



220 SE Green Street | Lee's Summit, MO 64063 | 816.969.1200 | 816.969.1201 Fax | www.cityofls.net/Development

Exterior Renovation Permit

1. PROJECT NAME / INTENT: Advanced Aesthetic Center - Exterior Renovations
2. PROPERTY ADDRESS: 6 SW 2ND ST, LEES SUMMIT, MO 64063
3. ZONING OF PROPERTY: CP-2
4. LEGAL DESCRIPTION (plat name and lot number): LEES SUMMIT TOWN OF LOTS 22 & 23 & W 74' OF LOTS 24-26 BLK 5

5. APPLICANT Guy Gronberg Architects P.C. PHONE 816-524-0878
CONTACT PERSON Kenneth J. Kleffner FAX 816-524-8578
ADDRESS 113 SE 3rd St CITY/STATE/ZIP LS, MO 64063
E-MAIL ken@guygronberg.com

6. PROPERTY OWNER Rebecca Hughes / Robert Lilly PHONE 816-665-4483
CONTACT PERSON Becky Hughes FAX 816-665-4483
ADDRESS 100 SW 3rd St. CITY/STATE/ZIP LS, MO 64063
E-MAIL becky@ade100kyoung.com

7. CONTRACTOR/OTHER _____ PHONE _____
CONTACT PERSON _____ FAX _____
ADDRESS _____ CITY/STATE/ZIP _____
E-MAIL _____

8. ENGINEER/SURVEYOR _____ PHONE _____
CONTACT PERSON _____ FAX _____
ADDRESS _____ CITY/STATE/ZIP _____
E-MAIL _____

All applications require the signature of the owner and the applicant, if the applicant is different. Applications without the proper signatures will be deemed incomplete and will not be processed.

Rebecca A Hughes
PROPERTY OWNER

Kenneth J. Kleffner
APPLICANT

Print name: Rebecca Hughes

Kenneth J. Kleffner

Date Filed: _____ Processed by: _____ Application # _____ - _____



220 SE Green Street | Lee's Summit, MO 64063 | 816.969.1200 | 816.969.1201 Fax | www.cityofls.net/Development

Exterior Renovation Permit

Ownership Affidavit Form

STATE OF MISSOURI)

ss.

COUNTY OF JACKSON)

Comes now Rebecca Ann Hughes (owner) who
being duly sworn upon his/her oath, does state that he/she is the owner of the property legally described as
LEES SUMMIT TOWN OF LOTS 22 & 23 & W 74' OF LOTS 24-26 BLK 5

In the application for Exterior Renovation Permit
(type of application, e.g., rezoning, exterior renovation permit, etc.).

Owner acknowledges the submission of said application and understands that upon approval of the application the proposed use specified in the application will be a permitted use upon the subject property under the City of Lee's Summit Unified Development Ordinance.

Dated this 22nd day of November, 2022

Rebecca A. Hughes
Signature of Owner

Rebecca A. Hughes
Printed Name

Subscribed and sworn to before me this 22nd day of November, 2022

Kathleen Marie Brill
Notary Public

KATHLEEN MARIE BRILL
NOTARY PUBLIC-NOTARY SEAL
STATE OF MISSOURI
JACKSON COUNTY
COMMISSION # 20010575
MY COMMISSION EXPIRES: OCT. 5, 2024

10-05-2024
My Commission Expires

Exterior Renovation Permit

Description of Project: Project includes the modification of the southeast portion of the exterior to include a style more consistent with the character of existing historic buildings in the downtown core. Building facade will utilize fiber cement products including smooth panels and 5/4"trim to visually divide the facade. The pitched asphalt shingle roofing will be removed and the structure re framed to provide a simple rectangular volume.

Description of Neighboring Properties: This building is freestanding with neighboring properties separated by parking or streets. The buildings on the east and west are traditional residences in style. To the north is a nondescript commercial building. To the south is 2nd street and across 2nd street is a parking lot. These structures do not offer significant guidance on the mass, scale, and delineation of our facade.

Additional Information: Project will include fixed in place shed style rectangular awnings. They will be located in the a band separating the pedestrian level from the upper portion of the facade. Parapets will be detailed with cornices.

☐ **APPROVAL of Exterior Renovation Permit #** _____ – _____

by _____ Date _____

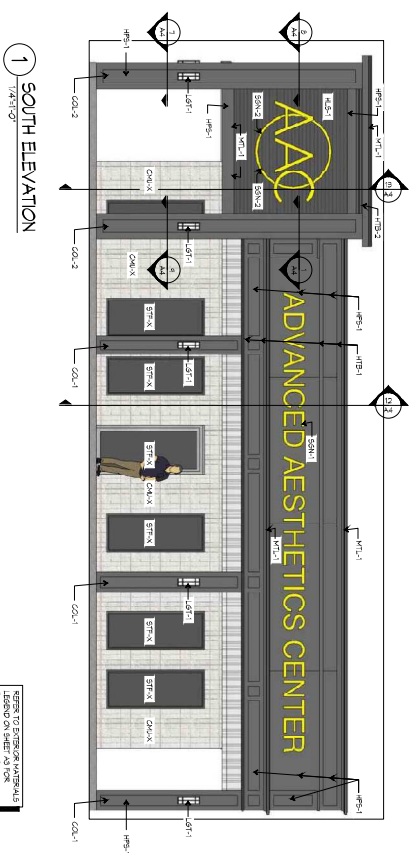
Subject to the following conditions: _____

☒ **DENIAL of Exterior Renovation Permit #** EXRP2022-003

by _____ Date _____

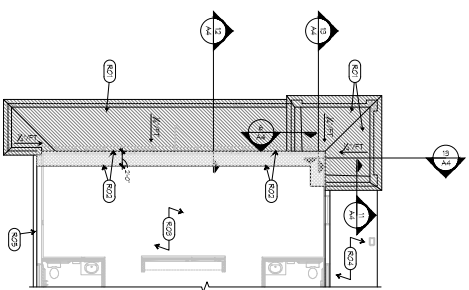
Digitally signed
by Shannon
McGuire
Date:
2022.12.02
13:31:56-06'00'

Reasoning: The proposed exterior building materials (Hardie Fiber Cement Panel Siding) does not meet the requirements of UDO Sec. 8.440.J. (The 1st & 2nd floors of all street facing facades shall be brick).



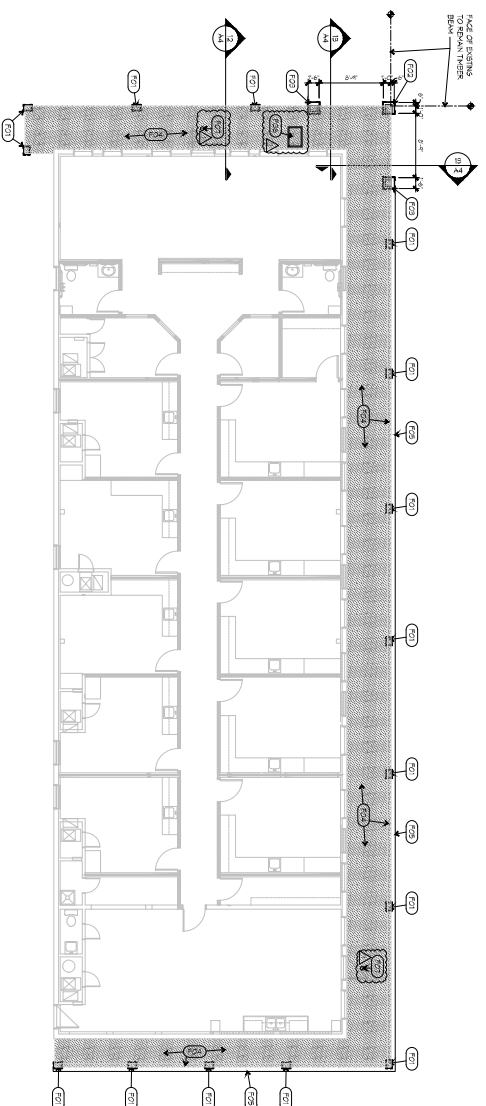
① SOUTH ELEVATION
1/4"=1'-0"

REFER TO EXTERIOR MATERIALS
LEGEND ON SHEET AS FOR
TYPICALLY CALL OUTS.



3 PARTIAL ROOF PLAN 1/8"=1'-0"

③ $1/8'' = 1'-0''$



2 FLOOR PLAN
1/8"=1'-0"

② $\frac{1}{2} \times 10 = 5$

ROOF PLAN NOTES

- Q27. IDENTIFY THE ROOF MEMBRANE OF THE 1/2 PLYWOOD DECK.
- Q28. FULLY ADHESIVE ROOF MEMBRANE FROM HIGH ROOF DOWN TO FLASH OF EXISTING PARAPET AND EXTEND ON TO EXISTING ROOF MINIMUM OF 2'-0".
- Q29. EXISTING TO REBARN ROOF MEMBRANE.
- Q30. EXISTING TO REBARN ASPHALT/SHINGLE ROOFING.
- Q31. EXISTING TO REBARN GUTTER AND DOWNSPOUTS.

FLOOR PLAN NOTES

- (52) PAIR OF EXISTING THYER COLUMN PER DETAIL 5144
- (53) PAIR OF IRON COLUMN PER DETAIL 5144
- (54) ONE COLUMN COLUMN PER STRUCTURAL DRAWINGS
- (55) PAIR OF IRON COLUMN PER DETAIL 5144
- (56) PAIR OF IRON COLUMN PER DETAIL 5144
- (57) PAIR OF IRON COLUMN PER DETAIL 5144
- (58) PAIR OF IRON COLUMN PER DETAIL 5144
- (59) PAIR OF IRON COLUMN PER DETAIL 5144
- (60) PAIR OF IRON COLUMN PER DETAIL 5144
- (61) PAIR OF IRON COLUMN PER DETAIL 5144
- (62) PAIR OF IRON COLUMN PER DETAIL 5144
- (63) PAIR OF IRON COLUMN PER DETAIL 5144
- (64) PAIR OF IRON COLUMN PER DETAIL 5144
- (65) PAIR OF IRON COLUMN PER DETAIL 5144
- (66) PAIR OF IRON COLUMN PER DETAIL 5144
- (67) PAIR OF IRON COLUMN PER DETAIL 5144
- (68) PAIR OF IRON COLUMN PER DETAIL 5144
- (69) PAIR OF IRON COLUMN PER DETAIL 5144
- (70) PAIR OF IRON COLUMN PER DETAIL 5144
- (71) PAIR OF IRON COLUMN PER DETAIL 5144
- (72) PAIR OF IRON COLUMN PER DETAIL 5144
- (73) PAIR OF IRON COLUMN PER DETAIL 5144
- (74) PAIR OF IRON COLUMN PER DETAIL 5144
- (75) PAIR OF IRON COLUMN PER DETAIL 5144
- (76) PAIR OF IRON COLUMN PER DETAIL 5144
- (77) PAIR OF IRON COLUMN PER DETAIL 5144
- (78) PAIR OF IRON COLUMN PER DETAIL 5144
- (79) PAIR OF IRON COLUMN PER DETAIL 5144
- (80) PAIR OF IRON COLUMN PER DETAIL 5144
- (81) PAIR OF IRON COLUMN PER DETAIL 5144
- (82) PAIR OF IRON COLUMN PER DETAIL 5144
- (83) PAIR OF IRON COLUMN PER DETAIL 5144
- (84) PAIR OF IRON COLUMN PER DETAIL 5144
- (85) PAIR OF IRON COLUMN PER DETAIL 5144
- (86) PAIR OF IRON COLUMN PER DETAIL 5144
- (87) PAIR OF IRON COLUMN PER DETAIL 5144
- (88) PAIR OF IRON COLUMN PER DETAIL 5144
- (89) PAIR OF IRON COLUMN PER DETAIL 5144
- (90) PAIR OF IRON COLUMN PER DETAIL 5144
- (91) PAIR OF IRON COLUMN PER DETAIL 5144
- (92) PAIR OF IRON COLUMN PER DETAIL 5144
- (93) PAIR OF IRON COLUMN PER DETAIL 5144
- (94) PAIR OF IRON COLUMN PER DETAIL 5144
- (95) PAIR OF IRON COLUMN PER DETAIL 5144
- (96) PAIR OF IRON COLUMN PER DETAIL 5144
- (97) PAIR OF IRON COLUMN PER DETAIL 5144
- (98) PAIR OF IRON COLUMN PER DETAIL 5144
- (99) PAIR OF IRON COLUMN PER DETAIL 5144
- (100) PAIR OF IRON COLUMN PER DETAIL 5144

EXISTING TO REMAIN EXTERIOR EXPRESS ILLUMINATION AT
EXIT DOOR



**GUY GRONBERG
ARCHITECTS, P.C.**
119 SE 3rd St.
Lee's Summit, MO 64063
Phone 816.524.0876
Fax 816.524.0576



6 SW 2ND ST., LEE'S SUMMIT, MO 64063

DATE: 11-04-2022

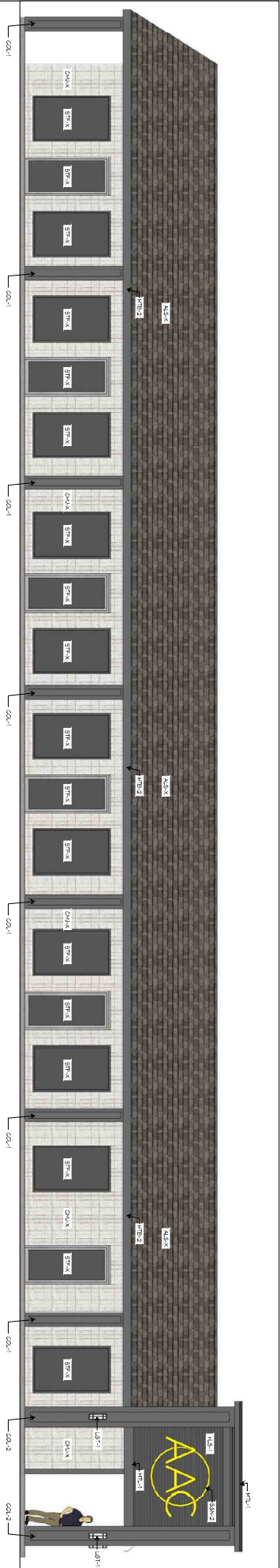
REVISED	DATE
---------	------

11-23-22	
----------	---

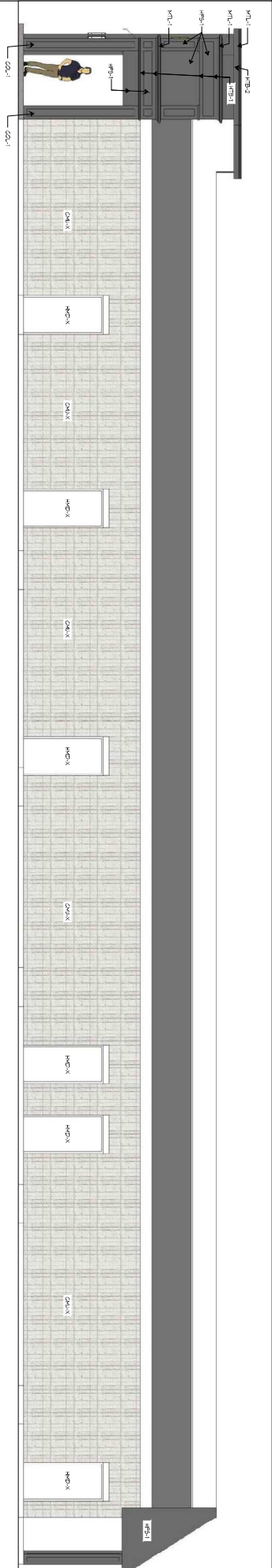
--	--	--	--

A2

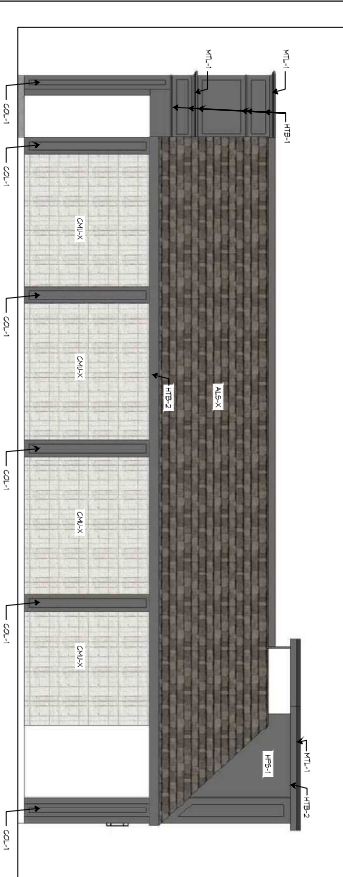




1 WEST ELEVATION
1/8"=1'-0"



2 EAST ELEVATION
1/8"=1'-0"



3 NORTH ELEVATION
1/8"=1'-0"

EXTERIOR MATERIALS

- COA-1 COGNATE WOOD-GRAIN VINYL COMPOSITE SIDING PAINTED PER DETAIL COA-1 WHITE
- COA-2 COGNATE WOOD-GRAIN VINYL COMPOSITE SIDING PAINTED PER DETAIL COA-2 WHITE
- HPS-1 HIPS-1 HIPS-2 HIPS-3 HIPS-4 HIPS-5 HIPS-6 HIPS-7 HIPS-8 HIPS-9 HIPS-10 HIPS-11 HIPS-12 HIPS-13 HIPS-14 HIPS-15 HIPS-16 HIPS-17 HIPS-18 HIPS-19 HIPS-20 HIPS-21 HIPS-22 HIPS-23 HIPS-24 HIPS-25 HIPS-26 HIPS-27 HIPS-28 HIPS-29 HIPS-30 HIPS-31 HIPS-32 HIPS-33 HIPS-34 HIPS-35 HIPS-36 HIPS-37 HIPS-38 HIPS-39 HIPS-40 HIPS-41 HIPS-42 HIPS-43 HIPS-44 HIPS-45 HIPS-46 HIPS-47 HIPS-48 HIPS-49 HIPS-50 HIPS-51 HIPS-52 HIPS-53 HIPS-54 HIPS-55 HIPS-56 HIPS-57 HIPS-58 HIPS-59 HIPS-60 HIPS-61 HIPS-62 HIPS-63 HIPS-64 HIPS-65 HIPS-66 HIPS-67 HIPS-68 HIPS-69 HIPS-70 HIPS-71 HIPS-72 HIPS-73 HIPS-74 HIPS-75 HIPS-76 HIPS-77 HIPS-78 HIPS-79 HIPS-80 HIPS-81 HIPS-82 HIPS-83 HIPS-84 HIPS-85 HIPS-86 HIPS-87 HIPS-88 HIPS-89 HIPS-90 HIPS-91 HIPS-92 HIPS-93 HIPS-94 HIPS-95 HIPS-96 HIPS-97 HIPS-98 HIPS-99 HIPS-100

G² GUY GRONBERG ARCHITECTS, P.C.
1932 2ND ST. SUITE 200
PHILADELPHIA, PA 19103
PH: 215.541.2870

AAC
APPROVED RESIDENT DEVELOPER
8 SW 2ND ST., 1ST FL. SUITE 100, MIAMI, FL 33135
DATE: 10-2-2022
BY: [Signature]
FOR: [Signature]

A3