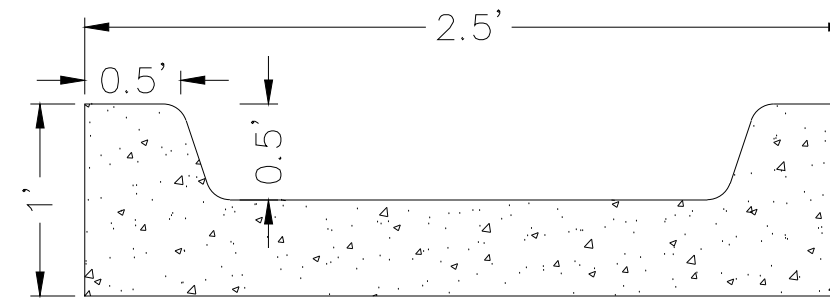


SITE INFORMATION:
Property Description: Lot 9A, Lot 11A, Lot 13A Block 5, Lowes Addition
Site Address: 705 High Street
Zoning:
Existing Zoning: R-1 (Single Family Residential)
Proposed Zoning: RP-2 (Planned 2-Family Residential)
Lot Area: 22,082 SF (0.51 AC)(3-7,194 SF Lots)
Building Area (GFA): 3-1858 SF Duplexes
FAR: .25 to 1
Impervious Coverage: 9,114 SF, 41%
Planned Use: Duplexes
Anticipated Completion: Spring 2022

- NOTES:**
- 1. All construction and materials to conform to the city and the specifications and details per the Kansas City Metro Chapter APWA. It is advisable that the contractor become familiar with this document in the event that there is a discrepancy between this and the approved plan and the Manual. Advise the design engineer of any discrepancy prior to bidding or working on this project.
 - 2. Silt fence shall be installed at the perimeter of all disturbed areas within the site during construction for erosion control.
 - 3. Contractor shall contact the City's Development Services Engineering Inspectors 48 hours prior to any land disturbance work at (816) 989-1200.
 - 4. Contractor to locate and relocate any existing utilities that may conflict with construction as necessary.



NOTE:
1. Height of sides shall taper from 6" to 0"
CONCRETE FLUME
Not to Scale

OWNER AND DEVELOPER:

705 HIGH STREET LLC
705B SE MELODY LN. STE 191
LEE'S SUMMIT, MO 64063

DEVELOPMENT DESCRIPTION:

A PART OF LOTS 9 THRU 14, BLOCK 5, LOWE'S ADDITION, A SUBDIVISION IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, IN SECTION 5, TOWNSHIP 47, RANGE 31, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF LOT 14, BLOCK 5, LOWE'S ADDITION, A SUBDIVISION IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI; THENCE NORTH 63 DEGREES 53 MINUTES 36 SECONDS EAST, 168.00 FEET TO THE NORTHEAST CORNER OF LOT 9 OF SAID SUBDIVISION; THENCE ALONG THE EAST LINE OF SAID LOT 9, SOUTH 02 DEGREES 09 MINUTES 52 SECONDS WEST, 148.15 FEET TO THE CENTER OF A VACATED ALLEY, ALLEY BEING VACATED BY DOCUMENT NUMBER 20000036587; THENCE ALONG THE CENTERLINE OF SAID VACATED ALLEY, SOUTH 63 DEGREES 53 MINUTES 36 SECONDS WEST, 168.00 FEET; THENCE NORTH 02 DEGREES 09 MINUTES 52 SECONDS EAST, 148.15 FEET TO THE POINT OF BEGINNING. CONTAINING 21,920 SQUARE FEET, OR 0.50 ACRES, MORE OR LESS.

NO. 1

BY EDH

DATE 11/19/21

REVISION

11/19/21

Comments from 7/29/21

NO. 2

BY EDH

DATE 5/26/22

REVISION

5/26/22

MOVED STORM PIPE AWAY FROM INDEPENDENCE

NO. 3

BY EDH

DATE 10/12/22

REVISION

10/12/22

CHANGED PIPE SIZE TO 15" AND REFERENCE COMMENTS FROM GENE WILLIAMS

NO. 4

BY EDH

DATE 12/01/22

REVISION

12/01/22

COMMENT LETTER 11-10-22

OF MISSOURI

Professional Engineer

12/01/22

Consult

Inc

engineers

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705 SE HIGH STREET DUPLEXES

LEE'S SUMMIT - JACKSON COUNTY - MISSOURI

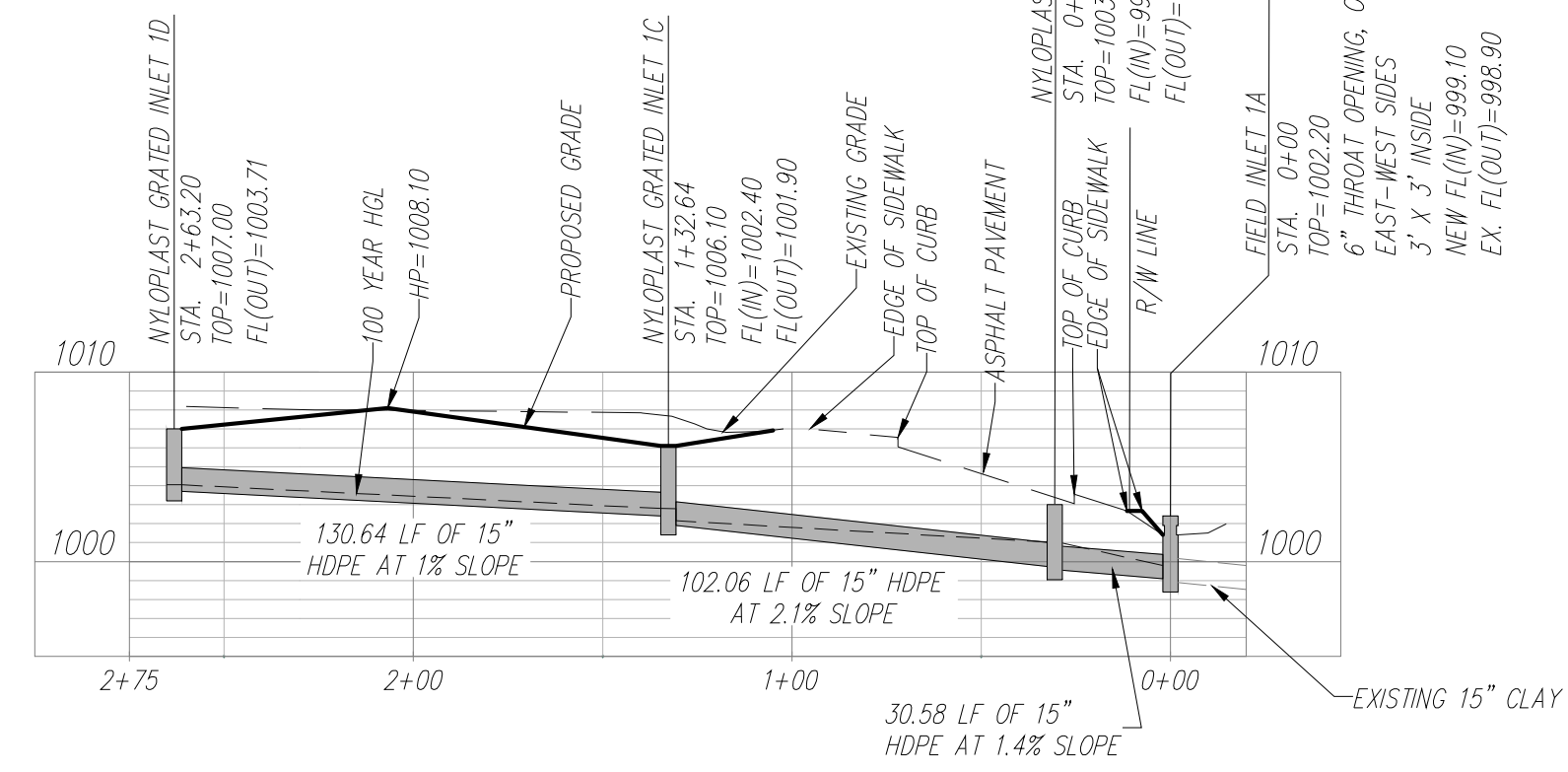
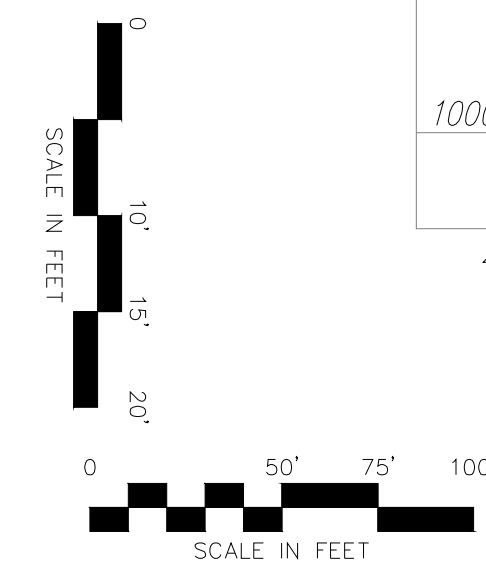
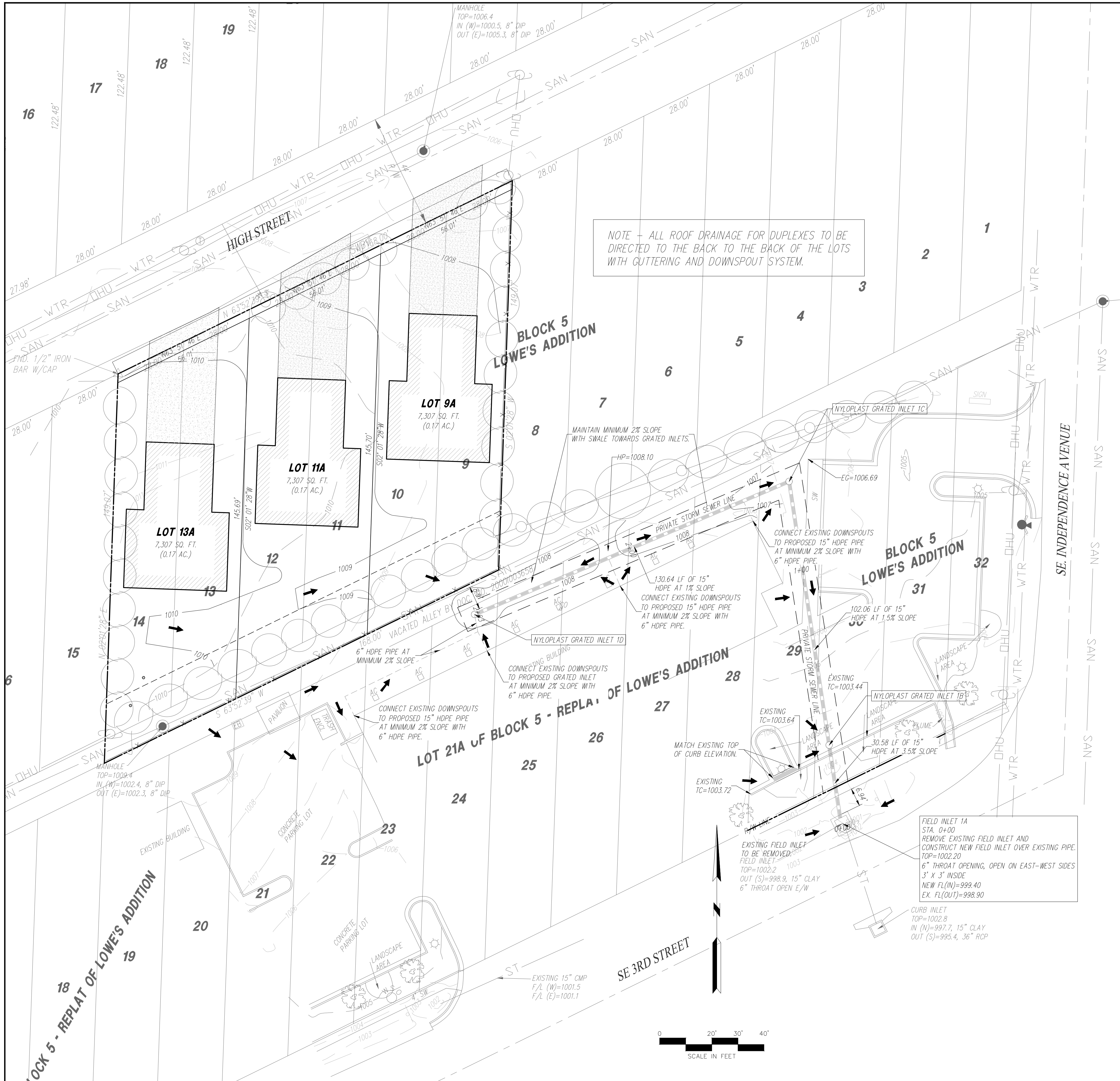
X-REF NO. 211185

DRAWING NO. 21085

DATE OCTOBER 7, 2021

JOB NO. 21085

SHEET 2 OF 7



STORM SEWER LINE 1
(PRIVATE STORM SEWER LINE)
STA. 0+00 - STA. 2+63.20



- TC Top of Curb
 - FG Finish Grade
 - G Gutter Elevation
 - HP High Point
 - LP Low Point
 - FFE Finish Floor Elevation
 - TG Top of Grade (Retaining Wall)
 - BG Bottom of Grade (Retaining Wall)
- xxx--- 1' FINISH GRADE CONTOURS
- - - - - 6" HDPE PIPE AT MINIMUM 2% SLOPE
- DIRECTION OF STORM WATER

GRADING AND DRAINAGE NOTES:

Information pertaining to under ground utilities was obtained from available records and field locations when possible, but the contractor must determine the exact location and elevation of all existing utilities by digging test pits by hand at all utility crossings in advance of machine trenching. If clearances are less than specified on these plans or 24", which ever is less, contact the Engineer and the Owner/Developer prior to proceeding with construction. All structures located within Right Of Way or otherwise noted on these plans shall be constructed per City Standards. If structure(s) are not prototypical or construction cannot be achieved contractor shall submit shop drawing to HC Consult, for review and approval. Contractor shall be responsible for relocation or removal of existing underground utilities shown or not shown at no additional cost to the owner.

Contractor shall coordinate with utility companies on adjusting existing utility line as required by cut and fill at no additional cost to the owner.

Contractor shall be held responsible for the design and implementation of sheeting, shoring, bracing and special excavation measures required to meet OSHA, Federal, State and Local regulations pursuant to the installation of the work indicated on these drawings.

All disturbed areas and slopes shall be graded smooth and (4") of top soil applied. The area shall be seeded and watered until hardy grass growth has been established.

Storm drain pipe bedding shall be installed per APWA, section 2100.

See Erosion Control Plan for rip rap pad sizes.

Elevations are called out to top of curb, top of pavement, or top of structure, unless otherwise noted.

Parking lot grading shall be performed to route storm water as directed to the storm collection system.

All curbs shall be CG-1.

Clear and grub areas to be filled, remove trees, vegetation, roots, or other debris, and other materials that would affect the stability of the fill.

Ensure that fill material is free of brush, rubbish, rocks, logs, stumps, building debris, and other materials inappropriate for constructing stable fills.

Do not incorporate frozen material or soft, muck, or highly compressible materials into fill slopes.

Permanently stabilize all graded areas after final grading is completed on each area of the grading plan, apply temporary stabilization measures on all graded areas when work is to be interrupted or delayed (see Erosion Control Plan).

Contractor shall match top of proposed drainage structures with proposed grades. If a discrepancy occurs between proposed grades and proposed structure tops, the grading shall govern. If the discrepancy is more than 4 inches the contractor shall contact the Engineer of Record.

All utilities, including storm sewer, shown within public easements or right of ways shall be constructed to the governing agency's specifications. All other utilities shall be constructed to the client's or the governing agency's specifications, whichever is more stringent, if there is a question as to which specifications should apply the contractor shall contact the Engineer of Record.

All existing structures, unless otherwise noted to remain. All fencing, trees, & etc., within construction area shall be removed & disposed of off site, unless otherwise noted. Any burning on site shall be subject to local ordinances and/or the owner/developers standards and specifications.

All drainage structures shall be pre-cast.

All drainage structures and storm sewer pipes shall meet heavy duty traffic (H20) loading and be installed accordingly.

Contractor shall notify all utility companies having underground utilities on site or in Right-Of-Way prior to excavation. Contractor shall contact utility locating company (STATE ONE CALL system) and locate all utilities prior to grading start.

Site grading shall not proceed until Erosion Control measures have been installed.

After permits have been obtained and Erosion Control measures installed, the contractor shall grade building pad & aprons to 0" to - 1/2" of subgrade.

PROJECT BENCHMARK:

#1 Top of Sanitary Manhole lid in street on north side of project.
N: 1000974.6290
E: 2826739.8680
TOP ELEV. 1006.44

NO. 1
BY EDH
RKS

REVISION
DATE

11/19/21 Staff Comments from 7/29/21
5/26/22 MOVED STORM PIPE AWAY FROM INTERFERENCE
10/12/22 CHANGED PIPE SIZE TO 15" AND REFERENCE COMMENTS FROM GENE WILLIAMS
12/01/22 COMMENT LETTER 11-10-22

DATE

OF MISSOURI
Professional Engineer
12/01/22

Consult Inc
engineers
Inc planners

811

GRADING AND STORM SEWER PLAN

705 SE HIGH STREET DUPLEXES
LEE'S SUMMIT - JACKSON COUNTY - MISSOURI

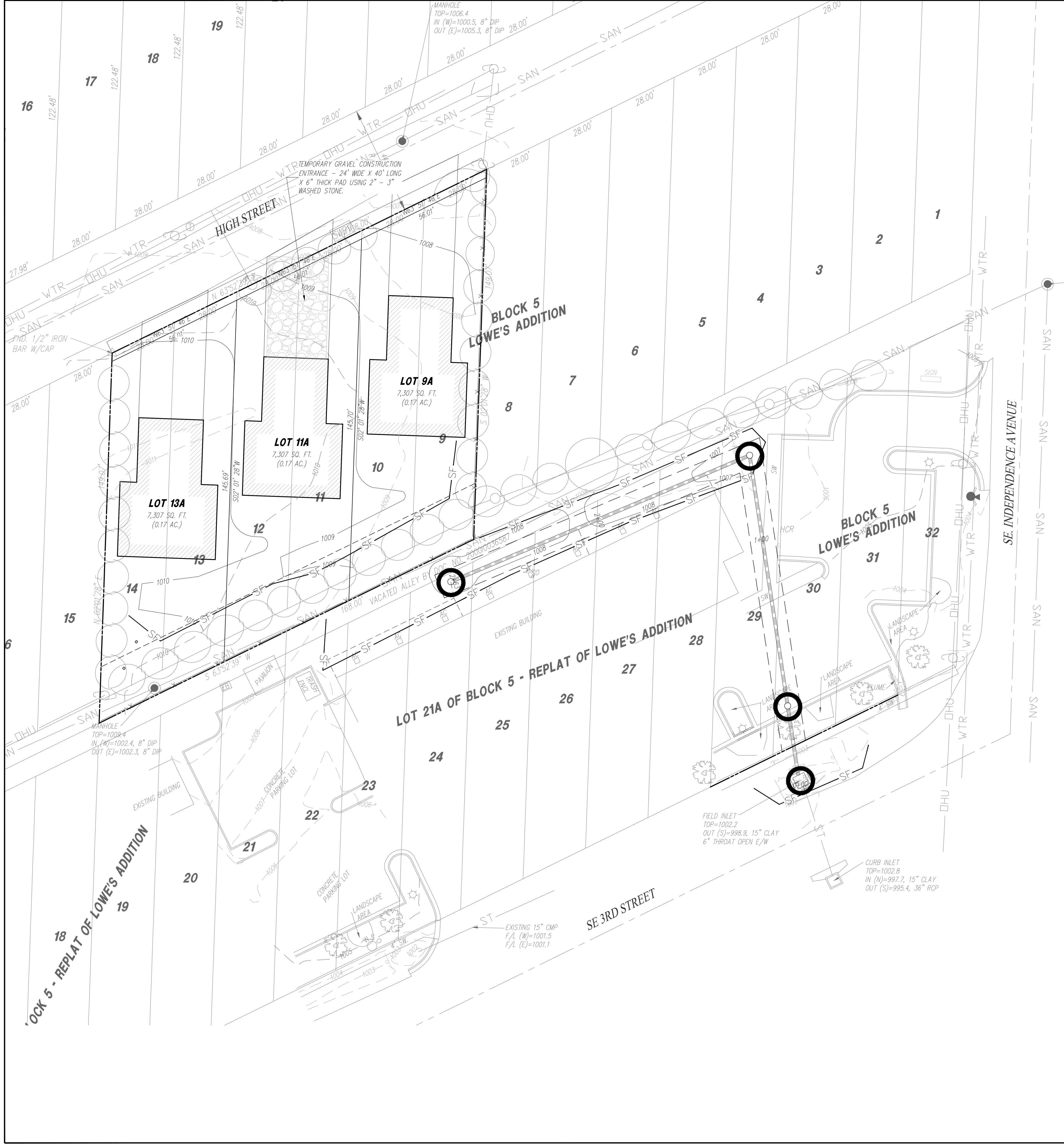
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DRAWING NO.
21085

DATE
OCTOBER 7, 2021

SHEET NO.
21085

3 SHEET OF 7



KEY

PROPOSED	EXISTING
— 979 —	Grades — 960 —
— SF —	Proposed Silt Fence
○	Inlet protection

PROJECT BENCHMARK:
#1 Top of Sanitary Manhole lid in street on north side of project.
N: 1000974.6290
E: 2826739.8680
TOP ELEV. 1006.44

Area of Disturbance: 0.70 AC

EROSION CONTROL PLAN

705 SE HIGH STREET DUPLEXES

LEE'S SUMMIT - JACKSON COUNTY - MISSOURI

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SHEET
OF

NO. BY C/A/P/P

1 EDH RKS

2 EDH RKS

3 EDH RKS

4 EDH RKS

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R. KEVIN STERRETT, NO. E-26440

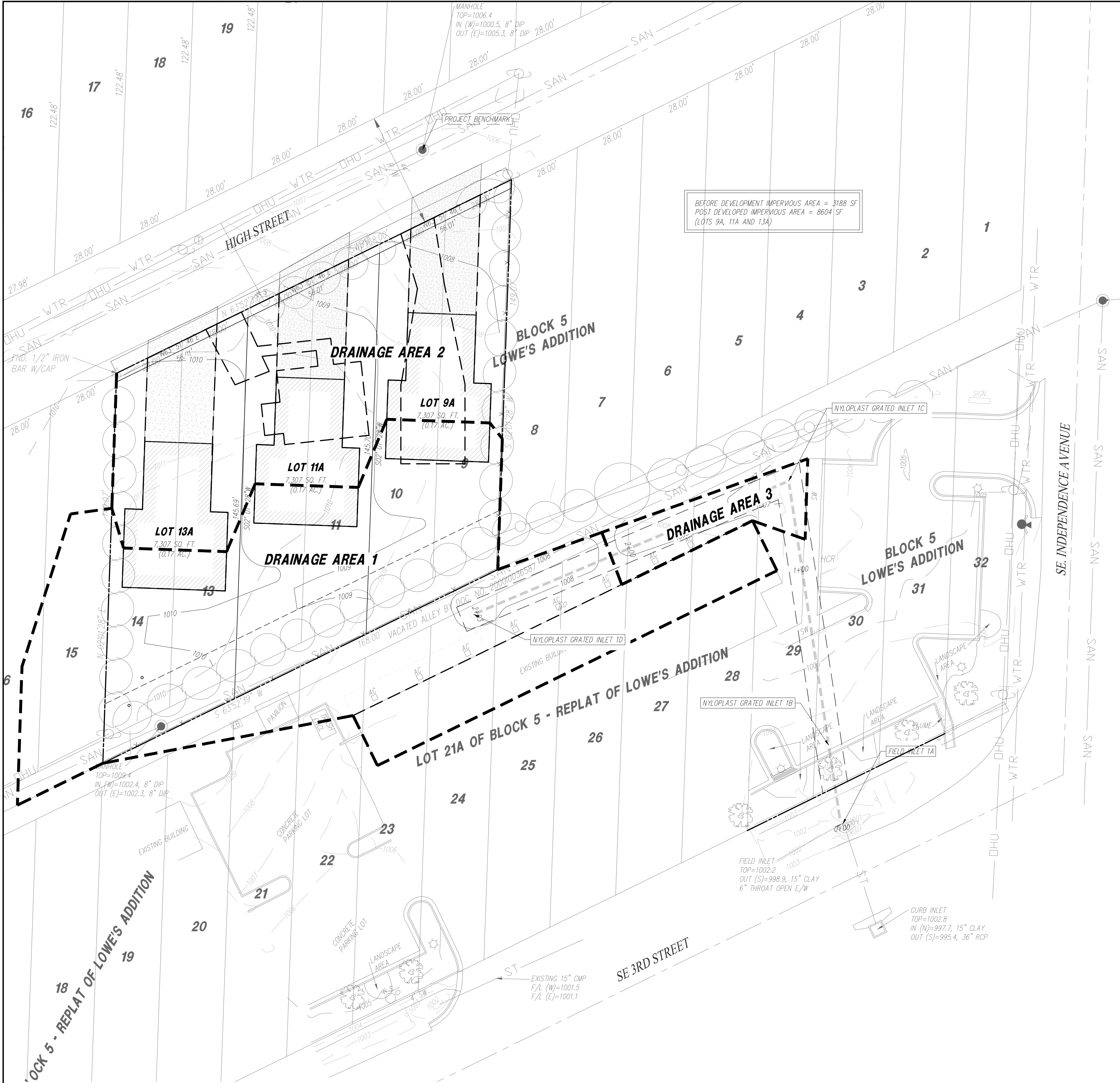
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DRAINAGE AREA 1 (20811 SF)

PRIOR TO DEVELOPMENT:
- 6943 SF PERVIOUS OFFSITE
- 3602 SF IMPERVIOUS OFFSITE
- 10266 SF PERVIOUS ONSITE

AFTER DEVELOPMENT:
- 6943 SF PERVIOUS OFFSITE
- 3602 SF IMPERVIOUS OFFSITE
- 8493 SF PERVIOUS ONSITE
- 1773 SF IMPERVIOUS ONSITE

DRAINAGE AREA 2 (11817 SF)

PRIOR TO DEVELOPMENT:
- 8630 SF PERVIOUS ONSITE
- 3187 SF IMPERVIOUS OFFSITE

AFTER DEVELOPMENT:
- 4979 SF PERVIOUS ONSITE
- 6836 SF IMPERVIOUS ONSITE

DRAINAGE AREA 3 (1536 SF)

PRIOR TO DEVELOPMENT:
- 1536 SF PERVIOUS OFFSITE

AFTER DEVELOPMENT:
- 1536 SF PERVIOUS OFFSITE

Rational method of calculating storm water flow:
 $Q = kCIA$ $C = 0.66$

Area 1 Calculation
 $Q_{10} = (1.00) (0.66) (7.35) (0.48) = 2.32 \text{ cfs}$
 $Q_{100} = (1.25) (0.66) (10.32) (0.48) = 4.08 \text{ cfs}$

Area 2 Calculation
 $Q_{10} = (1.00) (0.66) (7.35) (0.27) = 1.31 \text{ cfs}$
 $Q_{100} = (1.25) (0.66) (10.32) (0.27) = 2.30 \text{ cfs}$

Area 3 Calculation
 $Q_{10} = (1.00) (0.66) (7.35) (0.04) = 0.19 \text{ cfs}$
 $Q_{100} = (1.25) (0.66) (10.32) (0.04) = 0.34 \text{ cfs}$

KEY	
PROPOSED	EXISTING
979	Grades
960	Grades
---	Drainage Area

PROPOSED DRAINAGE AREA 3 (1536 SF)
PRIOR TO DEVELOPMENT:
- 1536 SF PERVIOUS OFFSITE

AFTER DEVELOPMENT:
- 1536 SF PERVIOUS OFFSITE

**All storm sewer piping is designed to carry the 100 year storm event. Storm events that are not carried by storm sewer piping is routed overland in parking lot until the overland flow reaches the south curb line then into flumes.

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11/19/21

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4

EDH

12/01/22

COMMENT LETTER 11-10-22

OF MISSOURI

Professional Engineer

12/01/22

R. KEVIN STERRETT, NO. E-26440

Consult

Inc

engineers

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DRAINAGE AREA MAP

705 SE HIGH STREET DUPLEXES

LEE'S SUMMIT - JACKSON COUNTY - MISSOURI

X-REF NO.

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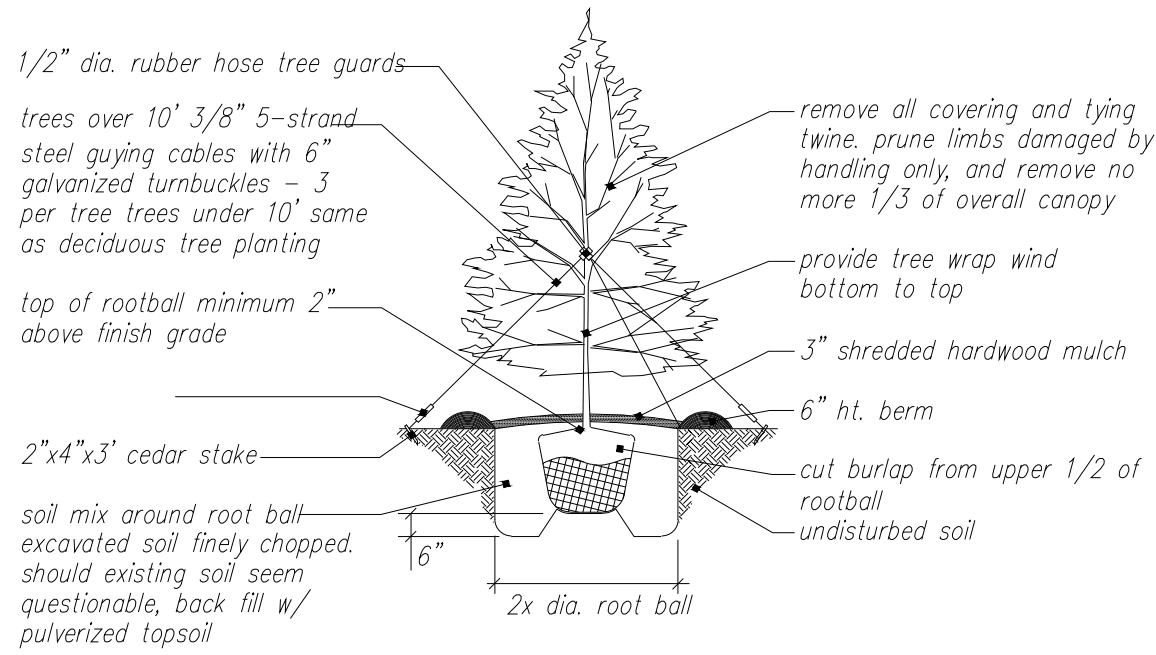
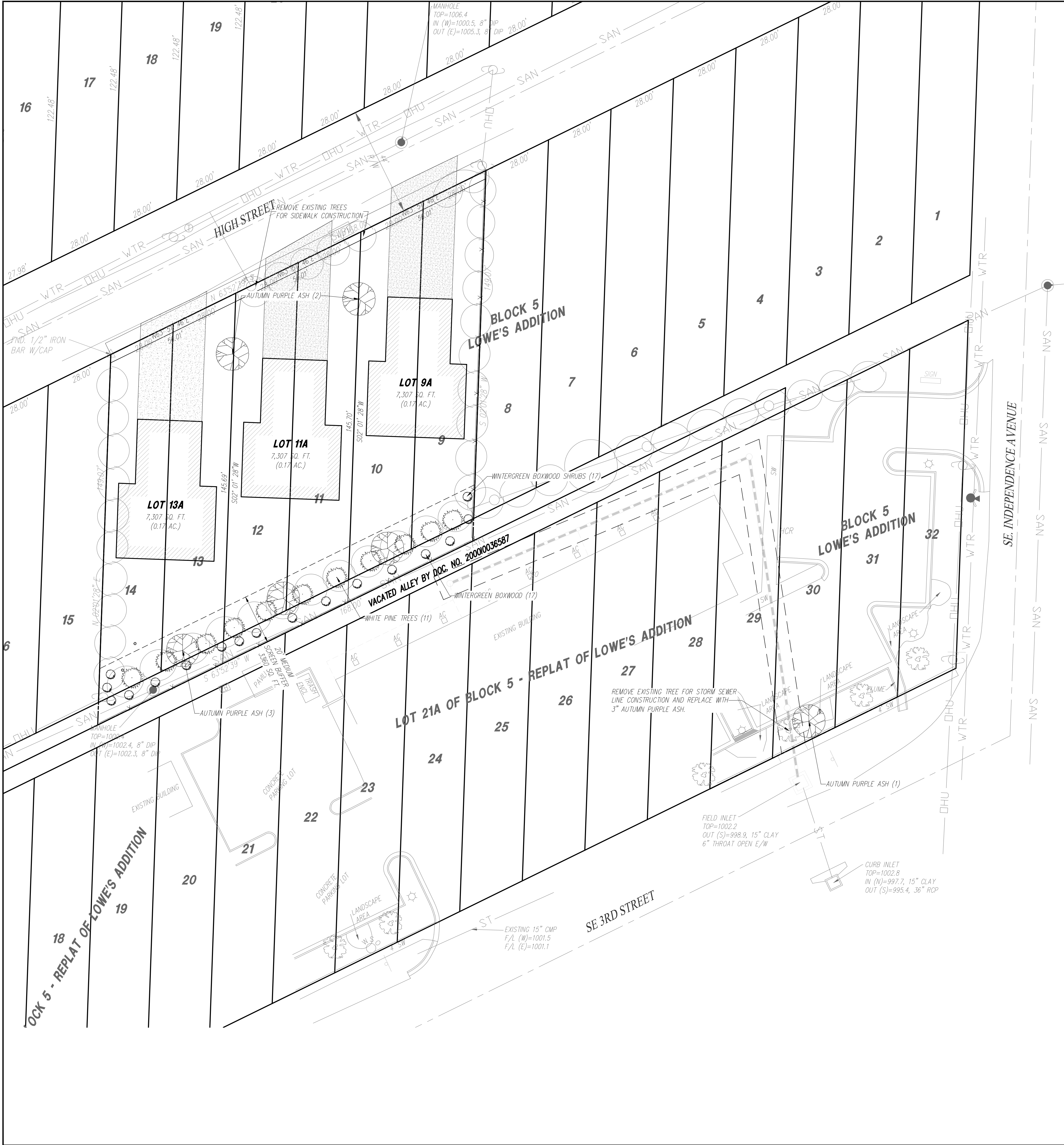
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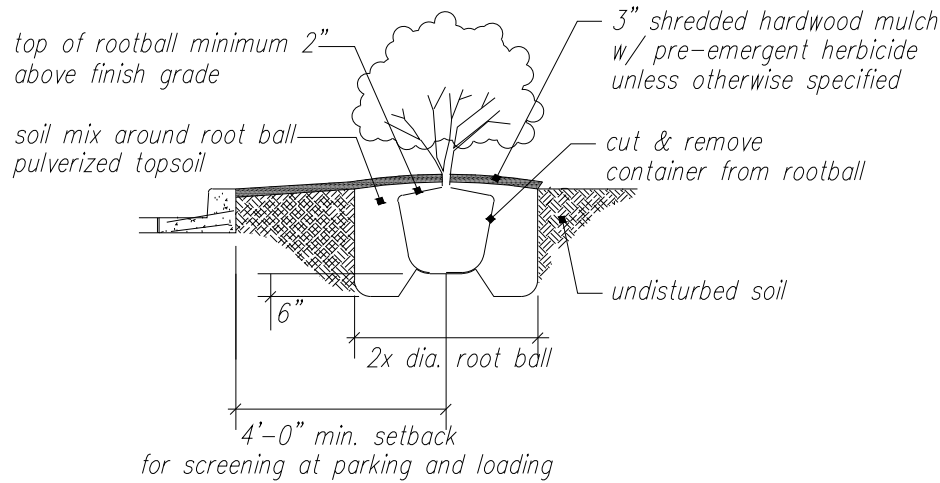
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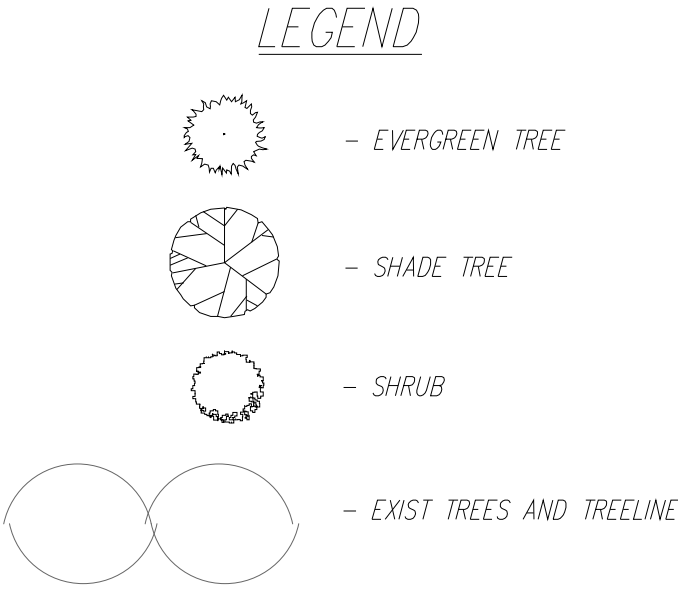
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EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE



SHRUB PLANTING DETAIL
NOT TO SCALE



Buffer Requirements - East & South Side		
Screen	Requirement	Required
Shade Trees	1/1000 sq ft	3
Ornamental Trees	1/500 sq ft	7
Evergreen Trees	1/300 sq ft	11
Shrubs	1/200 sq ft	17
Totals		38

	Quantity	Common Name	Botanical Name	Size & Condition
Shade Tree	6	Autumn Purple Ash	Fraxinus Americana 'Autumn Purple'	3" Cal
Ornamental	7	"Sentinal" Crabapple	Malus X "Sentina"	3" Cal
Evergreen	11	White Pine	Pinus Strobus	8'-0" High
Shrubs	17	Wintergreen Boxwood	Buxus Microphylla	3 Gallon, 18-24 Inches

- NOTES:
- Open areas not covered with other landscaping materials shall be covered with sod.
 - All trees/shrubs are shown graphically, not numerically.
 - A 3 foot tall berm may be substituted for screening shrubs.
 - Trees shall be located a minimum distance of 5 feet from the sanitary and water lines as measured from the outside of the mature tree trunk to the outside of the pipe.
 - The trees and shrubs shown are for graphical purposes and does not represent the actual count required per the worksheet.
 - Evergreen shrubs used to screen mechanical equipment shall be equal height as the mechanical units at the time of planting. All Landscaping to meet Article 14 of the UDO.

LANDSCAPE PLAN

705 SE HIGH STREET DUPLEXES

LEE'S SUMMIT - JACKSON COUNTY - MISSOURI

NO. BY DATE

1 EDH 11/19/21

2 EDH 5/26/22

3 EDH 10/12/22

4 EDH 12/01/22

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R. KEVIN STERRETT, NO E-26440

CORPORATE LICENSE NO. E2000005873

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