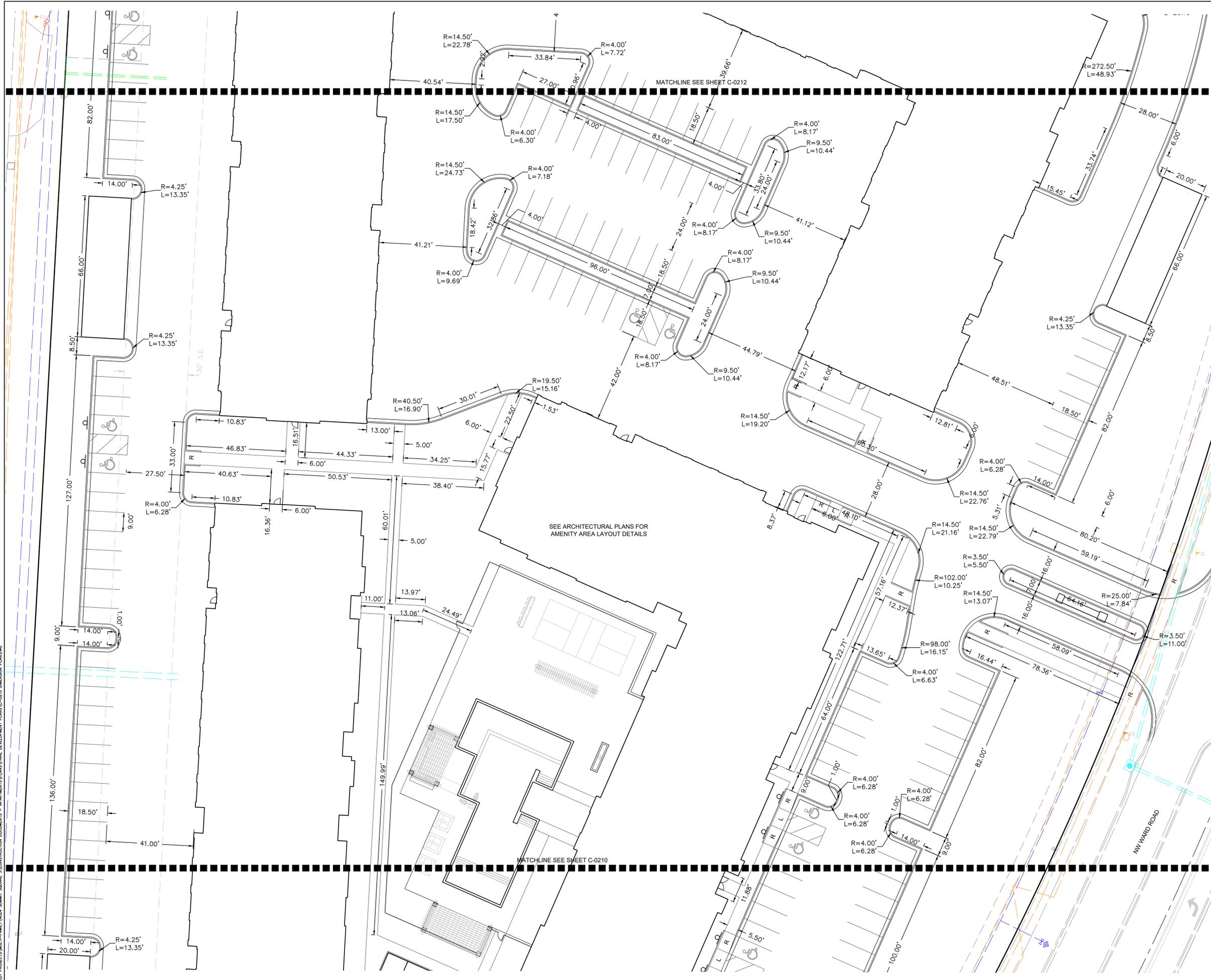
**SITE PLAN**  
**SUMMIT SQUARE III**  
**APARTMENTS**  
**FINAL DEVELOPMENT PLANS**  
**LEE'S SUMMIT, JACKSON COUNTY, MO**

Certificate of Authority #MO 2020018354  
**SHEET #:**

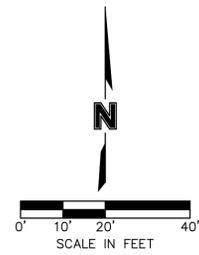
**C-0200**

S:\PROJECTS\MULTI-FAMILY\024 SUMMIT SQUARE III\CONSTRUCTION DOCUMENTS - APARTMENTS\PLANS\FINAL DEVELOPMENT PLANS\C-0200 SITE PLAN.DWG





NOTES  
\*ALL DIMENSIONS ARE TO BACK OF CURB



REVIEWED BY:	DATE:	NO.:	REVISIONS/APPROVALS:
M.G.D.	2022.12.21	FDP SUBMITTAL	
N.W.H.	2023.01.30	REVISED PER CITY COMMENTS	
D.A.H.			
SP PROJECT #:	4024		
NEIL W. HAAS, P.E.	2022034072		

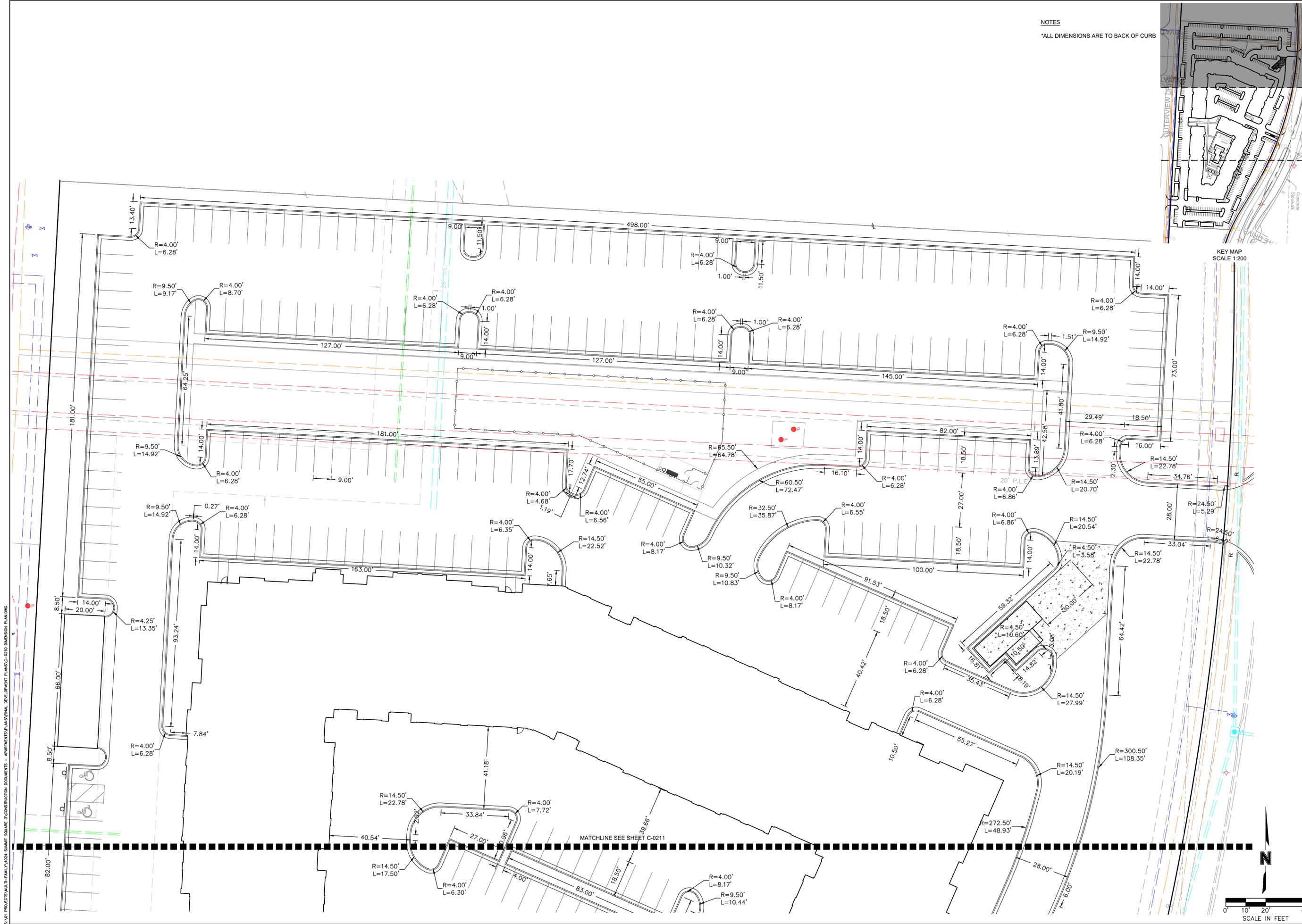
**DIMENSION PLAN**  
**SUMMIT SQUARE III**  
**APARTMENTS**  
**FINAL DEVELOPMENT PLANS**  
**LEE'S SUMMIT, JACKSON COUNTY, MO**

Certificate of Authority #MO 2020018354

SHEET #:

**C-0211**

S:\01 PROJECTS\MULTI-FAMILY\024 SUMMIT SQUARE APARTMENTS\FINAL DEVELOPMENT PLANS\C-0210 DIMENSION PLANNING



NOTES  
\*ALL DIMENSIONS ARE TO BACK OF CURB



NO.	REVISIONS/APPROVALS:	DATE
1	FDP SUBMITTAL	2022.12.21
2	REVISED PER CITY COMMENTS	2023.01.30

REVIEWED BY:	DESIGNED BY:	DRAWN BY:	SP PROJECT #:
M.G.D.	N.W.H.	D.A.H.	4024

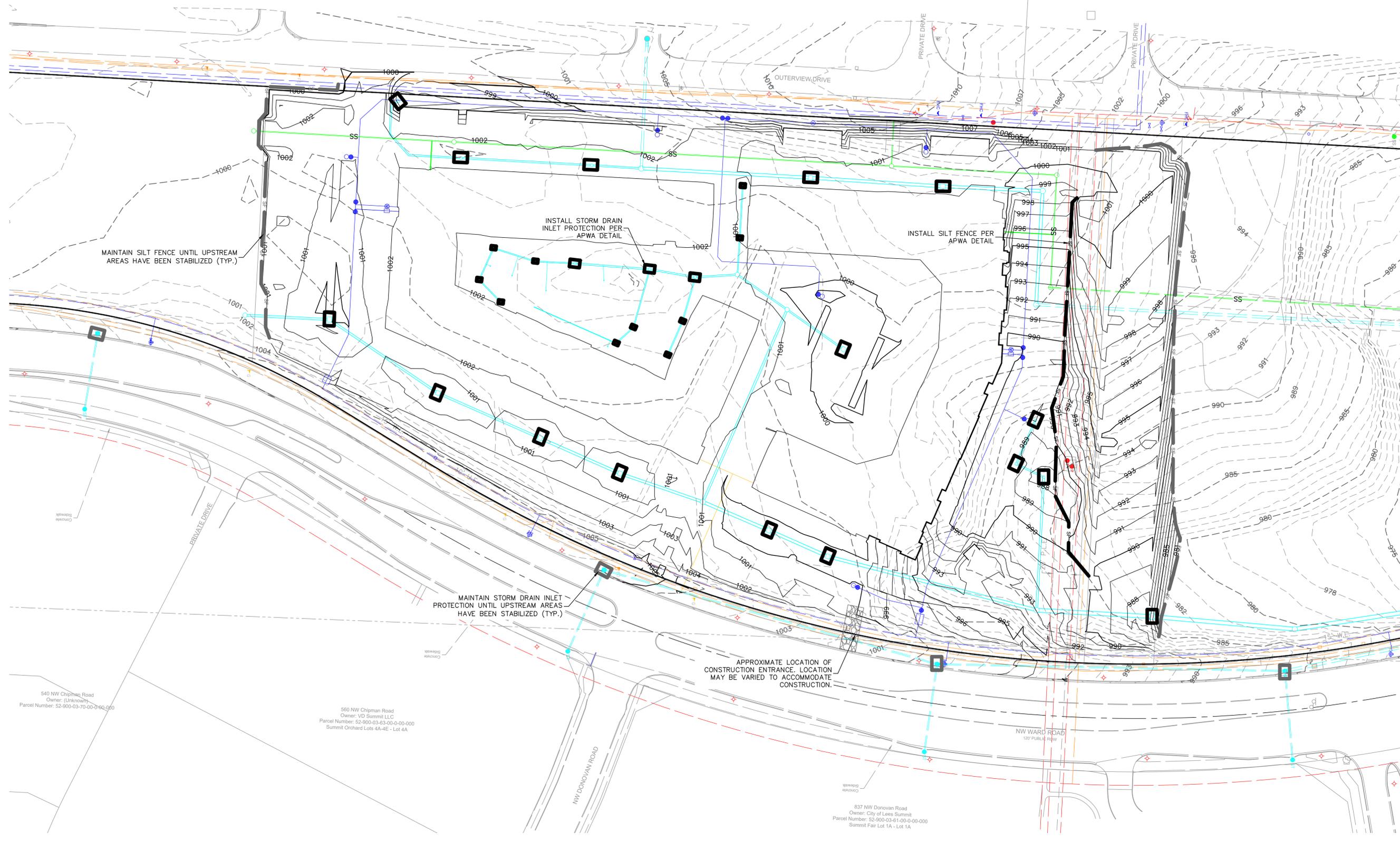
  

REVIEWED BY:	DATE
NEIL W. HAAS, P.E.	2023.04.07

**DIMENSION PLAN**  
**SUMMIT SQUARE III**  
**APARTMENTS**  
**FINAL DEVELOPMENT PLANS**  
**LEE'S SUMMIT, JACKSON COUNTY, MO**



(2015E00112075-1)



MAINTAIN SILT FENCE UNTIL UPSTREAM AREAS HAVE BEEN STABILIZED (TYP.)

INSTALL STORM DRAIN INLET PROTECTION PER APWA DETAIL

INSTALL SILT FENCE PER APWA DETAIL

MAINTAIN STORM DRAIN INLET PROTECTION UNTIL UPSTREAM AREAS HAVE BEEN STABILIZED (TYP.)

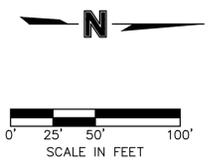
APPROXIMATE LOCATION OF CONSTRUCTION ENTRANCE. LOCATION MAY BE VARIED TO ACCOMMODATE CONSTRUCTION.

540 NW Chipman Road  
Owner: (Unknown)  
Parcel Number: 52-900-03-70-00-0-90-000

560 NW Chipman Road  
Owner: VD Summit LLC  
Parcel Number: 52-900-03-43-00-0-00-000  
Summit Orchard Lots 4A-4E - Lot 4A

837 NW Donovan Road  
Owner: City of Lees Summit  
Parcel Number: 52-900-03-61-00-0-00-000  
Summit Fair Lot 1A - Lot 1A

LEGEND		
PHASE 1	PHASE 2	
		SILT FENCE
		STORM DRAIN INLET PROTECTION
		TEMPORARY STONE CONSTRUCTION ENTRANCE
		TURF GRASS SEEDING



S:\01 PROJECTS\MULTI-FAMILY\024 SUMMIT SQUARE III\CONSTRUCTION DOCUMENTS - APARTMENTS\PLANS\FINAL DEVELOPMENT PLANS\C-0310 EROSION CONTROL PHASE 2.DWG

**SITEPOINT**  
A Division of NorthPoint Development  
816.888.7380  
stepoint@northpointkc.com

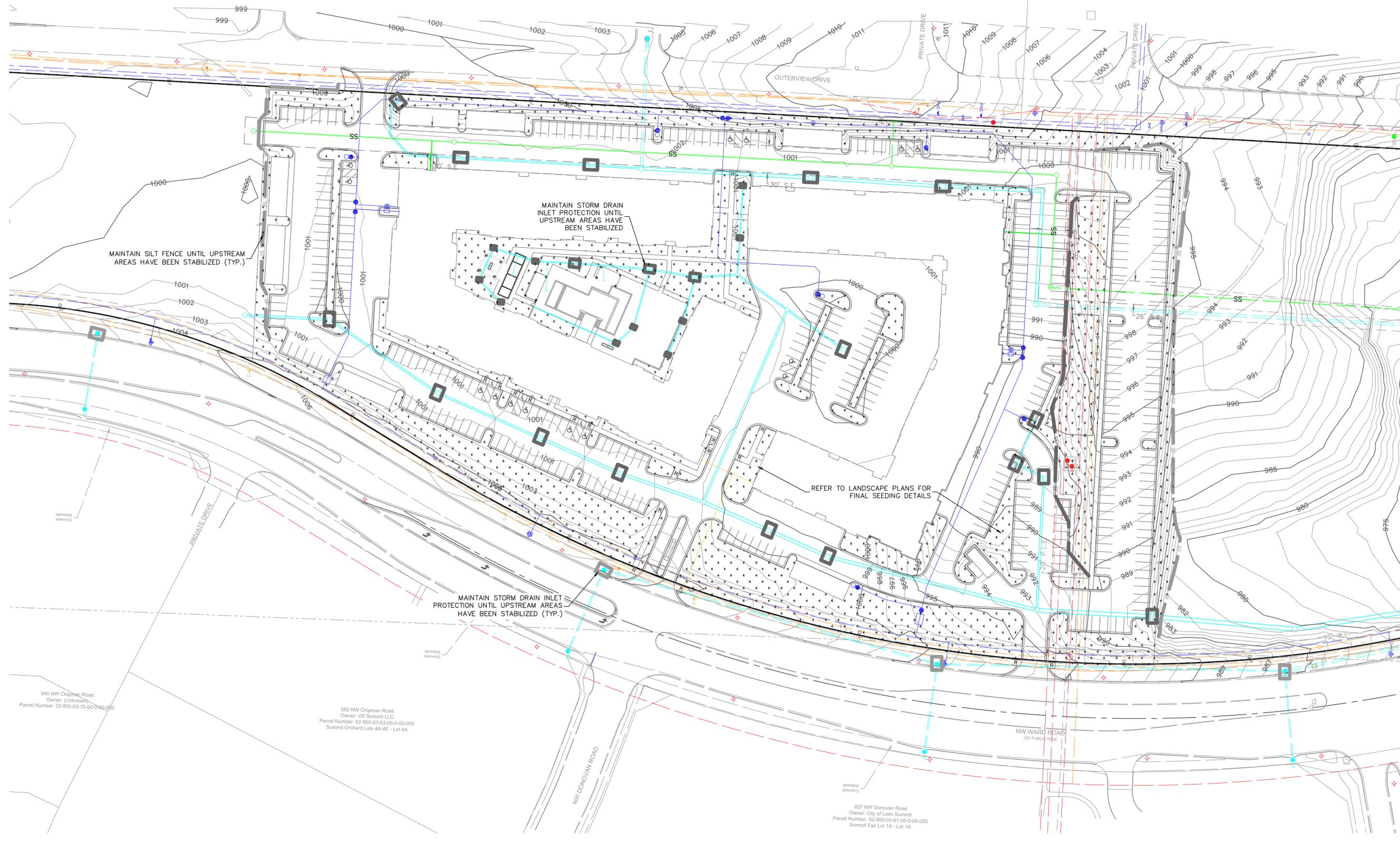
3315 N Oak Trafficway  
Kansas City, MO 64116

REVIEWED BY:	DATE	NO.	REVISIONS/APPROVALS:
M.G.D.	2022.12.21	1	FDP SUBMITTAL
N.W.H.	2023.01.30	2	REVISED PER CITY COMMENTS
D.A.H.			
SP PROJECT #:			
4024			
NEIL W. HAAS, P.E.			
2022034072			

**EROSION CONTROL PLAN - PHASE 2**  
**SUMMIT SQUARE III**  
**APARTMENTS**  
**FINAL DEVELOPMENT PLANS**  
**LEE'S SUMMIT, JACKSON COUNTY, MO**

Certificate of Authority #MO 2020018354  
**SHEET #:**  
**C-0310**

(2015E00112075-1)



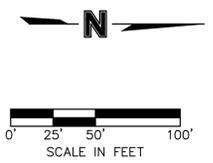
MAINTAIN SILT FENCE UNTIL UPSTREAM AREAS HAVE BEEN STABILIZED (TYP.)

MAINTAIN STORM DRAIN INLET PROTECTION UNTIL UPSTREAM AREAS HAVE BEEN STABILIZED

REFER TO LANDSCAPE PLANS FOR FINAL SEEDING DETAILS

MAINTAIN STORM DRAIN INLET PROTECTION UNTIL UPSTREAM AREAS HAVE BEEN STABILIZED (TYP.)

LEGEND		
PHASE 1	PHASE 2	PHASE 3



S:\01 PROJECTS\MULTI-FAMILY\024 SUMMIT SQUARE III\CONSTRUCTION DOCUMENTS - APARTMENTS\PLANS\FINAL DEVELOPMENT PLANS\C-0320 EROSION CONTROL PHASE 3.DWG

540 NW Chipman Road  
Owner: (Unknown)  
Parcel Number: 52-900-03-70-00-0-90-000

560 NW Chipman Road  
Owner: VD Summit LLC  
Parcel Number: 52-900-03-43-00-0-00-000  
Summit Orchard Lots 4A-4E - Lot 4A

837 NW Donovan Road  
Owner: City of Lees Summit  
Parcel Number: 52-900-03-61-00-0-00-000  
Summit Fair Lot 1A - Lot 1A

**SITEPOINT**  
A Division of NorthPoint Development

3315 N Oak Trafficway  
Kansas City, MO 64116  
816.888.7380  
sitepoint@northpointkc.com

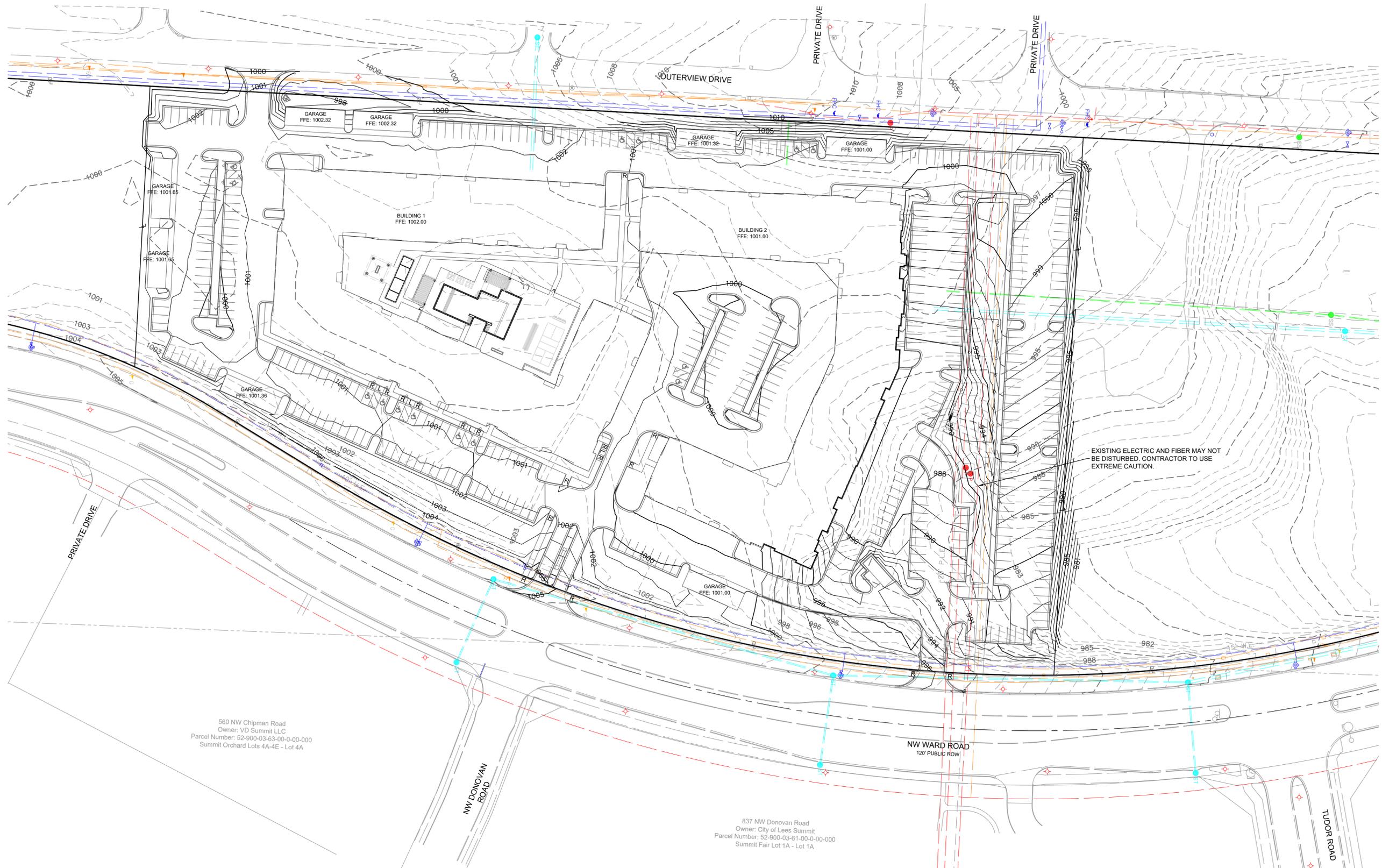
REVIEWED BY:	DATE	NO.	REVISIONS/APPROVALS:
M.G.D.	2022.12.21	1	FDP SUBMITTAL
N.W.H.	2023.01.30	2	REVISED PER CITY COMMENTS
D.A.H.			
SP PROJECT #:			
4024			
NEIL W. HAAS, P.E.			
2022034072			

**EROSION CONTROL PLAN - PHASE 3**  
**SUMMIT SQUARE III**  
**APARTMENTS**  
**FINAL DEVELOPMENT PLANS**  
**LEE'S SUMMIT, JACKSON COUNTY, MO**

Certificate of Authority #MO 2020018354

SHEET #:

**C-0320**



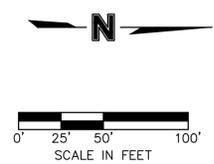
560 NW Chipman Road  
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 Parcel Number: 52-900-03-63-00-0-00-000  
 Summit Orchard Lots 4A-4E - Lot 4A

837 NW Donovan Road  
 Owner: City of Lees Summit  
 Parcel Number: 52-900-03-61-00-0-00-000  
 Summit Fair Lot 1A - Lot 1A

EXISTING ELECTRIC AND FIBER MAY NOT  
 BE DISTURBED. CONTRACTOR TO USE  
 EXTREME CAUTION.

NOTE: AGGREGATE BASE AND SUBGRADE SHALL EXTEND A MINIMUM OF 1' BEYOND THE BACK OF CURB.

LEGEND	
	EXISTING INDEX CONTOURS
	EXISTING INTERMEDIATE CONTOURS
	PROPOSED INDEX CONTOURS
	PROPOSED INTERMEDIATE CONTOURS



REVIEWED BY:	DATE:	NO.:	REVISIONS/APPROVALS:
M.G.D.	2022.12.21		FDP SUBMITTAL
DESIGNED BY:			
N.W.H.			
DRAFTED BY:			
D.A.H.			
SP PROJECT #:			
4024			
NEIL W. HAAS, P.E.			
2022034072			

**GRADING PLAN**  
**SUMMIT SQUARE III**  
**APARTMENTS**  
**FINAL DEVELOPMENT PLANS**  
**LEE'S SUMMIT, JACKSON COUNTY, MO**

Certificate of Authority #MO 2020018354

SHEET #:

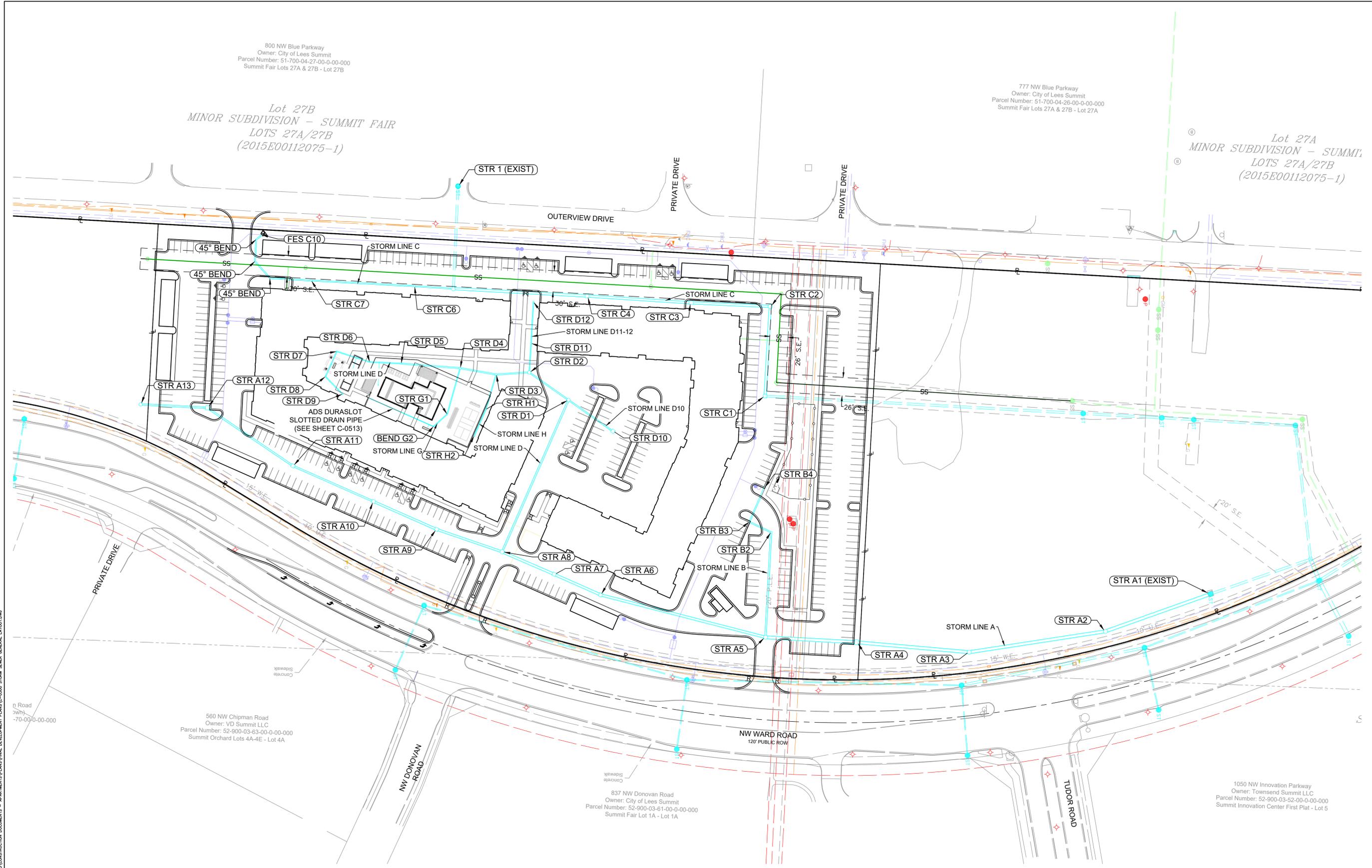
**C-0400**

800 NW Blue Parkway  
 Owner: City of Lees Summit  
 Parcel Number: 51-700-04-27-00-0-00-000  
 Summit Fair Lots 27A & 27B - Lot 27B

Lot 27B  
 MINOR SUBDIVISION - SUMMIT FAIR  
 LOTS 27A/27B  
 (2015E00112075-1)

777 NW Blue Parkway  
 Owner: City of Lees Summit  
 Parcel Number: 51-700-04-26-00-0-00-000  
 Summit Fair Lots 27A & 27B - Lot 27A

Lot 27A  
 MINOR SUBDIVISION - SUMMIT FAIR  
 LOTS 27A/27B  
 (2015E00112075-1)



S:\01 PROJECTS\MULTI-FAMILY\424 SUMMIT SQUARE III\CONSTRUCTION DOCUMENTS - APARTMENTS\PLANS\FINAL DEVELOPMENT PLANS\C-0500 STORM SEWER GENERAL LAYOUT.DWG

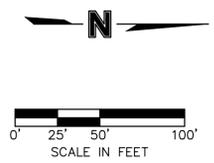
Road  
 with  
 -70-00-0-00-000

560 NW Chipman Road  
 Owner: VD Summit LLC  
 Parcel Number: 52-900-03-63-00-0-00-000  
 Summit Orchard Lots 4A-4E - Lot 4A

837 NW Donovan Road  
 Owner: City of Lees Summit  
 Parcel Number: 52-900-03-61-00-0-00-000  
 Summit Fair Lot 1A - Lot 1A

1050 NW Innovation Parkway  
 Owner: Townsend Summit LLC  
 Parcel Number: 52-900-03-52-00-0-00-000  
 Summit Innovation Center First Plat - Lot 5

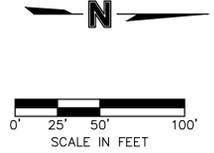
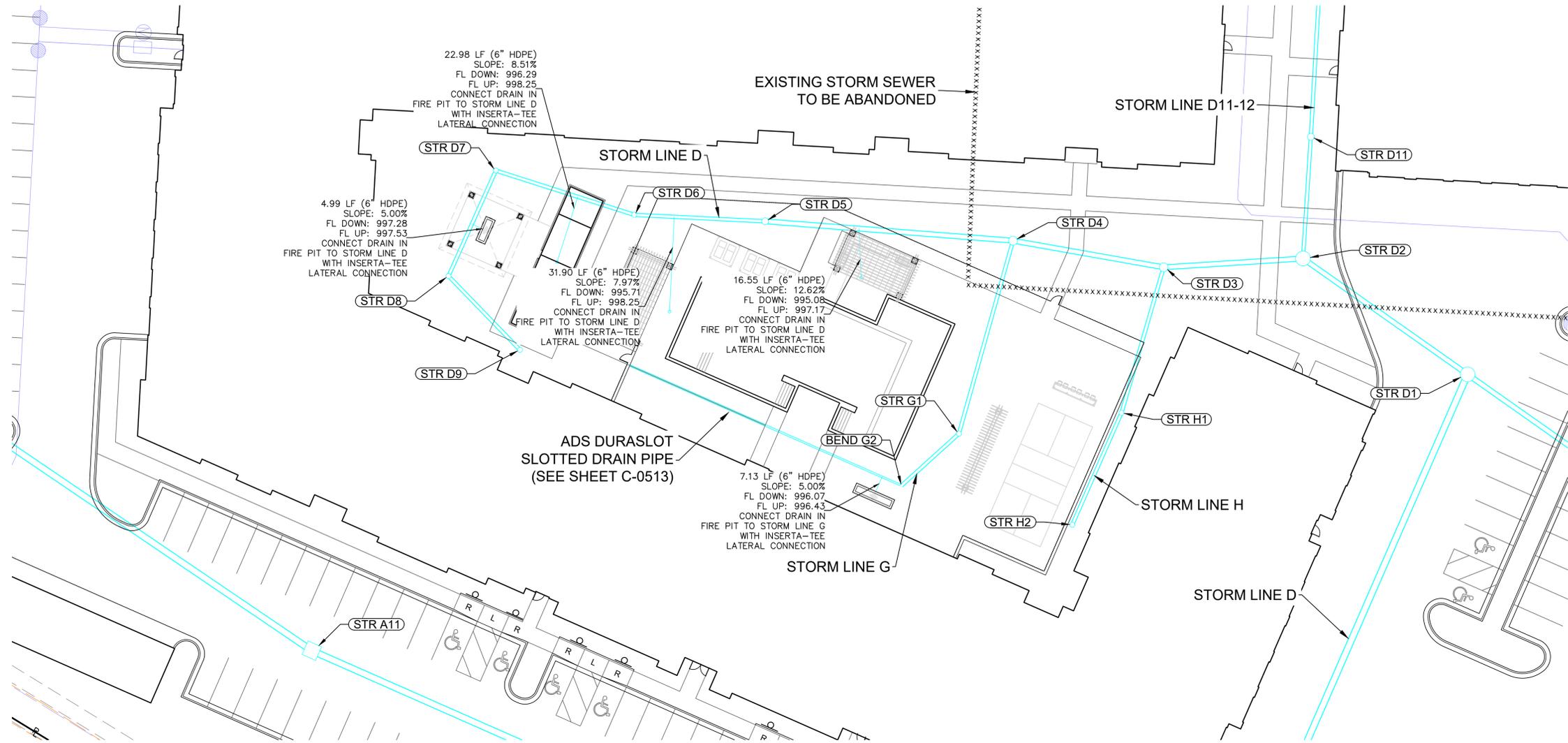
ALL PROPOSED STORM SEWER  
 IMPROVEMENTS SHOWN IN THESE PLANS  
 SHALL BE PRIVATELY OWNED AND  
 MAINTAINED BY THE PROPERTY OWNER,  
 PER CITY OF LEE'S SUMMIT CODE



REVISIONS/APPROVALS:	NO.	DATE	REVISIONS/APPROVALS:
DESIGNED BY:	M.G.D.	2022.12.21	FDP SUBMITTAL
DRAFTED BY:	N.W.H.	2023.01.30	REVISED PER CITY COMMENTS
SP PROJECT #:	4024		
NEIL W. HAAS, P.E.	2022034072		

**STORM SEWER GENERAL LAYOUT**  
**SUMMIT SQUARE III**  
**APARTMENTS**  
**FINAL DEVELOPMENT PLANS**  
**LEE'S SUMMIT, JACKSON COUNTY, MO**

S:\PROJECTS\MULTI-FAMILY\424 SUMMIT SQUARE 3\CONSTRUCTION DOCUMENTS - APARTMENTS\PLANS\FINAL DEVELOPMENT PLANS\C-0501 STORM SEWER GENERAL LAYOUT - POOL.DWG

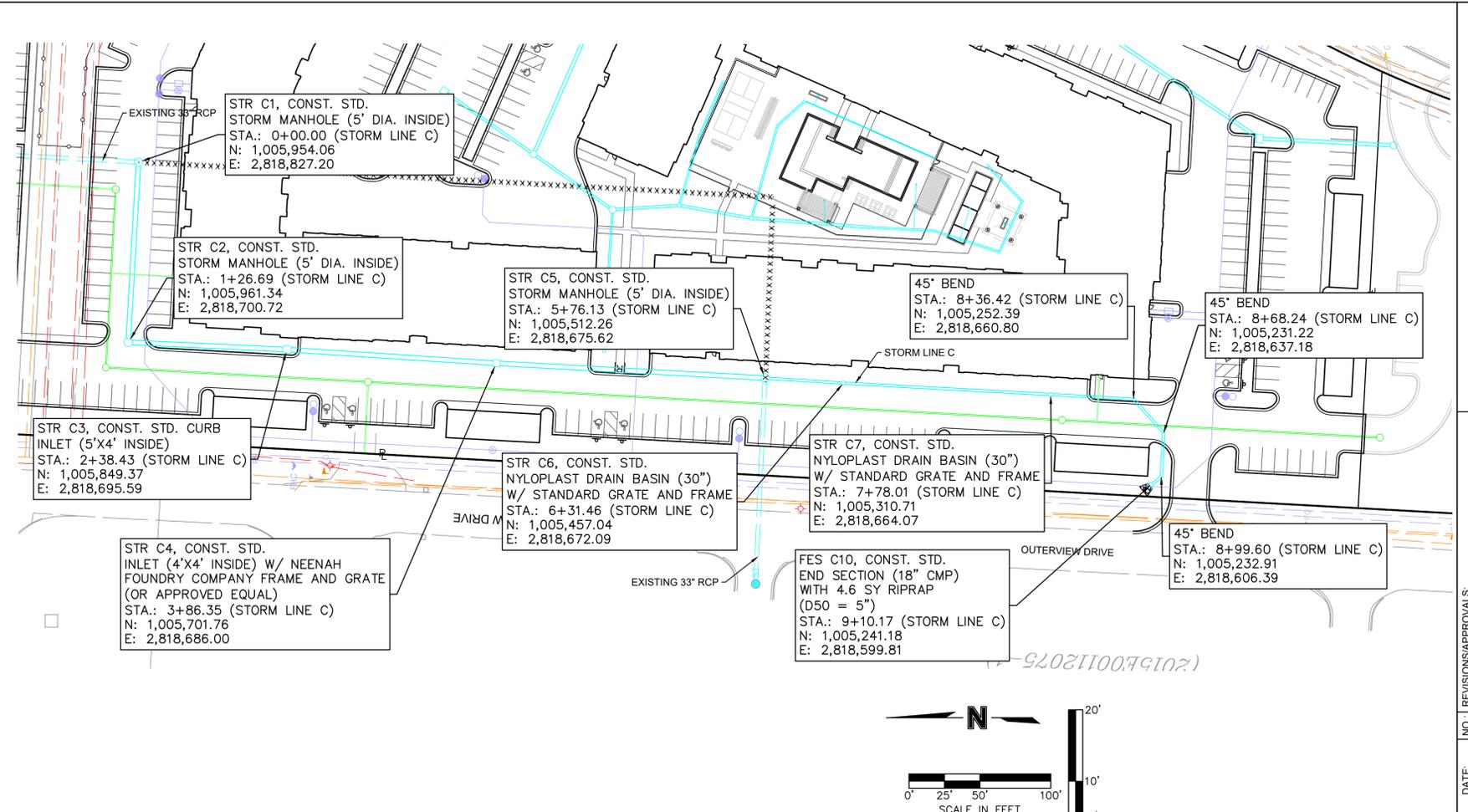
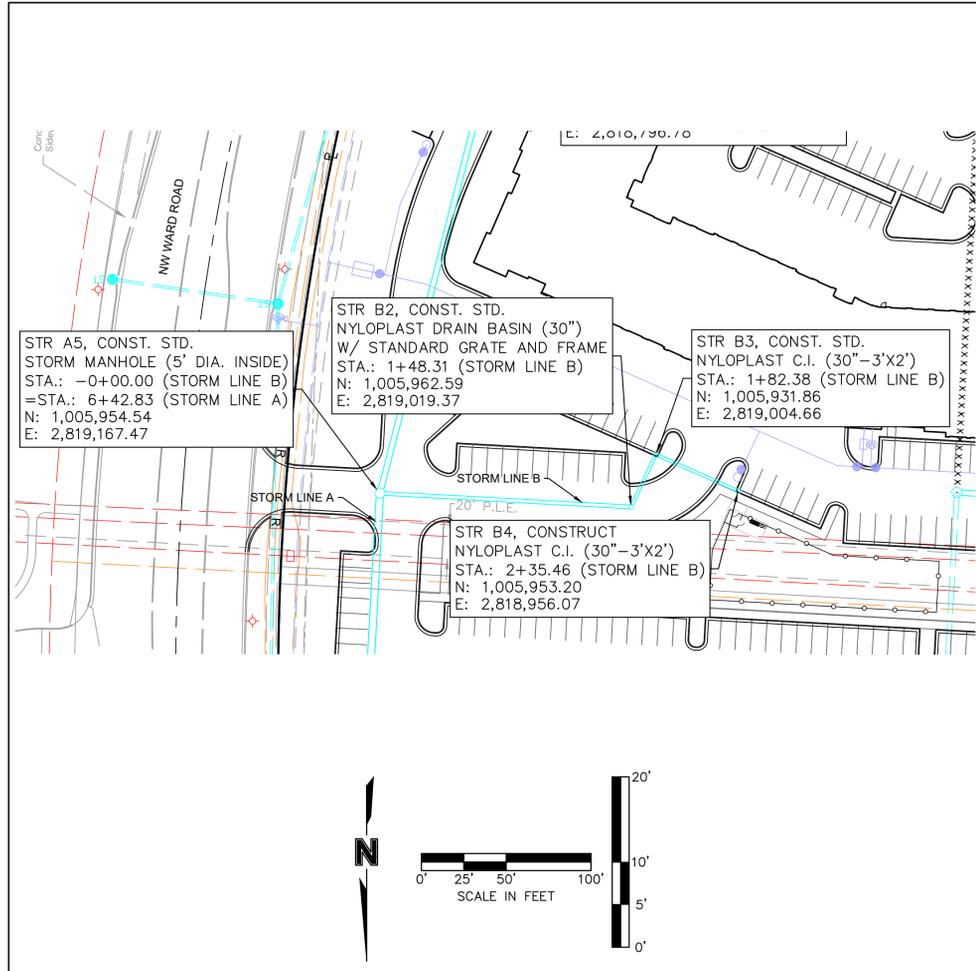


ALL PROPOSED STORM SEWER IMPROVEMENTS SHOWN IN THESE PLANS SHALL BE PRIVATELY OWNED AND MAINTAINED BY THE PROPERTY OWNER, PER CITY OF LEE'S SUMMIT CODE

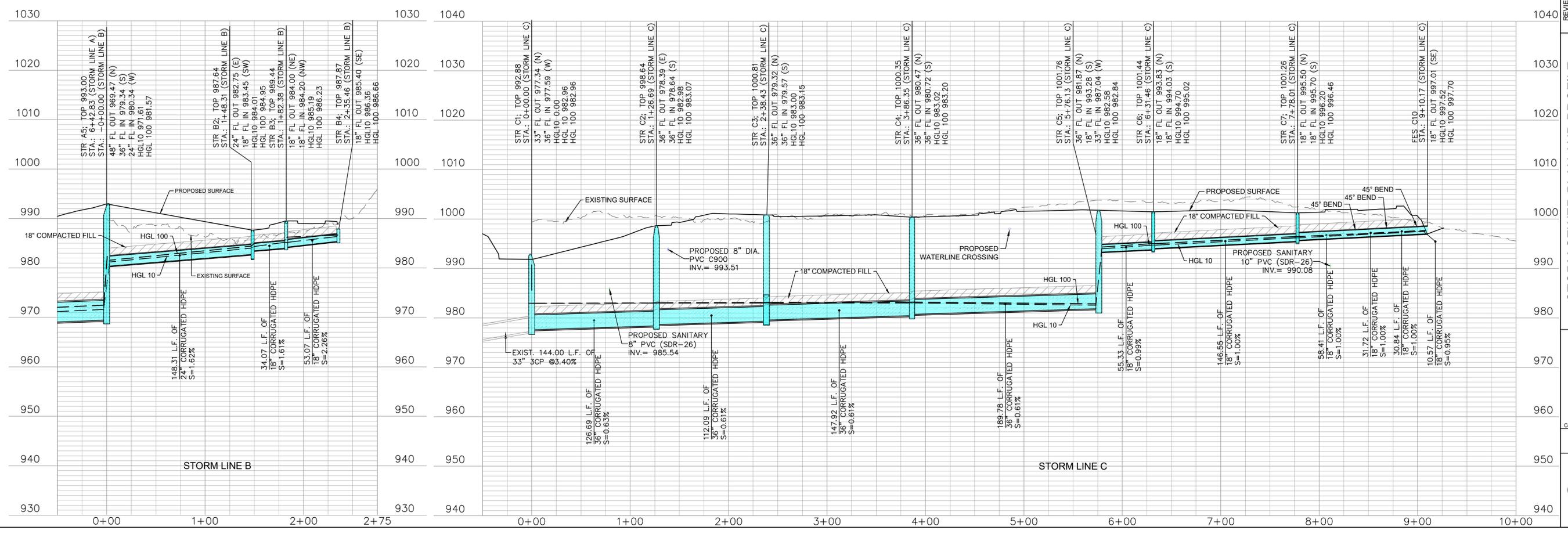
REVIEWED BY:	DATE:	NO.:	REVISIONS/APPROVALS:
M.G.D.	2022.12.21	1	FDP SUBMITTAL
N.W.H.	2023.01.30	2	REVISED PER CITY COMMENTS
D.A.H.			
SP PROJECT #:			
4024			
NEIL W. HAAS, P.E.			
2022034072			

**STORM SEWER GENERAL LAYOUT**  
**SUMMIT SQUARE III**  
**APARTMENTS**  
**FINAL DEVELOPMENT PLANS**  
**LEE'S SUMMIT, JACKSON COUNTY, MO**



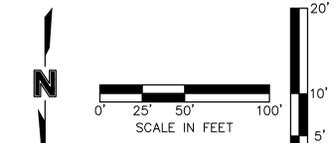
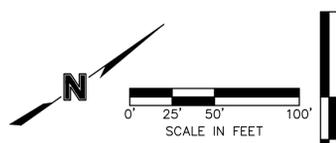
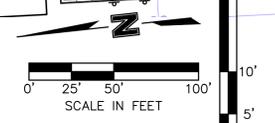
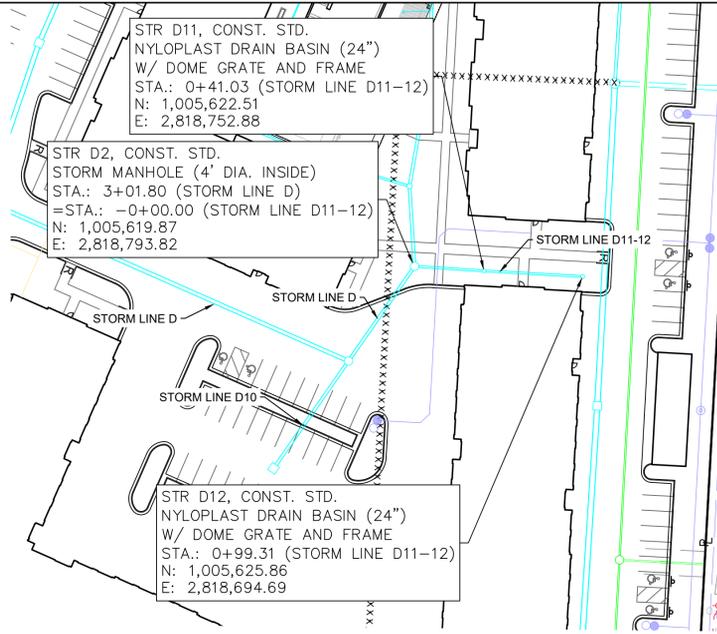
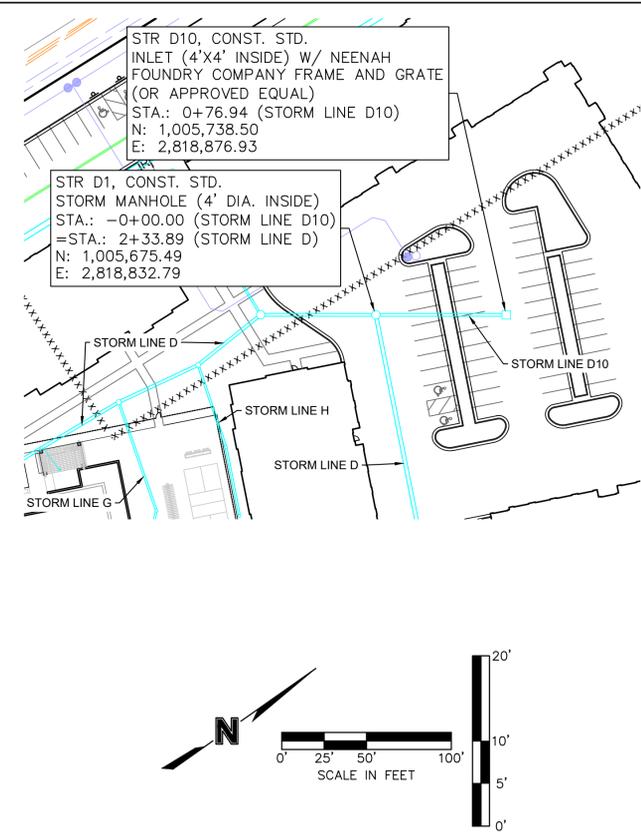
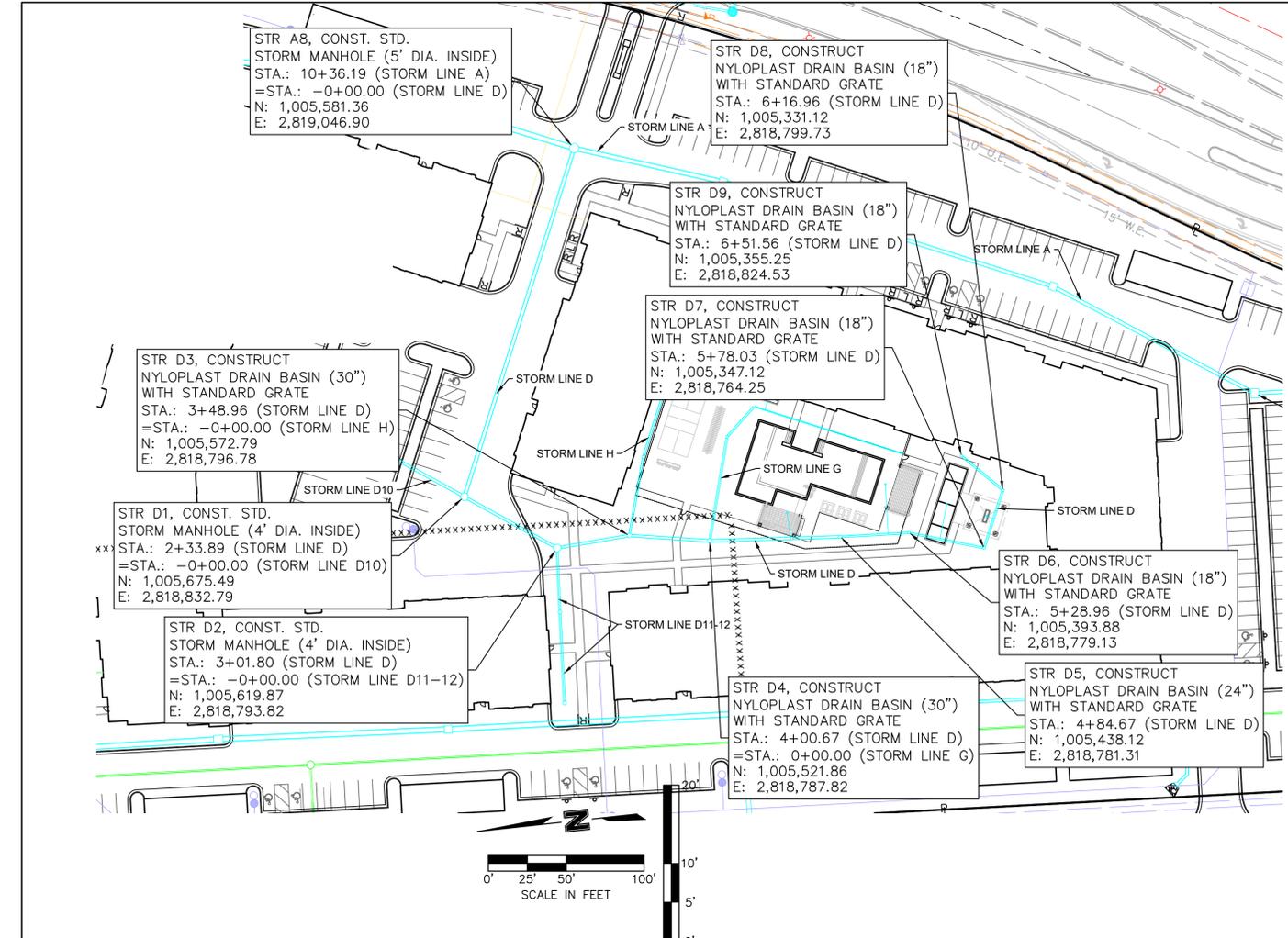


\*NOTE: COMPACTED FILL SHALL BE PLACED TO A MINIMUM 18" ABOVE THE TOP OF PIPE PRIOR TO INSTALLATION.

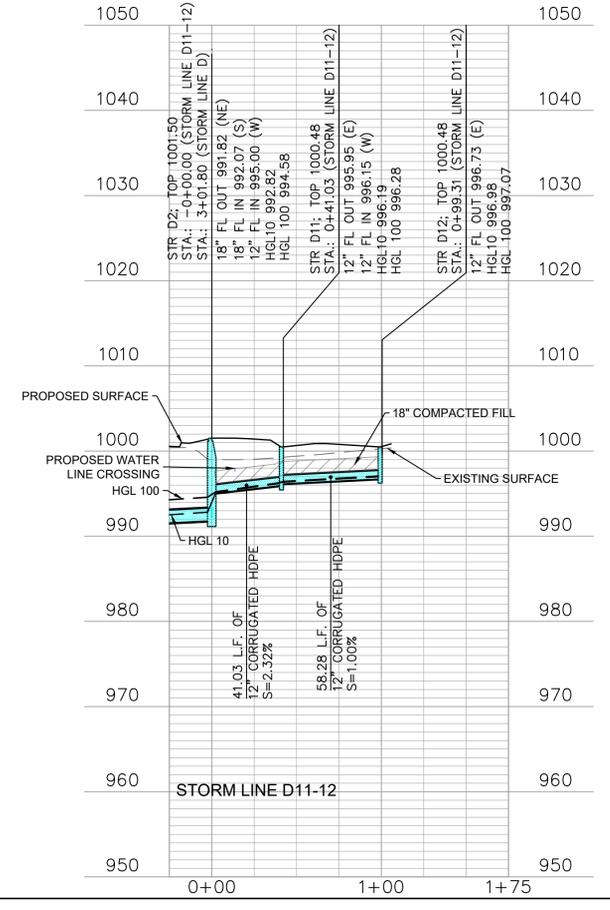
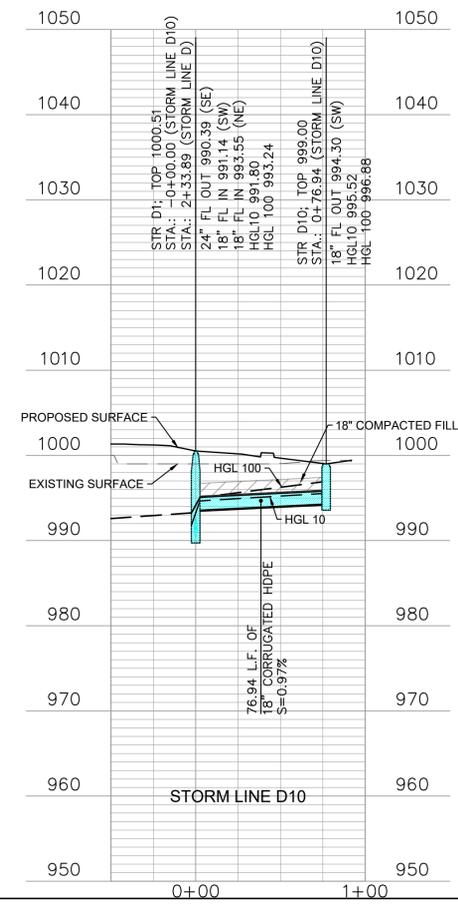
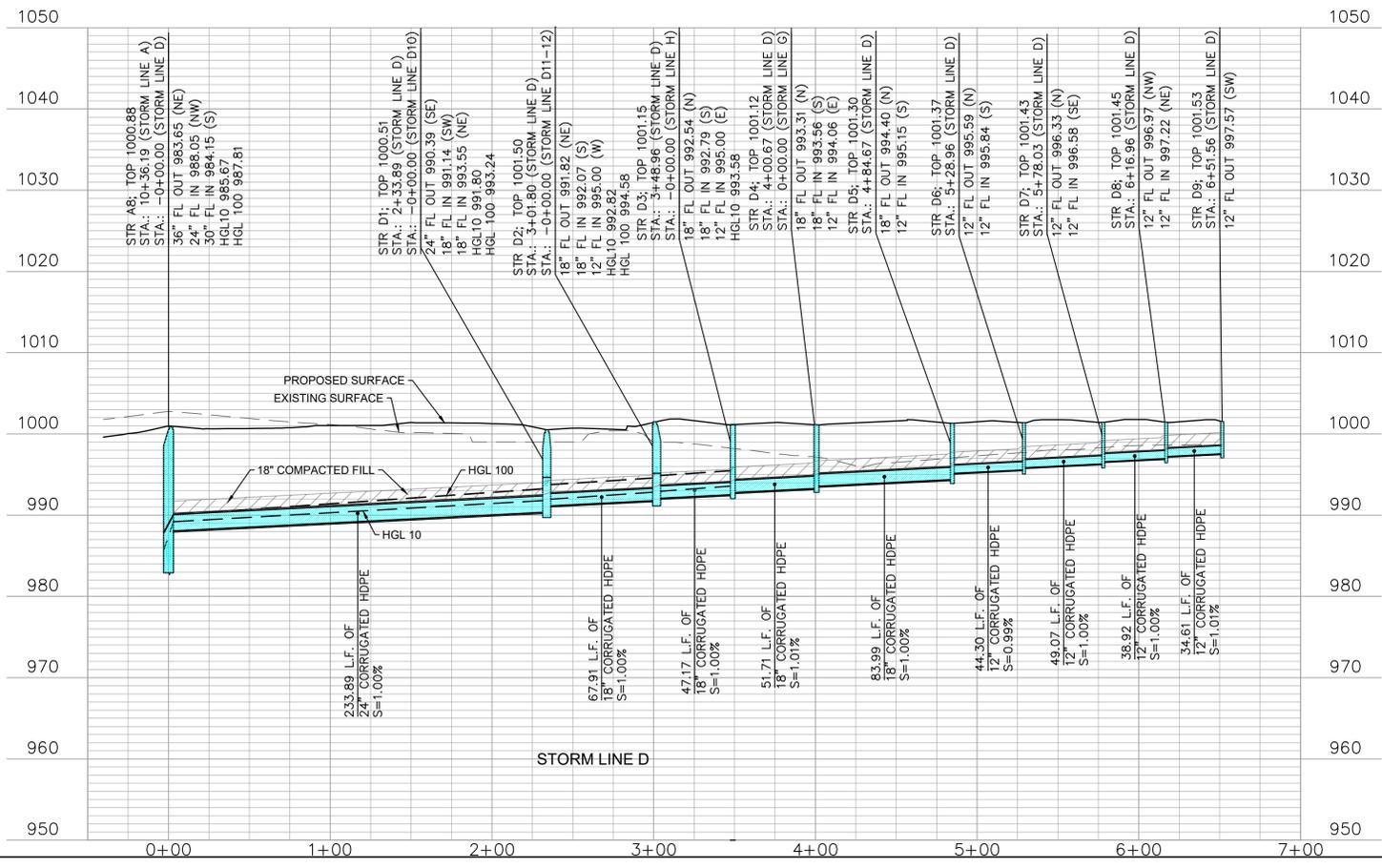


REVISIONS/APPROVALS:	NO.	DATE	BY	REVISIONS
	1	2022.12.21	M.G.D.	FDP SUBMITTAL
	2	2023.01.30	N.W.H.	REVISED PER CITY COMMENTS

**STORM SEWER PLAN AND PROFILE**  
SUMMIT SQUARE III  
APARTMENTS  
FINAL DEVELOPMENT PLANS  
LEE'S SUMMIT, JACKSON COUNTY, MO



\*NOTE: COMPACTED FILL SHALL BE PLACED TO A MINIMUM 18" ABOVE THE TOP OF PIPE PRIOR TO INSTALLATION.



S:\PROJECTS\MULTI-FAMILY\24 SUMMIT SQUARE APARTMENTS\CONSTRUCTION DOCUMENTS - APARTMENTS\PLANS\FINAL DEVELOPMENT PLANS\C-0512 STORM SEWER PLAN & PROFILE



**SITEPOINT**  
A Division of NorthPoint Development  
816.888.7380  
stepoint@northpointks.com

REVIEWED BY:	DATE:	NO.:	REVISIONS/APPROVALS:
M.G.D.	2022.12.21	FDP SUBMITTAL	
N.W.H.	2023.01.30	REVISED PER CITY COMMENTS	
D.A.H.			
SP PROJECT #:	4024		
NEIL W. HAAS, P.E.	2022034072		

**STORM SEWER PLAN AND PROFILE**

**SUMMIT SQUARE III APARTMENTS**

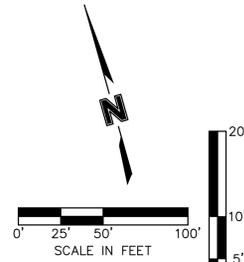
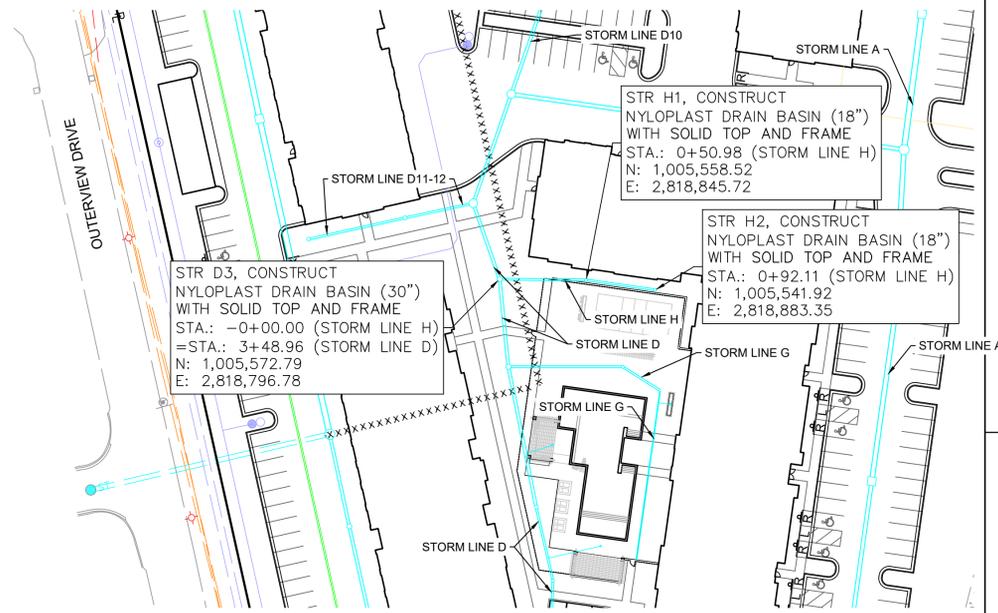
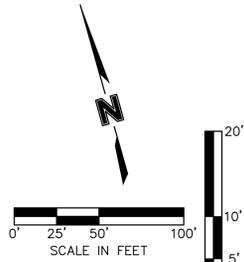
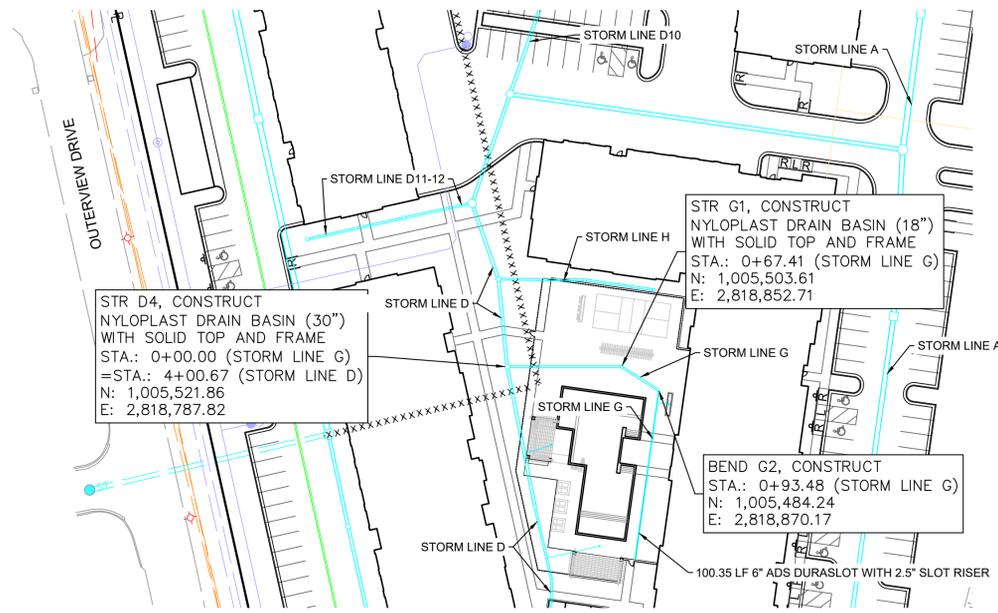
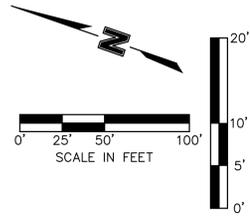
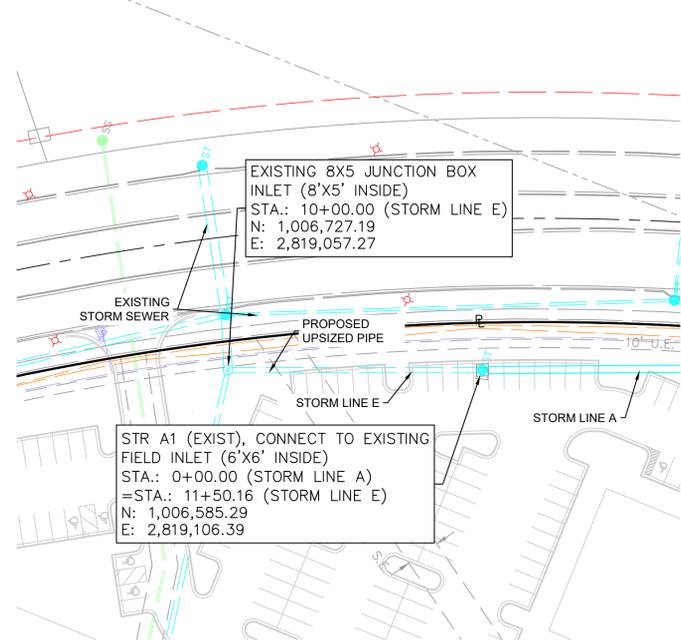
**FINAL DEVELOPMENT PLANS**

**LEE'S SUMMIT, JACKSON COUNTY, MO**

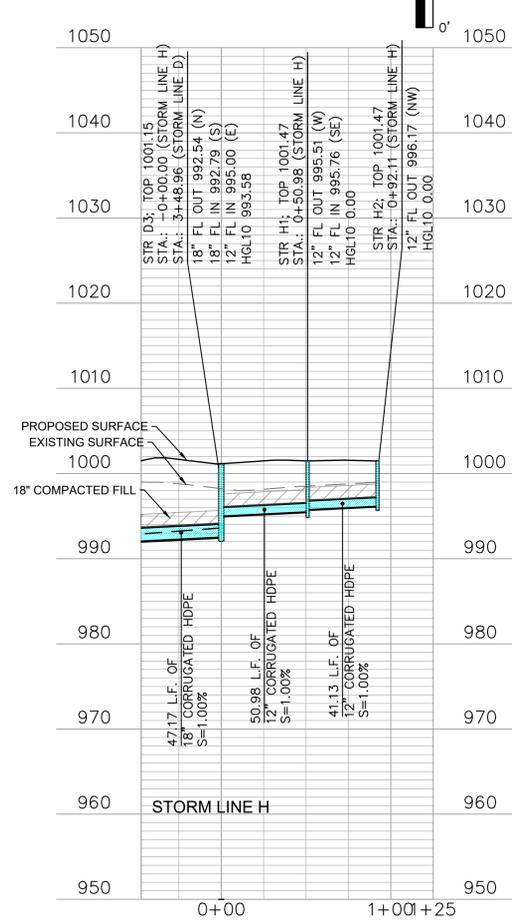
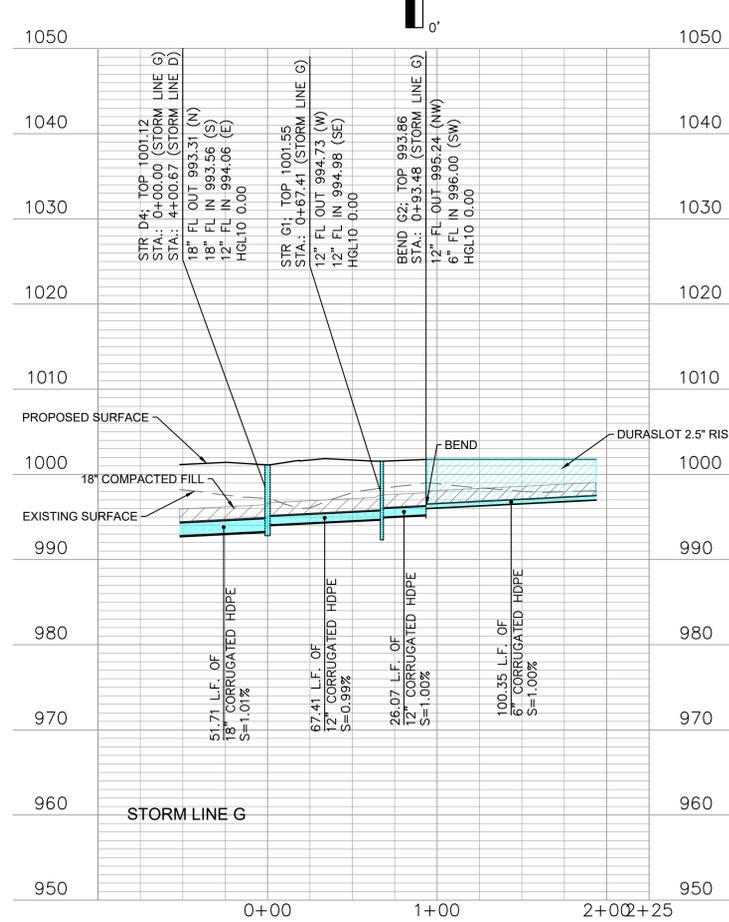
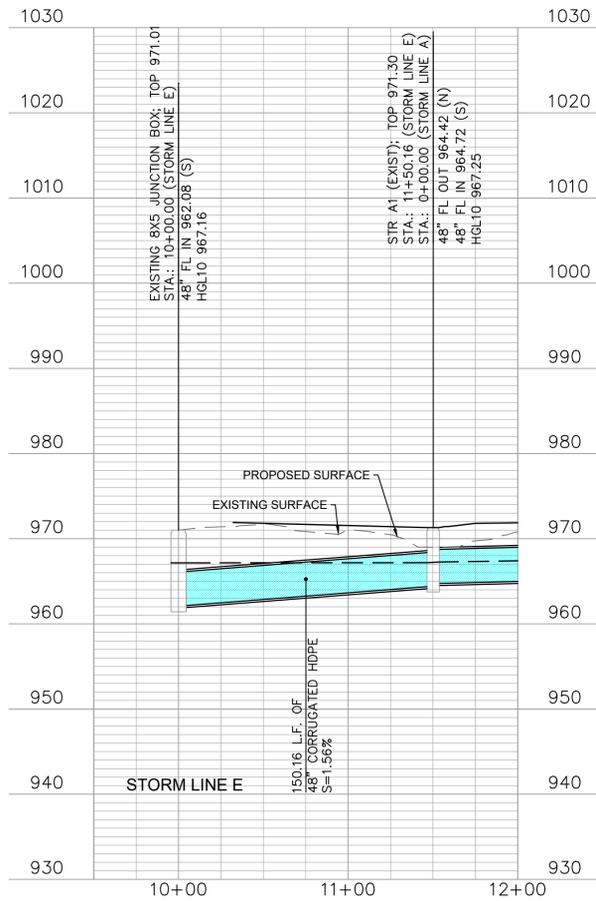
Certificate of Authority #MO 2020018354

**SHEET #:**

**C-0512**



\*NOTE: COMPACTED FILL SHALL BE PLACED TO A MINIMUM 18" ABOVE THE TOP OF PIPE PRIOR TO INSTALLATION.

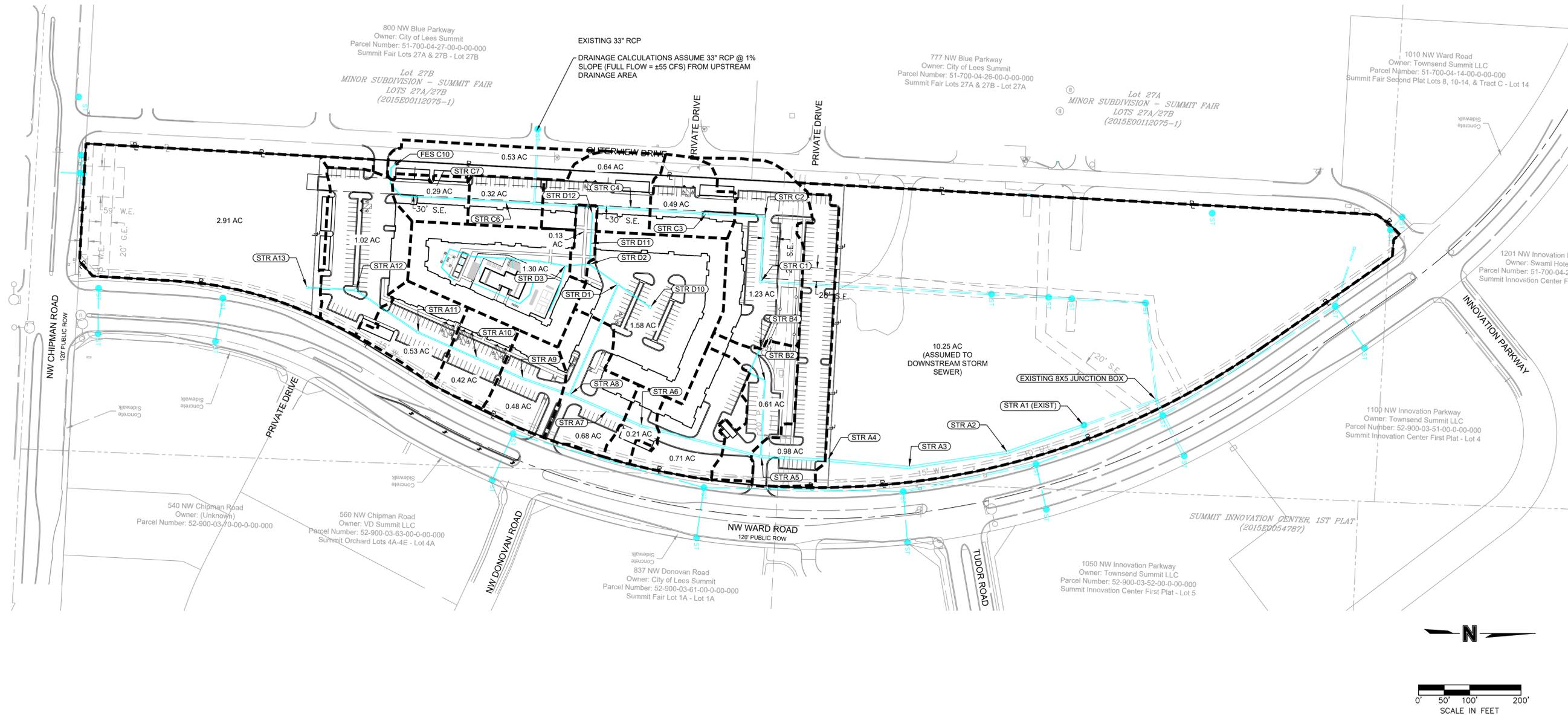


REVISIONS/APPROVALS:	NO.:	DATE	DESIGNED BY:	DRAWN BY:	SP PROJECT #:
FDP SUBMITTAL		2022.12.21	M.G.D	N.W.H	4024
REVISED PER CITY COMMENTS		2023.01.30			

**STORM SEWER PLAN AND PROFILE**  
**SUMMIT SQUARE III**  
**APARTMENTS**  
**FINAL DEVELOPMENT PLANS**  
**LEE'S SUMMIT, JACKSON COUNTY, MO**

Certificate of Authority #MO 2020018354  
**SHEET #:**

**C-0513**



**SITEPOINT**  
A Division of NorthPoint Development

816.888.7380  
stepoint@northpointkc.com

3315 N Oak Trafficway  
Kansas City, MO 64116

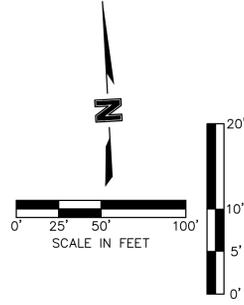
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M.C.D.	2022.12.21		FDP SUBMITTAL
N.W.H.	2023.01.30	1	REVISED PER CITY COMMENTS
D.A.H.			
SP PROJECT #:			
4024			
NEIL W. HAAS, P.E.			
2022034072			

**DRAINAGE PLAN**  
**SUMMIT SQUARE III**  
**APARTMENTS**  
**FINAL DEVELOPMENT PLANS**  
**LEE'S SUMMIT, JACKSON COUNTY, MO**

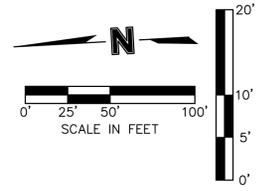
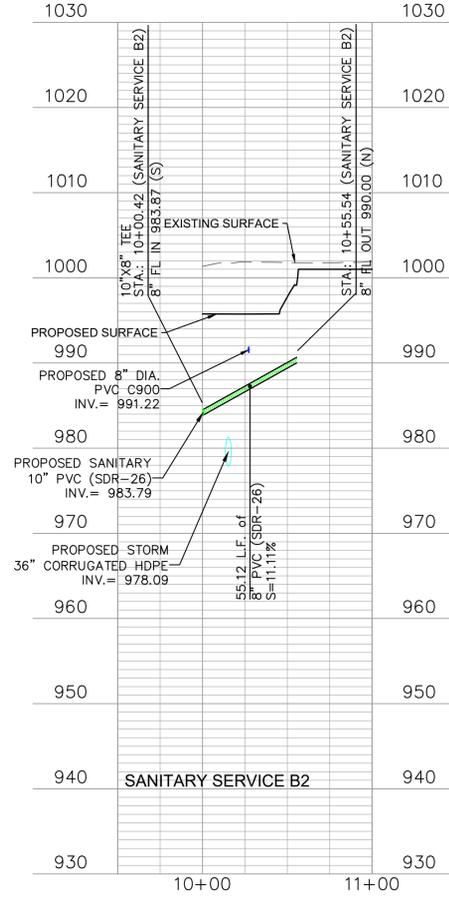
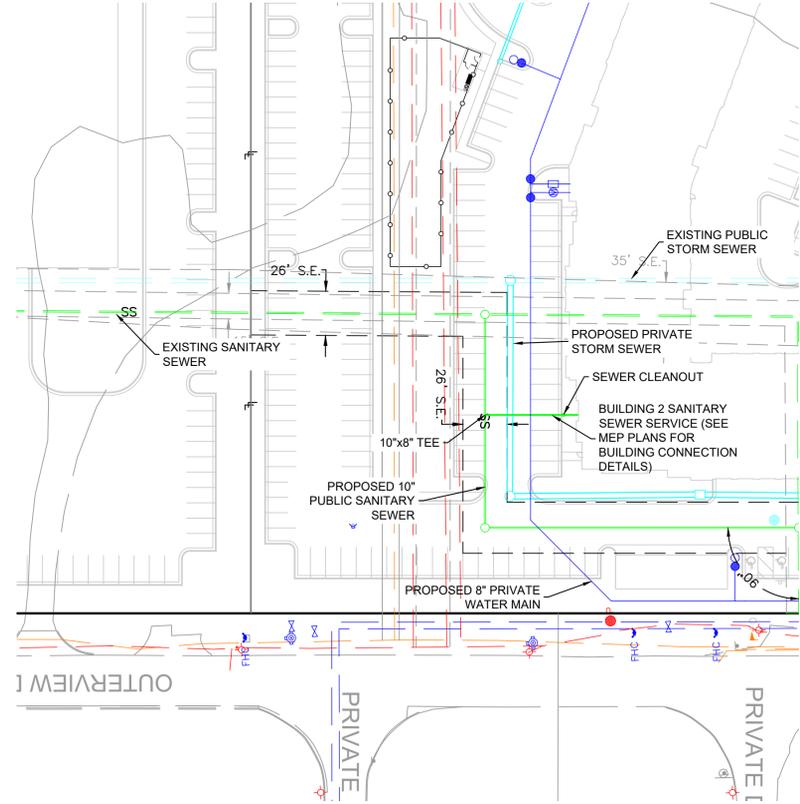
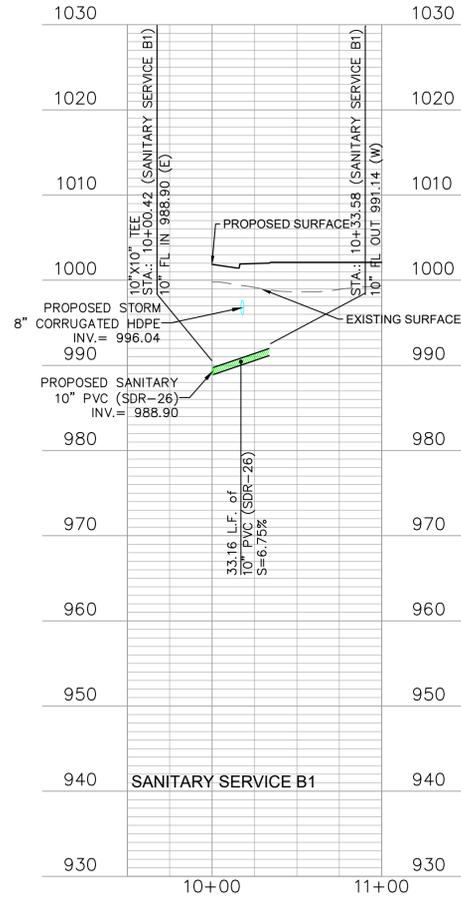
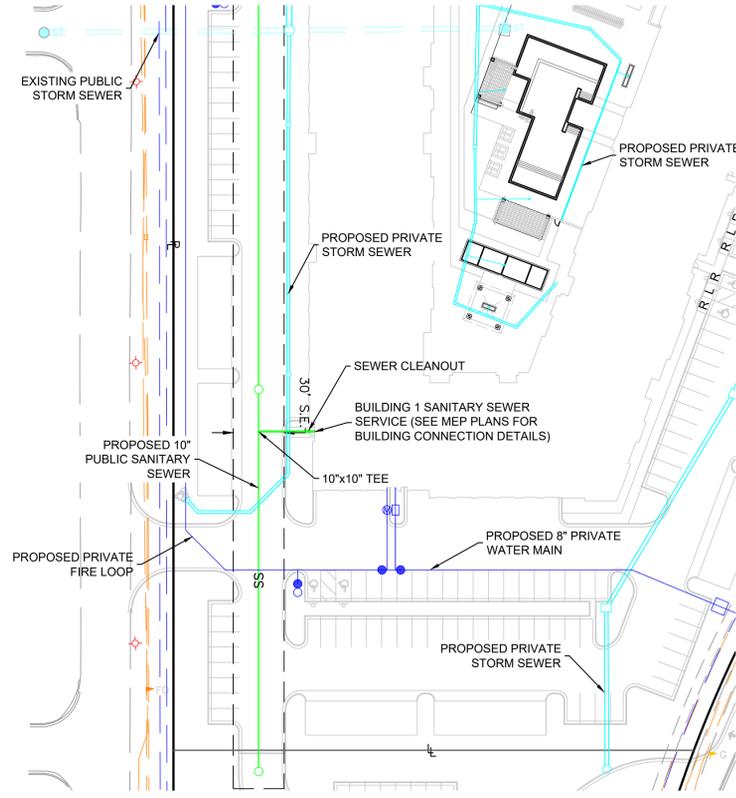
Certificate of Authority #MO 2020018354  
**SHEET #:**

**C-0530**





LUIS K/IA/K/ID  
(2015E00112075-1)

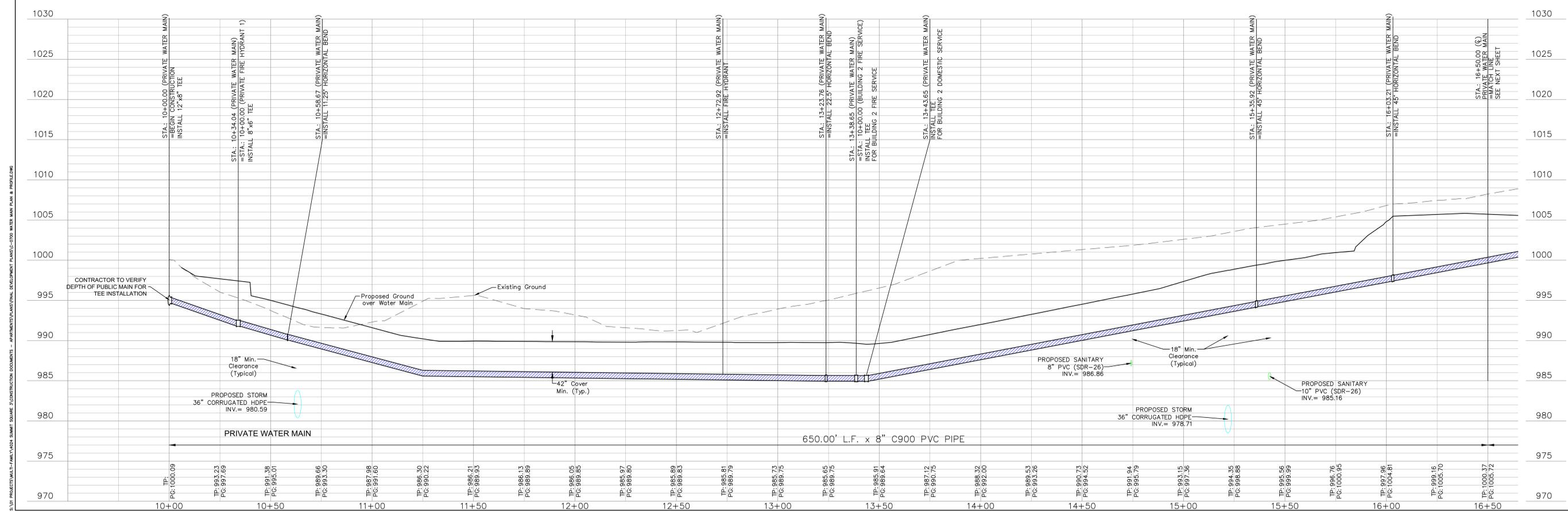
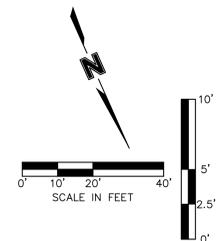
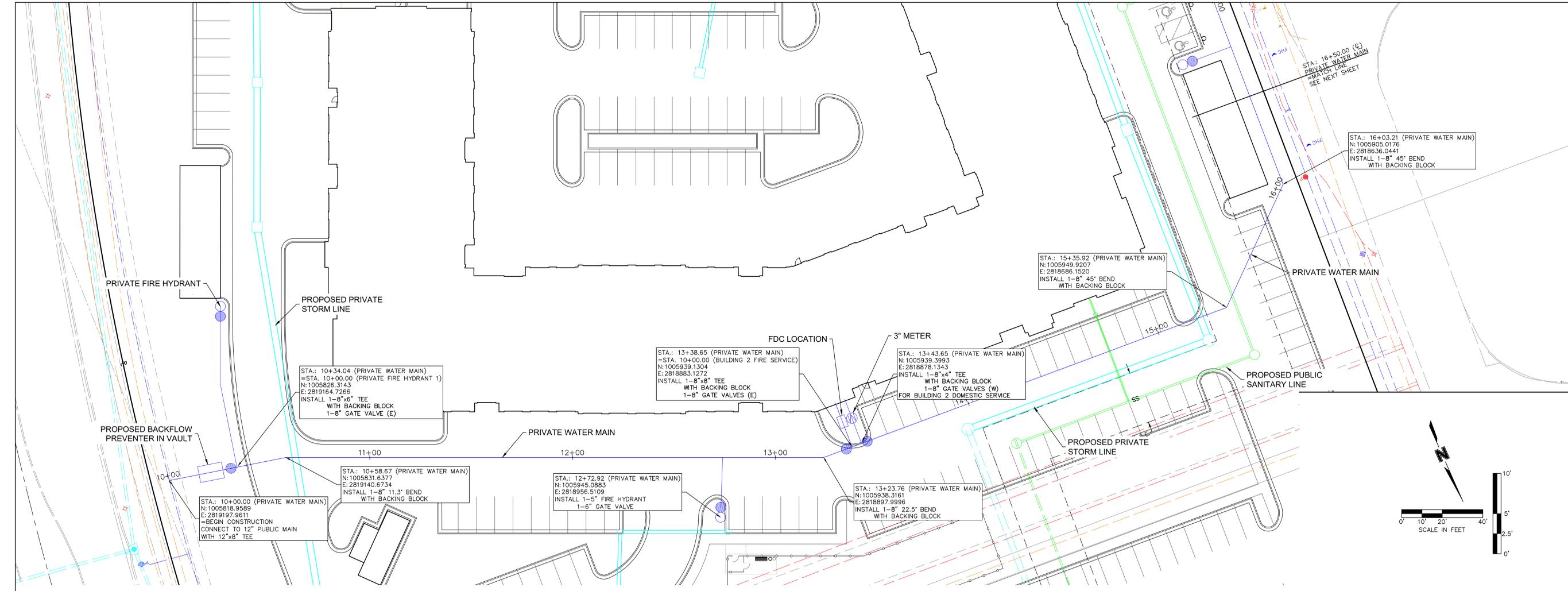


REVIEWED BY:	DATE	NO.	REVISIONS/APPROVALS:
M.G.D	2022.12.21		FDP SUBMITTAL
N.W.H	2023.01.30		REVISED PER CITY COMMENTS
D.A.H			
SP PROJECT #:			
4024			
NEIL W. HAAS, P.E.			
2022034072			

**SANITARY SEWER PLAN & PROFILE**  
**SUMMIT SQUARE III**  
**APARTMENTS**  
**FINAL DEVELOPMENT PLANS**  
**LEE'S SUMMIT, JACKSON COUNTY, MO**

Certificate of Authority #MO 2020018354  
**SHEET #:**

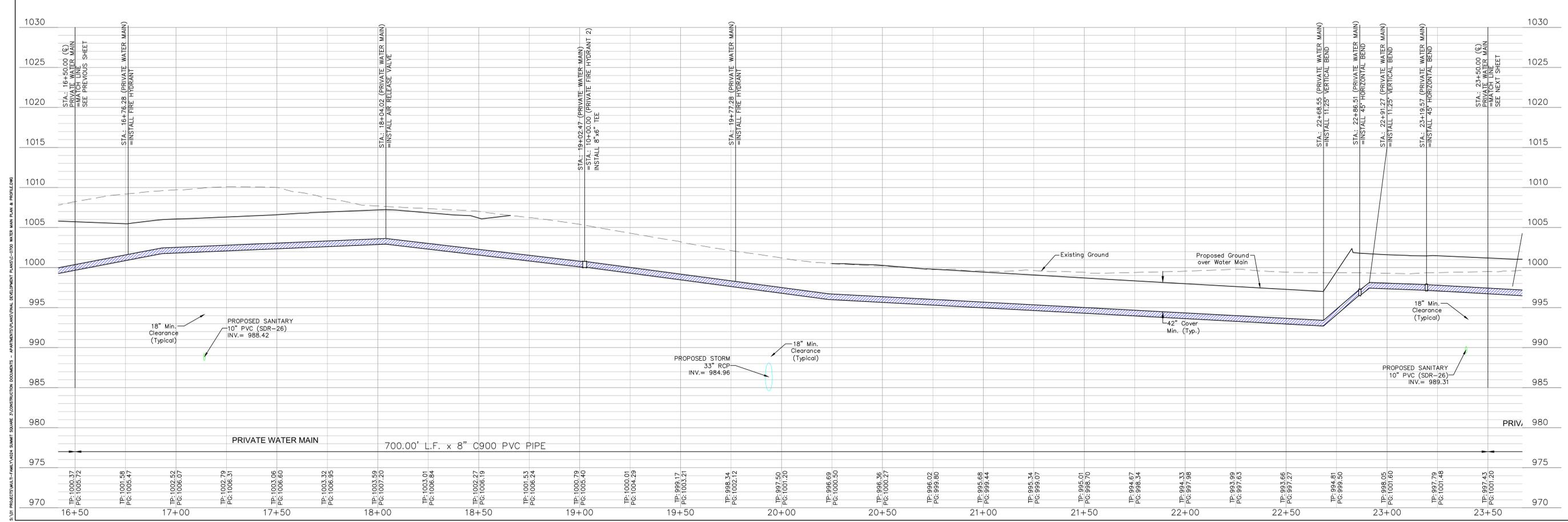
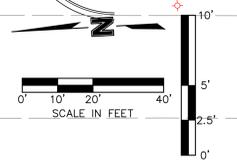
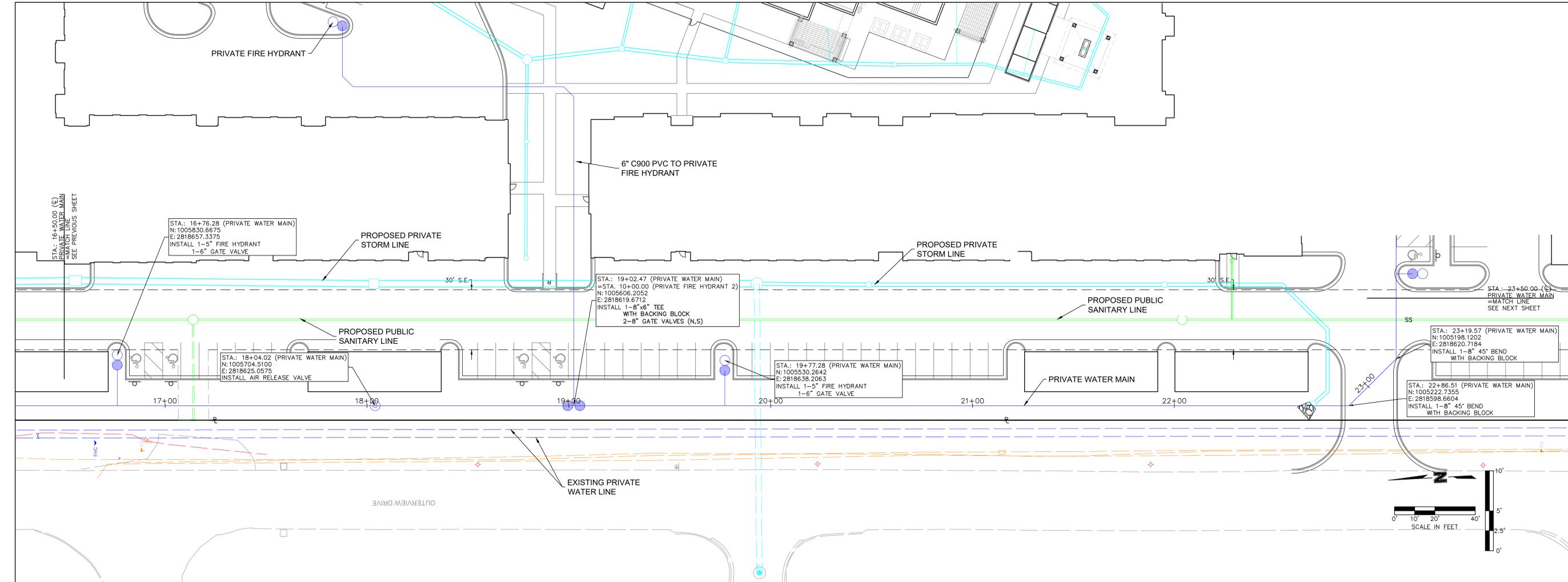
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NO.	REVISIONS/APPROVALS	DATE
1	FDP SUBMITTAL	2023.12.21
2	REVISED PER CITY COMMENTS	2023.01.30

REVIEWED BY:	M.G.D.
DESIGNED BY:	N.W.H.
DRAFTED BY:	D.A.H.
SP PROJECT #:	4224
NEIL W. HAAS P.E.	262230402

**WATER MAIN PLAN & PROFILE**  
**SUMMIT SQUARE III**  
**APARTMENTS**  
**FINAL DEVELOPMENT PLANS**  
**LEE'S SUMMIT, JACKSON COUNTY, MO**



**SITEPOINT**  
A Division of NorthPoint Development  
3315 N Oak, Trafficway  
Kansas City, MO 64116  
816.889.7380  
sitepoint@northpointkc.com

NO.	REVISIONS/APPROVALS:
1	DATE: 2023.01.30
2	DATE: 2023.12.21
3	DATE: 2024.12.21

REVIEWED BY:	DATE:
M.G.D.	2023.01.30
N.W.H.	2023.01.30
D.A.H.	
SP PROJECT #:	2626
NEIL W. HAAS, P.E.	262606072

**WATER MAIN PLAN & PROFILE**  
**SUMMIT SQUARE III**  
**APARTMENTS**  
**FINAL DEVELOPMENT PLANS**  
**LEE'S SUMMIT, JACKSON COUNTY, MO**

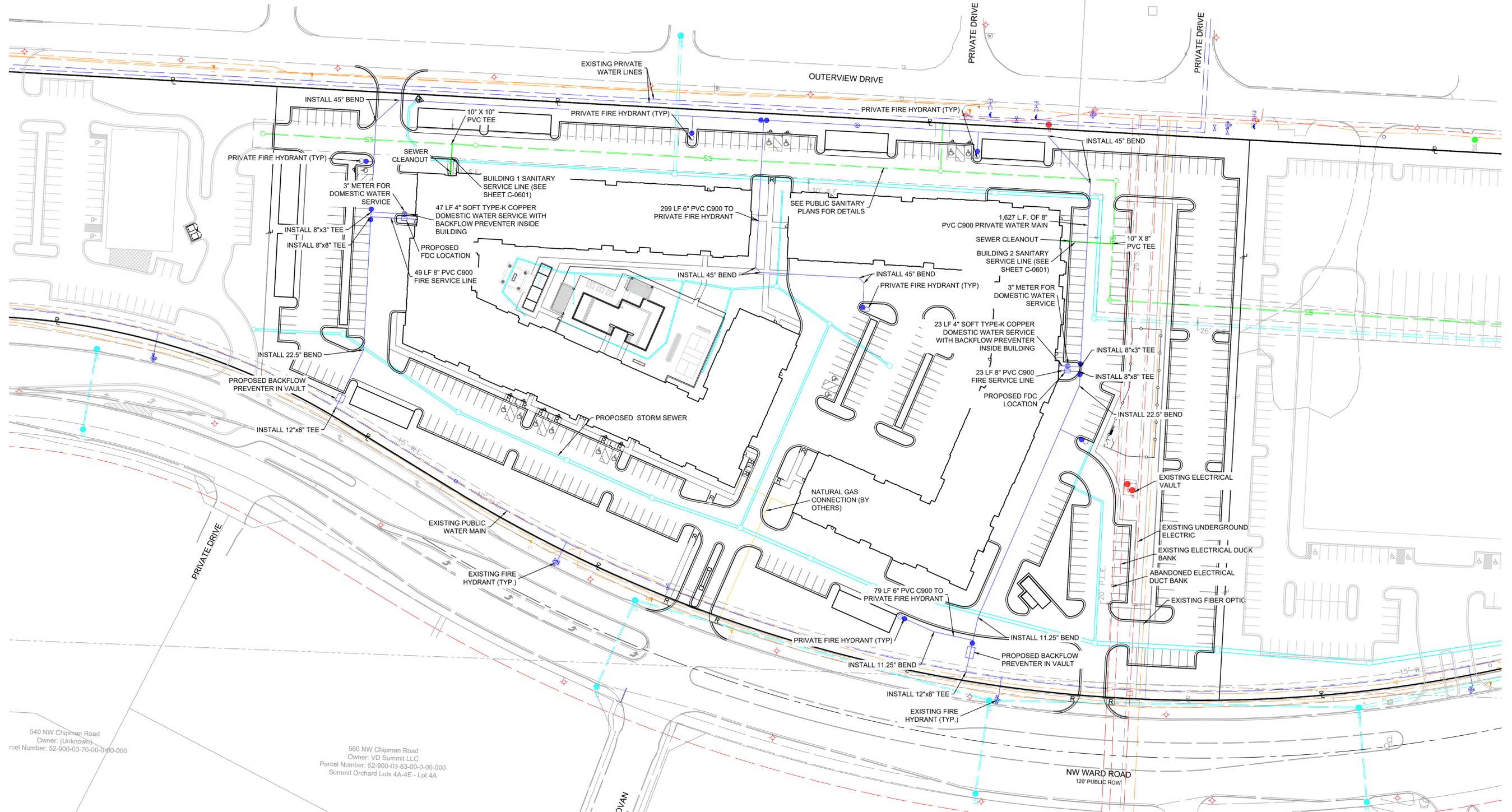
Certificate of Authority #MO 202018354

**SHEET #:**  
**C-0701**



Lot 27B  
MINOR SUBDIVISION - SUMMIT FAIR  
LOTS 27A/27B  
(2015E00112075-1)

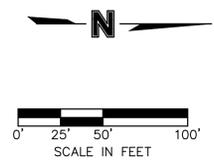
Summit Fair Lots 27A & 27E



540 NW Chipman Road  
Owner: (Unknown)  
Parcel Number: 52-900-03-70-00-0-00-000

560 NW Chipman Road  
Owner: VD Summit LLC  
Parcel Number: 52-900-03-63-00-0-00-000  
Summit Orchard Lots 4A-4E - Lot 4A

LEGEND	
	EXISTING COMMUNICATIONS LINE
	PROPOSED COMMUNICATIONS LINE
	EXISTING NATURAL GAS LINE
	PROPOSED NATURAL GAS LINE
	EXISTING POWER/ELECTRIC LINE
	PROPOSED POWER/ELECTRIC LINE
	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	FUTURE STORM SEWER
	EXISTING WATER LINE
	PROPOSED WATER LINE



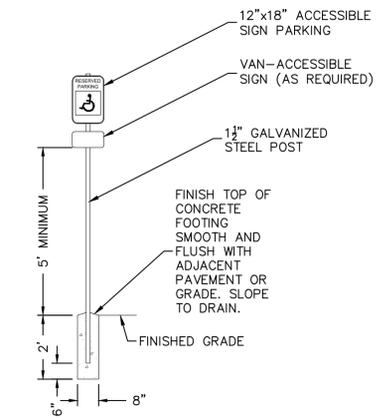
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FDP SUBMITTAL	1	2022.12.21	M.G.D.	N.W.H.	D.A.H.	4024
REVISED PER CITY COMMENTS	2	2023.01.30				

UTILITY PLAN  
SUMMIT SQUARE III  
APARTMENTS  
FINAL DEVELOPMENT PLANS  
LEE'S SUMMIT, JACKSON COUNTY, MO

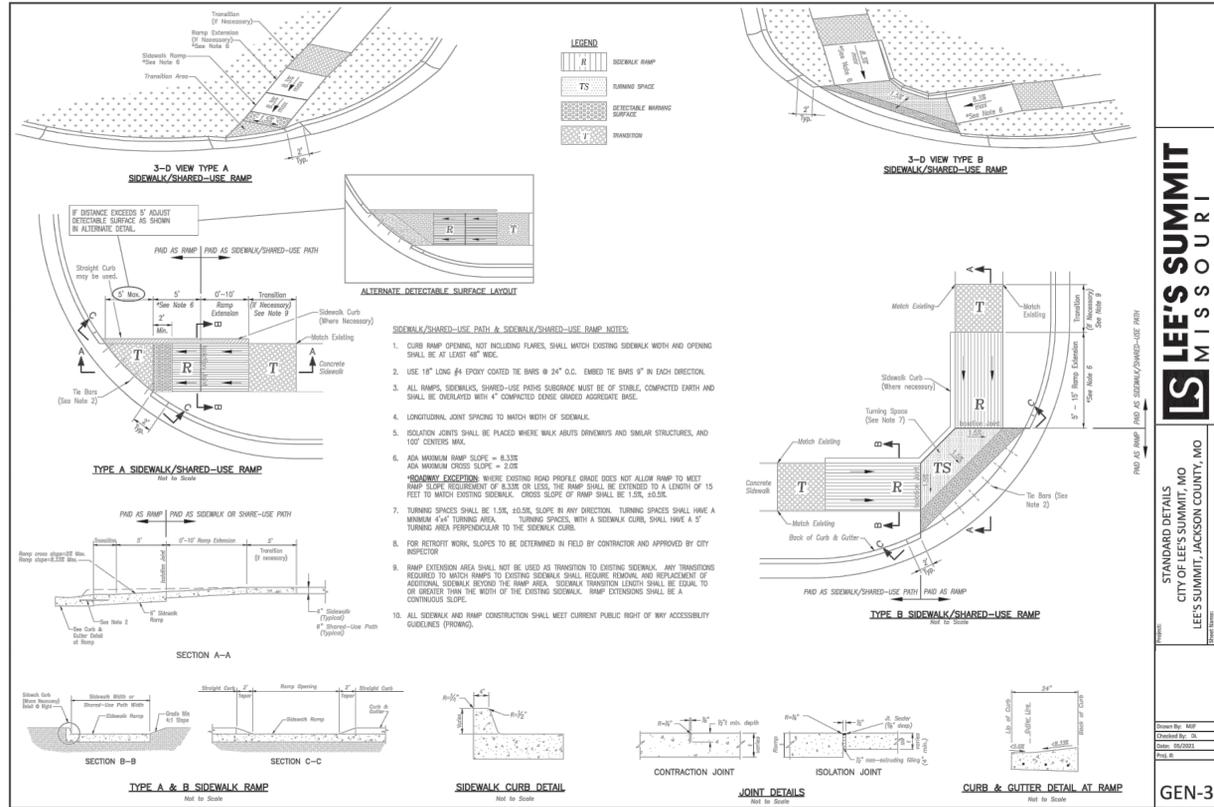
Certificate of Authority #MO 2020018354  
SHEET #:

C-0900

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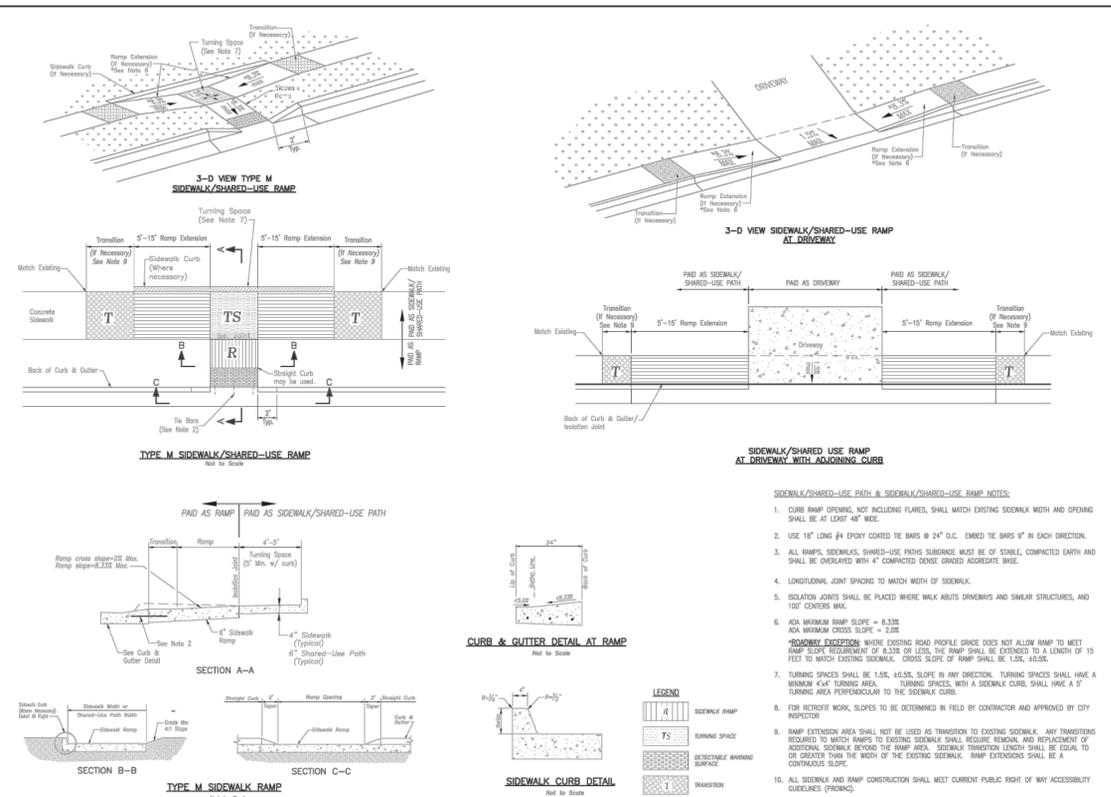
ACCESSIBLE PARKING SIGN DETAIL  
NTS



REVISIONS/APPROVALS:

NO.	DATE	REVISIONS/APPROVALS:
1	2022.12.21	FDP SUBMITTAL
2	2023.01.30	REVISED PER CITY COMMENTS

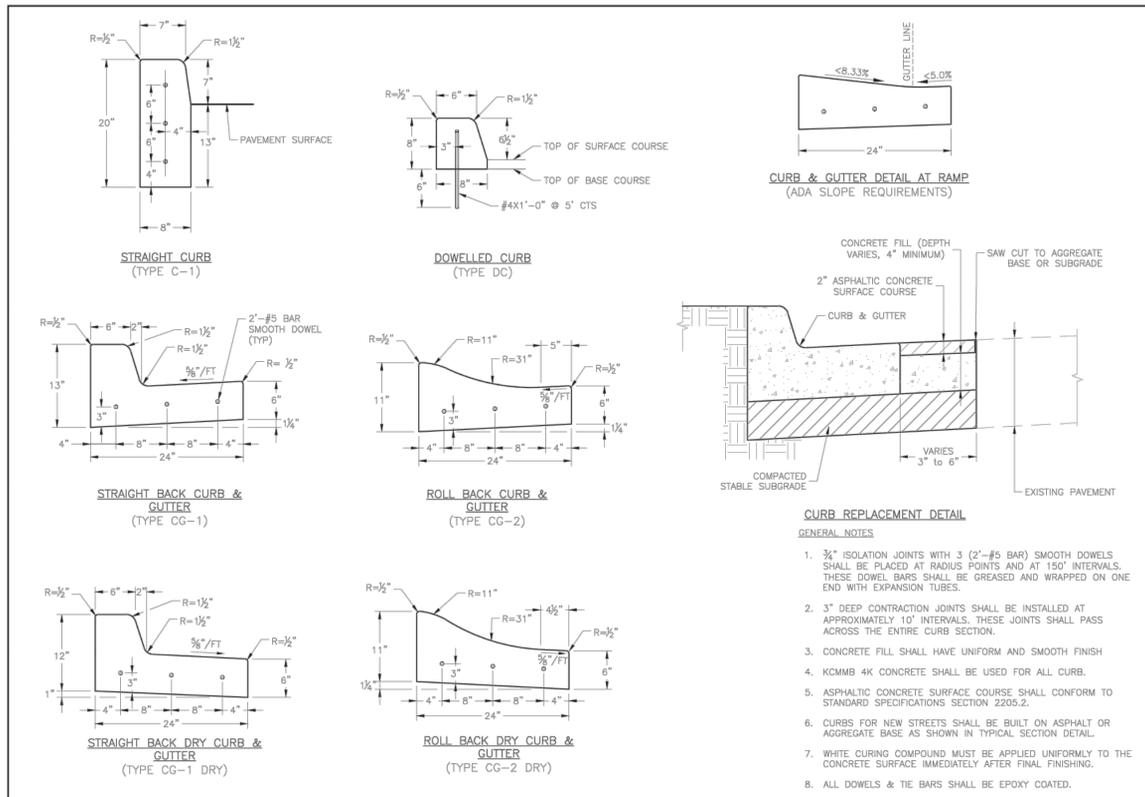
DESIGNED BY: M.G.D.  
DESIGNED BY: N.W.H.  
DRAFTED BY: D.A.H.  
SP PROJECT #: 4024  
NEIL W. HAAS, P.E.  
2022034072



REVISIONS/APPROVALS:

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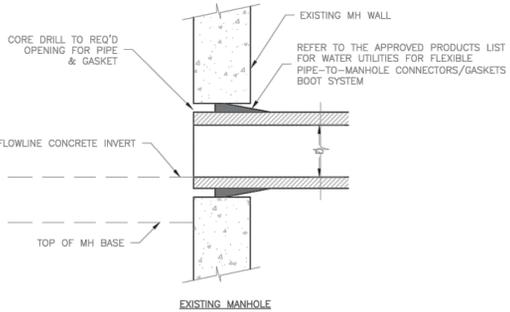
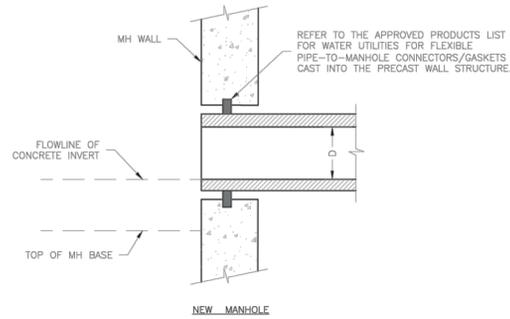
DESIGNED BY: M.G.D.  
DESIGNED BY: N.W.H.  
DRAFTED BY: D.A.H.  
SP PROJECT #: 4024  
NEIL W. HAAS, P.E.  
2022034072



REVISIONS/APPROVALS:

NO.	DATE	REVISIONS/APPROVALS:
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DESIGNED BY: M.G.D.  
DESIGNED BY: N.W.H.  
DRAFTED BY: D.A.H.  
SP PROJECT #: 4024  
NEIL W. HAAS, P.E.  
2022034072



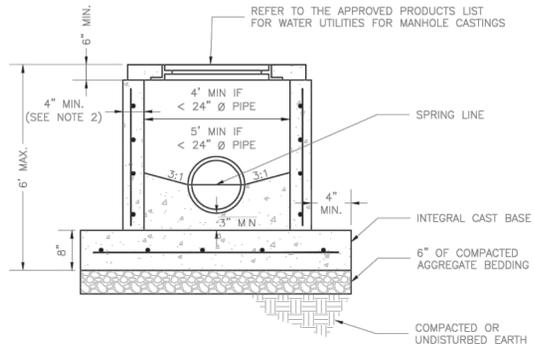
**LEE'S SUMMIT MISSOURI**  
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

**MANHOLE WALL CONNECTION**

LS

Date: 02/2013  
Drawn By: MJF  
Checked By: DL

SAN-5



- NOTES:
1. PRECAST CONCRETE MANHOLES SHALL CONFORM TO ASTM C478 EXCEPT AS MODIFIED BY THE SPECIFICATIONS.
  2. A WALL THICKNESS NOT LESS THAN ONE-TWELFTH (1/12) OF THE INSIDE DIAMETER OR 4", WHICHEVER IS GREATER SHALL BE USED.
  3. WATERPROOFING SHALL BE REQUIRED ON THE OUTSIDE OF MANHOLES. THE WATERPROOFING SHALL CONSIST OF A TOTAL DRY FILM THICKNESS OF NOT LESS THAN 14 MILS OF BITUMINOUS COATING.
  4. THE FILL CONCRETE FLOW CHANNEL FOR SIDE BRANCHES SHALL BE PLACED TO PROVIDE A SMOOTH TRANSITION INTO THE FLOW LINE.
  5. REFER TO THE APPROVED PRODUCTS LIST FOR WATER UTILITIES FOR MANHOLE GASKET MODELS.
  6. PROVIDE STEPS AS SHOWN ON THE APPROVED PRODUCTS LIST FOR MANHOLE DEPTHS GREATER THAN 4'.

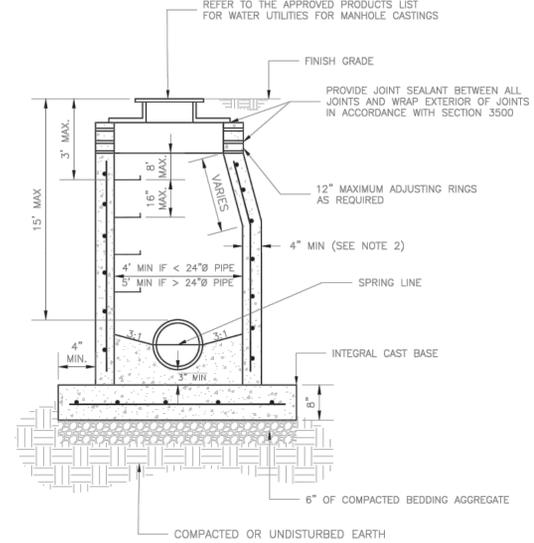
**LEE'S SUMMIT MISSOURI**  
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

**STANDARD SHALLOW SANITARY PRECAST MANHOLE**

LS

Date: 12/2015  
Drawn By: MJF  
Checked By: DL

SAN-3



- NOTES:
1. PRECAST CONCRETE MANHOLES SHALL CONFORM TO ASTM C478 EXCEPT AS MODIFIED BY THE SPECIFICATIONS.
  2. A WALL THICKNESS NOT LESS THAN ONE-TWELFTH (1/12) OF THE INSIDE DIAMETER OR 4", WHICHEVER IS GREATER, SHALL BE USED WHEN THE MANHOLE DEPTH IS LESS THAN 15'.
  3. WATERPROOFING SHALL BE REQUIRED ON THE OUTSIDE OF MANHOLES. THE WATERPROOFING SHALL CONSIST OF A TOTAL DRY FILM THICKNESS OF NOT LESS THAN 14 MILS OF BITUMINOUS COATING.
  4. ONLY ECCENTRIC MANHOLE CONES WILL BE ALLOWED UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.
  5. THE FILL CONCRETE FLOW CHANNEL FOR SIDE BRANCHES SHALL BE PLACED TO PROVIDE A SMOOTH TRANSITION INTO THE FLOW LINE.
  6. REFER TO THE APPROVED PRODUCTS LIST FOR WATER UTILITIES FOR APPROVED MANHOLE GASKET MODELS.
  7. REFER TO THE APPROVED PRODUCTS LIST FOR APPROVED STEPS.

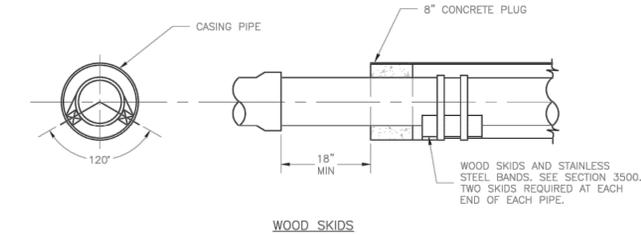
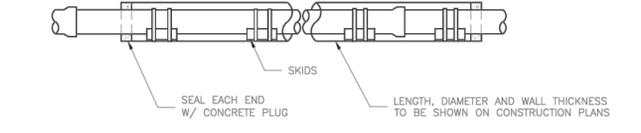
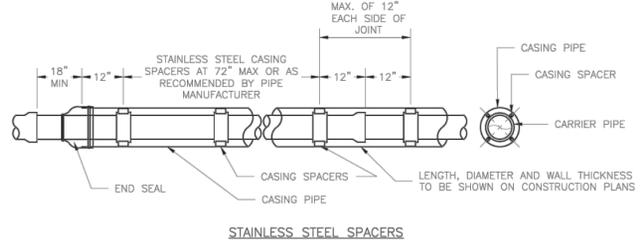
**LEE'S SUMMIT MISSOURI**  
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

**STANDARD SANITARY PRECAST MANHOLE**

LS

Date: 12/2015  
Drawn By: SC  
Checked By: DL

SAN-2



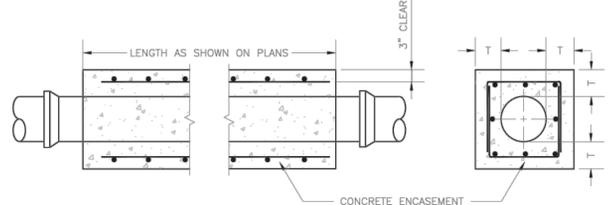
**LEE'S SUMMIT MISSOURI**  
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

**CASING PIPE DETAILS**

LS

Date: 02/2013  
Drawn By: MJF  
Checked By: DL

SAN-6



- NOTES:
1. FOR PIPES LESS THAN 15", T = 6" MIN.
  2. FOR PIPES 15" THRU 36" T = 8" MIN.
  3. INTERMEDIATE BELLS SHALL BE ENCASED.
  4. REINFORCING STEEL SHALL BE #4 @ 12" O.C. EACH WAY WITH A MINIMUM REBAR LAP OF 12".

**LEE'S SUMMIT MISSOURI**  
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

**PIPE ENCASEMENT DETAIL**

LS

Date: 01/2016  
Drawn By: JN  
Checked By: DL

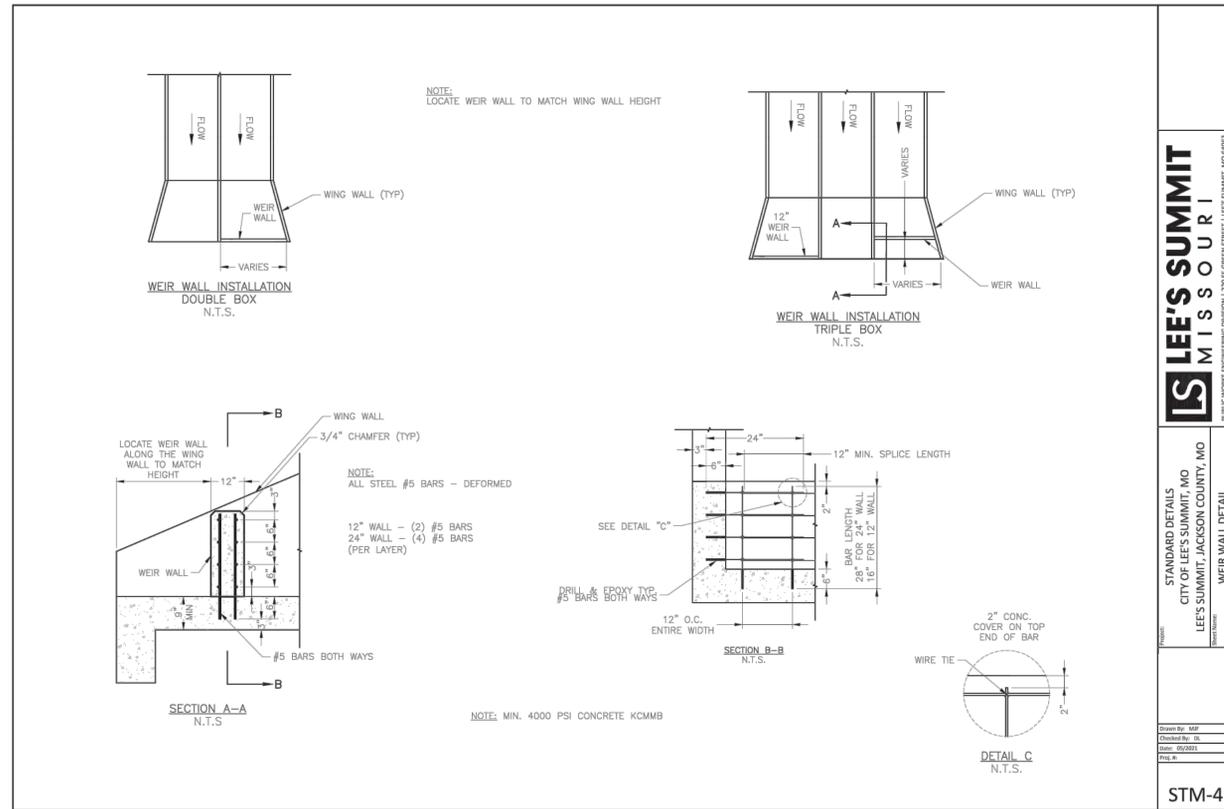
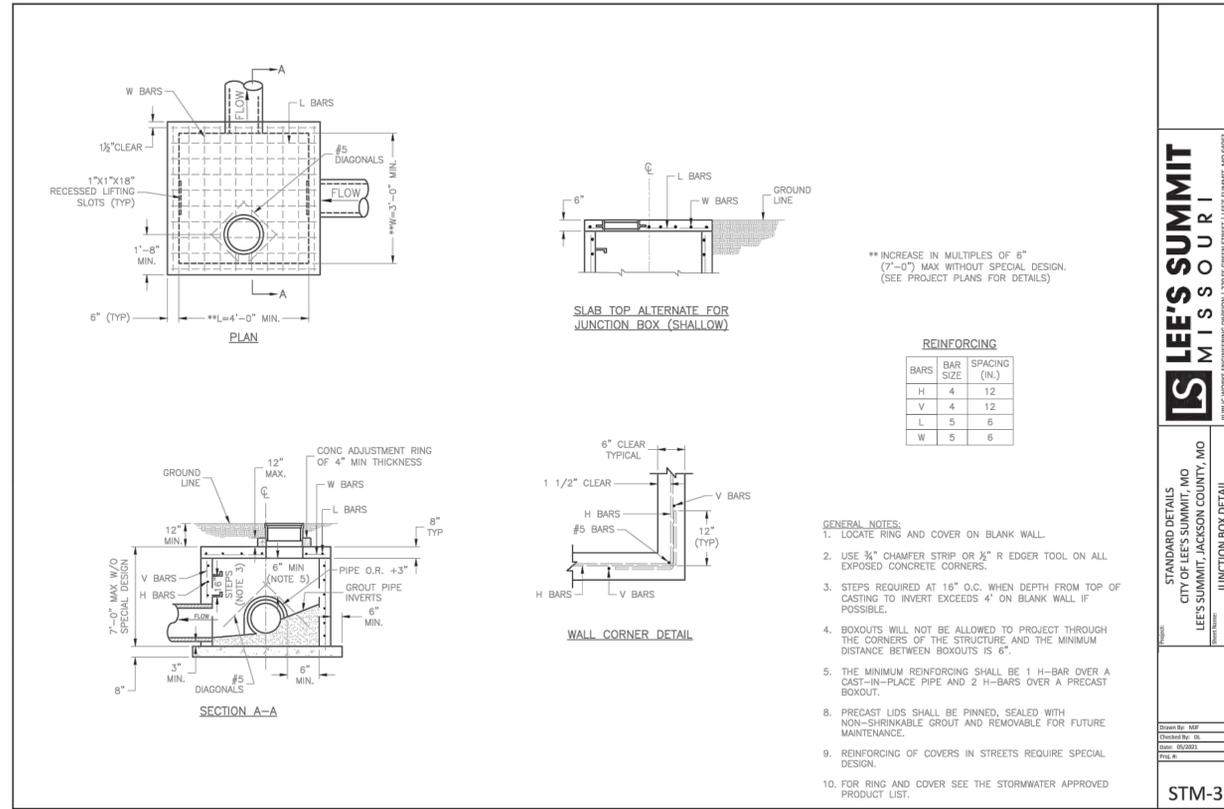
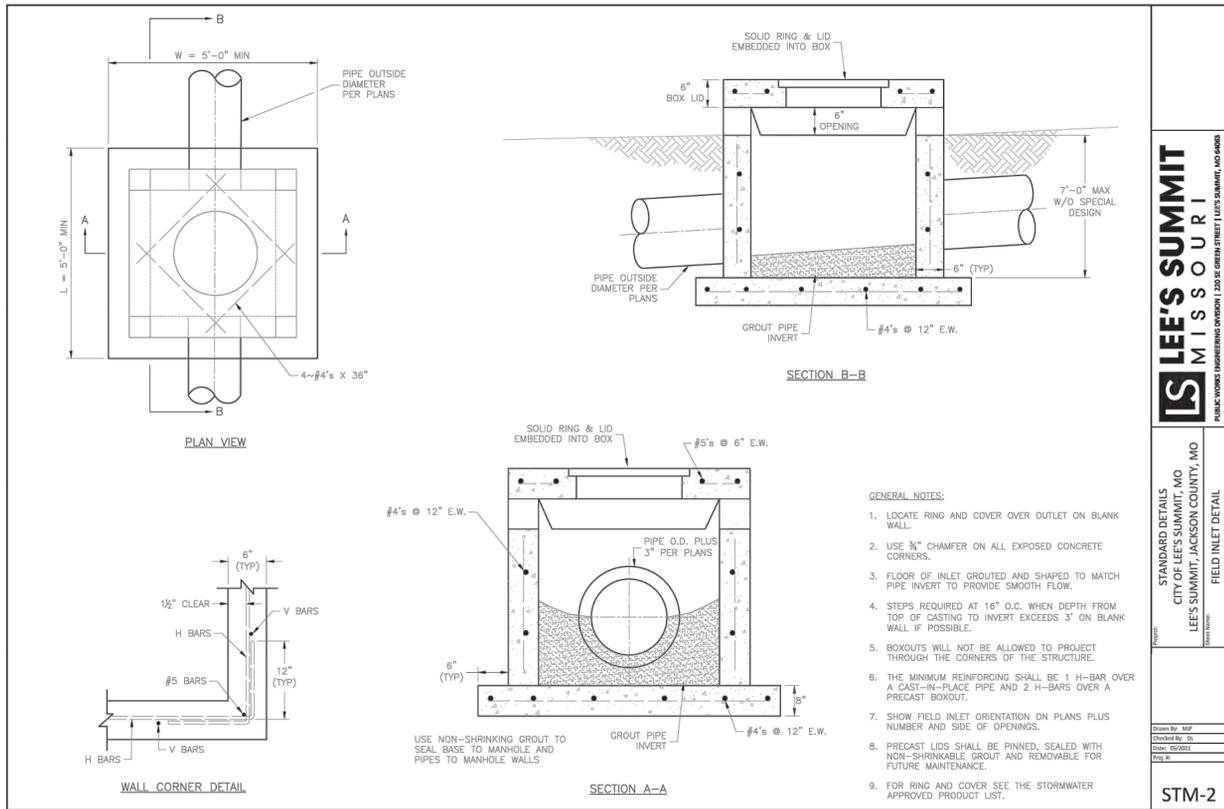
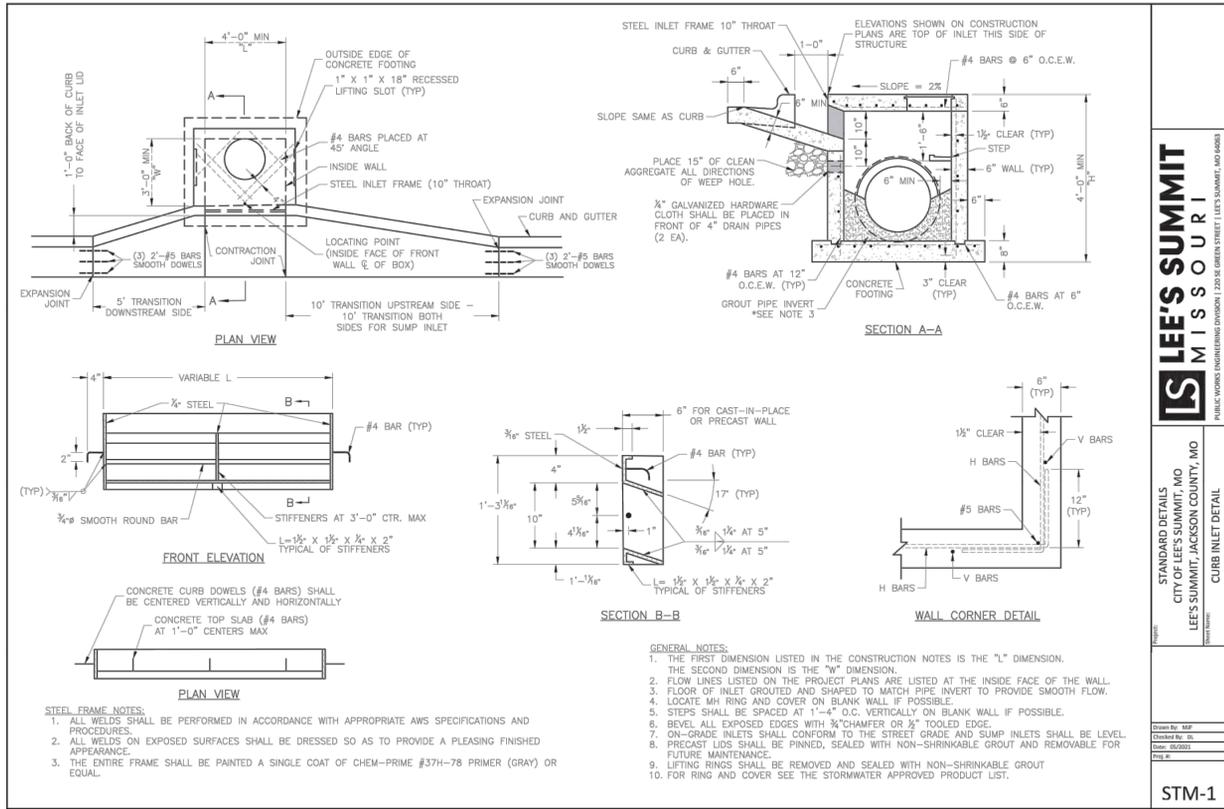
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REVISIONS/APPROVALS:	NO.	DATE	REASON
DESIGNED BY:		2022.12.21	FDP SUBMITTAL
DRAFTED BY:		2023.01.30	REVISED PER CITY COMMENTS
SP PROJECT #:			
NEIL W. HAAS, P.E.			

**DETAIL SHEET**  
**SUMMIT SQUARE III**  
**APARTMENTS**  
**FINAL DEVELOPMENT PLANS**  
**LEE'S SUMMIT, JACKSON COUNTY, MO**

Certificate of Authority #MO 2020018354  
**SHEET #:**

**C-2001**



NO.	REVISIONS/APPROVALS:
1	FDP SUBMITTAL
2	REVISED PER CITY COMMENTS

REVIEWED BY:	DATE:
M.G.D.	2022.12.21
N.W.H.	2023.01.30

DESIGNED BY:	DRAFTED BY:	SP PROJECT #:
N.W.H.	D.A.H.	4024

NEIL W. HAAS, P.E.  
2022034072

**DETAIL SHEET**  
**SUMMIT SQUARE III**  
**APARTMENTS**  
**FINAL DEVELOPMENT PLANS**  
**LEE'S SUMMIT, JACKSON COUNTY, MO**

2'-0 5/16"  
1'-10 9/16"  
1 1/2"

SLAB MANHOLE FRAME  
LEE'S SUMMIT PART NO.: LS103A  
MINIMUM WEIGHT = 145 LB

2'-0 5/16"  
1'-10 9/16"  
1 1/2"  
8 5/8"

STANDARD 24" MANHOLE FRAME  
LEE'S SUMMIT PART NO.: LS101A  
MINIMUM WEIGHT = 250 LB

\*COVER AND FRAME MODEL INFORMATION REFER TO THE STORMWATER APPROVED PRODUCTS LIST.

LS	<b>LEE'S SUMMIT MISSOURI</b> PUBLIC WORKS ENGINEERING DIVISION   220 SE GREEN STREET   LEE'S SUMMIT, MO 64063	Storm Manhole Frame Detail	DWG-7
	Date: 05/2021 Drawn By: MJF Checked By: DL		

1-1/2" LETTERS EQUALLY SPACED  
4" LETTERS EQUALLY PLACED

24"  
1'-9 3/8"  
1 1/2"

STANDARD 24" MANHOLE COVER  
MINIMUM WEIGHT = 160 LB  
NOTE: PICK HOLES NOT SHOWN

\*COVER AND FRAME MODEL INFORMATION REFER TO THE STORMWATER APPROVED PRODUCT LIST.

LS	<b>LEE'S SUMMIT MISSOURI</b> PUBLIC WORKS ENGINEERING DIVISION   220 SE GREEN STREET   LEE'S SUMMIT, MO 64063	Storm Manhole Cover Detail	STM-6
	Date: 05/2021 Drawn By: MJF Checked By: DL		

REQUIRED CONCRETE BEARING AREA (SQUARE FEET - SF)

NOM. DIA. (INCHES)	180 TEE, PLUG	90 BEND	45 BEND	22.5 BEND	11.25 BEND
6	4.7	6.7	4.0	4.0	4.0
8	8.4	11.8	6.4	4.0	4.0
10	13.1	18.5	10.0	5.1	4.0
12	18.8	26.7	14.4	7.4	4.0
14	25.7	36.3	19.6	10.0	5.0
16	33.5	47.4	25.6	13.1	6.6
18	42.4	REST. JT.	32.5	16.5	8.3
20	REST. JT.	REST. JT.	40.1	20.4	10.3
24	REST. JT.	REST. JT.	REST. JT.	29.4	14.8

POURED CONCRETE BLOCKS (TYP.)  
UNDISTURBED EARTH  
BEARING AREA (TYP.)  
BOND BREAKER (TYP. ALL BLOCKS)  
1/4" BOND BREAKER  
1/2 DIAMETER  
SECTION A

PLAN

NOTES:  
1. ALL BENDS WITHOUT RESTRAINED JOINTS SHALL HAVE CONCRETE THRUST BLOCKS INSTALLED FOR RESTRAINT.  
2. MEGA LUGS MAY BE USED ONLY IN CONJUNCTION WITH CONCRETE THRUST BLOCKING.  
3. BEARING AREA MUST BE AGAINST UNDISTURBED SOIL.  
4. DO NOT COVER JOINTS OR BOLTS (WHERE APPLICABLE) WITH CONCRETE.

LS	<b>LEE'S SUMMIT MISSOURI</b> PUBLIC WORKS ENGINEERING DIVISION   220 SE GREEN STREET   LEE'S SUMMIT, MO 64063	Horizontal Thrust Block	WAT-1
	Date: 02/2016 Drawn By: JN Checked By: DL		

REQUIRED CONCRETE VOLUME (CUBIC FEET - CF)

NOM. DIA. (INCHES)	180 TEE, PLUG	90 BEND	45 BEND	22.5 BEND	11.25 BEND
6	50.5	71.4	38.6	19.7	9.9
8	89.8	128.9	66.7	35.0	17.6
10	140.2	198.3	107.3	54.7	27.5
12	202.0	REST. JT.	154.6	78.8	39.6
14	REST. JT.	REST. JT.	210.4	107.3	53.9
16	REST. JT.	REST. JT.	REST. JT.	140.1	70.4
18	REST. JT.	REST. JT.	REST. JT.	177.3	89.1
20	REST. JT.	REST. JT.	REST. JT.	REST. JT.	110.0
24	REST. JT.	REST. JT.	REST. JT.	REST. JT.	158.4

#4 EPOXY COATED GR. 60 REBAR WITH 6" HOOK & MIN. CONCRETE EMBEDMENT DEPTH

UNDISTURBED EARTH

NOTES:  
1. ALL BENDS WITHOUT RESTRAINED JOINTS SHALL HAVE CONCRETE THRUST BLOCKS INSTALLED FOR RESTRAINT.  
2. MEGA LUGS MAY BE USED ONLY IN CONJUNCTION WITH CONCRETE THRUST BLOCKING.  
3. BEARING AREA MUST BE AGAINST UNDISTURBED SOIL.  
4. DO NOT COVER JOINTS OR BOLTS (WHERE APPLICABLE) WITH CONCRETE.

LS	<b>LEE'S SUMMIT MISSOURI</b> PUBLIC WORKS ENGINEERING DIVISION   220 SE GREEN STREET   LEE'S SUMMIT, MO 64063	Vertical Thrust Block	WAT-2
	Date: WAT-2 Drawn By: JN Checked By: DL		

24" MIN.  
24" MIN. OR EQUAL TO TRENCH WIDTH  
5" MIN.  
3" CLEAR  
POUR CONCRETE AGAINST UNDISTURBED EARTH  
MJ RETAINER GLAND  
MJ VALVE  
TOP VIEW

SECTION A-A

WATER MAIN  
POUR CONCRETE AGAINST UNDISTURBED EARTH  
#4 @ 12" O.C. EACH WAY EACH FACE

PIPE SIZE	"D" MIN.
6"	4"
8"	7"
12"	15"

NOTE:  
THIS DETAIL NOT TO BE USED FOR PIPE GREATER THAN 12"

LS	<b>LEE'S SUMMIT MISSOURI</b> PUBLIC WORKS ENGINEERING DIVISION   220 SE GREEN STREET   LEE'S SUMMIT, MO 64063	Straddle Block	WAT-3
	Date: 01/2016 Drawn By: JN Checked By: DL		

LENGTH AS SHOWN ON PLANS  
3" CLEAR  
CONCRETE ENCASUREMENT

NOTES:  
1. INTERMEDIATE BELLS SHALL BE ENCASED.  
2. REINFORCING STEEL SHALL BE #4 @ 12" O.C. EACH WAY WITH A MINIMUM REBAR LAP OF 12".  
3. THIS DETAIL IS FOR PIPES 12" AND SMALLER.

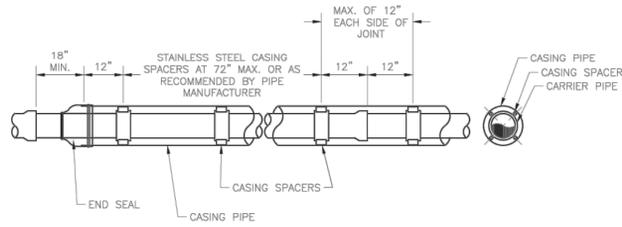
LS	<b>LEE'S SUMMIT MISSOURI</b> PUBLIC WORKS ENGINEERING DIVISION   220 SE GREEN STREET   LEE'S SUMMIT, MO 64063	Water Pipe Encasement	WAT-4
	Date: 02/2016 Drawn By: JN Checked By: DL		

REVISIONS/APPROVALS:	NO.	DATE	REVISIONS/APPROVALS:
FDP SUBMITTAL		2022.12.21	
REVISED PER CITY COMMENTS		2023.01.30	

REVIEWED BY:	M.G.D.
DESIGNED BY:	N.W.H.
DRAFTED BY:	D.A.H.
SP PROJECT #:	4024
NEIL W. HAAS, P.E.	2022034072

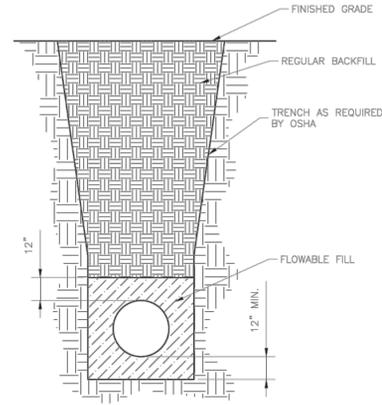
DETAIL SHEET  
SUMMIT SQUARE III  
APARTMENTS  
FINAL DEVELOPMENT PLANS  
LEE'S SUMMIT, JACKSON COUNTY, MO

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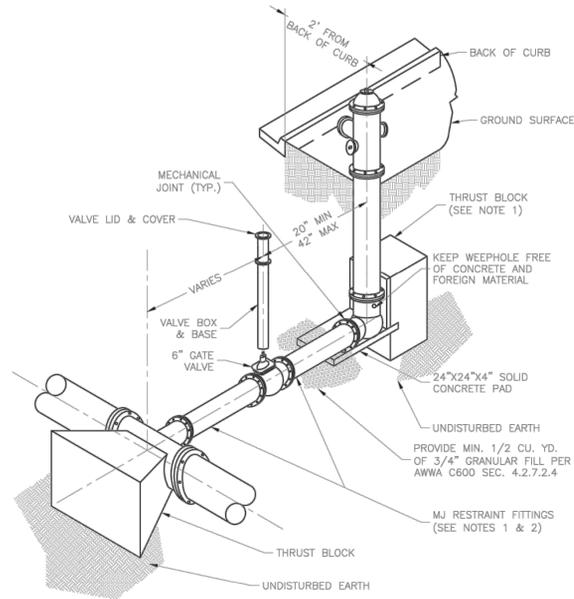
NOTES:  
 1. REFER TO SPECIFICATION SECTION 3900 FOR ADDITIONAL INFORMATION.  
 2. LENGTH, DIAMETER, AND WALL THICKNESS TO BE SHOWN ON CONSTRUCTION PLANS.

<b>LS</b>	<b>LEE'S SUMMIT MISSOURI</b> PUBLIC WORKS ENGINEERING DIVISION   220 SE GREEN STREET   LEE'S SUMMIT, MO 64063	Date: 01/2016
		Drawn By: JN
		Checked By: DL
<b>WATER CASING PIPE DETAIL</b>		<b>WAT-5</b>



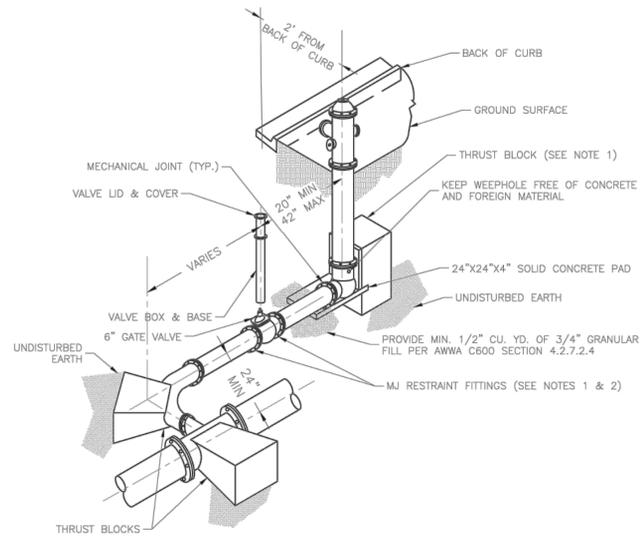
NOTES:  
 1. FLOWABLE FILL SHALL MEET THE REQUIREMENTS OF THE CITY OF LEE'S SUMMIT DESIGN AND CONSTRUCTION MANUAL.  
 2. REGULAR BACKFILL ABOVE THE TRENCH CHECK SHALL BE FREE OF DEBRIS, ORGANIC MATTER, AND STONES > 6" IN ANY DIMENSION.  
 3. TOP OF FLOWABLE BACKFILL SHALL EXTEND 12" ABOVE THE TOP OF THE PIPE.  
 4. LENGTH OF TRENCH CHECK SHALL BE A MINIMUM OF 12".

<b>LS</b>	<b>LEE'S SUMMIT MISSOURI</b> PUBLIC WORKS ENGINEERING DIVISION   220 SE GREEN STREET   LEE'S SUMMIT, MO 64063	Date: 01/2016
		Drawn By: JN
		Checked By: DL
<b>WATER TRENCH CHECK DETAIL</b>		<b>WAT-6</b>



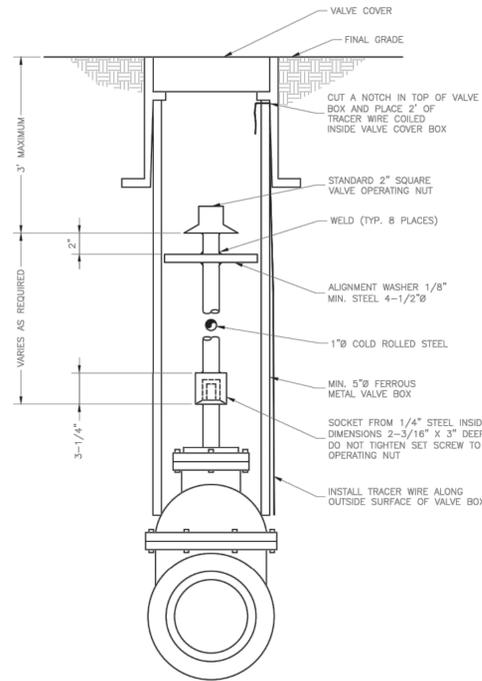
NOTES:  
 1. WHEN RETAINER GLANDS ARE USED IN LIEU OF MECHANICAL JOINT (MJ) RESTRAINT FITTINGS, HORIZONTAL THRUST BLOCKS ARE REQUIRED.  
 2. GATE VALVE MAY BE BOLTED DIRECTLY TO MJ RESTRAINT TEE.  
 3. SEE APPROVED PRODUCTS LIST FOR WATER UTILITIES FOR FIRE HYDRANT, VALVES, VALVE BOX LID, AND COVER.  
 4. BOTTOM HYDRANT FLANGE SHALL BE 2" TO 6" ABOVE FINISHED GRADE.  
 5. FOR STREETS WITHOUT CURBS FIRE HYDRANTS SHALL BE PLACED WITHIN 1 FOOT OF THE R/W LINE, BUT NOT MORE THAN 10' FROM EDGE OF PAVEMENT. FIRE HYDRANT SHALL NOT BE PLACED IN BOTTOM OF DITCH.  
 6. HYDRANT SHALL BE ROTATED AS DIRECTED BY INSPECTOR.

<b>LS</b>	<b>LEE'S SUMMIT MISSOURI</b> PUBLIC WORKS ENGINEERING DIVISION   220 SE GREEN STREET   LEE'S SUMMIT, MO 64063	Date: 01/2016
		Drawn By: JN
		Checked By: DL
<b>HYDRANT - STRAIGHT SET</b>		<b>WAT-7</b>

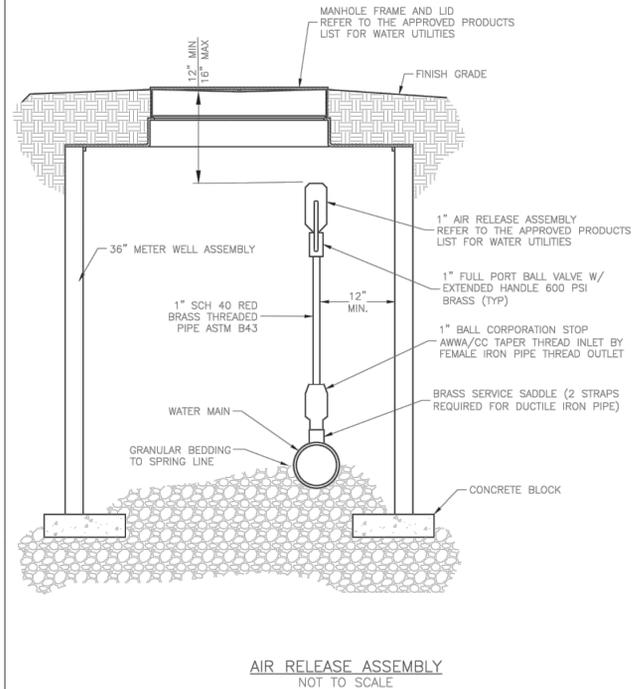


NOTES:  
 1. WHEN RETAINER GLANDS ARE USED IN LIEU OF MECHANICAL JOINT (MJ) RESTRAINT FITTINGS, HORIZONTAL THRUST BLOCKS ARE REQUIRED.  
 2. GATE VALVE MAY BE BOLTED DIRECTLY TO MJ RESTRAINT TEE.  
 3. SEE APPROVED PRODUCTS LIST FOR WATER UTILITIES FOR FIRE HYDRANT, VALVES, VALVE BOX LID, AND COVER.  
 4. BOTTOM HYDRANT FLANGE SHALL BE 2" TO 6" ABOVE FINISHED GRADE.  
 5. FOR STREETS WITHOUT CURBS FIRE HYDRANTS SHALL BE PLACED WITHIN 1 FOOT OF THE R/W LINE, BUT NOT MORE THAN 10' FROM EDGE OF PAVEMENT. FIRE HYDRANT SHALL NOT BE PLACED IN BOTTOM OF DITCH.  
 6. HYDRANT SHALL BE ROTATED AS DIRECTED BY INSPECTOR.

<b>LS</b>	<b>LEE'S SUMMIT MISSOURI</b> PUBLIC WORKS ENGINEERING DIVISION   220 SE GREEN STREET   LEE'S SUMMIT, MO 64063	Date: 01/2016
		Drawn By: JN
		Checked By: DL
<b>HYDRANT WITH 90 DEGREE BEND</b>		<b>WAT-8</b>



<b>LS</b>	<b>LEE'S SUMMIT MISSOURI</b> PUBLIC WORKS ENGINEERING DIVISION   220 SE GREEN STREET   LEE'S SUMMIT, MO 64063	Date: 01/2016
		Drawn By: JN
		Checked By: DL
<b>VALVE STEM EXTENSION AND VALVE BOX</b>		<b>WAT-9</b>



<b>LS</b>	<b>LEE'S SUMMIT MISSOURI</b> PUBLIC WORKS ENGINEERING DIVISION   220 SE GREEN STREET   LEE'S SUMMIT, MO 64063	Date: 01/2014
		Drawn By: JN
		Checked By: DL
<b>AIR RELEASE ASSEMBLY</b>		<b>WAT-10</b>

REVISIONS/APPROVALS:	NO.	DATE	REVIEWED BY:	DESIGNED BY:	DRAFTED BY:	SP PROJECT #:
FDP SUBMITTAL	1	2022.12.21	M.G.D	N.W.H	D.A.H	4024
REVISED PER CITY COMMENTS	2	2023.01.30				

**DETAIL SHEET**  
**SUMMIT SQUARE III**  
**APARTMENTS**  
**FINAL DEVELOPMENT PLANS**  
**LEE'S SUMMIT, JACKSON COUNTY, MO**

Certificate of Authority #MO 2020018354  
**SHEET #:**

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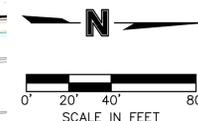
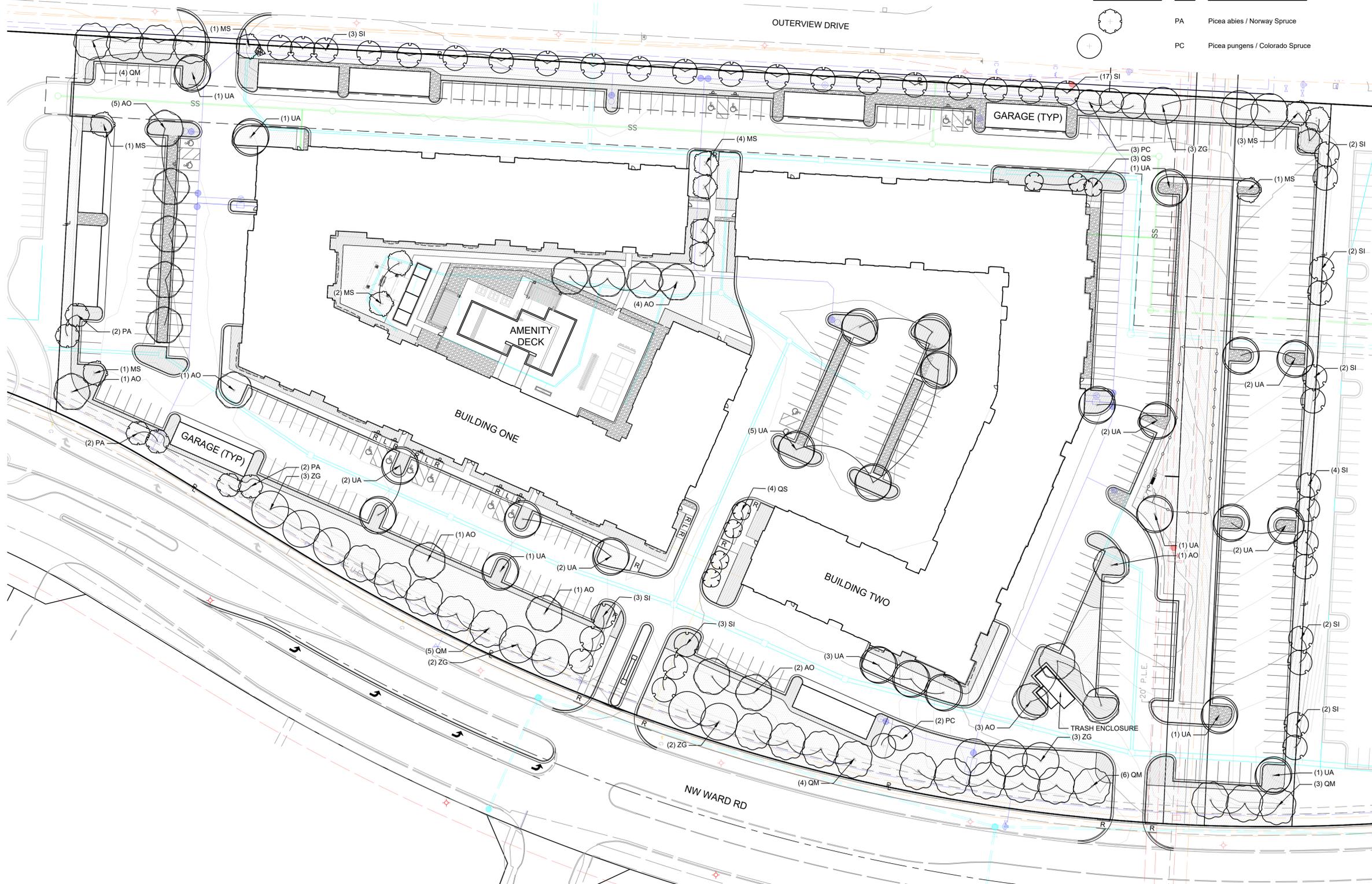


LANDSCAPE DATA			
	Right of Way Length (Outerview Dr)	Right of Way Length (NW Ward Rd)	Open Yard Area
Street Frontage Trees (1 tree per 30 L.F.)	1,025 L.F.	1,079 L.F.	
Required	34	36	
Provided	34	36	
Street Frontage Shrubs (1 shrub per 20 L.F.)	1,025 L.F.	1,079 L.F.	
Required	52	54	
Provided	52	54	
Open Yard Trees (1 tree per 5,000 S.F.)			368,810 S.F.
Required			80
Provided			80

LANDSCAPE DATA			
	Open Yard Area	Parking Area	Parking Lot Screening
Open Yard Shrubs (2 shrubs per 5,000 S.F.)	368,810 S.F.		
Required	160		
Provided	160		
Parking Lot Landscape Islands (5% of entire area)		212,846 S.F.	
Required		10,642 S.F.	
Provided		32,025 S.F.	
Screening Planting (12 shrubs per 40 L.F.)			1,041 L.F.
Required			313
Provided			314

**PLANT SCHEDULE TREES**

DECIDUOUS TREES	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER
	AO	Acer rubrum 'October Glory' / October Glory Red Maple	2" Cal.	B&B
	MS	Malus x 'Spring Snow' / Spring Snow Crabapple	1.5" Cal.	B&B
	QM	Quercus macrocarpa / Burr Oak	2" Cal.	B&B
	QS	Quercus robur 'Fastigiata' TM / Skyrocket English Oak	2" Cal.	B&B
	SI	Syringa reticulata 'Ivory Silk' / Ivory Silk Japanese Tree Lilac	2" Cal.	B&B
	UA	Ulmus parvifolia 'Alee' TM / Alee Lacebark Elm	2" Cal.	B&B
	ZG	Zelkova serrata 'Green Vase' / Green Vase Sawleaf Zelkova	2" Cal.	B&B
EVERGREEN TREES	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER
	PA	Picea abies / Norway Spruce	6" Ht.	B&B
	PC	Picea pungens / Colorado Spruce	6" Ht.	B&B



REVISIONS/APPROVALS:	NO.	DATE	REVIEWED BY:	DESIGNED BY:	DRAFTED BY:	SP PROJECT #:
FDP SUBMITTAL		2022.12.21	M.G.D.	N.W.H.	D.A.H.	4024
						2022034072

LANDSCAPE PLAN - OVERVIEW  
SUMMIT SQUARE III  
APARTMENTS  
FINAL DEVELOPMENT PLANS  
LEE'S SUMMIT, JACKSON COUNTY, MO

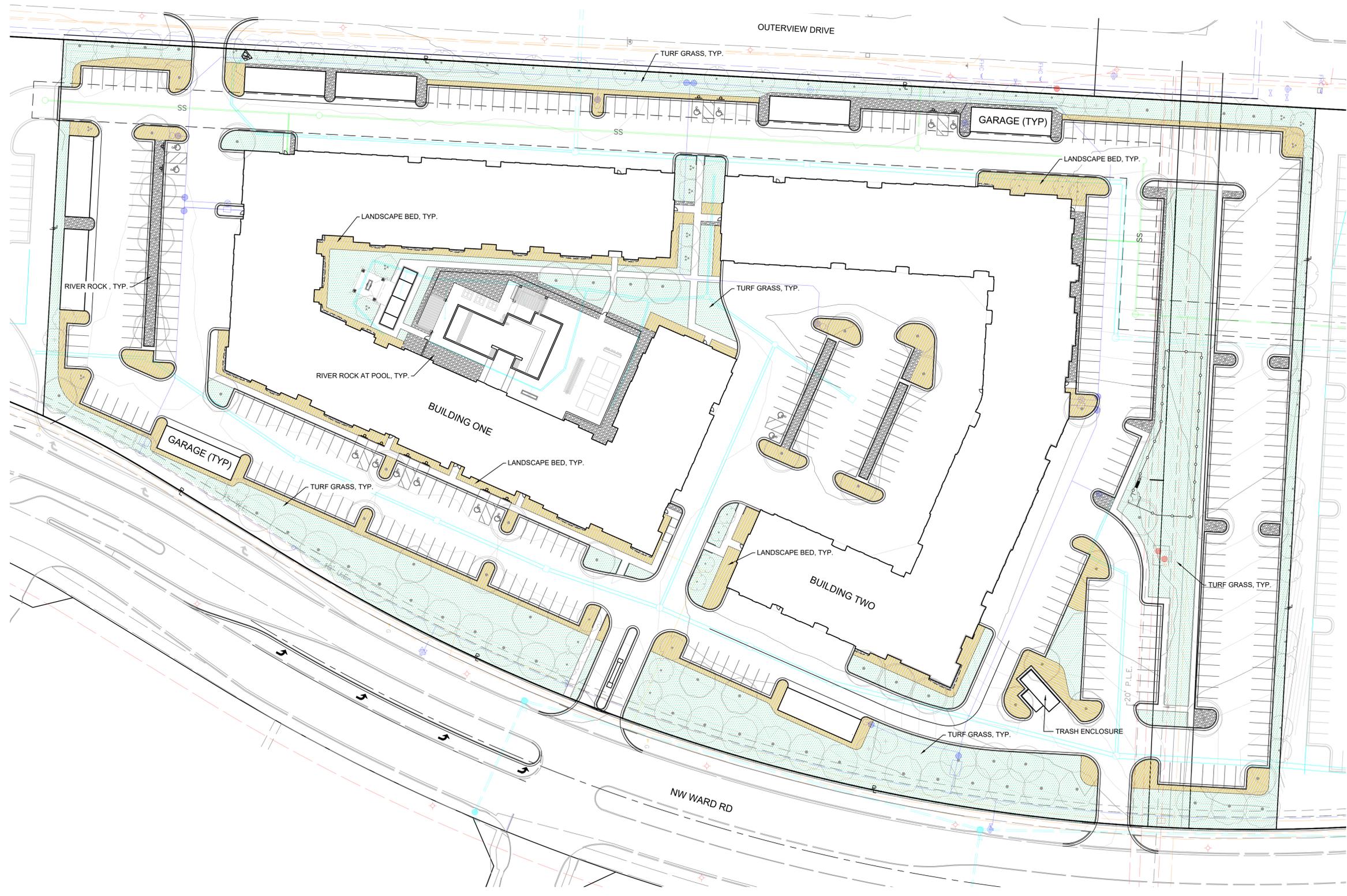
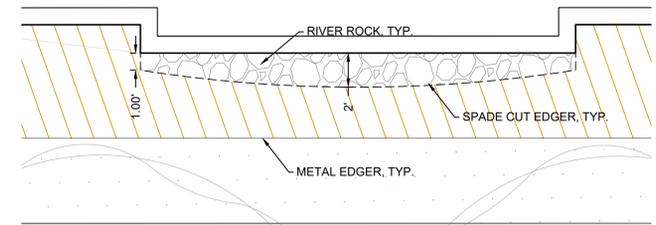
Certificate of Authority #MO 2020018354  
SHEET #:

L-0100

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**GROUND COVER LEGEND**

-  TURF GRASS, TYP.
-  LANDSCAPE BED WOOD MULCH, TYP.
-  RIVER ROCK, TYP.

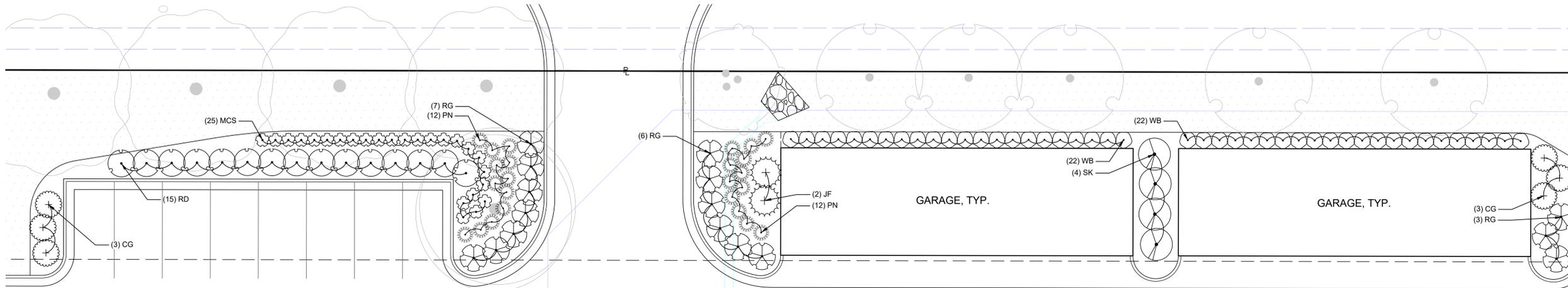


REVIEWED BY:	DATE	NO.	REVISIONS/APPROVALS:
M.G.D.	2022.12.21		FDP SUBMITTAL
DESIGNED BY:			
N.W.H.			
DRAFTED BY:			
D.A.H.			
SP PROJECT #:			
4024			
NEIL W. HAAS, P.E.			
2022034072			

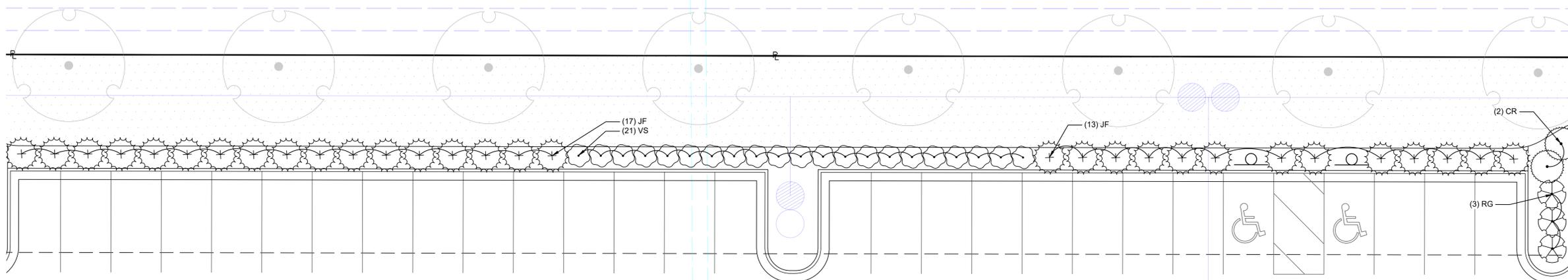
LANDSCAPE PLAN - OVERVIEW  
SUMMIT SQUARE III  
APARTMENTS  
FINAL DEVELOPMENT PLANS  
LEE'S SUMMIT, JACKSON COUNTY, MO

Certificate of Authority #MO 2020018354  
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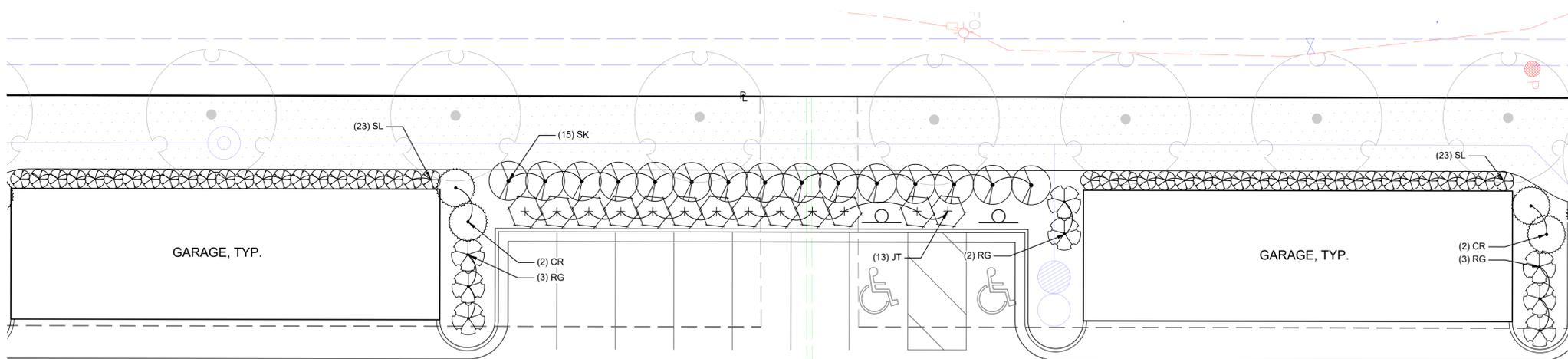
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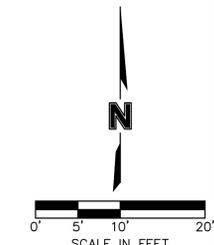
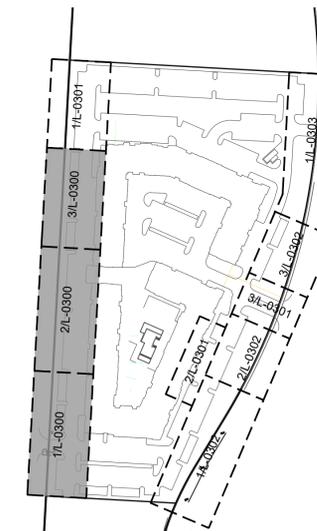
1 PERIMETER LANDSCAPE - OUTERVIEW DRIVE  
SCALE: 1" = 10'



1 PERIMETER LANDSCAPE - OUTERVIEW DRIVE  
SCALE: 1" = 10'



1 PERIMETER LANDSCAPE - OUTERVIEW DRIVE  
SCALE: 1" = 10'

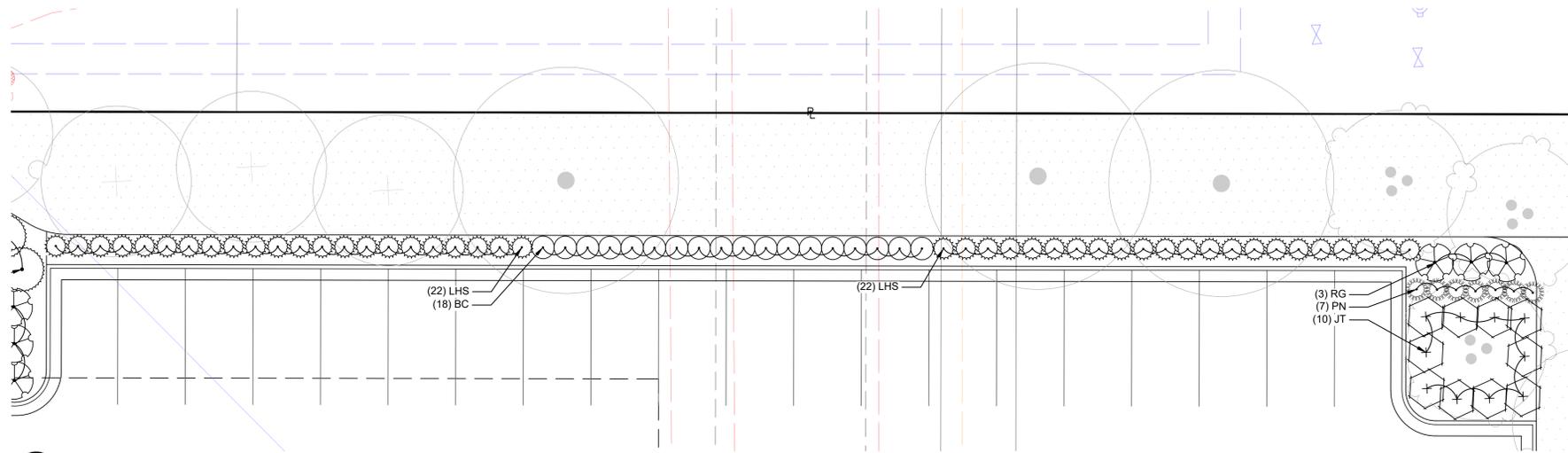


REVIEWED BY:	DATE:	NO.:	REVISIONS/APPROVALS:
M.G.D.	2022.12.21		FDP SUBMITTAL
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NEIL W. HAAS, P.E.			
2022034072			

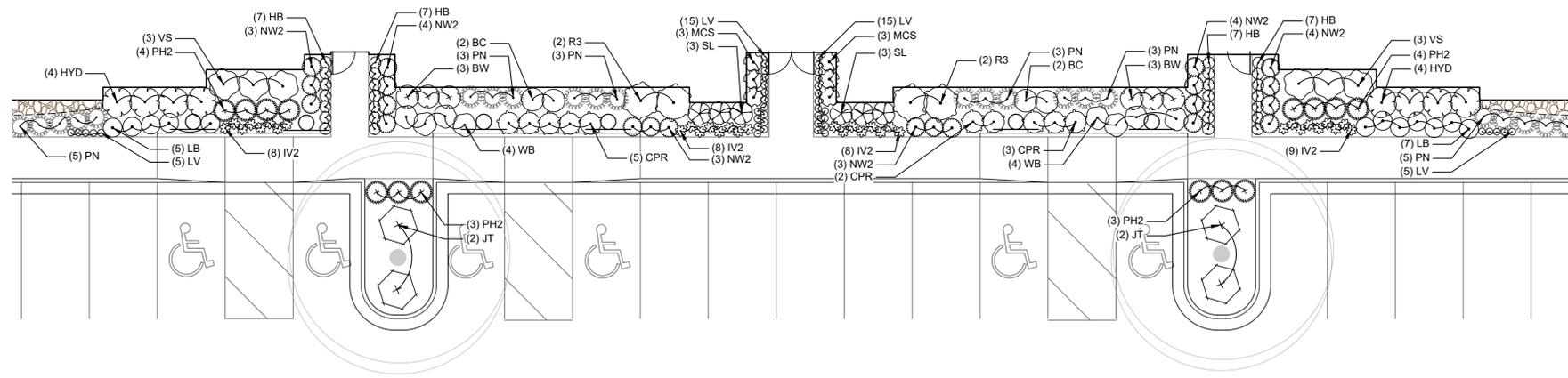
LANDSCAPE PLAN  
SUMMIT SQUARE III  
APARTMENTS  
FINAL DEVELOPMENT PLANS  
LEE'S SUMMIT, JACKSON COUNTY, MO

S:\01 PROJECTS\MULTI-FAMILY\024 SUMMIT SQUARE III\CONSTRUCTION DOCUMENTS - APARTMENTS\PLANS\FINAL DEVELOPMENT PLANS\L-0300 LANDSCAPE PLAN - DETAILED.DWG

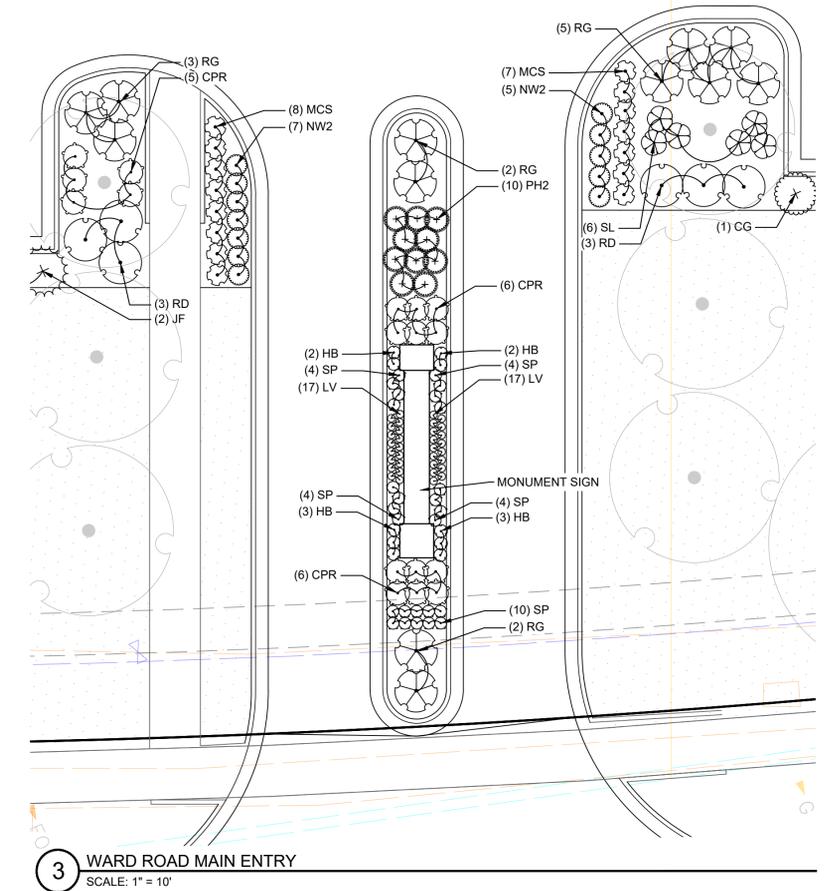
S:\01 PROJECTS\MULTI-FAMILY\024 SUMMIT SQUARE 3\CONSTRUCTION DOCUMENTS - APARTMENTS\PLANS\FINAL DEVELOPMENT PLANS\L-0300 LANDSCAPE PLAN - DETAILED.DWG



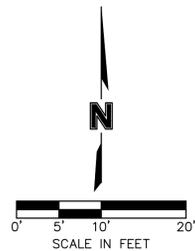
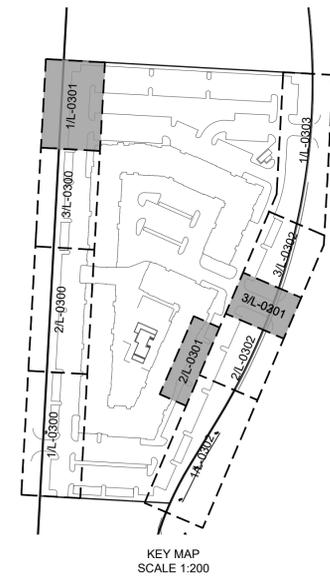
**1 PERIMETER LANDSCAPE - OUTERVIEW DRIVE**  
SCALE: 1" = 10'



**2 CLUBHOUSE ENTRY LANDSCAPE**  
SCALE: 1" = 10'



**3 WARD ROAD MAIN ENTRY**  
SCALE: 1" = 10'



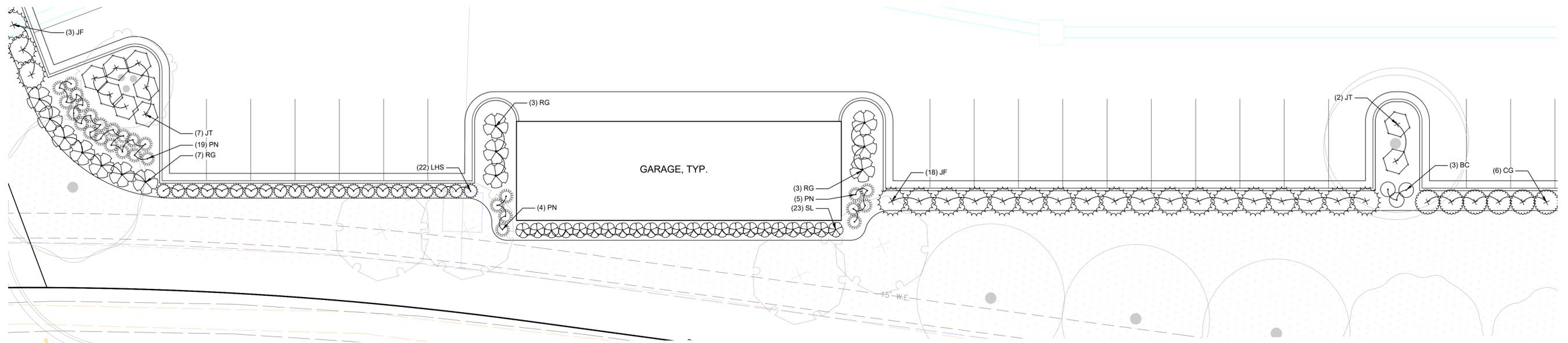
REVISIONS/APPROVALS:	NO.	DATE
FDP SUBMITTAL		2022.12.21

LANDSCAPE PLAN  
SUMMIT SQUARE III  
APARTMENTS  
FINAL DEVELOPMENT PLANS  
LEE'S SUMMIT, JACKSON COUNTY, MO

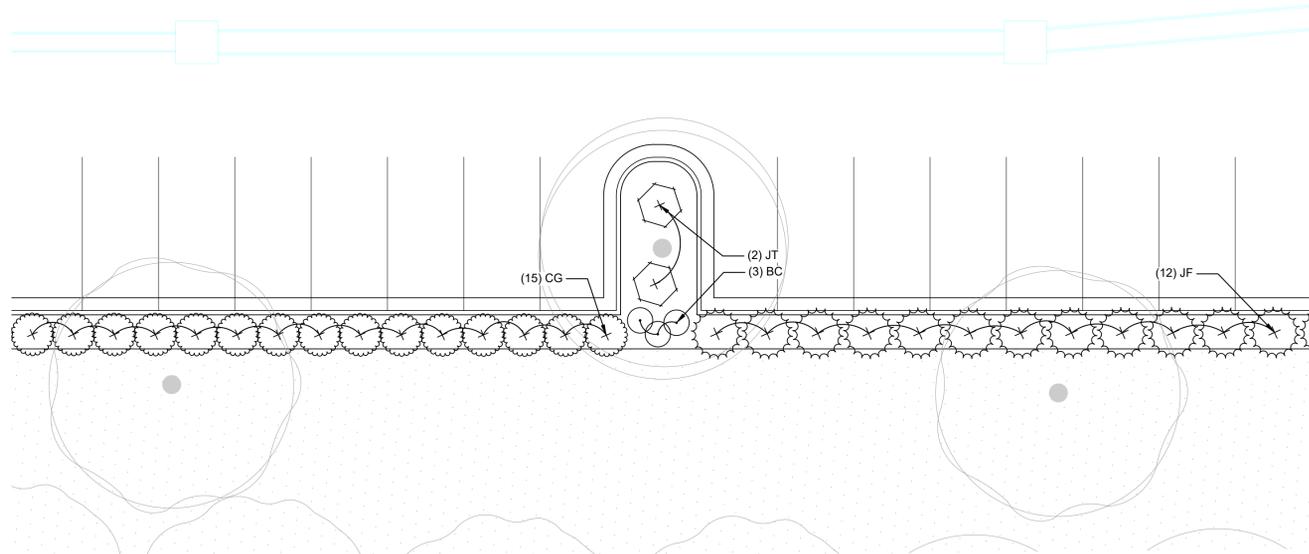
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SHEET #:

L-0301

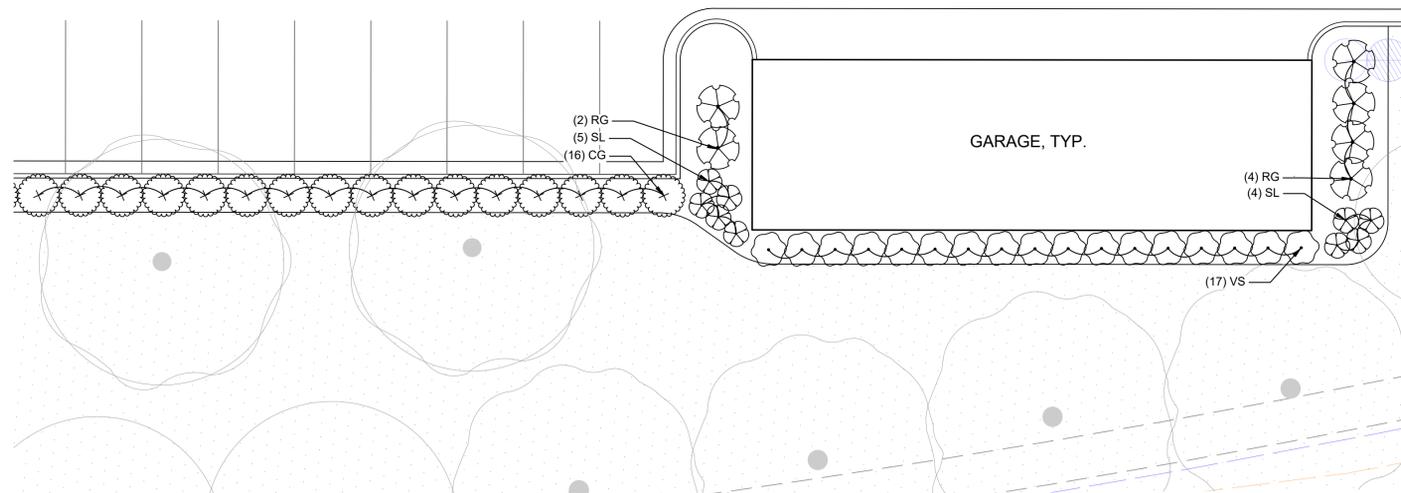
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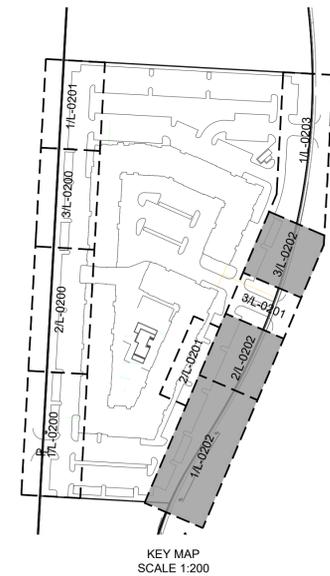
**1** PERIMETER LANDSCAPE - WARD ROAD  
SCALE: 1" = 10'



**2** PERIMETER LANDSCAPE - WARD ROAD  
SCALE: 1" = 10'



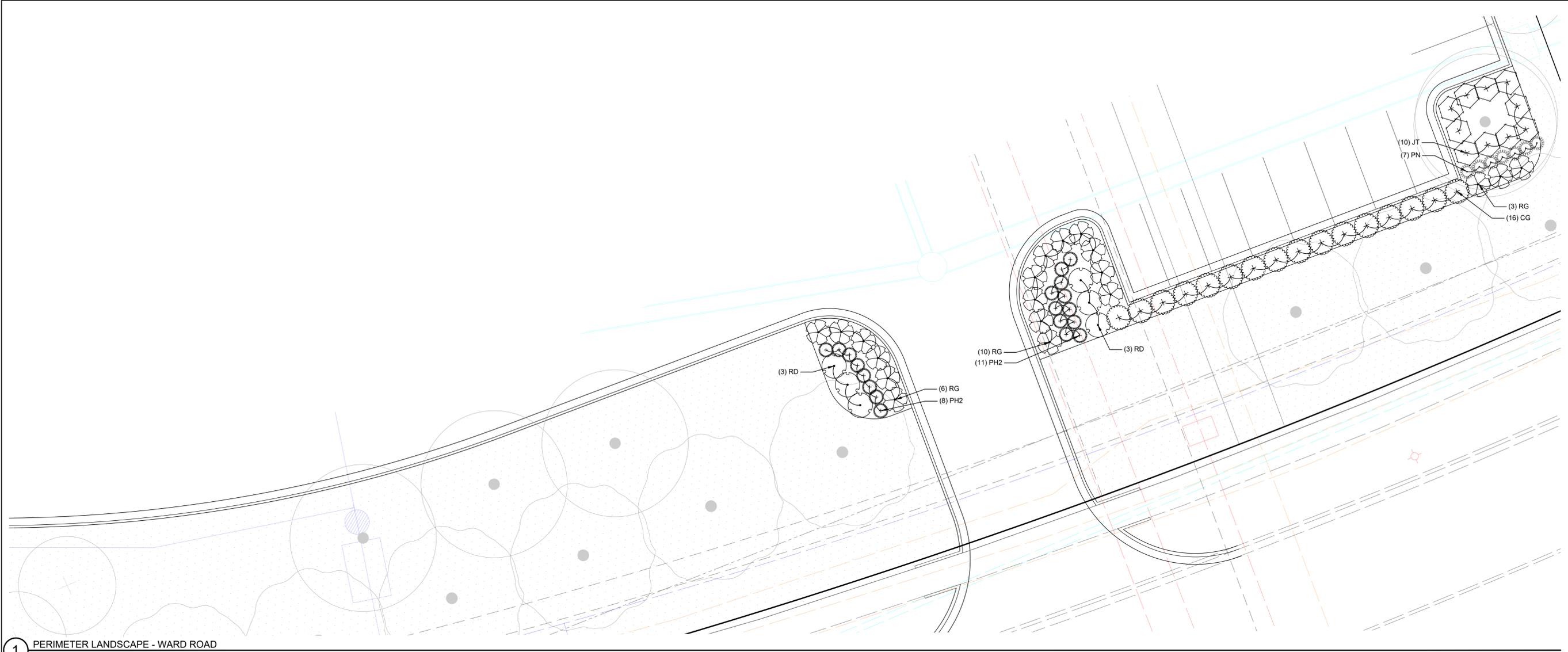
**3** PERIMETER LANDSCAPE - WARD ROAD  
SCALE: 1" = 10'



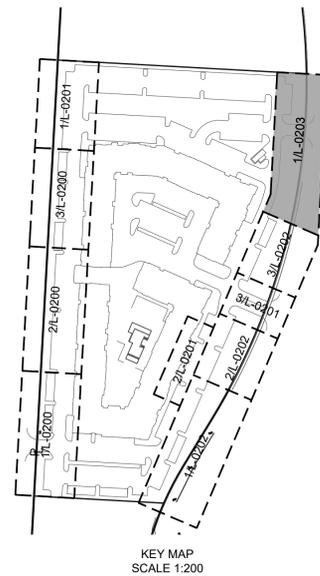
REVIEWED BY:	DATE	NO.	REVISIONS/APPROVALS:
M.G.D.	2022.12.21		FDP SUBMITTAL
DESIGNED BY:			
DRAFTED BY:			
D.A.H.			
SP PROJECT #:			
4024			
NEIL W. HAAS, P.E.			
2022034072			

LANDSCAPE PLAN  
SUMMIT SQUARE III  
APARTMENTS  
FINAL DEVELOPMENT PLANS  
LEE'S SUMMIT, JACKSON COUNTY, MO

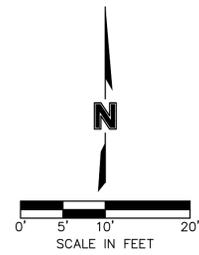
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**1** PERIMETER LANDSCAPE - WARD ROAD  
SCALE: 1" = 10'



KEY MAP  
SCALE 1:200



**SITEPOINT**  
A Division of NorthPoint Development

3315 N Oak Trafficway  
Kansas City, MO 64116

816.888.7380  
sitepoint@northpointkc.com

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M.G.D.	2022.12.21		FDP SUBMITTAL
DESIGNED BY:			
N.W.H.			
DRAFTED BY:			
D.A.H.			
SP PROJECT #:			
4024			
NEIL W. HAAS, P.E.			
2022034072			

LANDSCAPE PLAN  
SUMMIT SQUARE III  
APARTMENTS  
FINAL DEVELOPMENT PLANS  
LEE'S SUMMIT, JACKSON COUNTY, MO

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SHEET #:  
**L-0303**

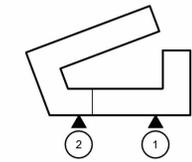




2 BUILDING 1 - EAST ELEVATION - SOUTH  
1/8" = 1'-0"

- EXTERIOR MATERIAL LEGEND**
- ① CHARCOAL COLORED BRICK
  - ② CEMENTITIOUS LAP SIDING PAINTED BLACK
  - ③ CEMENTITIOUS LAP SIDING PAINTED BROWN
  - ④ CEMENTITIOUS LAP SIDING PAINTED WHITE
  - ⑤ STUCCO PAINTED BLACK
  - ⑥ STUCCO PAINTED WHITE
  - ⑦ NICHHA - VINTAGE WOOD

- ROOFTOP MECHANICAL EQUIPMENT TO BE SCREEN BY RAISED ROOF ELEMENTS
- REFER TO ELEVATIONS FOR EXTENT OF ROOF LINE



BLDG. 1 - KEY PLAN



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REVISIONS



1 BUILDING 1 - EAST ELEVATION - NORTH  
1/8" = 1'-0"



② BUILDING 1 - WEST ELEVATION - SOUTH  
1/8" = 1'-0"



① BUILDING 1 - SOUTH ELEVATION  
1/8" = 1'-0"

**EXTERIOR MATERIAL LEGEND**

- ① CHARCOAL COLORED BRICK
- ② CEMENTITIOUS LAP SIDING PAINTED BLACK
- ③ CEMENTITIOUS LAP SIDING PAINTED BROWN
- ④ CEMENTITIOUS LAP SIDING PAINTED WHITE
- ⑤ STUCCO PAINTED BLACK
- ⑥ STUCCO PAINTED WHITE
- ⑦ NICHIBA - VINTAGE WOOD

• ROOFTOP MECHANICAL EQUIPMENT TO BE SCREEN BY RAISED ROOF ELEMENTS  
• REFER TO ELEVATIONS FOR EXTENT OF ROOF LINE

ARCHITECTURE  
LANDSCAPE  
ARCHITECTURE  
ENERGY SERVICES

**NSPJ**

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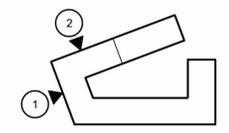
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800 & 810 NW WARD RD. | LEE'S SUMMIT, MO

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01.20.2023	PROGRESS SET

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FDP RESUBMITTAL  
SHEET NAME BLDG. 1 - ELEVATIONS  
SHEET NO.

**A-301**



2 BUILDING 1 - NORTH ELEVATION  
1/8" = 1'-0"

- EXTERIOR MATERIAL LEGEND**
- 1 CHARCOAL COLORED BRICK
  - 2 CEMENTITIOUS LAP SIDING PAINTED BLACK
  - 3 CEMENTITIOUS LAP SIDING PAINTED BROWN
  - 4 CEMENTITIOUS LAP SIDING PAINTED WHITE
  - 5 STUCCO PAINTED BLACK
  - 6 STUCCO PAINTED WHITE
  - 7 NICHHA - VINTAGE WOOD

- ROOFTOP MECHANICAL EQUIPMENT TO BE SCREEN BY RAISED ROOF ELEMENTS
- REFER TO ELEVATIONS FOR EXTENT OF ROOF LINE

ARCHITECTURE  
LANDSCAPE  
ARCHITECTURE  
ENERGY SERVICES

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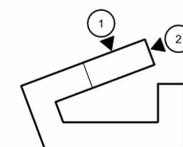
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JOB NO. **705922** DATE **01.20.2023**  
DRAWN BY **TSC/SIW**  
1/27/2023  
**FDP RESUBMITTAL**  
SHEET NAME  
**BLDG. 1 - ELEVATIONS**

SHEET NO.  
**A-302**



1 BUILDING 1 - WEST ELEVATION - NORTH  
1/8" = 1'-0"



BLDG. 1 - KEY PLAN



2 BUILDING 1 - NORTH ELEVATION  
1/8" = 1'-0"



1 BUILDING 1 - WEST ELEVATION  
1/8" = 1'-0"

**EXTERIOR MATERIAL LEGEND**

- 1 CHARCOAL COLORED BRICK
- 2 CEMENTITIOUS LAP SIDING PAINTED BLACK
- 3 CEMENTITIOUS LAP SIDING PAINTED BROWN
- 4 CEMENTITIOUS LAP SIDING PAINTED WHITE
- 5 STUCCO PAINTED BLACK
- 6 STUCCO PAINTED WHITE
- 7 NICHHA - VINTAGE WOOD

ARCHITECTURE  
LANDSCAPE  
ARCHITECTURE  
ENERGY SERVICES

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• ROOFTOP MECHANICAL EQUIPMENT TO BE SCREEN BY RAISED ROOF ELEMENTS  
• REFER TO ELEVATIONS FOR EXTENT OF ROOF LINE

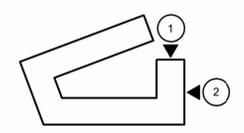


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BLDG. 1 - KEY PLAN

JOB NO. 705922 DATE 01.20.2023  
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1/27/2023  
FDP RESUBMITTAL  
SHEET NAME BLDG. 1 - ELEVATIONS

SHEET NO. **A-303**

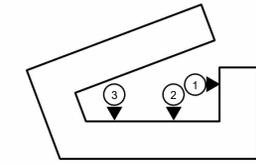


**EXTERIOR MATERIAL LEGEND**

1	CHARCOAL COLORED BRICK
2	CEMENTITIOUS LAP SIDING PAINTED BLACK
3	CEMENTITIOUS LAP SIDING PAINTED BROWN
4	CEMENTITIOUS LAP SIDING PAINTED WHITE
5	STUCCO PAINTED BLACK
6	STUCCO PAINTED WHITE
7	NICHIHA - VINTAGE WOOD

• ROOFTOP MECHANICAL EQUIPMENT TO BE SCREEN BY RAISED ROOF ELEMENTS  
• REFER TO ELEVATIONS FOR EXTENT OF ROOF LINE

4 BLDG. 1 - COURTYARD EAST - SOUTH  
1/8" = 1'-0"



KEY PLAN



2 BLDG. 1 - COURTYARD EAST-NORTH  
1/8" = 1'-0"



1 BLDG. 1 - COURTYARD NORTH  
1/8" = 1'-0"

ARCHITECTURE  
LANDSCAPE  
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SHEET NAME BLDG. 1 - COURTYARD ELEVATIONS  
SHEET NO.

**A-304**



3 BLDG. 1 - COURTYARD WEST - NORTH  
1/8" = 1'-0"

- EXTERIOR MATERIAL LEGEND**
- 1 CHARCOAL COLORED BRICK
  - 2 CEMENTITIOUS LAP SIDING PAINTED BLACK
  - 3 CEMENTITIOUS LAP SIDING PAINTED BROWN
  - 4 CEMENTITIOUS LAP SIDING PAINTED WHITE
  - 5 STUCCO PAINTED BLACK
  - 6 STUCCO PAINTED WHITE
  - 7 NICHHA - VINTAGE WOOD

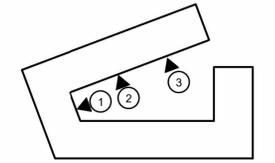
- ROOFTOP MECHANICAL EQUIPMENT TO BE SCREEN BY RAISED ROOF ELEMENTS
- REFER TO ELEVATIONS FOR EXTENT OF ROOF LINE

ARCHITECTURE  
LANDSCAPE  
ARCHITECTURE  
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KEY PLAN



1 BLDG. 1 - COURTYARD SOUTH  
1/8" = 1'-0"



2 BLDG. 1 - COURTYARD WEST - SOUTH  
1/8" = 1'-0"

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FDP RESUBMITTAL  
SHEET NAME BLDG. 1 - COURTYARD ELEVATIONS  
SHEET NO.

**A-305**



2 BUILDING 2 - WEST ELEVATION - NORTH  
1/8" = 1'-0"



1 BUILDING 2 - WEST ELEVATION - SOUTH  
1/8" = 1'-0"

EXTERIOR MATERIAL LEGEND

- 1 CHARCOAL COLORED BRICK
- 2 CEMENTITIOUS LAP SIDING PAINTED BLACK
- 3 CEMENTITIOUS LAP SIDING PAINTED BROWN
- 4 CEMENTITIOUS LAP SIDING PAINTED WHITE
- 5 STUCCO PAINTED BLACK
- 6 STUCCO PAINTED WHITE
- 7 NICHHA - VINTAGE WOOD

• ROOFTOP MECHANICAL EQUIPMENT TO BE SCREEN BY RAISED ROOF ELEMENTS  
• REFER TO ELEVATIONS FOR EXTENT OF ROOF LINE

ARCHITECTURE  
LANDSCAPE  
ARCHITECTURE  
ENERGY SERVICES

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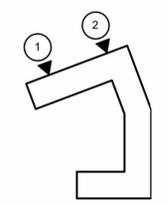
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12.16.2022	PROGRESS SET
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1/27/2023  
FDP RESUBMITTAL  
SHEET NAME BLDG. 2 - ELEVATIONS

SHEET NO. A-306

BLDG. 2 - KEY PLAN



2 BUILDING 2 - NORTH ELEVATION - EAST  
1/8" = 1'-0"



1 BUILDING 2 - NORTH ELEVATION - WEST  
1/8" = 1'-0"

**EXTERIOR MATERIAL LEGEND**

	1 CHARCOAL COLORED BRICK
	2 CEMENTITIOUS LAP SIDING PAINTED BLACK
	3 CEMENTITIOUS LAP SIDING PAINTED BROWN
	4 CEMENTITIOUS LAP SIDING PAINTED WHITE
	5 STUCCO PAINTED BLACK
	6 STUCCO PAINTED WHITE
	7 NICHIIA - VINTAGE WOOD

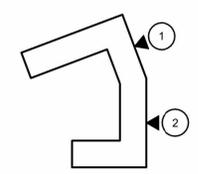
- ROOFTOP MECHANICAL EQUIPMENT TO BE SCREEN BY RAISED ROOF ELEMENTS
- REFER TO ELEVATIONS FOR EXTENT OF ROOF LINE



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BLDG. 2 - KEY PLAN



2 BUILDING 2 - SOUTH - EAST  
1/8" = 1'-0"

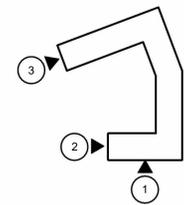


3 BUILDING 2 - SOUTH - WEST  
1/8" = 1'-0"

EXTERIOR MATERIAL LEGEND

- 1 CHARCOAL COLORED BRICK
- 2 CEMENTITIOUS LAP SIDING PAINTED BLACK
- 3 CEMENTITIOUS LAP SIDING PAINTED BROWN
- 4 CEMENTITIOUS LAP SIDING PAINTED WHITE
- 5 STUCCO PAINTED BLACK
- 6 STUCCO PAINTED WHITE
- 7 NICHHA - VINTAGE WOOD

- ROOFTOP MECHANICAL EQUIPMENT TO BE SCREEN BY RAISED ROOF ELEMENTS
- REFER TO ELEVATIONS FOR EXTENT OF ROOF LINE



BLDG. 2 - KEY PLAN

ARCHITECTURE  
LANDSCAPE  
ARCHITECTURE  
ENERGY SERVICES

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1 BUILDING 2 - EAST ELEVATION  
1/8" = 1'-0"

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SHEET NAME BLDG. 2 - ELEVATIONS

SHEET NO. **A-308**



2 BLDG. 2 - COURTYARD NORTHWEST  
1/8" = 1'-0"

- EXTERIOR MATERIAL LEGEND**
- 1 CHARCOAL COLORED BRICK
  - 2 CEMENTITIOUS LAP SIDING PAINTED BLACK
  - 3 CEMENTITIOUS LAP SIDING PAINTED BROWN
  - 4 CEMENTITIOUS LAP SIDING PAINTED WHITE
  - 5 STUCCO PAINTED BLACK
  - 6 STUCCO PAINTED WHITE
  - 7 NICHHA - VINTAGE WOOD

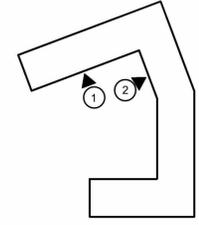
ROOFTOP MECHANICAL EQUIPMENT TO BE SCREEN BY RAISED ROOF ELEMENTS  
REFER TO ELEVATIONS FOR EXTENT OF ROOF LINE

ARCHITECTURE  
LANDSCAPE  
ARCHITECTURE  
ENERGY SERVICES

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KEY PLAN

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FDP RESUBMITTAL  
SHEET NAME BLDG. 2 - COURTYARD ELEVATIONS  
SHEET NO.

**A-309**



1 BUILDING 2 - COURTYARD WEST  
1/8" = 1'-0"



2 BLDG. 2 - COURTYARD EAST  
1/8" = 1'-0"

- EXTERIOR MATERIAL LEGEND**
- 1 CHARCOAL COLORED BRICK
  - 2 CEMENTITIOUS LAP SIDING PAINTED BLACK
  - 3 CEMENTITIOUS LAP SIDING PAINTED BROWN
  - 4 CEMENTITIOUS LAP SIDING PAINTED WHITE
  - 5 STUCCO PAINTED BLACK
  - 6 STUCCO PAINTED WHITE
  - 7 NICHHA - VINTAGE WOOD

- ROOFTOP MECHANICAL EQUIPMENT TO BE SCREEN BY RAISED ROOF ELEMENTS
- REFER TO ELEVATIONS FOR EXTENT OF ROOF LINE

ARCHITECTURE  
LANDSCAPE  
ARCHITECTURE  
ENERGY SERVICES

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1 BLDG. 2 - COURTYARD NORTH  
1/8" = 1'-0"

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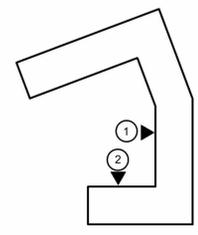
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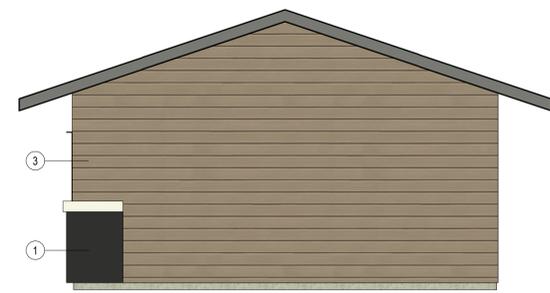
KEY PLAN

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DRAWN BY TSC/SIW  
1/27/2023  
FDP RESUBMITTAL  
SHEET NAME BLDG. 2 - COURTYARD ELEVATIONS  
SHEET NO.

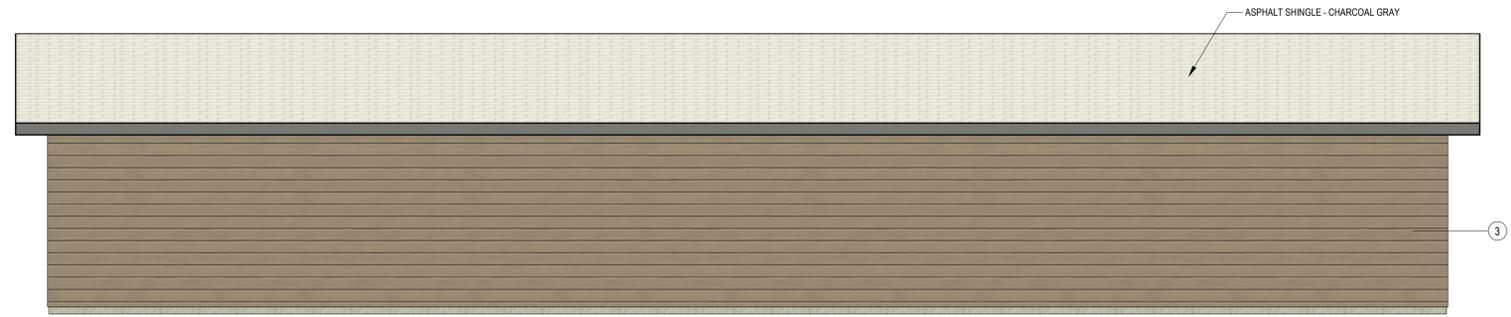
**A-310**



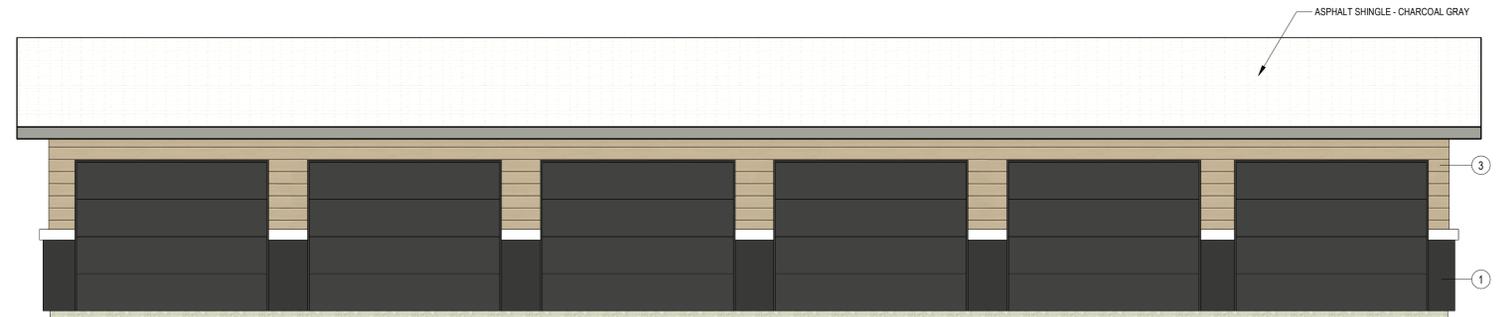
4 DETACHED GARAGE LEFT SIDE  
1/4" = 1'-0"



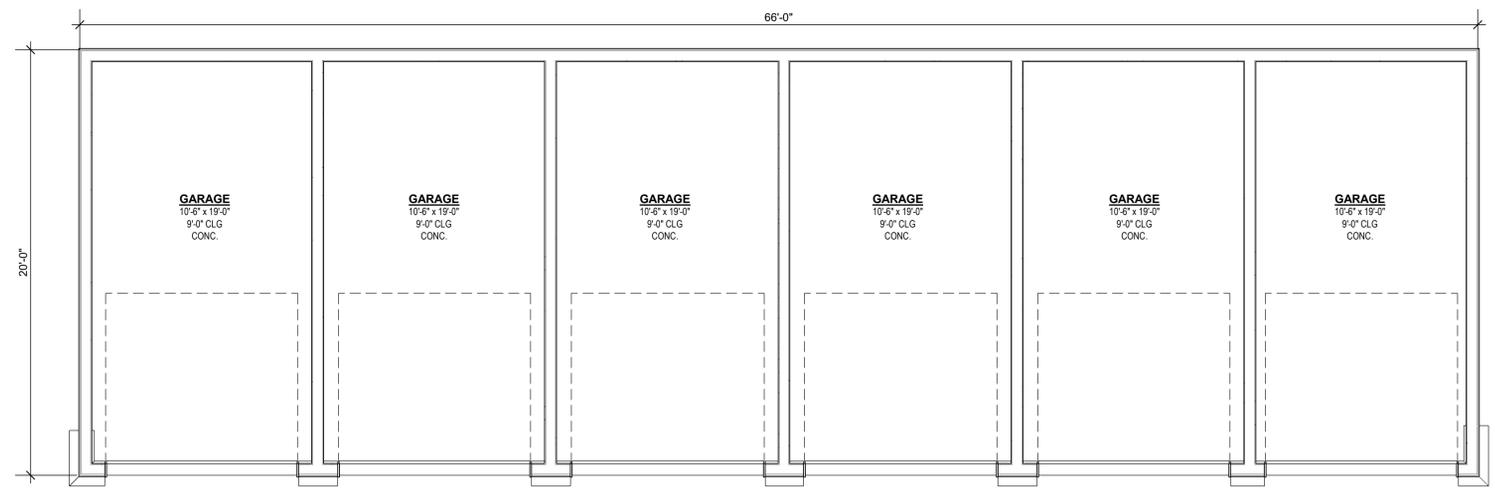
5 DETACHED GARAGE RIGHT SIDE  
1/4" = 1'-0"



3 DETACHED GARAGE REAR  
1/4" = 1'-0"



2 DETACHED GARAGE FRONT  
1/4" = 1'-0"



1 GARAGE FLOOR PLAN  
1/4" = 1'-0"

EXTERIOR MATERIAL LEGEND

- 1 CHARCOAL COLORED BRICK
- 2 CEMENTITIOUS LAP SIDING PAINTED BLACK
- 3 CEMENTITIOUS LAP SIDING PAINTED BROWN
- 4 CEMENTITIOUS LAP SIDING PAINTED WHITE
- 5 STUCCO PAINTED BLACK
- 6 STUCCO PAINTED WHITE
- 7 NICHHA - VINTAGE WOOD

ARCHITECTURE  
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3515 W. 75TH ST., SUITE 201  
PRAIRIE VILLAGE, KS 66208



A NEW RESIDENTIAL COMMUNITY AT:

**TRILOGY**

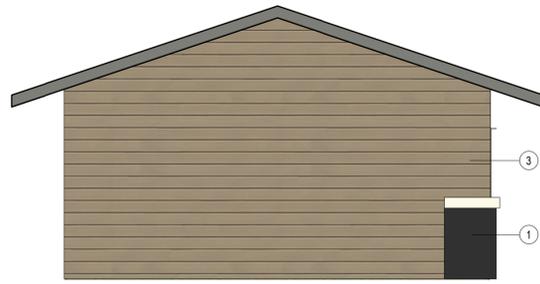
800 & 810 NW WARD RD. | LEE'S SUMMIT, MO

- DRAWING RELEASE LOG
- 08.28.2022 - PLAN REVIEW
  - 12.16.2022 - PROGRESS SET
  - 01.20.2023 - PROGRESS SET

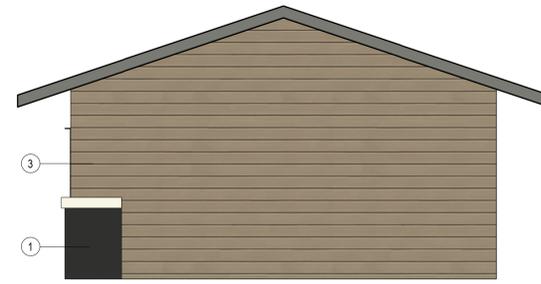
REVISIONS

JOB NO. 705922 DATE 01.20.2023  
DRAWN BY TSC/SIW  
1/27/2023  
FDP RESUBMITTAL  
SHEET NAME  
DETACHED GARAGES

SHEET NO.  
**A-800**



4 DETACHED GARAGE LEFT SIDE  
1/4" = 1'-0"



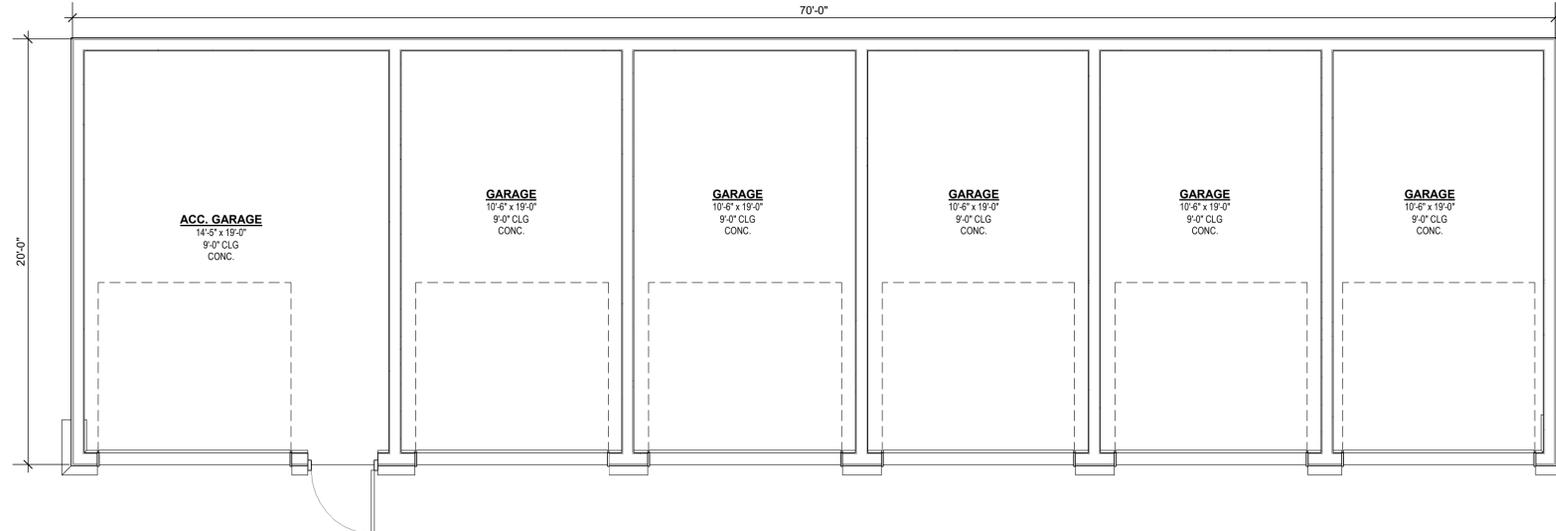
5 DETACHED GARAGE RIGHT SIDE  
1/4" = 1'-0"



3 DETACHED GARAGE - ACC REAR  
1/4" = 1'-0"



2 DETACHED GARAGE - ACC FRONT  
1/4" = 1'-0"



1 ACCESSIBLE GARGE FLOOR PLAN  
1/4" = 1'-0"

EXTERIOR MATERIAL LEGEND

- 1 CHARCOAL COLORED BRICK
- 2 CEMENTITIOUS LAP SIDING PAINTED BLACK
- 3 CEMENTITIOUS LAP SIDING PAINTED BRO
- 4 CEMENTITIOUS LAP SIDING PAINTED WHI
- 5 STUCCO PAINTED BLACK
- 6 STUCCO PAINTED WHITE
- 7 NICHIIA - VINTAGE WOOD

ARCHITECTURE  
LANDSCAPE  
ARCHITECTURE  
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A NEW RESIDENTIAL COMMUNITY AT:

**TRILOGY**

800 & 810 NW WARD RD. | LEE'S SUMMIT, MO

DRAWING RELEASE LOG

- 08.28.2022 - PLAN REVIEW
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REVISIONS

JOB NO. 705922 DATE 01.20.2023  
DRAWN BY TSC/SIW  
1/27/2023  
FDP RESUBMITTAL  
SHEET NAME  
DETACHED GARAGES

SHEET NO. **A-801**



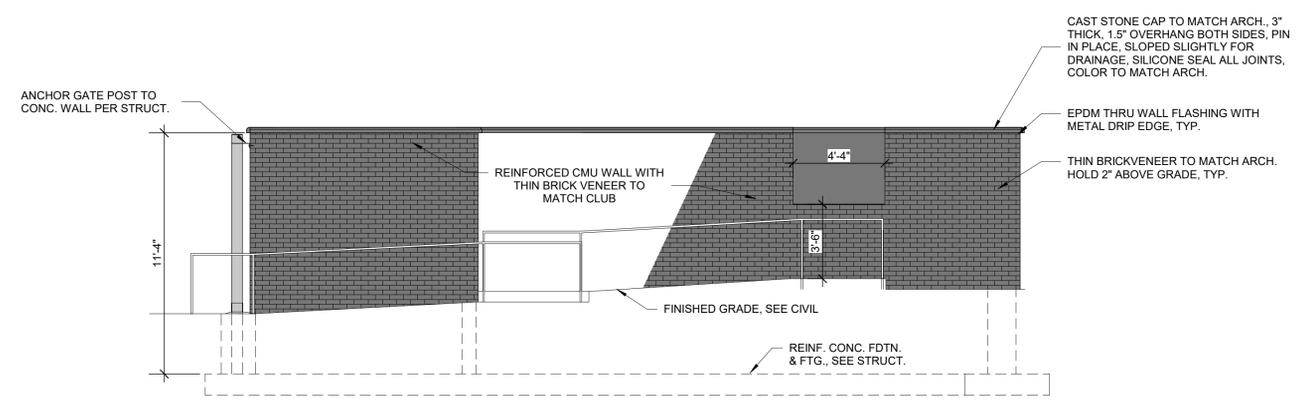
DRAWING RELEASE LOG

• 08.28.2022 - PLAN REVIEW
• 12.16.2022 - PROGRESS SET
• 01.20.2023 - PROGRESS SET

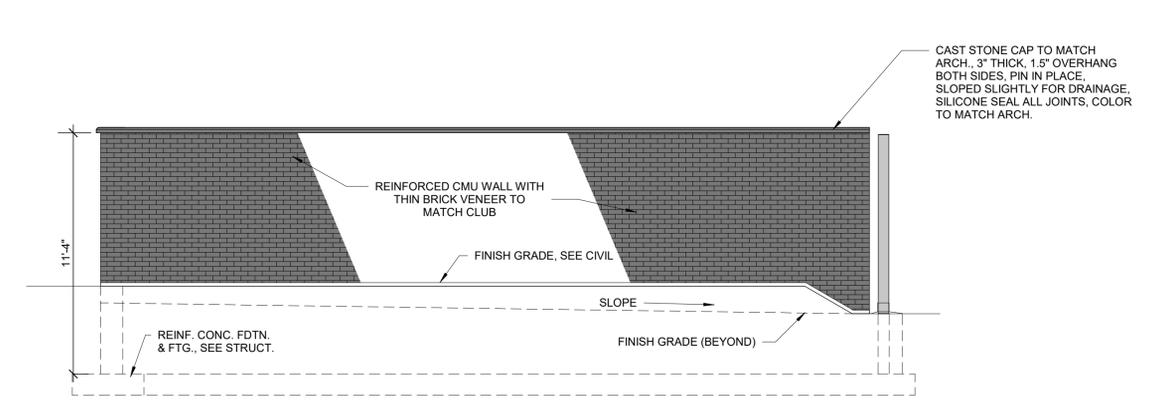
REVISIONS

JOB NO. **705922** DATE **01.20.2023**  
DRAWN BY **TSC/SIW**  
1/27/2023  
SHEET NAME **FDP RESUBMITTAL TRASH ENCLOSURE**

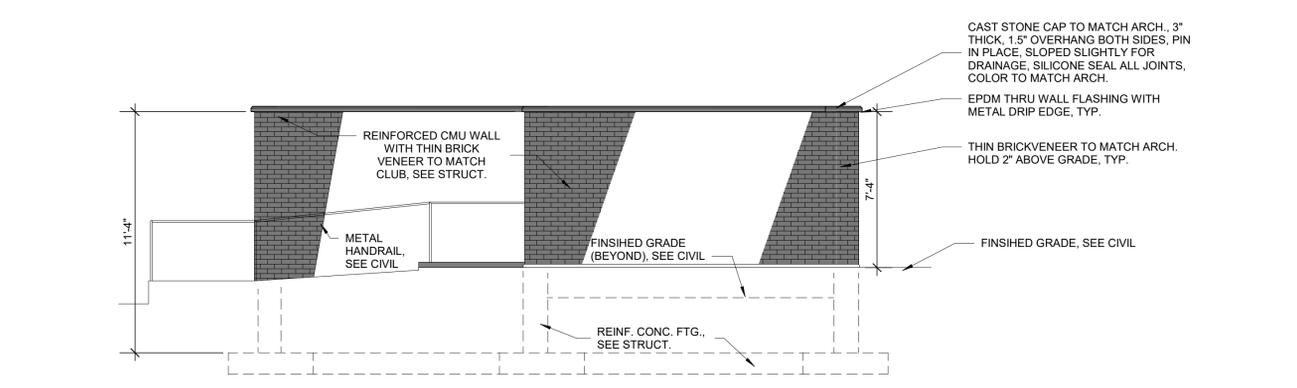
SHEET NO. **A-802**



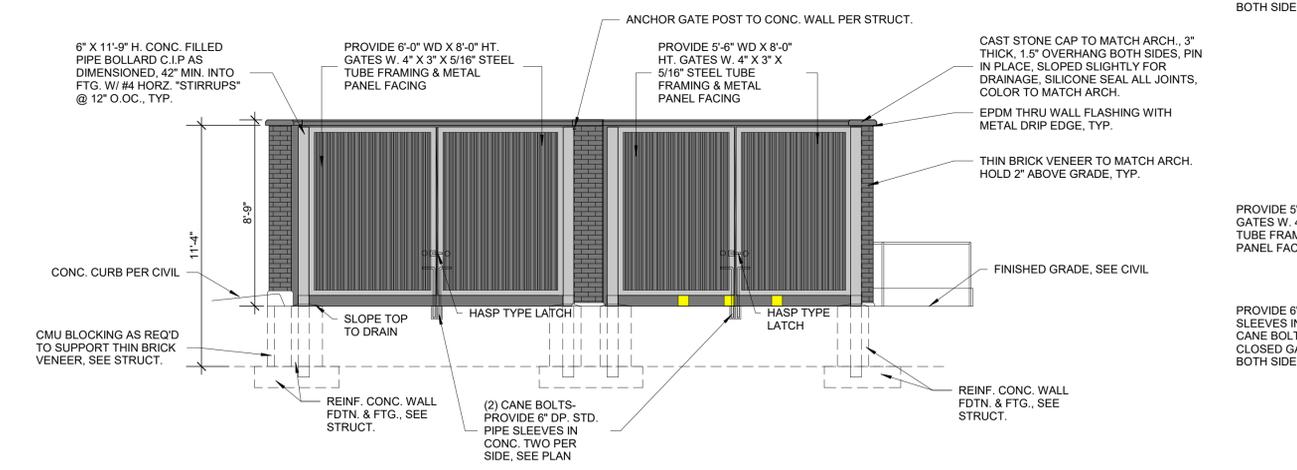
**5** RIGHT ELEVATION  
1/4" = 1'-0"



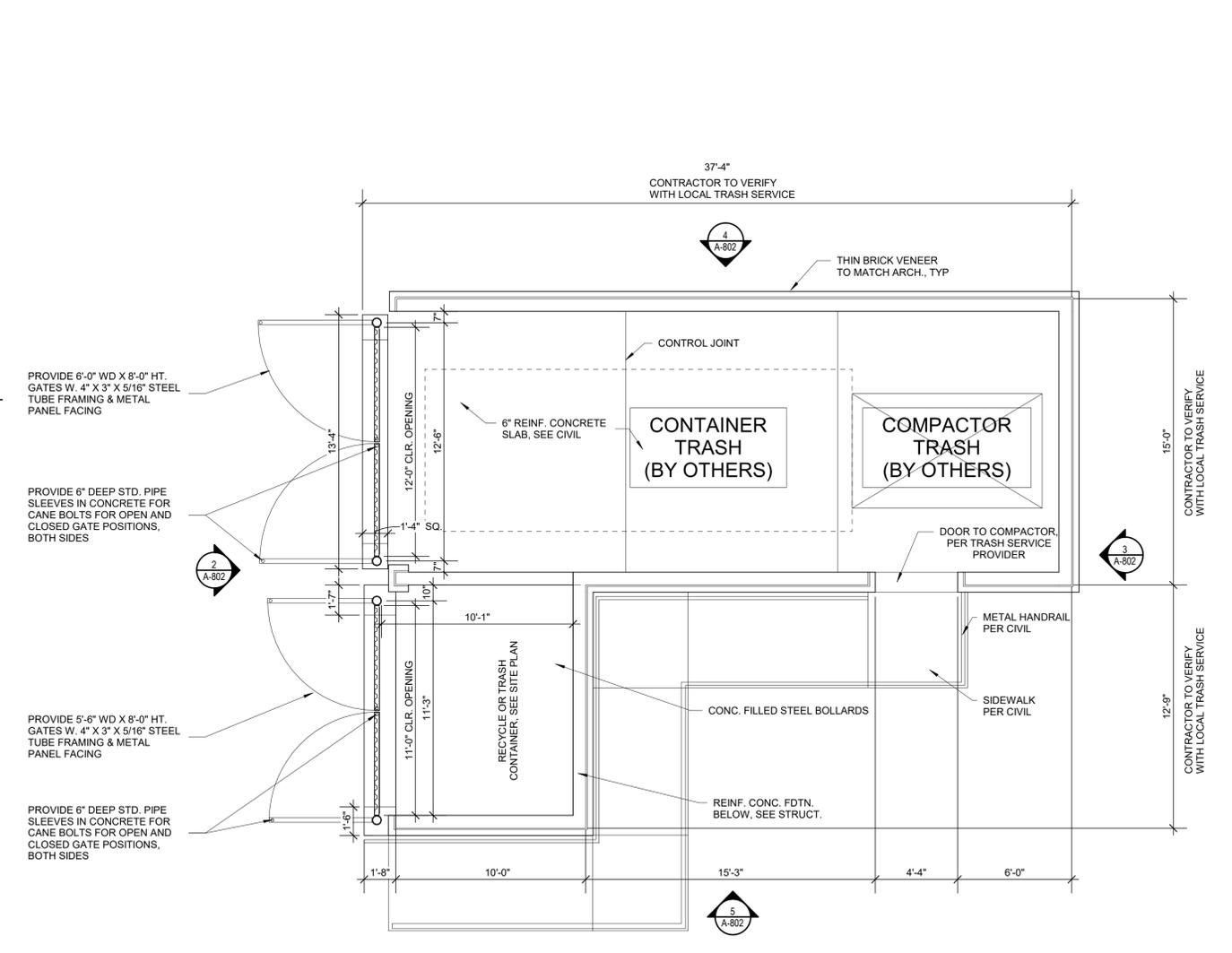
**4** LEFT ELEVATION  
1/4" = 1'-0"



**3** BACK ELEVATION  
1/4" = 1'-0"



**2** FRONT ELEVATION  
1/4" = 1'-0"

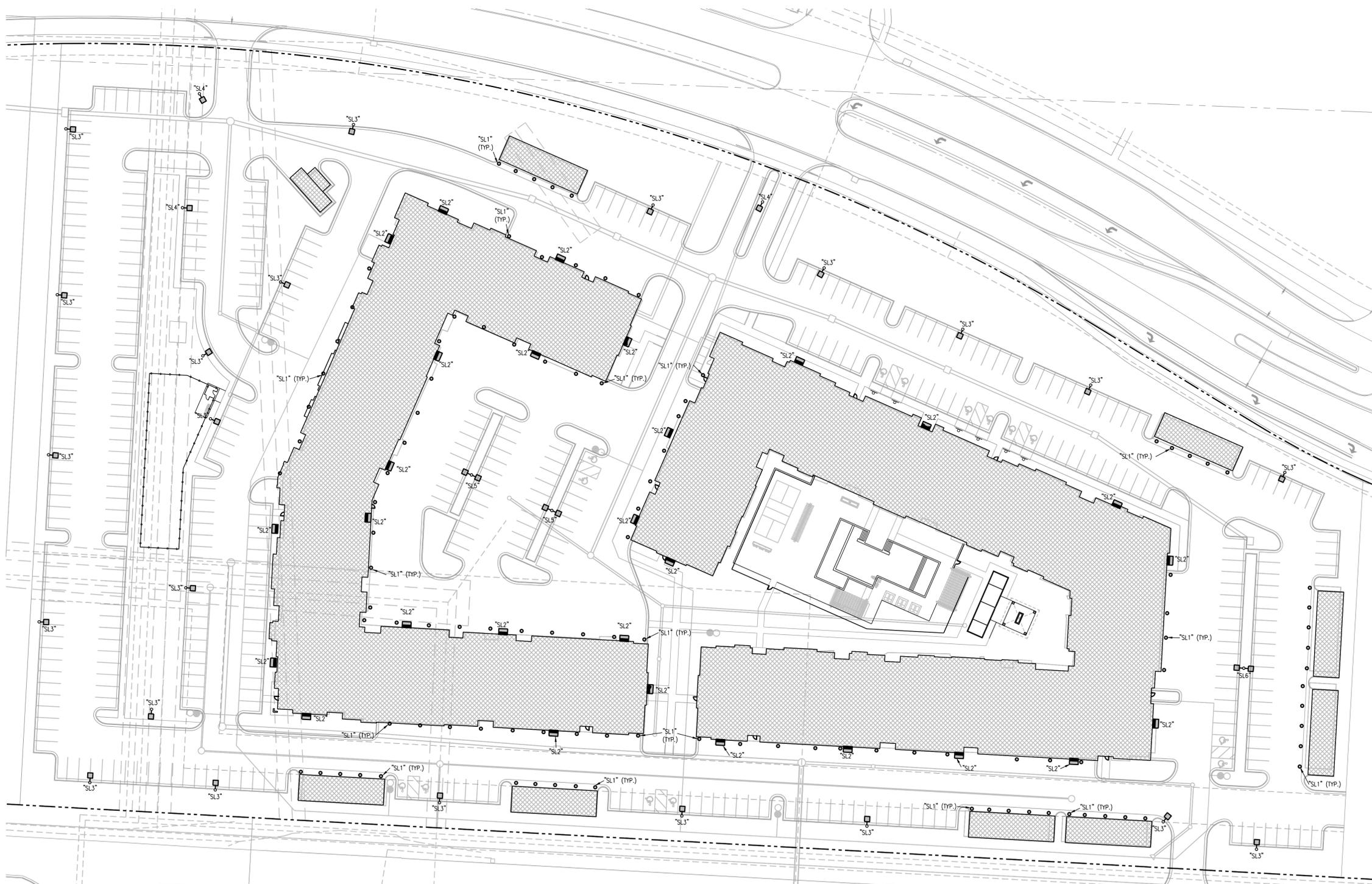


**1** TRASH ENCLOSURE FLOOR PLAN  
1/4" = 1'-0"

Description	STATISTICS					
	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
Drive Area	2.1 fc	10.2 fc	0.2 fc	51.0:1	10.5:1	0.26:1
Property Line	0.1 fc	0.5 fc	0.0 fc	N/A	N/A	N/A

MARK	MANUFACTURE	MODEL NUMBER	MOUNTING			LAMPS					REMARKS	
			RECESS	SURFACE	WALL	FINISH	LED	FLOOR.	HID	CODE		QUANTITY
SL 1	PRESCOLITE	1152-962			X	BLACK	X			8W PAR 30 LED	1	1
SL 2	HUBBELL	LMC-30LU-3-K-4			X	BLACK	X				1	5
SL 3	CREE INC.	ARE-EDG-4MB-DA-12-E-UL-BK-525-40K				BLACK	X				1	2, 3, 4
SL 4	CREE INC.	ARE-EDG-3MP-DA-06-E-UL-BK-700-40K				BLACK	X				1	3, 4
SL 5	CREE INC.	ARE-EDG-3MP-DA-06-E-UL-BK-700-40K				BLACK	X				1	2, 3, 4
SL 6	CREE INC.	ARE-EDG-4MB-DA-12-E-UL-BK-525-40K				BLACK	X				1	3, 4

- REMARKS:
- 1 MOUNT AT 8' AFG.
  - 2 PROVIDE WITH (1) HEAD.
  - 3 MOUNT ON 20' POLE ROUND STRAIGHT STEEL, 80 MPH RATED.
  - 4 VERIFY EPA RATING OF POLE WITH MANUFACTURER.
  - 5 MOUNT AT 16' AFG



**1 SITE PHOTOMETRIC PLAN**  
1" = 40'-0"  
NORTH

**LS&A**  
Lattimer Sommers & Associates, P.A.  
CONSULTING ENGINEERS  
3639 SW Summerfield Drive, Suite A  
Topeka, Kansas 66614-3974  
8625 College Boulevard, Suite 102  
Overland Park, Kansas 66210  
Telephone: (785) 233-3252  
Email: lsaa@lsaa.com  
LSA PROJECT NO. 2204061

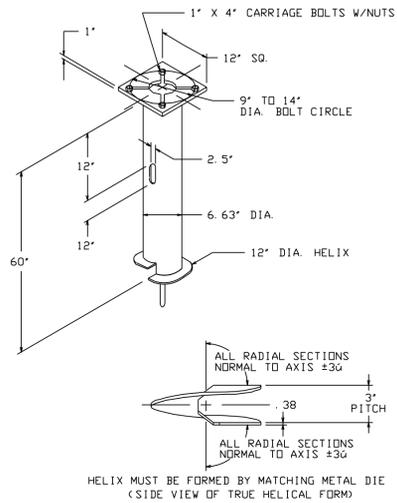
**SITEPOINT**  
A Division of NorthPoint Development  
816.888.7380  
stepoint@northpointkc.com  
3315 N Oak Trafficway  
Kansas City, MO 64116

REVIEWED BY:	DATE:	NO.:	REVISIONS/APPROVALS:
KRW/RRB	2022.08.26		PLAN REVIEW
KRW/RRB	2022.12.21	△	FDP
CAD	2023.01.27	△	FDP SUBMITTAL
SP PROJECT #:			
MELISSA G. LEGONIA, P.E.			
			201100982

**SITE PHOTOMETRIC PLAN**  
**SUMMIT ORCHARDS WEST**  
**PRELIMINARY DEVELOPMENT PLAN**  
**LEE'S SUMMIT, JACKSON COUNTY, MO**

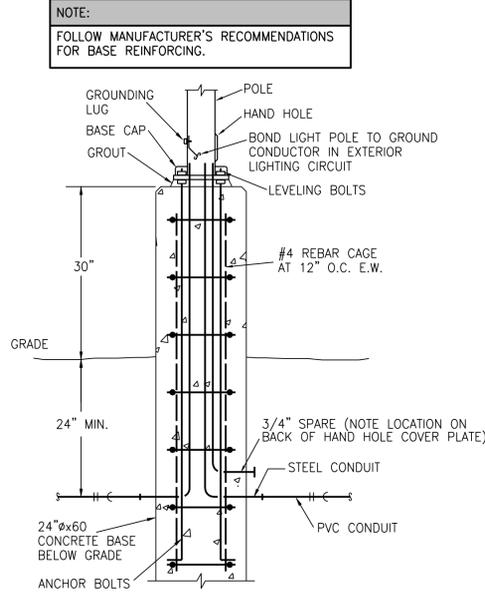
STATE OF MISSOURI  
RICHARD B. BEARDMORE  
Professional Engineer  
01-27-23  
Certificate of Authority # MO 2005000695

**SHEET #:**  
**E0.01**



**1 LIGHT POLE FOUNDATION**  
NO SCALE CAT. NO. C11242NG4VP

- NOTES-**
- FINISH: HOT DIP GALVANIZE PER ASTM-A153 (LATEST REVISION).
  - BASEPLATE TO BE PERPENDICULAR TO SHAFT AXIS (±10) AND HOLE CENTERLINE CONCENTRIC (±.188) TO SHAFT AXIS.
  - STENCIL: MIN. 1/8" IN LETTERS MANUFACTURER'S NUMBER AFTER GALVANIZING.
  - PILOT POINT AND SHAFT AXES TO BE CONCENTRIC (±.125 FIM) AND IN LINE (±.020).
  - FLAME CUT SLOT PERPENDICULAR TO THE BASEPLATE. PREHEAT, TUMBLE-FAST, HANDFILE, AND CLEAN BASEPLATE, HELIX, AND PILOT POINT ON ALL WELDED AREAS.
  - FLAMECUT IRREGULARITIES PERMISSIBLE: (1) VALLEYS NOT TO EXCEED 3/32" IN. BELOW NOMINAL SURFACE LEVEL. (2) PEAKS OR POSITIVE IRREGULARITIES NOT TO EXCEED 1/32" IN. ABOVE NOMINAL SURFACE LEVEL OR INTERSECTIONS OF NOMINAL SURFACES.
  - MANUFACTURER TO HAVE IN EFFECT INDUSTRY RECOGNIZED WRITTEN QUALITY CONTROL FOR ALL MATERIALS AND MANUFACTURING PROCESSES.
  - ALL MATERIAL IS TO BE NEW, UNUSED AND MILL TRACEABLE MEETING THE FOLLOWING SPECIFICATIONS:
- BASEPLATE: ASTM A36-(LATEST REVISION) HOT ROLLED STEEL PLATE, (CONFORM TO AASHTO TECH. BUL. #270)
- SHAFT: STEEL PIPE PILES, SEAMLESS OR STRAIGHT WELDED, GRADE 2 PER ASTM A53, ALI. MATERIAL, STEEL PIPE, TYPE E OR S, GRADE-B PER ASTM A53.
- HELIX: ASTM A635 (LATEST REVISION) HOT ROLLED STEEL.
- PILOT POINT: ASTM A575 (LATEST REVISION) STEEL BAR.
- BOLTS: CARR BOLT PER ANSI B-18.2.1, SAE J429 GRADE-5.
10. BASEPLATE IS PERMANENTLY STAMPED WITH MANUFACTURER'S IDENTIFICATION "ABC" IN 1/2" LETTERS AND DATE CODE IN 1/4" LETTERS.



**2 LIGHTING POLE BASE DETAIL**  
NO SCALE



**5\"/>**

DATE: TYPE: "SL1"  
FIRM NAME:  
PROJECT:

**LifeForms**  
For conversion to millimeters, multiply inches by 25.4  
Not to Scale

**APPLICATIONS:**  
The 1152 is a small-scale wall mount cylinder used to achieve direct illumination patterns on vertical walls or columns. The 1152 is suitable for a wide variety of commercial, retail and institutional applications.

**HOUSING:**  
0.52\"/>

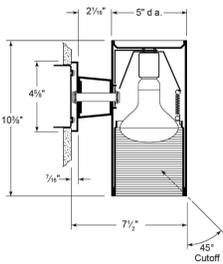
**REFLECTOR:**  
Specify painted black interior, one-piece millgroove black baffle, black cone, or clear Alzak reflector.

**LAMP:**  
One (1) 75W PAR30 or BR30 lamp furnished by others.

**SOCKET:**  
Porcelain socket with nickel plated screw shell.

**INSTALLATION:**  
Easy installation onto standard J-box.

**LABELS:**  
UL, CSA listed for wet locations



CATALOG NUMBER: EXAMPLE: 1152-962BZ

HOUSINGS	FINISH OPTIONS	Special Reflector Finishes:
<input type="checkbox"/> 1152-962 5\"/>	<input type="checkbox"/> BA Brushed aluminum <input type="checkbox"/> BL Matte black <input type="checkbox"/> BZ Bronze <input type="checkbox"/> WH Matte White <input type="checkbox"/> Z "Zel" metallic silver	Refer to specification sheet IFO-INC-037 for reflector capabilities.
<input type="checkbox"/> 1152-960 5\"/>		
<input type="checkbox"/> 1152-962 5\"/>		



In a continuing effort to offer the best product possible we reserve the right to change, without notice, specifications or materials that in our opinion will not alter the function of the product.  
Web: [www.prescolite.com](http://www.prescolite.com) • Tech Support: (888) 777-4832

LFO-INC-005

**LAREDO SERIES**  
LMC - 30LEDS

Cal.#	Type	Approvals
Job	"SL2"	

**Specifications**  
Infrared Use:  
Full cut-off, ICA compliant perimeter or entry lighting for 12-18ft mounting heights that require high light output and maximum energy efficiency. Laredo LMC-30 LED wallpack provides low installation costs with little or no maintenance and 90%+ energy savings. Ideal for schools, factories, hospitals, warehouses and retail applications.

**Construction:**  
Decorative die-cast aluminum housing and door. Rugged design protects internal components and provides excellent thermal management for over 70% lumen maintenance at 50,000 hours minimum LED life. Larkspur® series powder paint finishes provide lasting appearance in outdoor environments. Five standard finishes include: Bronze, Black, Gray, White and Platinum.

**Optical/Electrical LED:**  
30 High power LEDs delivers up to 6070 lumens at 700mA and up to 3489 lumens at 500mA. Variety of distributions - Types II, III and IV Forward throw. High CR LEDs provide excellent color rendition with up to 100 lumens per watt efficiency.

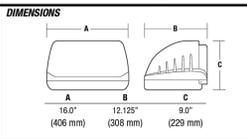
**Lenses:**  
Full cut-off distribution - individual acrylic LED optics provide IES Type II and Type IV distributions.

**Installation:**  
Quick mount system provides rigid mounting over recessed junction boxes - fixture does not require opening for mounting. Foam gasket for sealing to smooth surfaces provided. Superior performance with 5 to 1 spacing to mounting height ratio. Minimum operating temperature is -40°C (-40°F).

**Listings:**  
• Listed to UL1598 for wet locations  
• UL certified for thru-wiring  
• 25° C ambient environments  
• U.S. Patent No. D563,587  
• DesignLights Consortium (DLC) qualified. Consult DLC website for more details: <http://www.designlights.org/DLC>

**LMC-30LU Egress Wallpack:**  
Designed to meet strict 15' minimum requirements. At 12ft mounting height 15' covers 16x16ft area, well beyond the 10'0"0" standard. 4x4w - 3500mA driver 30LEds at 3500 lumens at full output/ 2040 average lumens in battery mode. Clear clear impact resistant glass lens protects LED lenses. No uplight, external test button, quick mount, wet location listed. (Note: must use Type II)

**Warranty:**  
Five year limited warranty (for more information visit: <http://www.hubbelloutdoor.com/resources/warranty/>)



**ORDERING INFORMATION**  
ORDERING EXAMPLE: LMC-30LU-SK-3-1-PC4)

SERIES	NUMBER OF LEDS/SOURCE/VOLTAGE	CCT	IES DISTRIBUTION	DRIVE CURRENT	FINISH	OPTIONS
LMC Laredo	30LU 30 LEDs, 71w input, Universal voltage	3K 3000K nominal	2 Type II	BLANK, STD 700MA	1 Bronze	PC(X) Button photocontrol, replace X with voltage, specify 1-120V, 2-208V, 3-240V, 4-277V
	Cut-off	4K 4200K nominal	3 Type III	035 350MA	2 Black	FX(X) Fusing (specify voltage per footcandle)
		5K 5100K nominal	4 Type IV (Forward throw)		3 Gray	WH In fixture wireless control module, (120V & 277V only) order separately, consult factory

**ORDERING INFORMATION EGRESS LMC-30LU**  
ORDERING EXAMPLE: LMC-30LU-SK-3-035-1-BB0277

SERIES	NUMBER OF LEDS/SOURCE/VOLTAGE	CCT	IES DISTRIBUTION	DRIVE CURRENT	FINISH	OPTIONS
LMC Laredo	30LU 30 LEDs, 43w input, Universal voltage	4K 4200K nominal	3° Type II	035 350MA	1 Bronze	BB0277 Integral battery for 120-277V rated for 20° C ambient
	Cut-off	5K 5100K nominal			2 Black	BOC277 Integral battery for 120-277V rated for 0° C ambient
					3 Gray	PC(X) Button photocontrol, replace X with voltage, specify 1-120V, 2-208V, 3-240V, 4-277V

1: PCB and P. Refer to 1100-2-208V, 3-240V, 4-277V  
2: IES type II only



Spaulding Lighting • 701 Millennium Boulevard • Greenville, SC 29607 • Phone: 864-678-1000  
Due to our continued efforts to improve our products, product specifications are subject to change without notice.  
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**Cree Edge™ Series**  
LED Area/Flood Luminaire

**Product Description**

The Cree Edge™ Series has a slim, low profile design. Its rugged cast aluminum housing minimizes wind load requirements and features an integral, weather-tight LED driver compartment and high performance aluminum heat sinks. Various mounting choices: Adjustable Arm, Direct Arm, Direct Arm Long, or Side Arm details on page 21. Includes a leaflet/brochure guard.

**Applications:** Parking lots, walkways, campuses, car dealerships, office complexes, and internal roadways.

**Performance Summary**

Patented NanoOptic® Photocell Technology  
Made in the U.S.A. of U.S. and imported parts  
CRI: Minimum 70 CRI  
CCT: 4000K (-/-, 300K), 5700K (+/-, 500K) standard  
**Limited Warranty:** 10 years on luminaire/10 years on Colorfast DeltaGuard™ finish

\*See <http://lighting.cree.com/conway> for warranty terms

**Accessories**

Field-Installed	Backlight Control Shields
5x-CONC/DM	4 - Four-pole
	Unpainted stainless steel

**Ordering Information**  
Example: ARE-EDG-2M-AA-12-E-UL-SV-350

Product	Optic	Mounting*	LED Count (x10)	E	Series	Voltage	Color Options	Drive Current	Options
ARE-EDG	2M Type II Medium w/BSL	3MB Type III Medium w/Partial	350	AA Adjustable	02 E	UL 120-277V	BR Black	350mA	DIM 0-10V Dimming Control by others Refer to DIMING SPEC sheet for details Can't exceed specified drive current F Fuse Refer to UL spec sheet for availability with HL options Available with UL voltage only Available for U.S. applications only When code dictates fusing, use time delay fuse HL High/Low Beam Cover (req'd) Refer to UL spec sheet for details Sensor not included ML Multi-level Refer to UL spec sheet for details Intended for downlight applications with maximum 47° tilt P Photocell Refer to UL spec sheet for availability with HL options Available with UL voltage only
	4MP Type II Medium w/Partial	4MP Type III Medium w/Partial	700	AA Adjustable	04 E	UL 120-277V	BR Black	350mA	
	5MP Type II Medium w/Partial	5MP Type III Medium w/Partial	1050	AA Adjustable	08 E	UL 120-277V	BR Black	350mA	
	6MP Type II Medium w/Partial	6MP Type III Medium w/Partial	1400	AA Adjustable	12 E	UL 120-277V	BR Black	350mA	
	7MP Type II Medium w/Partial	7MP Type III Medium w/Partial	1750	AA Adjustable	16 E	UL 120-277V	BR Black	350mA	
	8MP Type II Medium w/Partial	8MP Type III Medium w/Partial	2100	AA Adjustable	20 E	UL 120-277V	BR Black	350mA	
	9MP Type II Medium w/Partial	9MP Type III Medium w/Partial	2450	AA Adjustable	24 E	UL 120-277V	BR Black	350mA	
	10MP Type II Medium w/Partial	10MP Type III Medium w/Partial	2800	AA Adjustable	28 E	UL 120-277V	BR Black	350mA	
	11MP Type II Medium w/Partial	11MP Type III Medium w/Partial	3150	AA Adjustable	32 E	UL 120-277V	BR Black	350mA	
	12MP Type II Medium w/Partial	12MP Type III Medium w/Partial	3500	AA Adjustable	36 E	UL 120-277V	BR Black	350mA	
	13MP Type II Medium w/Partial	13MP Type III Medium w/Partial	3850	AA Adjustable	40 E	UL 120-277V	BR Black	350mA	
	14MP Type II Medium w/Partial	14MP Type III Medium w/Partial	4200	AA Adjustable	44 E	UL 120-277V	BR Black	350mA	
	15MP Type II Medium w/Partial	15MP Type III Medium w/Partial	4550	AA Adjustable	48 E	UL 120-277V	BR Black	350mA	
	16MP Type II Medium w/Partial	16MP Type III Medium w/Partial	4900	AA Adjustable	52 E	UL 120-277V	BR Black	350mA	
	17MP Type II Medium w/Partial	17MP Type III Medium w/Partial	5250	AA Adjustable	56 E	UL 120-277V	BR Black	350mA	
	18MP Type II Medium w/Partial	18MP Type III Medium w/Partial	5600	AA Adjustable	60 E	UL 120-277V	BR Black	350mA	
	19MP Type II Medium w/Partial	19MP Type III Medium w/Partial	5950	AA Adjustable	64 E	UL 120-277V	BR Black	350mA	
	20MP Type II Medium w/Partial	20MP Type III Medium w/Partial	6300	AA Adjustable	68 E	UL 120-277V	BR Black	350mA	
	21MP Type II Medium w/Partial	21MP Type III Medium w/Partial	6650	AA Adjustable	72 E	UL 120-277V	BR Black	350mA	
	22MP Type II Medium w/Partial	22MP Type III Medium w/Partial	7000	AA Adjustable	76 E	UL 120-277V	BR Black	350mA	
	23MP Type II Medium w/Partial	23MP Type III Medium w/Partial	7350	AA Adjustable	80 E	UL 120-277V	BR Black	350mA	
	24MP Type II Medium w/Partial	24MP Type III Medium w/Partial	7700	AA Adjustable	84 E	UL 120-277V	BR Black	350mA	
	25MP Type II Medium w/Partial	25MP Type III Medium w/Partial	8050	AA Adjustable	88 E	UL 120-277V	BR Black	350mA	
	26MP Type II Medium w/Partial	26MP Type III Medium w/Partial	8400	AA Adjustable	92 E	UL 120-277V	BR Black	350mA	
	27MP Type II Medium w/Partial	27MP Type III Medium w/Partial	8750	AA Adjustable	96 E	UL 120-277V	BR Black	350mA	
	28MP Type II Medium w/Partial	28MP Type III Medium w/Partial	9100	AA Adjustable	100 E	UL 120-277V	BR Black	350mA	
	29MP Type II Medium w/Partial	29MP Type III Medium w/Partial	9450	AA Adjustable	104 E	UL 120-277V	BR Black	350mA	
	30MP Type II Medium w/Partial	30MP Type III Medium w/Partial	9800	AA Adjustable	108 E	UL 120-277V	BR Black	350mA	
	31MP Type II Medium w/Partial	31MP Type III Medium w/Partial	10150	AA Adjustable	112 E	UL 120-277V	BR Black	350mA	
	32MP Type II Medium w/Partial	32MP Type III Medium w/Partial	10500	AA Adjustable	116 E	UL 120-277V	BR Black	350mA	
	33MP Type II Medium w/Partial	33MP Type III Medium w/Partial	10850	AA Adjustable	120 E	UL 120-277V	BR Black	350mA	
	34MP Type II Medium w/Partial	34MP Type III Medium w/Partial	11200	AA Adjustable	124 E	UL 120-277V	BR Black	350mA	
	35MP Type II Medium w/Partial	35MP Type III Medium w/Partial	11550	AA Adjustable	128 E	UL 120-277V	BR Black	350mA	
	36MP Type II Medium w/Partial	36MP Type III Medium w/Partial	11900	AA Adjustable	132 E	UL 120-277V	BR Black	350mA	
	37MP Type II Medium w/Partial	37MP Type III Medium w/Partial	12250	AA Adjustable	136 E	UL 120-277V	BR Black	350mA	
	38MP Type II Medium w/Partial	38MP Type III Medium w/Partial	12600	AA Adjustable	140 E	UL 120-277V	BR Black	350mA	
	39MP Type II Medium w/Partial	39MP Type III Medium w/Partial	12950	AA Adjustable	144 E	UL 120-277V	BR Black	350mA	
	40MP Type II Medium w/Partial	40MP Type III Medium w/Partial	13300	AA Adjustable	148 E	UL 120-277V	BR Black	350mA	
	41MP Type II Medium w/Partial	41MP Type III Medium w/Partial	13650	AA Adjustable	152 E	UL 120-277V	BR Black	350mA	
	42MP Type II Medium w/Partial	42MP Type III Medium w/Partial	14000	AA Adjustable	156 E	UL 120-277V	BR Black	350mA	
	43MP Type II Medium w/Partial	43MP Type III Medium w/Partial	14350	AA Adjustable	160 E	UL 120-277V	BR Black	350mA	
	44MP Type II Medium w/Partial	44MP Type III Medium w/Partial	14700	AA Adjustable	164 E	UL 120-277V	BR Black	350mA	
	45MP Type II Medium w/Partial	45MP Type III Medium w/Partial	15050	AA Adjustable	168 E	UL 120-277V	BR Black	350mA	
	46MP Type II Medium w/Partial	46MP Type III Medium w/Partial	15400	AA Adjustable	172 E	UL 120-277V	BR Black	350mA	
	47MP Type II Medium w/Partial	47MP Type III Medium w/Partial	15750	AA Adjustable	176 E	UL 120-277V	BR Black	350mA	
	48MP Type II Medium w/Partial	48MP Type III Medium w/Partial	16100	AA Adjustable	180 E	UL 120-277V	BR Black	350mA	
	49MP Type II Medium w/Partial	49MP Type III Medium w/Partial	16450	AA Adjustable	184 E	UL 120-277V	BR Black	350mA	
	50MP Type II Medium w/Partial	50MP Type III Medium w/Partial	16800	AA Adjustable	188 E	UL 120-277V	BR Black	350mA	
	51MP Type II Medium w/Partial	51MP Type III Medium w/Partial	17150	AA Adjustable	192 E	UL 120-277V	BR Black	350mA	
	52MP Type II Medium w/Partial	52MP Type III Medium w/Partial	17500	AA Adjustable	196 E	UL 120-277V	BR Black	350mA	
	53MP Type II Medium w/Partial	53MP Type III Medium w/Partial	17850	AA Adjustable	200 E	UL 120-277V	BR Black	350mA	
	54MP Type II Medium w/Partial	54MP Type III Medium w/Partial	18200	AA Adjustable	204 E	UL 120-277V	BR Black	350mA</	