

CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI
NW 1/4, SECTION S17, TOWNSHIP 47N, RANGE 31W

DATE: 12/08/2022

1. *EXISTING TOPOGRAPHIC INFORMATION SHOWN IS ACCORDING TO TOPOGRAPHIC SURVEY COMPLETED BY ANDERSON ENGINEERING INC. ON FEBRUARY 11, 2022.*
2. *ALL CONSTRUCTION SHALL FOLLOW THE CITY OF LEE'S SUMMIT DESIGN AND CONSTRUCTION MANUAL.*
3. *THE CONTRACTOR SHALL CONTACT THE CITY'S DEVELOPMENT SERVICES ENGINEERING INSPECTION TO SCHEDULE A PRE-CONSTRUCTION MEETING WITH AN INSPECTOR PRIOR TO ANY LAND DISTURBANCE WORK AT (816) 969-1200.*

THE SPECIFICATIONS FOR THIS PROJECT SHALL BE THE FOLLOWING:

1. THE CITY OF LEE'S SUMMIT, MISSOURI
2. KANSAS CITY METRO APWA.

THE STANDARD SPECIFICATIONS THROUGH AND INCLUDING THE LATEST AMENDMENTS SHALL BE PART OF THESE PROJECT DRAWINGS AND SPECIFICATIONS AND ARE INCORPORATED HEREIN BY REFERENCE. THE MORE STRINGENT OF THESE STANDARD SPECIFICATIONS AND THOSE PREPARED BY THE ENGINEER PREPARING THESE PLANS SHALL GOVERN.



SANITARY & WATER:
CITY OF LEE'S SUMMIT
JEFF THORN
1200 SE HAMBLIN ROAD
LEE'S SUMMIT, MO 64081
PHONE (816) 969-1900

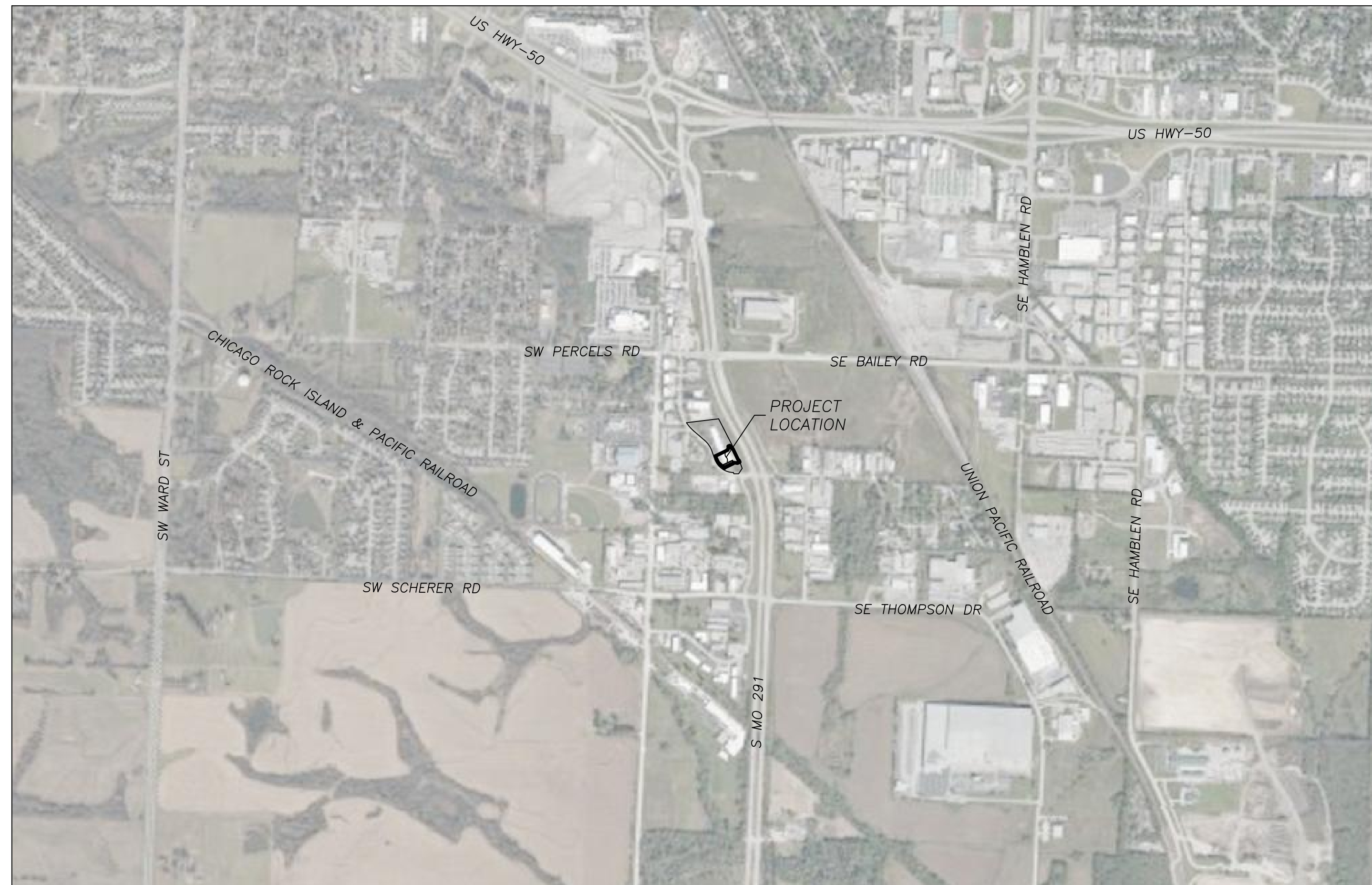
STORMWATER:
CITY OF LEE'S SUMMIT
PUBLIC WORKS
220 SE GREEN STREET
LEE'S SUMMIT, MO 64063
PHONE (816) 969-1800

STREETS:
CITY OF LEE'S SUMMIT
MICHAEL PARK
220 SE GREEN STREET
LEE'S SUMMIT, MO 64063
PHONE (816) 969-1800

AT&T:
RONALD GIPFERT
500 E 8TH STREET
KANSAS CITY, MO 64106
PHONE (816) 275-1550

EVERGY:
DOUG DAVIN
1300 SE HAMBLIN ROAD
LEE'S SUMMIT, MO 64081
PHONE (816) 347-4320

MISSOURI GAS ENERGY:
RICHARD FROCK
3025 SW CLOVER DRIVE
LEE'S SUMMIT, MO 64082
PHONE (816) 472-3489



LOT 12-A, SOUTH PORT BUSINESS PARK,
LOTS 12-A, A SUBDIVISION IN THE CITY OF
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI,
ACCORDING TO THE RECORDED PLAT THEREOF.

NO ABANDONED OIL OR GAS WELLS HAVE BEEN IDENTIFIED WITHIN THE PROPERTY LIMITS OF THE PROPOSED CONSTRUCTION ACTIVITIES, PER THE MISSOURI DEPARTMENT OF NATURAL RESOURCES (MDNR) PERMITTED OIL AND GAS DATABASE, ACCESSED JUNE 2, 2022.

THIS STRUCTURE IS NOT LISTED IN THE NATIONAL REGISTER OF HISTORIC PLACES.

THIS SITE NOT LOCATED IN A LOCAL HISTORIC DISTRICT PER THE MISSOURI DEPARTMENT OF NATURAL RESOURCES HISTORIC DISTRICTS AND SITES DATABASE, ACCESSED JUNE 2, 2022.

HORIZONTAL

1000' 0 1000' 2000'

SCALE IN FEET SCALE: 1" = 1000'

THIS SITE IS LOCATED WITHIN
ZONE X PER FEMA FIRM MAPS
29095C0438G AND 29095C0419G:
EFFECTIVE DATE OF JANUARY 1,
2017. NO LETTERS OF MAP
AMENDMENT OR REVISIONS ARE
BEING PROPOSED.

THIS SITE IS LOCATED WITHIN THE
BIG CREEK WASTERSHED.

BM #106
N: 992588.2894
E: 2824242.5881
ELEV: 1015.01
DESCRIPTION: SQUARE CUT IN THE
SW CORNER OF A CURB INLET

CP #100
N: 992920.8857
E: 2824381.2703
ELEV: 1029.91
DESCRIPTION: $\frac{3}{8}$ " REBAR WITH
CONTROL POINT CAP

CP #101
N: 992466.7998
E: 2824554.2690
ELEV: 1014.58
DESCRIPTION: $\frac{3}{8}$ " REBAR WITH
CONTROL POINT CAP

CP #104
N: 992672.7045
E: 2824175.3764
ELEV: 1015.87
DESCRIPTION: $\frac{3}{8}$ " REBAR WITH
CONTROL POINT CAP

<i>SHEET #</i>	<i>SHEET TITLE</i>
<i>CVR</i>	<i>COVER SHEET</i>
<i>C101</i>	<i>OVERVIEW</i>
<i>C102</i>	<i>SITE PLAN</i>
<i>C103</i>	<i>GRADING PLAN</i>
<i>C104</i>	<i>PHASE 1 EROSION CONTROL PLAN</i>
<i>C104</i>	<i>PHASE 2 EROSION CONTROL PLAN</i>
<i>C201</i>	<i>DETAILS I</i>
<i>C202</i>	<i>DETAILS II</i>

D A GROUP, INCORPORATED
5400 JOHNSON DRIVE #149
MISSION, KS 66205
CONTACT: ROBERT DIAMOND, JR. AIA
PHONE: 913-789-8665

SOUTHPORT BUSINESS CENTER LLC
1485 SW MARKET STREET
LEE'S SUMMIT, MO 64801
CONTACT: BERNELL RICE
PHONE: 816-260-8604

SAM DEPRIEST, P.L.S.
ANDERSON ENGINEERING, INC.
941 W 141ST TERRACE
KANSAS CITY, MISSOURI 64145
PHONE: 816-777-0400

ANDERSON ENGINEERING, INC.
941 W 141ST TERRACE
KANSAS CITY, MISSOURI 64145
PHONE: 816-777-0400

CARLIE AKSAMIT, P.E
MISSOURI PE-2021027777

GOVERNING BODY

AUTHORIZING POSITION DATE



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NO.	DESCRIPTION	BY	DATE
		DRAWN BY:	CMA
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		LICENSE NO.	
		DATE:	12/08/2022
		ISSUED FOR:	REVIEW
		JOB NUMBER:	22KC10004

FINAL DEVELOPMENT PLAN
MACADOODLES 1499 SW MARKET STREET

COVER SHEET

1499 SW MARKET ST, LEE'S SUMMIT, MO 64081

SHEET NUMBER
CVR
1 OF 8

Dec 08, 2022 - 2:24pm Plotted By: calsu G:\Shared drives\VC10 - Land Development\Projects\2022\22KC10004 MacDoodles 1499 SW Market LSW0101 CMA\03-DWG\Sheet\DP\22KC10004 - SPTS - OVERVIEW.dwg Layout: OVERVIEW



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		JOB NUMBER:	22KC10004

FINAL DEVELOPMENT PLAN
MACADOODLES 1499 SW MARKET STREET

OVERVIEW

1499 SW MARKET ST, LEE'S SUMMIT, MO 64081

SHEET NUMBER
C101
2 OF 8

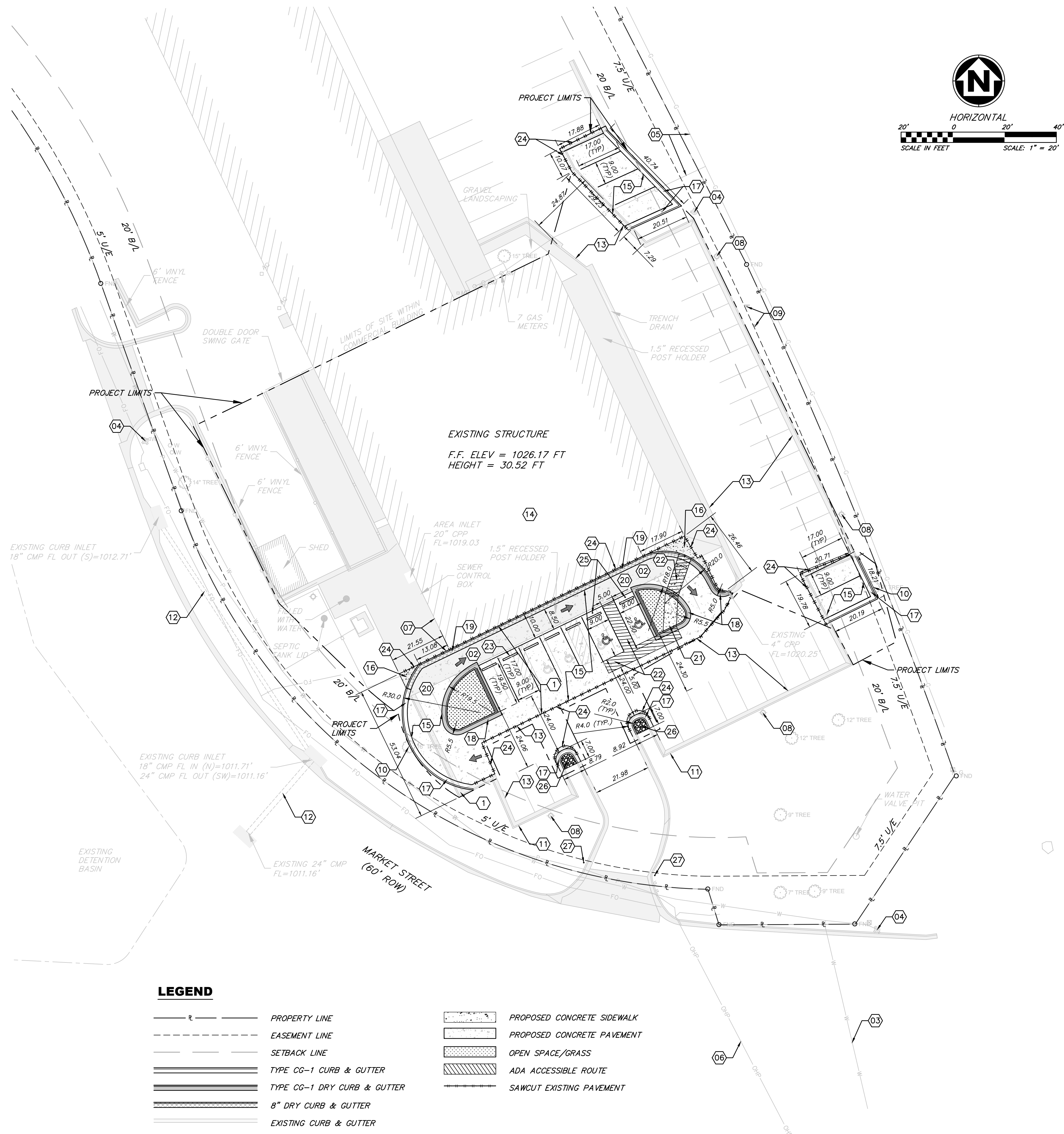
LIQUOR STORE
(APPROVED IN CP-2 ZONING PER CITY OF LEE'S SUMMIT UDO SEC. 6.040 TABLE 6-1).

CP-2 (PLANNED COMMUNITY COMMERCIAL)

<u>PARCEL AREA: 157,955 S.F. (3.63 AC)</u> <u>SITE AREA: 34,075 S.F. (0.78--AC)</u>		
<u>PARCEL</u> IMPERVIOUS AREA: OPEN SPACE: INCREASED IMPERVIOUS AREA	<u>EXISTING</u> 108,834 S.F. (68.9%) 49,121 S.F. (31.1%) N/A	<u>PROPOSED</u> 109,846 S.F. (69.5%) 48,109 S.F. (30.5%) 1,012 S.F. (+0.64%)
<u>BUILDING</u> TOTAL COMMERCIAL BUILDING AREA: SITE BUILDING AREA: HEIGHT: TOTAL COMMERCIAL BUILDING FLOOR AREA RATIO:		
	30,000 S.F. 12,000 S.F. 30.52 FEET	SAME AS EXISTING SAME AS EXISTING SAME AS EXISTING
	0.19 FAR (MAX 0.55 FAR FOR CP-2 ZONING)	
<u>PARKING</u> TOTAL STALL COUNT ADA STALL COUNT		
	SHOPPING CENTER* 150 6 (1 VAN ACCESSIBLE)	150 5 (1 VAN ACCESSIBLE)
*FOR SHOPPING CENTERS BETWEEN 25,000 S.F. AND 399,999 S.F., 5 PARKING STALLS ARE REQUIRED PER 1,000 S.F. OF GROSS FLOOR AREA. FOR A 150--STALL PARKING LOT, THE MINIMUM NUMBER OF ADA ACCESSIBLE STALLS IS FIVE (5) AND THE MINIMUM NUMBER OF ADA VAN--ACCESSIBLE STALLS IS ONE (1).		

- 01 EXISTING ASPHALTIC PAVEMENT TO BE REMOVED.
- 02 EXISTING CONCRETE SIDEWALK TO BE REMOVED.
- 03 EXISTING WATER MAIN.
- 04 EXISTING FIRE HYDRANT.
- 05 EXISTING GAS LINE.
- 06 EXISTING OVERHEAD UTILITIES.
- 07 EXISTING CONCRETE PAVEMENT TO REMAIN. DO NOT DISTURB.
- 08 EXISTING LIGHT POLE.
- 09 EXISTING PARKING SIGNS TO BE REMOVED.
- 10 EXISTING TREE TO BE REMOVED.
- 11 EXISTING CURB CUT FOR DRAINAGE.
- 12 EXISTING STORM SEWER.
- 13 EXISTING ASPHALTIC PAVEMENT TO REMAIN.
- 14 EXISTING BUILDING. SEE ARCHITECTURAL PLANS FOR MODIFICATION DETAILS.
- 15 CONCRETE PAVEMENT SECTION PER DETAIL ON SHEET C201. REFER TO JOINTING DETAIL GEN-9 ON SHEET C202.
- 16 CONCRETE SIDEWALK, WIDTH VARIES.
- 17 STRAIGHT BACK CURB & GUTTER (TYPE CG-1) PER DETAIL GEN-4 ON SHEET C202.
- 18 STRAIGHT BACK DRY CURB & GUTTER (TYPE CG-1 DRY) PER DETAIL GEN-4 ON SHEET C202.
- 19 8" STRAIGHT BACK DRY CURB & GUTTER PER DETAIL ON SHEET C201.
- 20 DRIVE-THROUGH LANE.
- 21 TYPE A ADA RAMP PER DETAIL GEN-3A ON SHEET C202.
- 22 ADA ACCESSIBLE ROUTE.
- 23 PARKING BLOCKS (TYP.) PER DETAIL ON SHEET C201.
- 24 SAWCUT EXISTING PAVEMENT.
- 25 ADA PARKING SIGN. SIGNS SHALL BE PLACED AT A HEIGHT AT LEAST 60" ABOVE THE GROUND SURFACE.
- 26 RECONFIGURE EXISTING CONCRETE ISLANDS. REMOVE AND REPLACE EXISTING LANDSCAPING STONE.
- 27 "NO PARKING - FIRE LANE" SIGN. SIGNS SHALL BE PLACED AT A HEIGHT AT LEAST 60" ABOVE THE GROUND SURFACE.

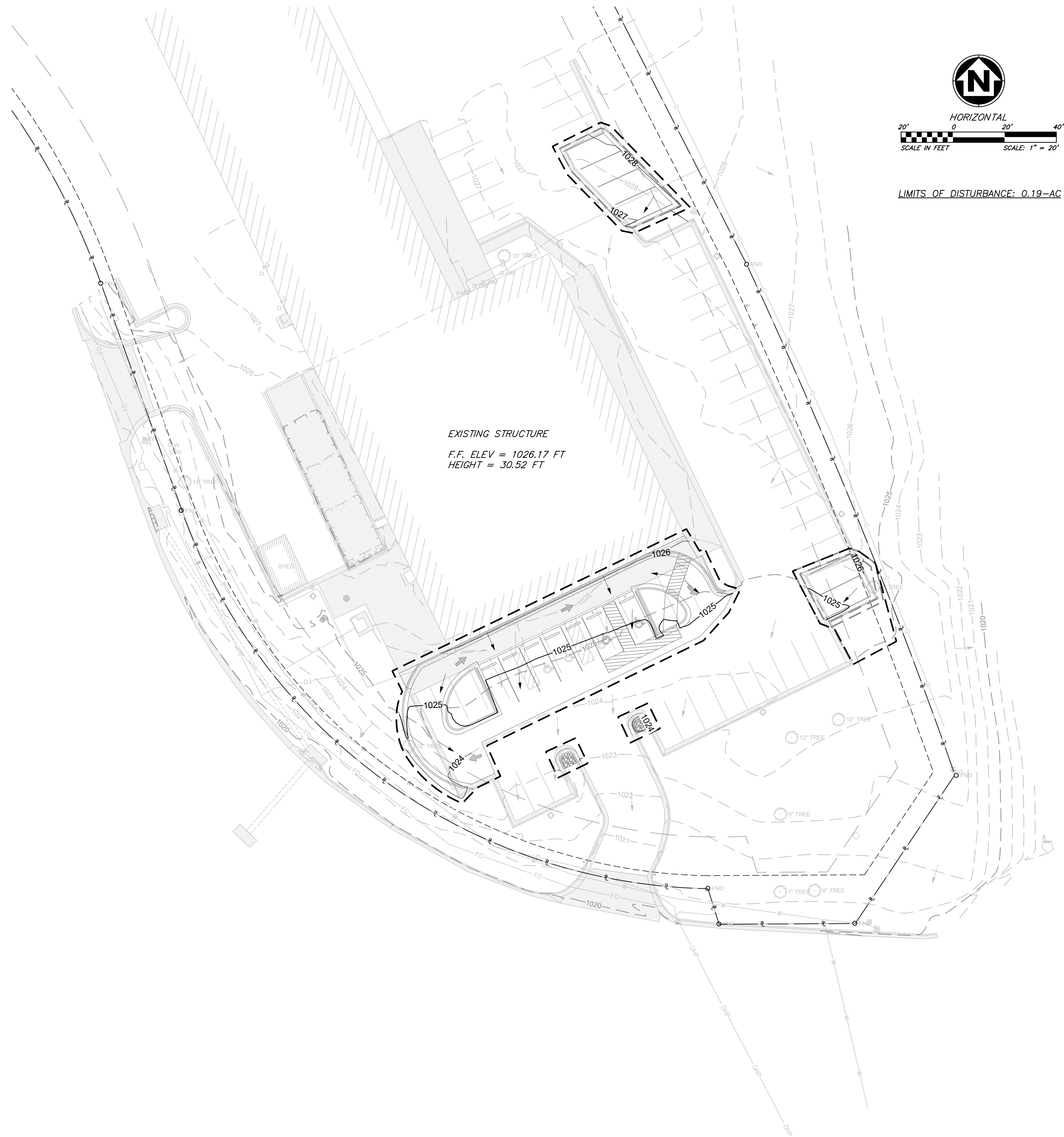
1. ALL EXISTING UTILITIES TO THE EXISTING BUILDING WILL BE USED IN PLACE. NO ADDITIONAL EXTERNAL UTILITIES ARE ANTICIPATED.
2. ALL ISSUES PERTAINING TO LIFE SAFETY AND PROPERTY PROTECTION FROM THE HAZARDS OF FIRE, EXPLOSION OR DANGEROUS CONDITIONS IN NEW AND EXISTING BUILDINGS, STRUCTURES AND PREMISES, AND TO THE SAFETY OF FIRE FIGHTERS AND EMERGENCY RESPONDERS DURING EMERGENCY OPERATIONS, SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL FIRE CODE.



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 LIMITS OF DISTURBANCE
 850 FINISH GRADE 5' CONTOUR
 849 FINISH GRADE 1' CONTOUR
 850 EXISTING GRADE 5' CONTOUR
 849 EXISTING GRADE 1' CONTOUR
 PROPOSED FLOW DIRECTION
 EXISTING FLOW DIRECTION



FINAL DEVELOPMENT PLAN
MACADOODLES 1499 SW MARKET STREET
GRADING PLAN

SHEET NUMBER
C103
4 OF 8

REVIEWS			DRAWING INFO.	
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LEGEND:

-
- LIMITS OF DISTURBANCE

FINISH GRADE 5' CONTOUR

FINISH GRADE 1' CONTOUR

EXISTING GRADE 5' CONTOUR

EXISTING GRADE 1' CONTOUR

PROPOSED FLOW DIRECTION

EXISTING FLOW DIRECTION

-
- SILT FENCE

FILTREXX SILTSOXX® OR APPROVED EQUAL

CURB INLET PROTECTION

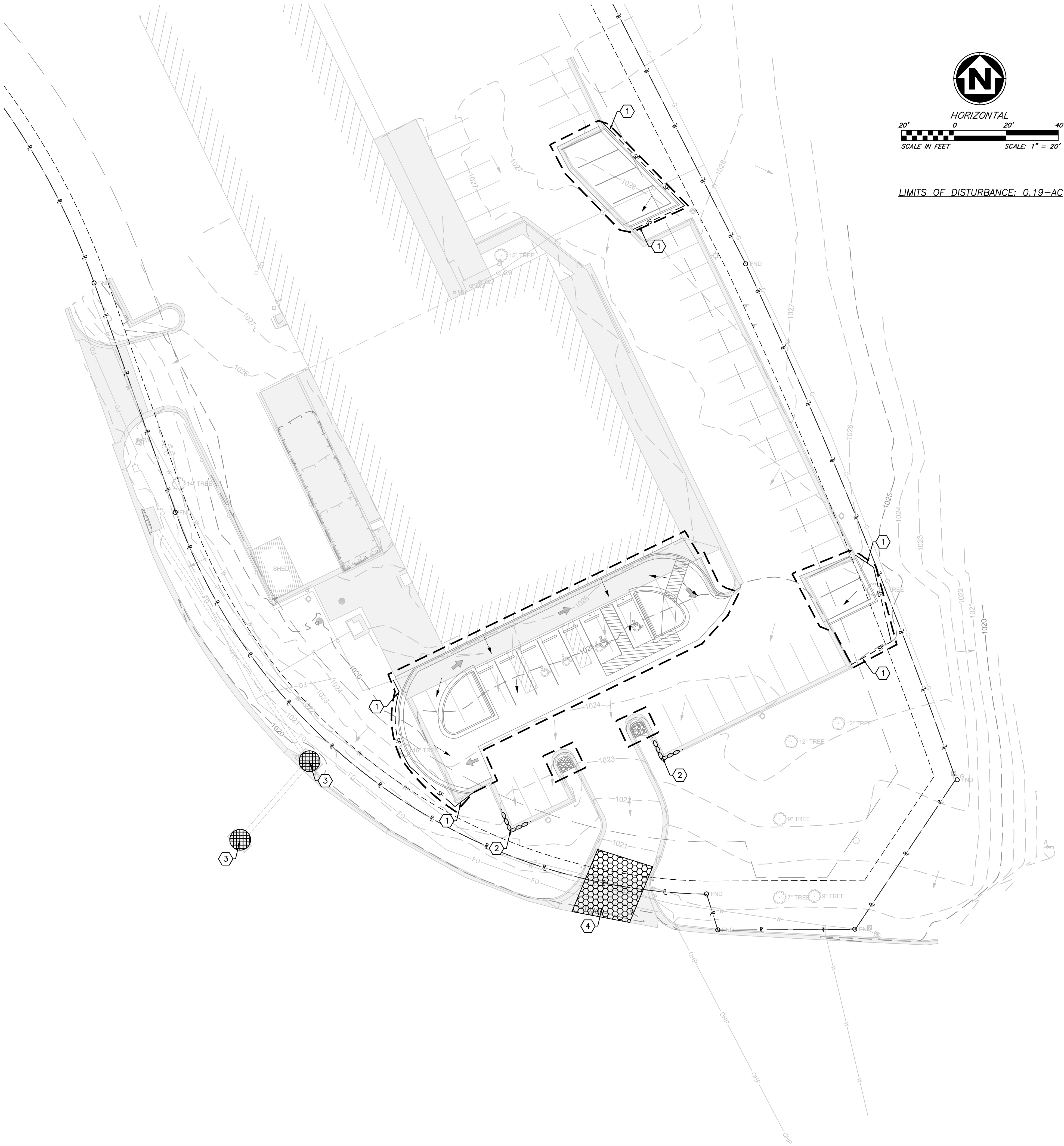
TEMPORARY CONSTRUCTION EXIT

SEQUENCE OF CONSTRUCTION:

- PHASE II OF LAND DISTURBANCE:
1. TEMPORARILY STABILIZE, THROUGHOUT CONSTRUCTION, DENUDEED AREAS THAT WILL BE INACTIVE FOR 14 DAYS OR MORE.
 2. INSTALL STORM SEWERS.
 3. INSTALL INLET PROTECTION AT ALL INLET STRUCTURES AS EACH INLET STRUCTURE IS INSTALLED.
 4. COMPLETE GRADING AND FINAL STABILIZATION OVER ALL AREAS.
 5. ONCE FINAL STABILIZATION OF AT LEAST 70% OF THE DISTURBED AREA HAS BEEN REACHED AND THE CITY HAS APPROVED FINAL INSPECTION, ALL EROSION CONTROL DEVICES (SILT FENCE, INLET PROTECTION, CONCRETE WASHOUT, ETC...) SHALL BE REMOVED AND RESPONSIBLY DISPOSED OF BY THE CONTRACTOR.

EROSION & SEDIMENTATION CONTROL MAINTENANCE:

- ALL MEASURES STATED ON THIS SITE MAP SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:
1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR DETERIORATION.
 2. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
 3. THE CONSTRUCTION EXITS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION EXITS AS CONDITIONS DEMAND.
 4. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AREA AS CONDITIONS DEMAND.



FINAL DEVELOPMENT PLAN
MACADOODLES 1499 SW MARKET STREET

PHASE 2 EROSION
CONTROL PLAN

SHEET NUMBER
C105
6 OF 8

1499 SW MARKET ST, LEE'S SUMMIT, MO 64081

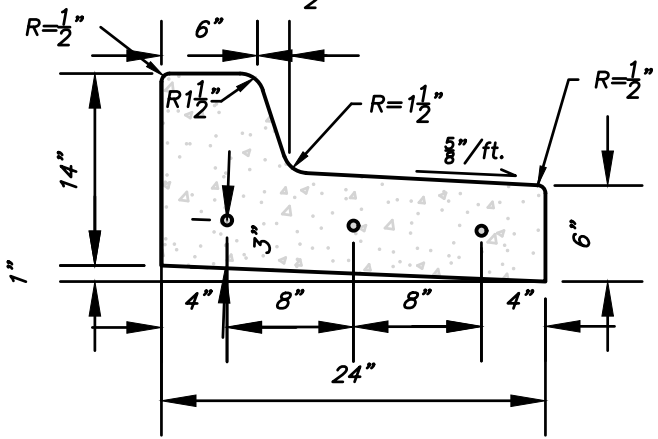
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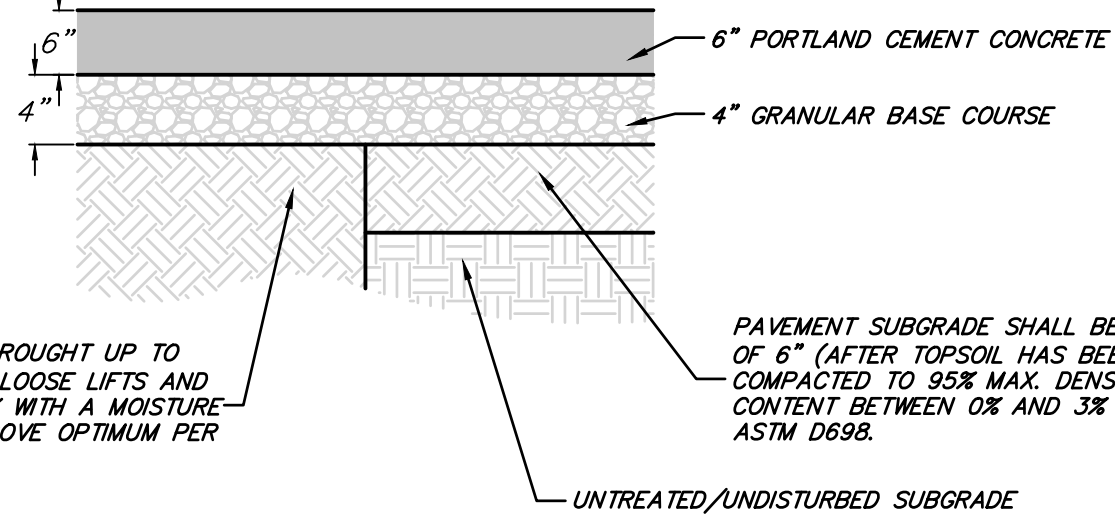
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1. 3" ISOLATION JOINTS WITH 3 (2"-#5 BAR) SMOOTH DOWELS SHALL BE PLACED AT RADIUS POINTS AND AT 150' INTERVALS. THESE DOWEL BARS SHALL BE GREASED AND WRAPPED ON ONE END WITH EXPANSION TUBES.
2. 3" DEEP CONTRACTION JOINTS SHALL BE INSTALLED AT APPROXIMATELY 10' INTERVALS. THESE JOINTS SHALL PASS ACROSS THE ENTIRE CURB SECTION.
3. CONCRETE FILL SHALL HAVE UNIFORM AND SMOOTH FINISH.
4. KOMMB 4K CONCRETE SHALL BE USED FOR ALL CURB.
5. ASPHALTIC CONCRETE SURFACE COURSE SHALL CONFORM TO CITY OF LEE'S SUMMIT STANDARD SPECIFICATIONS SECTION 2205.2.
6. WHITE CURING COMPOUND MUST BE APPLIED UNIFORMLY TO THE CONCRETE SURFACE IMMEDIATELY AFTER FINAL FINISHING.
7. ALL DOWELS & THE BARS SHALL BE EPOXY COATED.
8. DURING DRY CURB TRANSITIONS, WATER SHALL FLOW FROM THE GUTTER TO THE LIP @ 0.5% MIN. SLOPE.

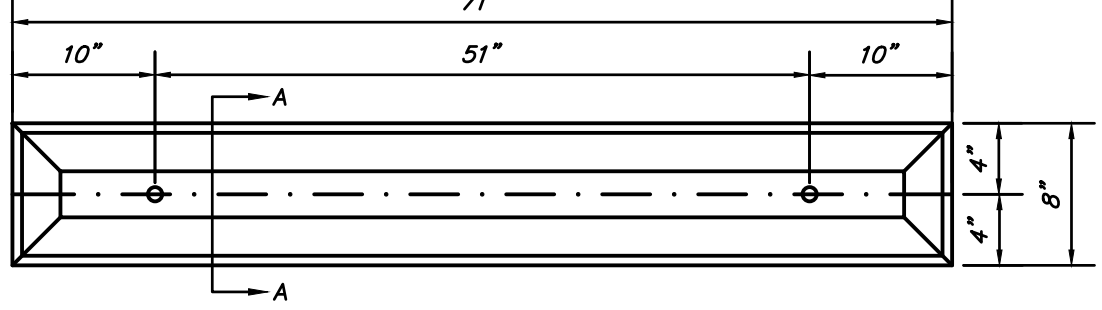
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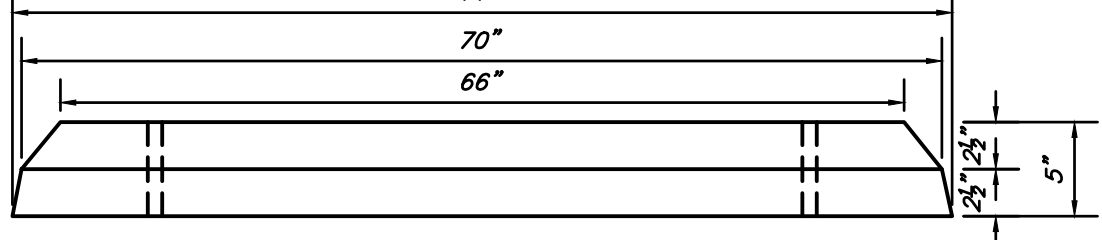
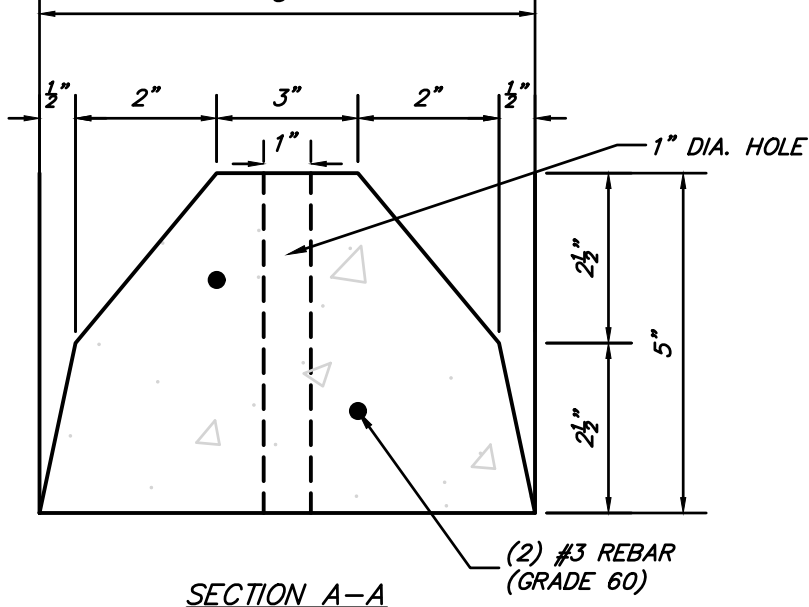
CONCRETE

SCALE: N.T.S.

1. THE PORTLAND CEMENT CONCRETE PAVEMENT AND GRANULAR BASE ROCK COURSE SHALL CONFORM TO CITY OF LEE'S SUMMIT STANDARD SPECIFICATIONS (JULY 2020) SECTION 2200-PAVING.



PLAN

ELEVATION

SECTION A-A

(2) #3 REBAR
(GRADE 60)

PARKING BLOCK NOTES:

1. 5500 PSI AIR ENTRAINED CONCRETE SHALL BE USED.

PARKING BL

SCALE: N.T.S

FINAL DEVELOPMENT PLAN
MACADOODLES 1499 SW MARKET STREET

DETAILS I

1499 SW MARKET ST, LEE'S SUMMIT, MO 64081

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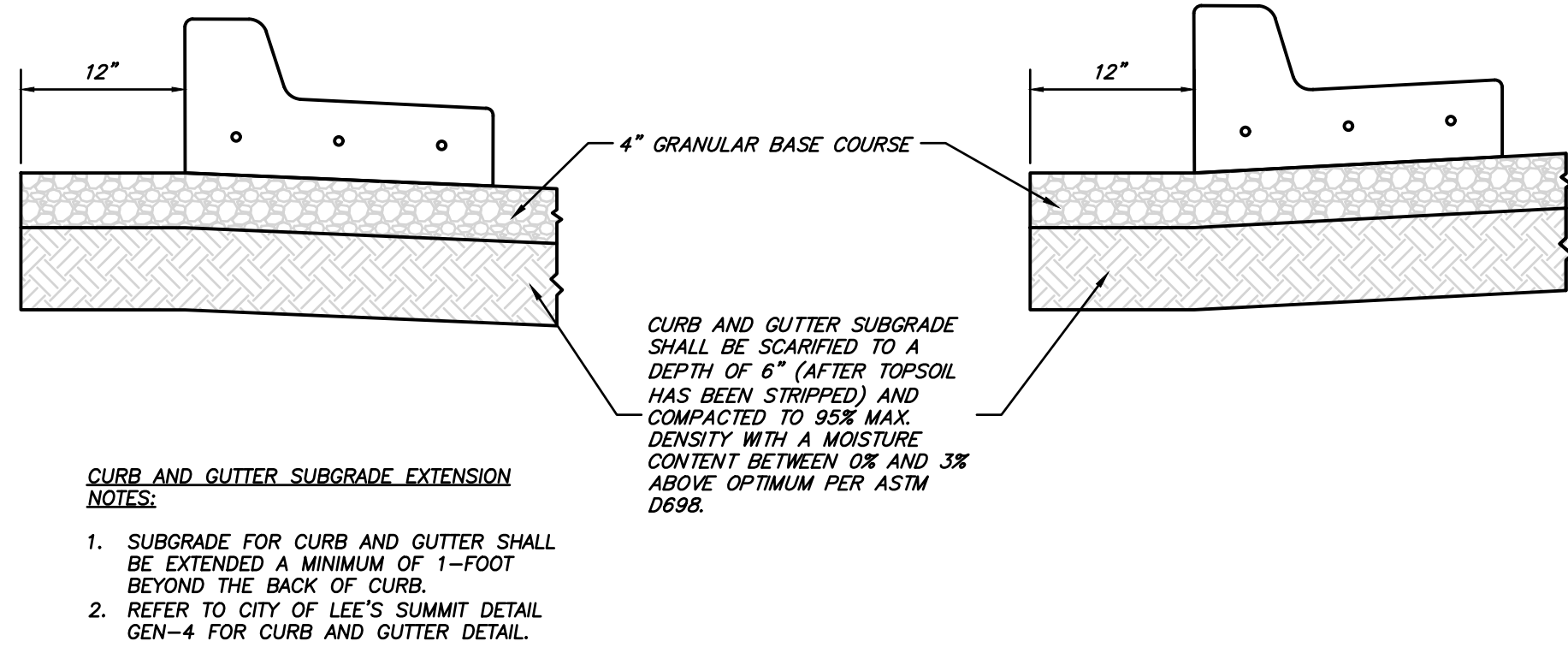
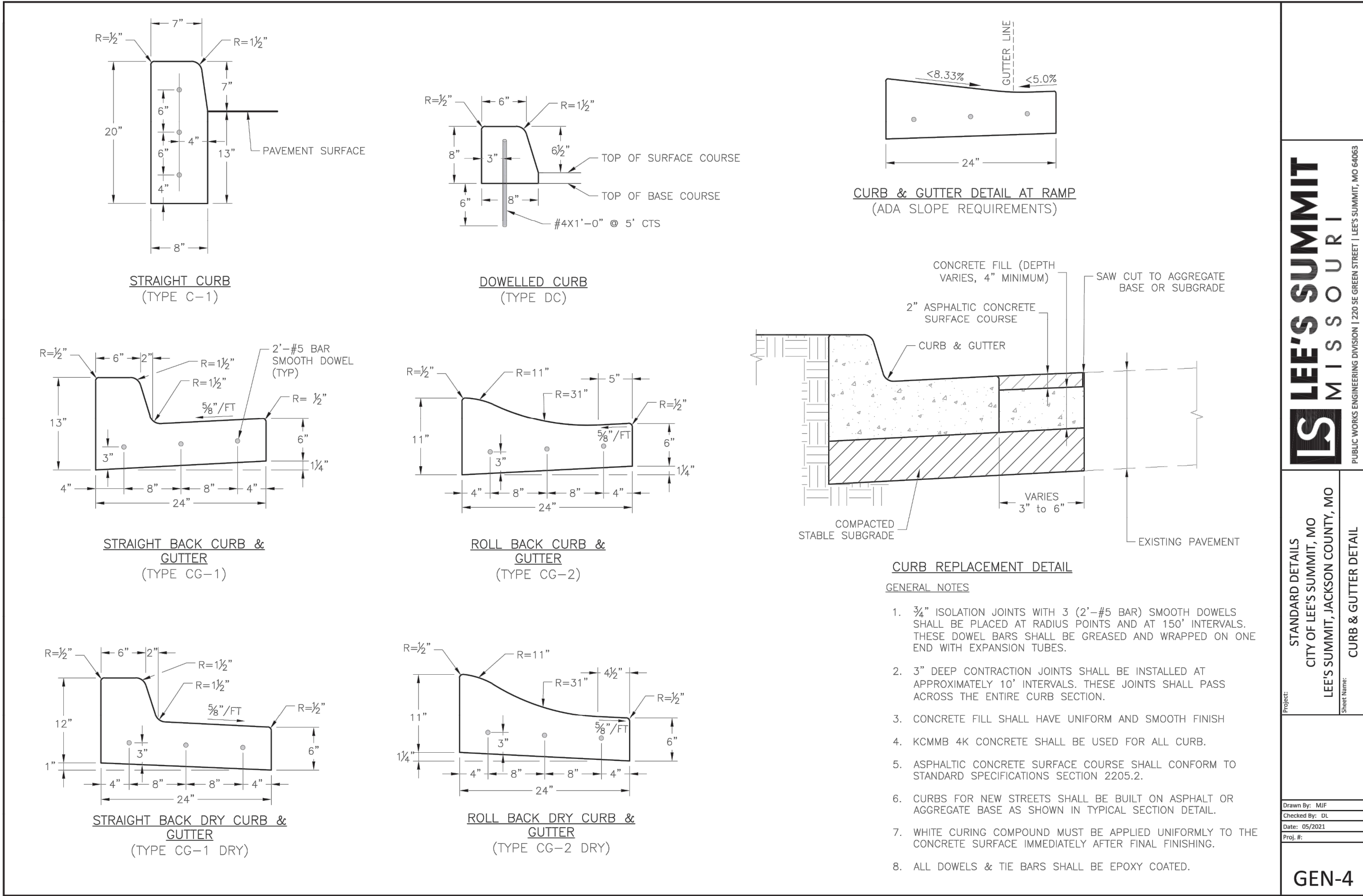
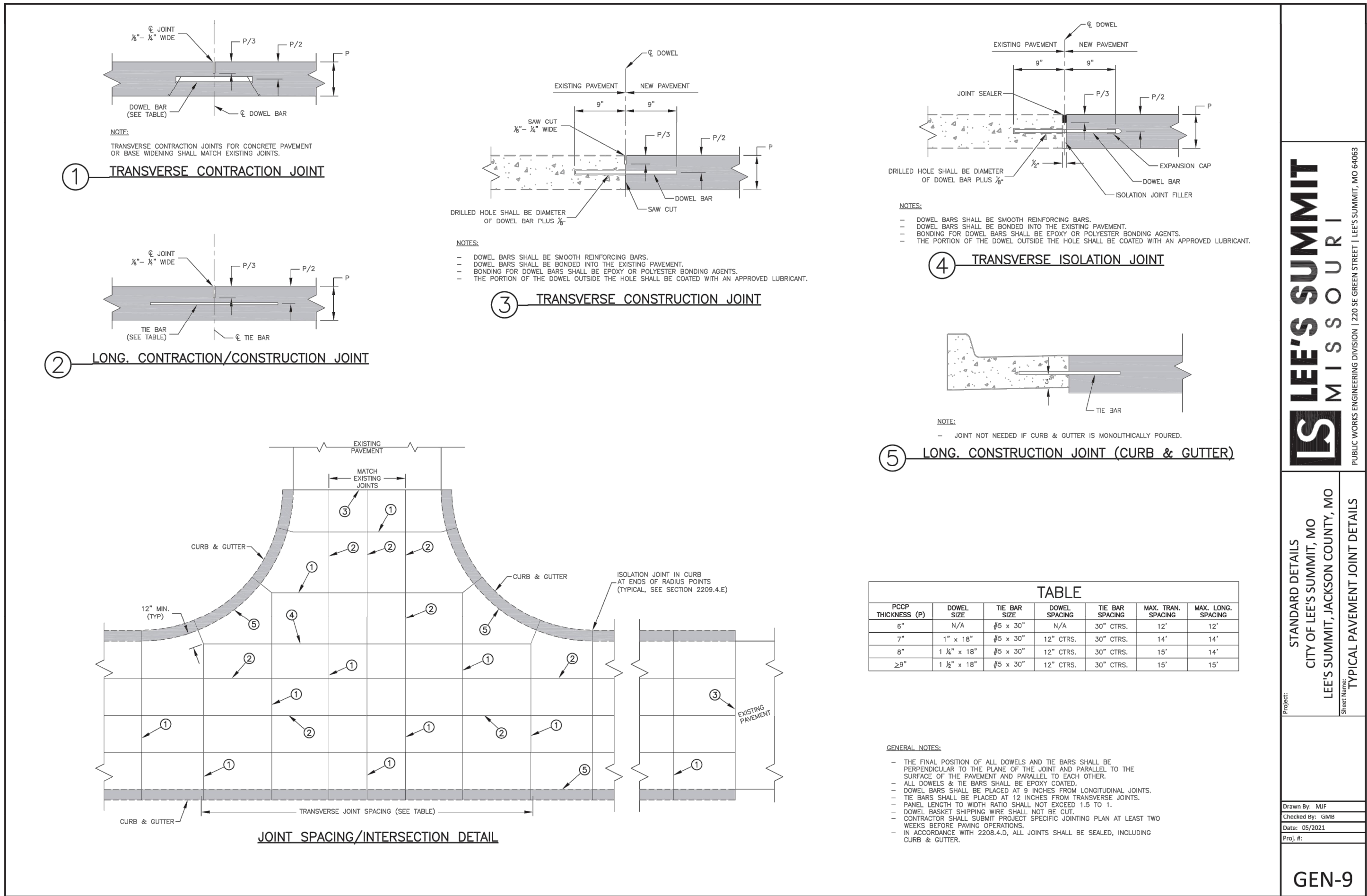
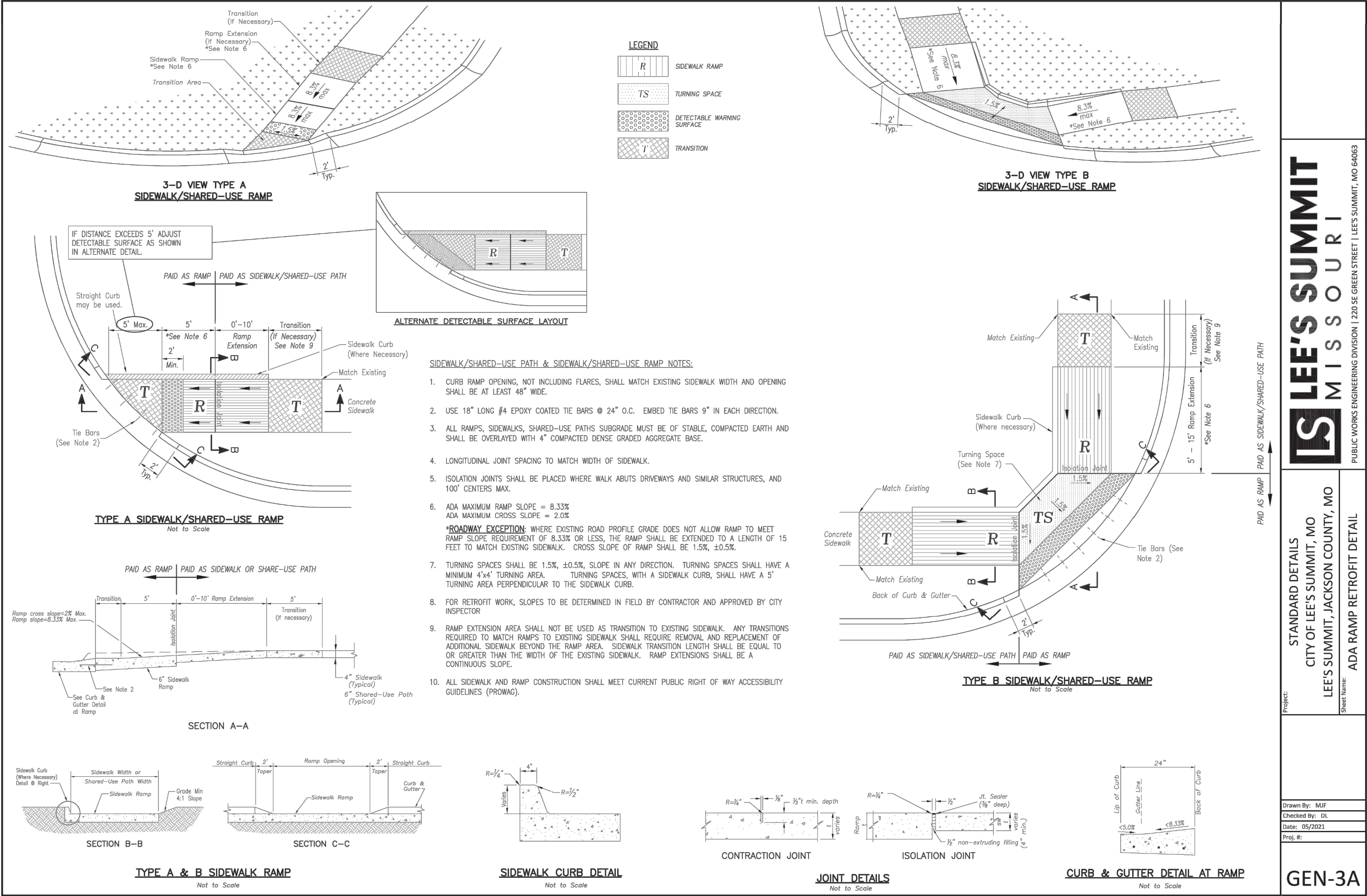
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SHEET NUMBER

C201
7 OF 8



CURB AND GUTTER SUBGRADE EXTENSION DETAIL

SCALE: N.T.S.

PRELIMINARY REVIEWED BY: JEFFREY A. LARSEN
MACADOODLES 1499 SW MARKET STREET

DETAILS II

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SHEET NUMBER
C202
8 OF 8

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