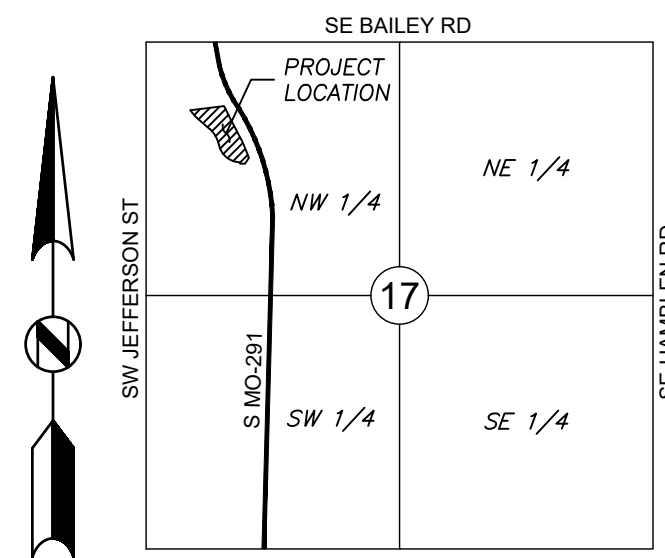


PRSITE20226145

RELEASED FOR CONSTRUCTION As Noted on Plans Review Development Services Department Lee's Summit, Missouri 12/14/2022



VICINITY MAP SECTION S17-T447N-R31W (1" = 2000')

FINAL DEVELOPMENT PLAN FOR MACADOODLES 1499 SW MARKET STREET

CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI
NW 1/4, SECTION S17, TOWNSHIP 47N, RANGE 31W

DATE: 12/08/2022

GENERAL NOTES:

- EXISTING TOPOGRAPHIC INFORMATION SHOWN IS ACCORDING TO TOPOGRAPHIC SURVEY COMPLETED BY ANDERSON ENGINEERING INC. ON FEBRUARY 11, 2022.
- ALL CONSTRUCTION SHALL FOLLOW THE CITY OF LEE'S SUMMIT DESIGN AND CONSTRUCTION MANUAL.
- THE CONTRACTOR SHALL CONTACT THE CITY'S DEVELOPMENT SERVICES ENGINEERING INSPECTION TO SCHEDULE A PRE-CONSTRUCTION MEETING WITH AN INSPECTOR PRIOR TO ANY LAND DISTURBANCE WORK AT (816) 969-1200.

PROJECT SPECIFICATIONS:

THE SPECIFICATIONS FOR THIS PROJECT SHALL BE THE FOLLOWING:

- THE CITY OF LEE'S SUMMIT, MISSOURI
- KANSAS CITY METRO APWA.

THE STANDARD SPECIFICATIONS THROUGH AND INCLUDING THE LATEST AMENDMENTS SHALL BE PART OF THESE PROJECT DRAWINGS AND SPECIFICATIONS AND ARE INCORPORATED HEREIN BY REFERENCE. THE MORE STRINGENT OF THESE STANDARD SPECIFICATIONS AND THOSE PREPARED BY THE ENGINEER PREPARING THESE PLANS SHALL GOVERN.



Know what's below. Call before you dig.



UTILITY CONTACTS:

SANITARY & WATER:
CITY OF LEE'S SUMMIT
JEFF THORN
1200 SE HAMBLEN ROAD
LEE'S SUMMIT, MO 64081
PHONE (816) 969-1900

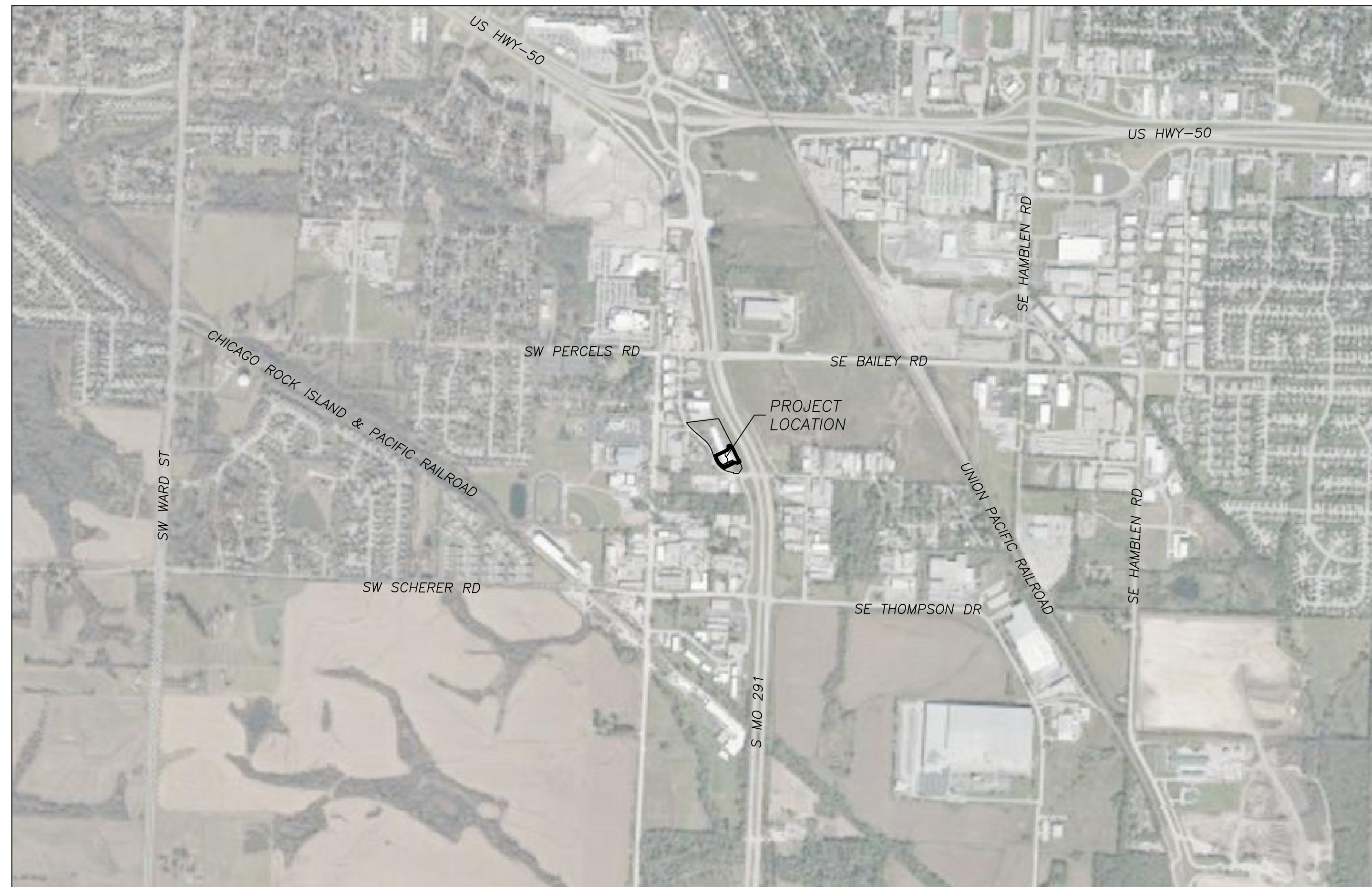
STORMWATER:
CITY OF LEE'S SUMMIT
PUBLIC WORKS
220 SE GREEN STREET
LEE'S SUMMIT, MO 64063
PHONE (816) 969-1800

STREETS:
CITY OF LEE'S SUMMIT
MICHAEL PARK
220 SE GREEN STREET
LEE'S SUMMIT, MO 64063
PHONE (816) 969-1800

AT&T:
RONALD GIFFERT
3025 SW CLOVER DRIVE
LEE'S SUMMIT, MO 64082
PHONE (816) 472-3489

EVERGY:
DOUG DAVIN
1300 SE HAMBLEN ROAD
LEE'S SUMMIT, MO 64081
PHONE (816) 347-4320

MISSOURI GAS ENERGY:
RICHARD FROCK
3025 SW CLOVER DRIVE
LEE'S SUMMIT, MO 64082
PHONE (816) 472-3489



LEGAL DESCRIPTION:

LOT 12-A, SOUTH PORT BUSINESS PARK, LOTS 12-A, A SUBDIVISION IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF.

OIL AND GAS WELL NOTES:

NO ABANDONED OIL OR GAS WELLS HAVE BEEN IDENTIFIED WITHIN THE PROPERTY LIMITS OF THE PROPOSED CONSTRUCTION ACTIVITIES, PER THE MISSOURI DEPARTMENT OF NATURAL RESOURCES (MDNR) PERMITTED OIL AND GAS DATABASE, ACCESSED JUNE 2, 2022.

HISTORIC INFORMATION:

THIS STRUCTURE IS NOT LISTED IN THE NATIONAL REGISTER OF HISTORIC PLACES.

THIS SITE NOT LOCATED IN A LOCAL HISTORIC DISTRICT PER THE MISSOURI DEPARTMENT OF NATURAL RESOURCES HISTORIC DISTRICTS AND SITES DATABASE, ACCESSED JUNE 2, 2022.

LIMITS OF DISTURBANCE: 0.19-AC

FEMA INFORMATION:

THIS SITE IS LOCATED WITHIN ZONE X PER FEMA FIRM MAPS 29095C0438G AND 29095C0419G; EFFECTIVE DATE OF JANUARY 1, 2017. NO LETTERS OF MAP AMENDMENT OR REVISIONS ARE BEING PROPOSED.

WATERSHED:

THIS SITE IS LOCATED WITHIN THE BIG CREEK WATERSHED.

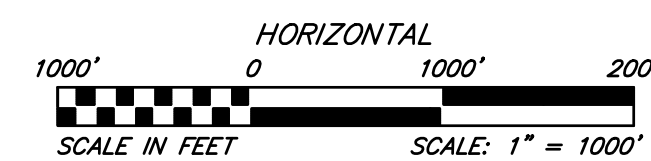
PROJECT BENCHMARK AND CONTROL POINT INFORMATION:

BM #106
N: 992588.2894
E: 2824242.5881
ELEV: 1015.01
DESCRIPTION: SQUARE CUT IN THE SW CORNER OF A CURB INLET

CP #101
N: 992466.7998
E: 2824554.2690
ELEV: 1014.58
DESCRIPTION: 3/8" REBAR WITH CONTROL POINT CAP

CP #100
N: 992920.8857
E: 2824381.2703
ELEV: 1029.91
DESCRIPTION: 3/8" REBAR WITH CONTROL POINT CAP

CP #104
N: 992672.7045
E: 2824175.3764
ELEV: 1015.87
DESCRIPTION: 3/8" REBAR WITH CONTROL POINT CAP



SHEET INDEX

SHEET #	SHEET TITLE
CVR	COVER SHEET
C101	OVERVIEW
C102	SITE PLAN
C103	GRADING PLAN
C104	PHASE 1 EROSION CONTROL PLAN
C104	PHASE 2 EROSION CONTROL PLAN
C201	DETAILS I
C202	DETAILS II

ARCHITECT

D A GROUP, INCORPORATED
5400 JOHNSON DRIVE #149
MISSION, KS 66205
CONTACT: ROBERT DIAMOND, JR. AIA
PHONE: 913-789-8665

OWNER

SOUTHPORT BUSINESS CENTER LLC
1485 SW MARKET STREET
LEE'S SUMMIT, MO 64801
CONTACT: BERNELL RICE
PHONE: 816-260-8604

SURVEYOR

SAM DEPRIEST, P.L.S.
ANDERSON ENGINEERING, INC.
941 W 141ST TERRACE
KANSAS CITY, MISSOURI 64145
PHONE: 816-777-0400

PREPARED & SUBMITTED BY:

ANDERSON ENGINEERING, INC.
941 W 141ST TERRACE
KANSAS CITY, MISSOURI 64145
PHONE: 816-777-0400

CARLIE AKSAMIT, P.E.
MISSOURI PE-2021027777

APPROVED BY:

GOVERNING BODY

AUTHORIZING POSITION DATE

ANDERSON ENGINEERING
EMPLOYEE OWNED

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941 W 141ST TERR. STE. A • KANSAS CITY, MO 64145 • PHONE (816) 777-0400
A LICENSED MISSOURI ENGINEERING & SURVEYING CORPORATION - LC 62

NO.	REVISIONS DESCRIPTION	BY	DATE	DRAWING INFO.			
				DRAWN BY:	CMA	CHECK BY:	PJJ
				LICENSE NO.	12/08/2022	ISSUED FOR:	REVIEW
				JOB NUMBER:	22KC10004		

FINAL DEVELOPMENT PLAN
MACADOODLES 1499 SW MARKET STREET
COVER SHEET

1499 SW MARKET ST, LEE'S SUMMIT, MO 64081

SHEET NUMBER
CVR
1 OF 8

Dec 08, 2022 - 2:24pm Plotted By: calsa G:\Shared drives\VC10 - Land Development\Projects\2022\22KC10004 MacDoodles 1499 SW Market LSW0101 DWG\03-DWG\Sheet\YDP\22KC10004 - SHTS - OVERVIEW.dwg Layout: OVERVIEW



*NOTE: DASHED PARCEL LINES ARE FROM CITY OF LEE'S SUMMIT GIS DATABASE AND ARE NOT SURVEYED. SOME SPACIAL DISCREPANCY MAY BE PRESENT.

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As Noted on Plans Review
Development Services Department
Lee's Summit, Missouri
12/14/2022

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		CHECK BY:	PJJ
		LICENSE NO.:	
		DATE:	12/08/2022
		ISSUED FOR:	REVIEW
		JOB NUMBER:	22KC10004

FINAL DEVELOPMENT PLAN
MACADOODLES 1499 SW MARKET STREET
OVERVIEW
1499 SW MARKET ST, LEE'S SUMMIT, MO 64081

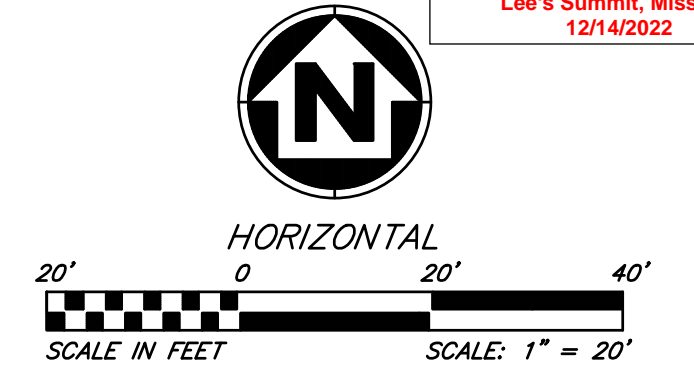
SHEET NUMBER
C101
2 OF 8

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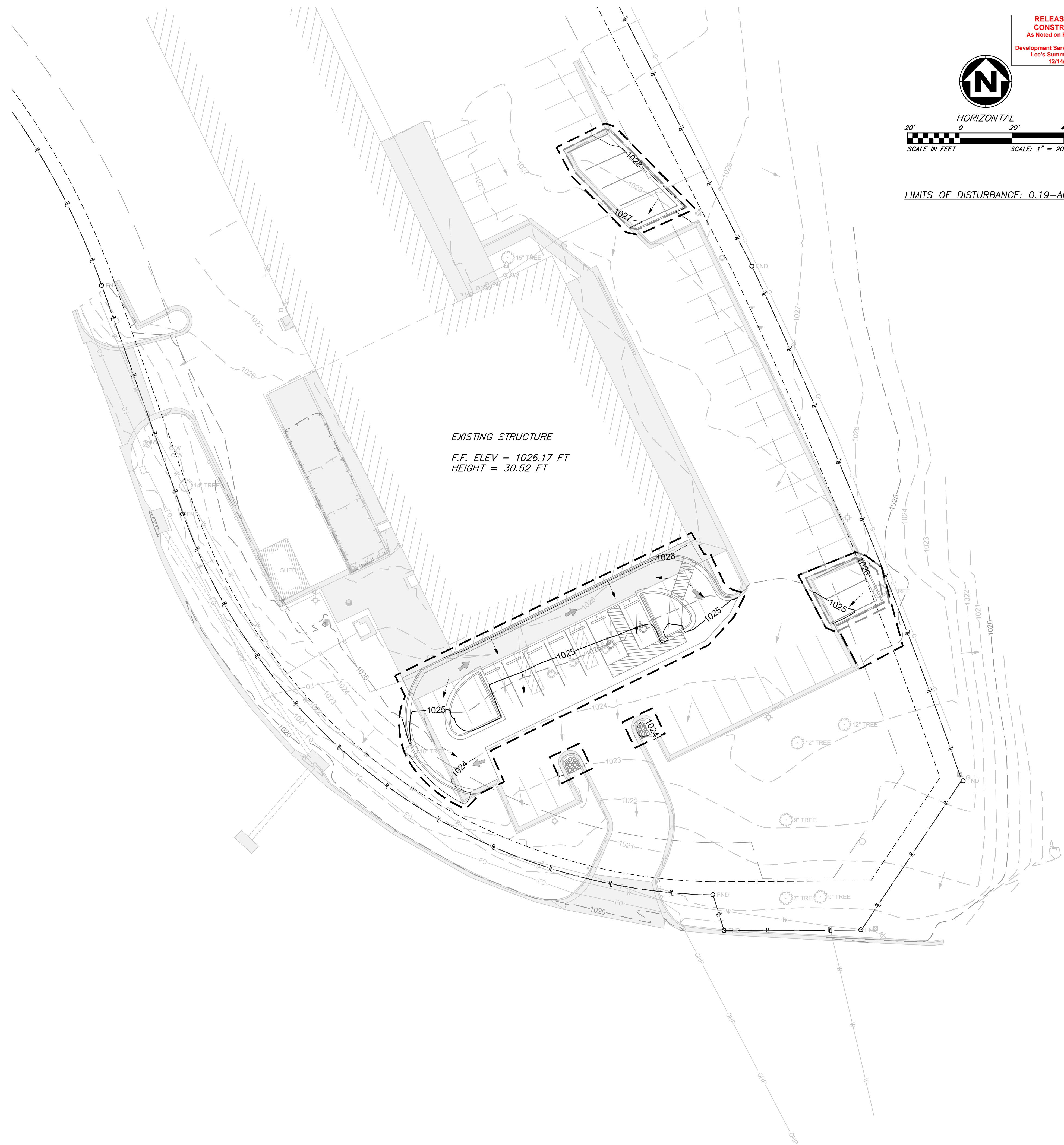
LEGEND

- LIMITS OF DISTURBANCE
- 850— FINISH GRADE 5' CONTOUR
- 849— FINISH GRADE 1' CONTOUR
- - -850- - - EXISTING GRADE 5' CONTOUR
- - -849- - - EXISTING GRADE 1' CONTOUR
- PROPOSED FLOW DIRECTION
- ← EXISTING FLOW DIRECTION

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Development Services Department
Lee's Summit, Missouri
12/14/2022



LIMITS OF DISTURBANCE: 0.19-AC



ANDERSON ENGINEERING
EMPLOYEE OWNED

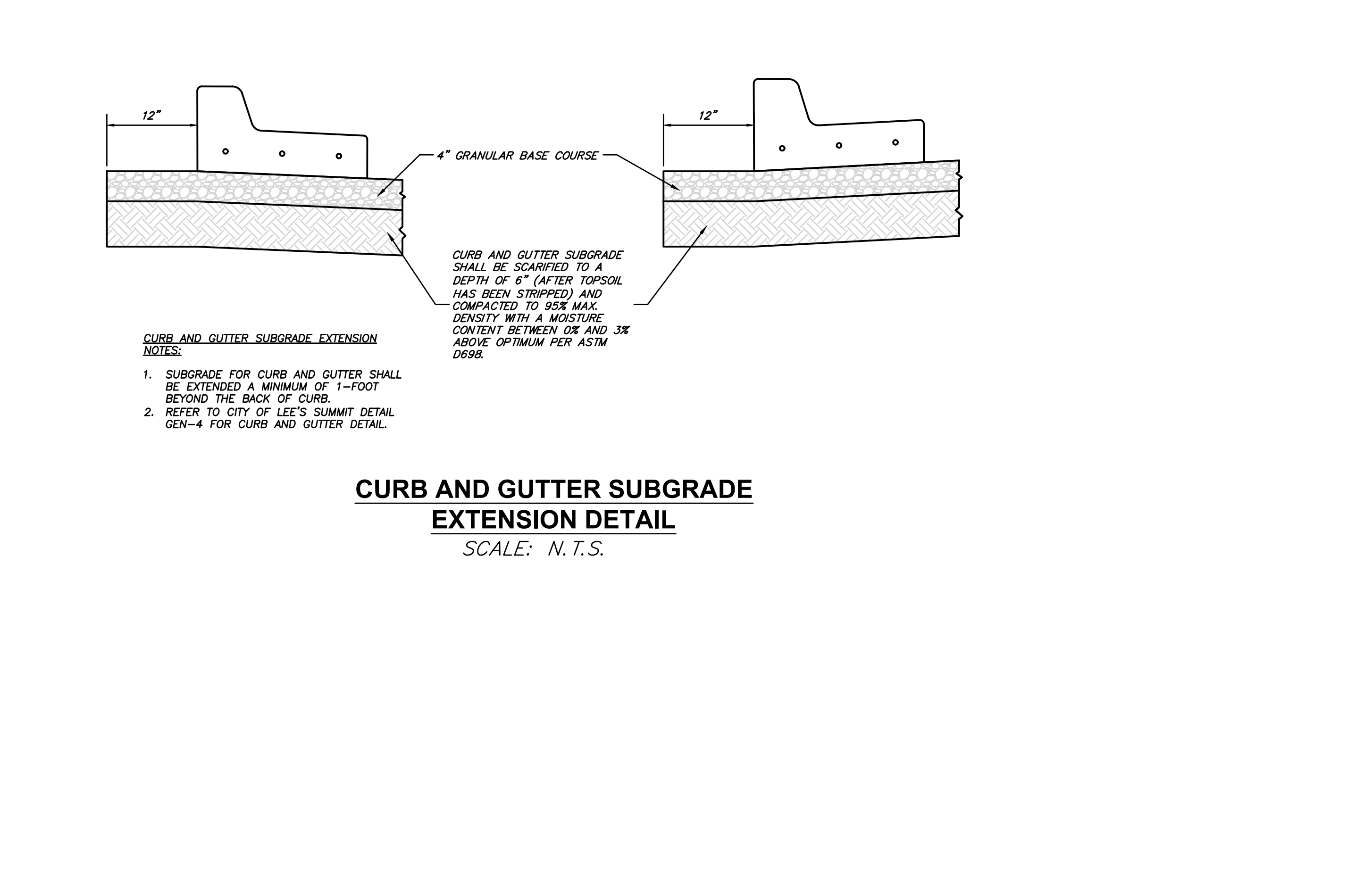
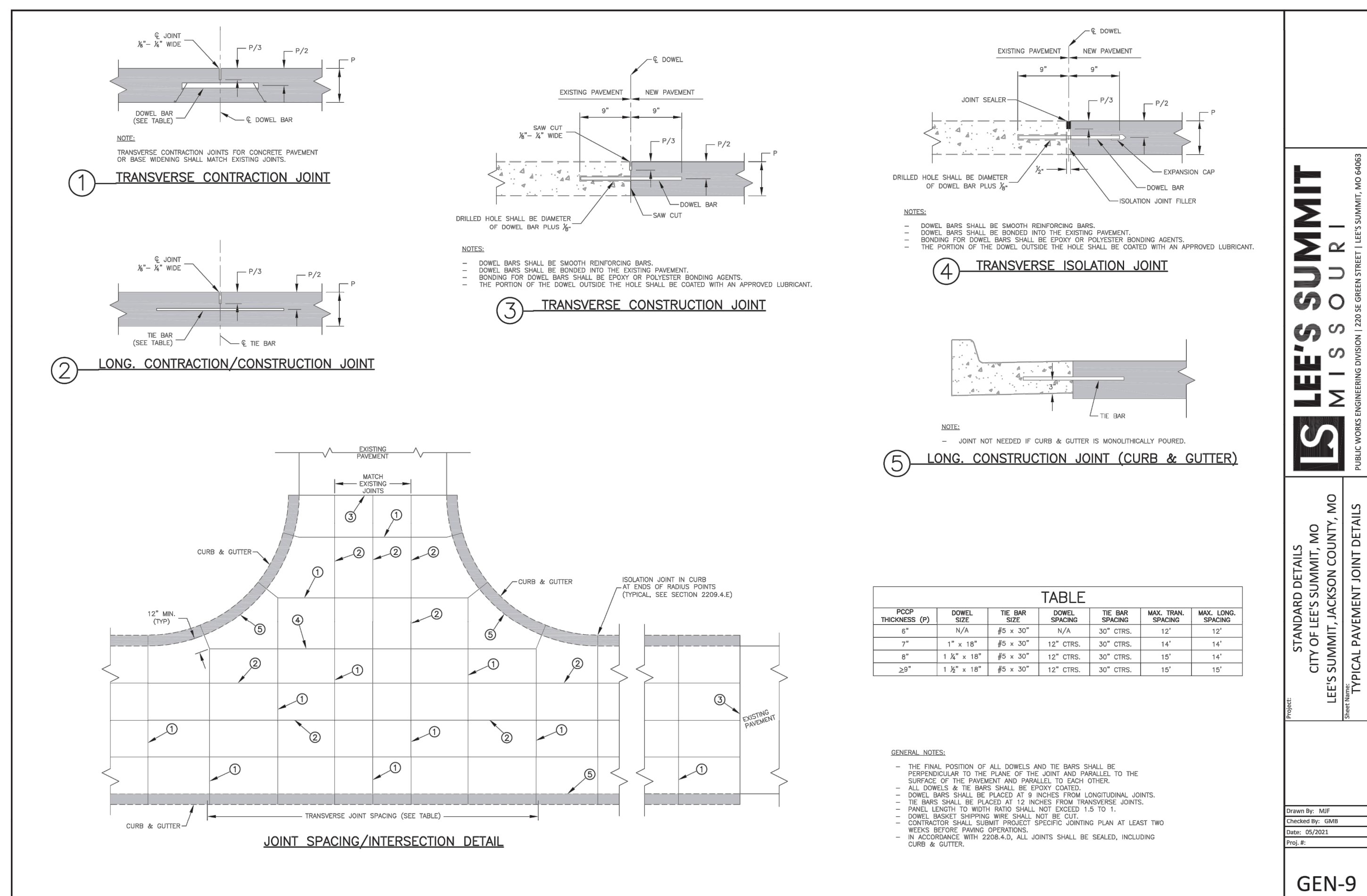
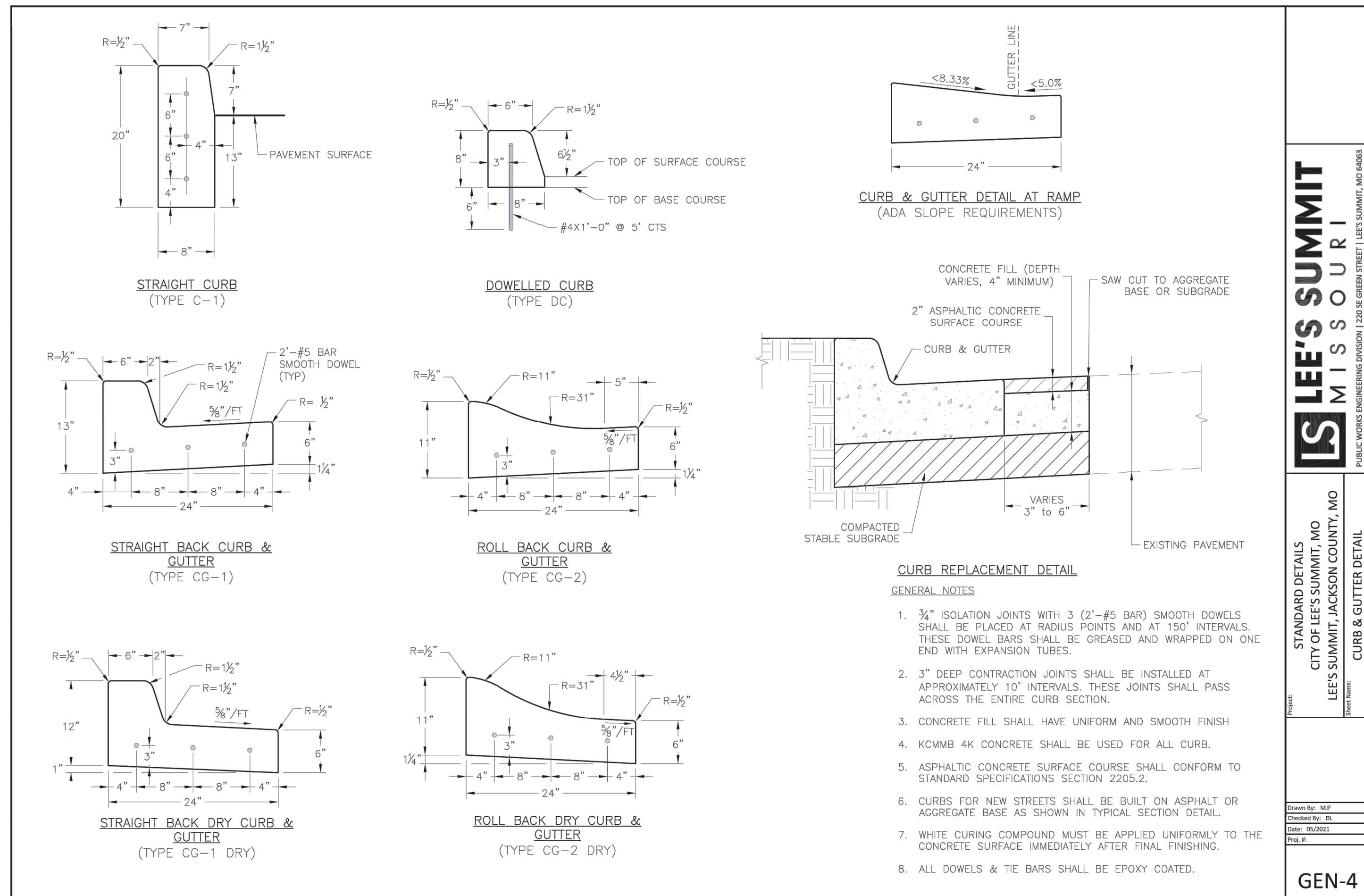
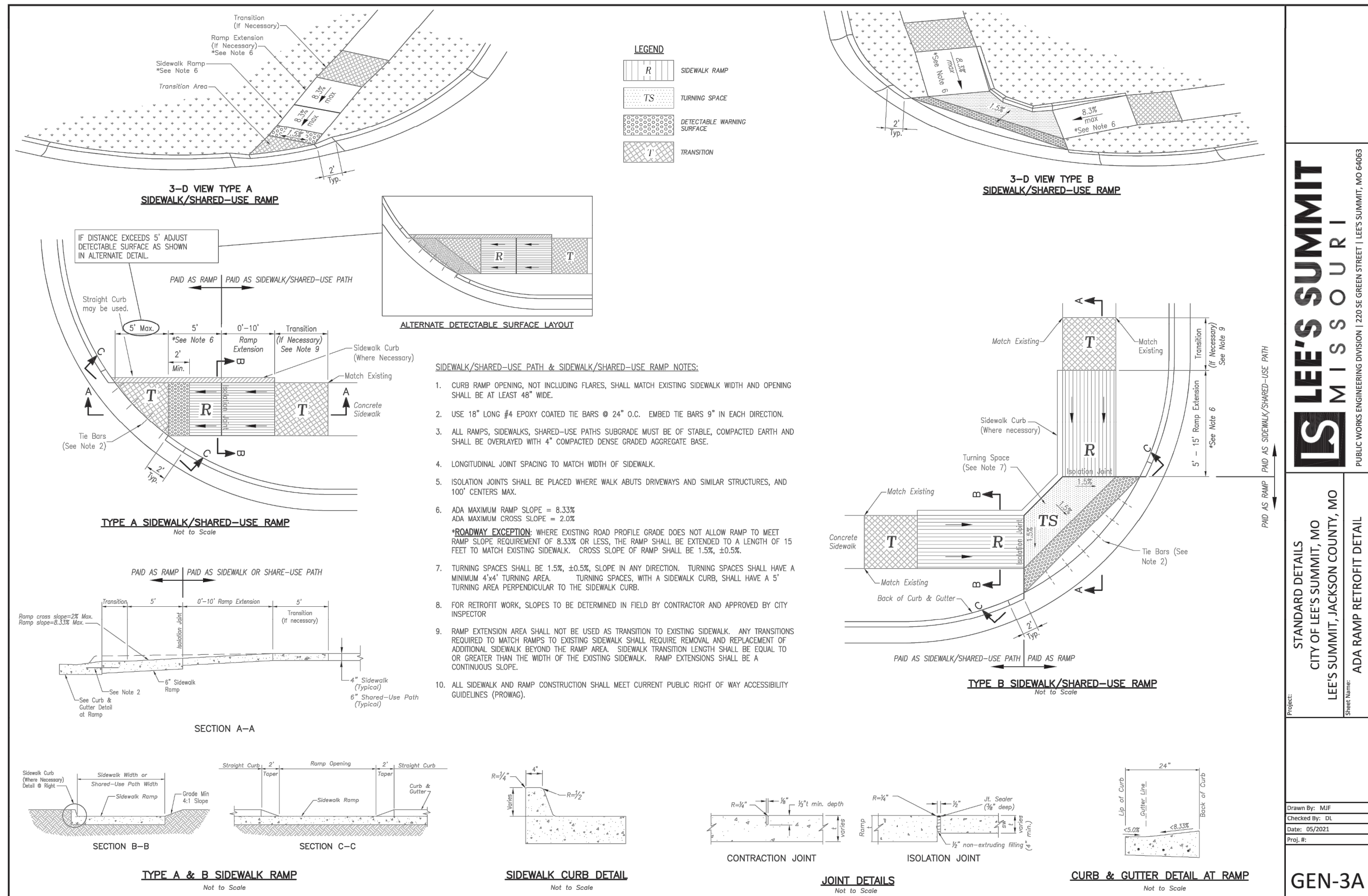
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		DRAWN BY:	CMA
		CHECK BY:	PJJ
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		DATE:	12/08/2022
		ISSUED FOR:	REVIEW
		JOB NUMBER:	22KC10004

FINAL DEVELOPMENT PLAN
MACADOODLES 1499 SW MARKET STREET
GRADING PLAN
1499 SW MARKET ST, LEE'S SUMMIT, MO 64081

SHEET NUMBER
C103
4 OF 8

Dec 08, 2022 2:25pm Plotted By: casca G:\Shared drives\VC10 - Land Development\Projects\2022\22KCT0004_MacDoodles 1499 SW Market LSW\01 CIVL\03-DWG\Sheet\22KCT0004 - Details - Details II



RELEASED FOR CONSTRUCTION As Noted on Plans Review Development Services Department Lee's Summit, Missouri 12/14/2022

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DRAWING INFO.

NO.	DESCRIPTION	DATE	BY	CHECKED BY	ISSUED FOR	JOB NUMBER
				CMA	PJ	22KCT0004

REVISIONS

PREE/IAN/ABE/BEB/EM/BR/ET/JALAN
 MACADOODLES 1499 SW MARKET STREET
DETAILS II
 1499 SW MARKET ST, LEE'S SUMMIT, MO 64081

SHEET NUMBER
C202
 8 OF 8