

AN ORDINANCE APPROVING A PRELIMINARY DEVELOPMENT PLAN ON LAND LOCATED AT 1010 NW PRYOR RD IN DISTRICT PMIX, LOT 12, STREETS OF WEST PRYOR, ALL IN ACCORDANCE WITH THE PROVISIONS OF UNIFIED DEVELOPMENT ORDINANCE, CHAPTER 33, OF THE CODE OF ORDINANCES FOR THE CITY OF LEE'S SUMMIT, MISSOURI.

WHEREAS, Application #PL2022-241 submitted by Streets of West Pryor, LLC, requesting approval of a preliminary development plan in District PMIX (Planned Mixed Use District) on land located at 1010 NW Pryor Rd was referred to the Planning Commission to hold a public hearing; and,

WHEREAS, after due public notice in the manner prescribed by law, the Planning Commission held a public hearing for the consideration of the preliminary development plan on August 25, 2022, and rendered a report to the City Council recommending that the preliminary development plan be approved; and,

WHEREAS, after due public notice in the manner prescribed by law, the City Council held a public hearing on September 20, 2022, and rendered a decision to approve the preliminary development plan for said property.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF LEE'S SUMMIT, MISSOURI, as follows:

SECTION 1. That a preliminary development plan is hereby approved in District PMIX on the following described property:

Lot 12, Streets of West Pryor Lots 1 thru 14, Tracts A, B, C, & D

SECTION 2. That the following conditions of approval apply:

1. Development shall be in accordance with the preliminary development plan dated July 11, 2022, and the building elevations dated July 14, 2022.
2. Five (5) wall signs and four (4) wall signs shall be approved for the northern tenant space (The Crack Shack) and southern tenant space (Via 313 Pizzeria), respectively, in accordance with the Sign Package dated August 10, 2022, except that painted wall signs (a prohibited sign type under the UDO) shall not be allowed. All signage shall comply with the allowable sign types listed under Article 9 (Signs) of the UDO.

SECTION 3. That development shall be in accordance with the preliminary development plan dated July 11, 2022, building elevations dated of July 14, 2022, and sign package dated August 10, 2022, as conditioned above and appended hereto as Attachment A, Attachment B and Attachment C, respectively, and made a part hereof.

SECTION 4. That in granting modifications listed herein, the Governing Body concludes that the development will provide sustainable value to the City, incorporates sound planning principles and design elements that are compatible with surrounding properties and consistent through the proposed project, effectively utilize the land upon which the development is proposed, and further the goals, spirit and intent of the Unified Development Ordinance.

BILL NO. 22-197**ORDINANCE NO. 9512**

SECTION 5. Nonseverability. That all provisions of this ordinance are so essentially and inseparably connected with, and so dependent upon, each other that no such provision would be enacted without all others. If a court of competent jurisdiction enters a final judgment on the merits that is not subject to appeal and that declares any provision or part of this ordinance void, unconstitutional, or unenforceable, then this ordinance, in its collective entirety, is invalid and shall have no legal effect as of the date of such judgment.

SECTION 6. That failure to comply with all of the provisions contained in this ordinance shall constitute violations of both this ordinance and the City's Unified Development Ordinance, enacted by Ordinance No. 5209 and amended from time to time.

SECTION 7. That this ordinance shall be in full force and effect from and after the date of its passage and adoption, and approval by the Mayor.

PASSED by the City Council of the City of Lee's Summit, Missouri, this 4th day of October, 2022.

ATTEST:

Trisha Fowler Arcuri
City Clerk Trisha Fowler Arcuri

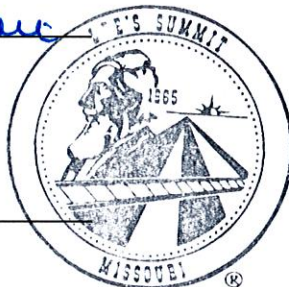


Beto Lopez
Mayor Pro Tem Beto Lopez

APPROVED by the Mayor of said city this 4th day of October, 2022.

ATTEST:

Trisha Fowler Arcuri
City Clerk Trisha Fowler Arcuri



Beto Lopez
Mayor Pro Tem Beto Lopez

APPROVED AS TO FORM:

Brian W. Head
City Attorney Brian W. Head

PRELIMINARY DEVELOPMENT PLANS FOR LOT 12 OF WEST PRYOR LEE'S SUMMIT

UTILITIES
Electric Service
Nathan Michael
913-347-4310
Nathan.michael@kcp.com

Gas Service
Spine Darnell
816-969-7247
Katie.darnello@spineenergy.com

Water/Sanitary Sewer
Water Utilities Department
1200 SE Hamblen Road
Lee's Summit, Mo 64081
Jeff Thorn
816-969-1900
jeff.thorn@cityofls.net

Communication Service
AT&T Carrie Cluke
816-703-4386
cc357@att.com

Time Warner Cable
Steve Baxter
816-795-2218
steve.baxter@twcable.com

Comcast
Ryan Allaire
816-795-2218
ryan.allaire@comcast.com

Google Fiber
Rebecca Davis
913-758-8765
rebeccadavis@google.com



UTILITY STATEMENT:
THE UNDERGROUND UTILITIES SHOWN HEREON ARE FROM FIELD SURVEY INFORMATION OF ONE-
CALL LOCATED UTILITIES, FIELD SURVEY INFORMATION OF ABOVE GROUND OBSERVABLE EVIDENCE,
AND/OR THE SCALING AND PLOTTING OF EXISTING UTILITY MAPS AND DRAWINGS AVAILABLE TO THE
SURVEYOR AT THE TIME OF SURVEY. THE SURVEYOR MAKES NO GUARANTEE THAT THE
UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE
OR ABANDONED. THE SURVEYOR DOES NOT WARRANT THE ACCURACY OF THE INFORMATION
PRESENTED HEREON. THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY
ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS
NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES BY EXCAVATION UNLESS OTHERWISE
NOTED ON THIS SURVEY.

SAFETY NOTICE TO CONTRACTOR
IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICE, THE CONTRACTOR WILL BE
SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF
ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL
APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

WARRANTY/Disclaimer

THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES
OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS
TIME. HOWEVER, NEITHER SW ENGINEERING NOR ITS PERSONNEL CAN OR DO
WARRANTY THESE DESIGNS OR PLANS AS CONSTRUCTED, EXCEPT IN THE SPECIFIC CASES WHERE
SW ENGINEERING PERSONNEL INSPECT AND CONTROL THE PHYSICAL CONSTRUCTION ON
A CONTINGENT BASIS AT THE SITE.

CAUTION- NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING
UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES
AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE
RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY
COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF
UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES
WHICH CONFLICT WITH PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. THE CONTRACTOR
SHALL EXPLORE EXISTING UTILITIES AT LOCATIONS OF POSSIBLE CONFLICTS PRIOR TO ANY
CONSTRUCTION.

INDEX OF SHEETS	
C-1	COVER SHEET
C-2	EXISTING CONDITIONS
C-3	SITE PLAN
C-4	UTILITY PLAN
C-5	GRADING PLAN
C-6	DETAILS
C-7	LANDSCAPE PLAN

Revisions:
7/11/24 CITY COUNCIL MEETING

DEVELOPER
STREETS OF WEST PRYOR, LLC
DAVID N. OLSON
7200 W 13th ST, SUITE 150
CELL: OVERLAND PARK, KS 66213
314-413-3598

ENGINEER
SW ENGINEERING
5507 High Meadow Circle
Manhattan Kansas, 66503
swengineering@gmail.com
785.341.7947

LOCATION MAP

LEGAL DESCRIPTION:
LOT 12, STREETS OF WEST PRYOR, LEE'S SUMMIT, JACKSON COUNTY MISSOURI
ALL EXISTING TOPOGRAPHIC DATA AND INFRASTRUCTURE IMPROVEMENTS SHOWN BASED ON
INFORMATION BY KAW VALLEY ENGINEERING.

BENCHMARKS:
#1 CHISELED "SQUARE" ON TOP OF CURB POINT OF INTERSECTION OF WEST PARK PARKING LOT AT EAST
DRIVE ENTRANCE
ELEVATION 985.05

#2 CHISELED "SQUARE" ON NORTHWEST CORNER AREA INLET, 25' EAST OF CURB LINE AND ON-LINE WITH
SOUTH CURB OF LOWENSTEIN DRIVE AT 90' BEND IN ROAD
ELEVATION 971.06

NOTE

- ALL CONSTRUCTION SHALL FOLLOW THE CITY OF LEE'S
SUMMIT DESIGN AND CONSTRUCTION MANUAL AS ADOPTED
BY ORDINANCE 5813. WHERE DISCREPANCIES EXIST BETWEEN
THESE PLANS AND THE DESIGN AND CONSTRUCTION MANUAL,
THE MORE STRINGENT SHALL PREVAIL.
- THERE ARE NO GAS/OIL WELLS PER MDMR DATABASE OF OIL
& GAS PERMITS
- FLOOD ZONE CLASSIFICATION - SITE LOCATED OUTSIDE THE
100YR FLOOD PLAIN PER PANEL 20209C0152D, DATED
SEPTEMBER 2, 2011



SAMUEL D. MALINOWSKY
Professional Engineer

sheet
10
COVER SHEET
23 JUNE 2022

LOT 12 OF WEST PRYOR
LEE'S SUMMIT, MISSOURI

SW Engineering
SME
5507 High Meadow Circle
Manhattan Kansas, 66503
swengineering@gmail.com
785.341.7947

Unrevised public: Submittals are required
1. Review and comment on submittals by the
owner and engineer. The engineer is responsible
for the design and construction of the project.
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SITE DATA

LOT 12	2.49ac (108,775sf)
TOTAL SITE	60.373sf
PAVEMENT AREA	7,000sf
TOTAL BUILDING	40,903sf (37.7%)
OPEN SPACE	117 (16.71 STALLS / 1000sf)
TOTAL PARKING	

CONSTRUCTION NOTES:

1. COORDINATE START-UP AND ALL CONSTRUCTION ACTIVITIES WITH OWNER.
2. CONSTRUCTION METHODS AND MATERIALS NOT SPECIFIED IN THESE PLANS ARE TO MEET OR EXCEED THE STANDARD SPECIFICATIONS.
3. ALL CONSTRUCTION WORK AND UTILITY WORK OUTSIDE OF PROPERTY BOUNDARIES SHALL BE COORDINATED WITH AND IN CONFORMANCE WITH THE CITY OF CHICAGO AND IN COOPERATION WITH THE AUTHORITIES CONCERNED.
4. PUBLIC CONVENIENCE AND SAFETY: THE CONTRACTOR SHALL CONDUCT WORK IN A MANNER SUCH THAT UNLAWFUL USES ARE PREVENTED, THE LEAST OBSTRUCTION TO TRAFFIC AND SHALL PROVIDE FOR THE MAXIMUM PUBLIC CONVENIENCE AND SAFETY OF THE GENERAL PUBLIC AND RESIDENTS ALONG AND ADJACENT TO SUBSTREETS IN THE CONSTRUCTION AREA.
5. ALL DIMENSIONS SHOWN ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
6. ACCESSIBLE CURBS SHOWN WITH A "Y" MUST SHALL BE 48" MAX. AND 44" MAX. HAVE A SIGN INDICATING "NO ACCESSIBLE." SEE DETAIL 102.

NOTES

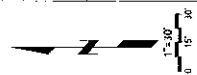
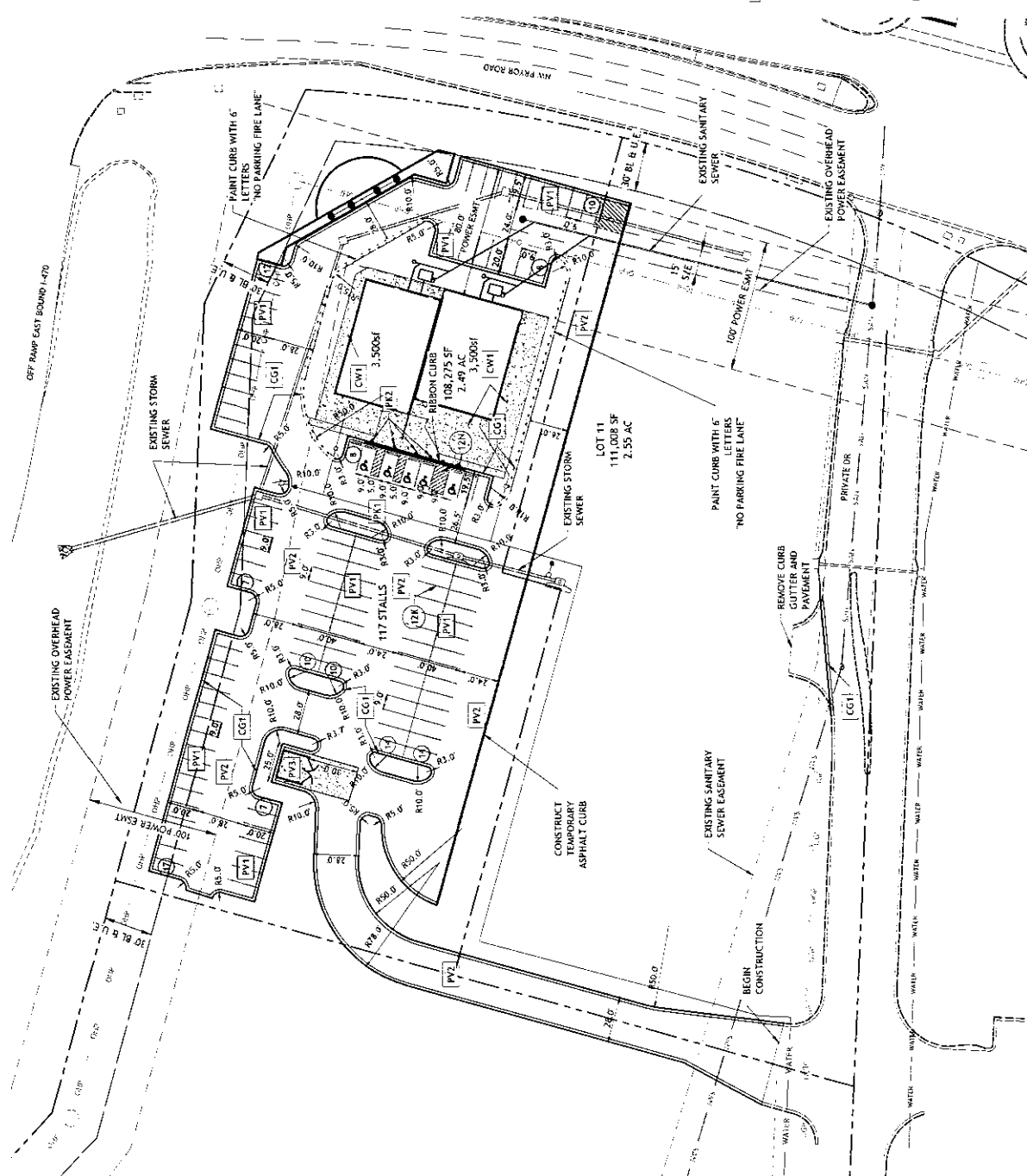
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR LOCATION AND DIMENSIONS OF EXISTING AND PROPOSED PAVINGS, EXIST PORCHES AND PATIOPAS, SLOPED PATIOPAS, EXIST PORCHES AND PATIOPAS, SLOPED BUILDING FOUNDATIONS AND EXIST BUILDING UTILITY ENTRANCE LOCATIONS.
- THESE PLANS HAVE NOT BEEN VERIFIED WITH ORIGINAL ARCHITECTURAL CONTRACT DRAWINGS. CONTRACTOR SHALL VERIFY AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES. CONTRACTOR IS FULLY RESPONSIBLE FOR REVIEW AND CORRECTION OF ALL DRAWINGS AND CONTRACTOR DOCUMENTS.
- ALL DIMENSIONS ARE PERPENDICULAR TO PROPERTY LINE.
- ACTUAL SURVEY LOCATIONS TO BE COORDINATED WITH CONSTRUCTION MANAGER.

SEE DETAIL SHEET FOR THE FOLLOWING DETAILS:

- | | |
|-----|--|
| K-1 | 96" ACCESSIBLE B VAN ACCESSIBLE SPACE STRIPING |
| K-2 | ACCESSIBLE SIGN |
| G-1 | BOLLARD DETAIL |
| G-1 | TYPE B CURB AND GUTTER |
| W-1 | CURB WALK AT BUILDING |
| V-1 | REGULAR DUTY PAVEMENT |
| V-2 | HEAVY DUTY ASPHALT PAVEMENT |
| V-3 | HEAVY DUTY CONCRETE PAVEMENT |
| W-2 | SIDEWALK |

NOTES:

- DOOR (SEE ARCH. PLANS)
YELLOW PARKING LOT STRIPING (SHERWIN-WILLIAMS
TM 2160 LEAD FREE OR APPROVED EQUAL)
4" YELLOW STRIPES 3'-0" O.C.
CLEAN-OUT (SEE GRADING PLAN)
PAINT CURB RED



UTILITY NOTES:

1. ALL UTILITY AND STORM SEWER TRENCHES CONSTRUCTED UNDER ADES WITH SAVING SHALL BE BACKFILLED TO 18 INCHES ABOVE THE TOP OF THE PIPE WITH SELECT GRANULAR MATERIAL PLACED ON EIGHT-INCH LIFTS, AND COMPACTED TO 95% MODIFIED PROCTOR DENSITY.
2. CONTRACTOR SHALL NOT OPEN, TURN OFF, INTERFERE WITH, OR ATTACH ANY PIPE OR HOSE TO OR TAP ANY WATER MAIN BELONGING TO THE CITY UNLESS DULY AUTHORIZED TO DO SO BY THE CITY ENGINEER. IN THE EVENT OF ANY SCHEDULED OR UNSCHEDULED DISRUPTIONS OF WATER SERVICE TO THE PUBLIC, THE CITY ENGINEER SHALL BE NOTIFIED IMMEDIATELY AND THE OWNER ARE TO BE HELD HARMLESS.
3. ALL WATER AND SANITARY SEWER SYSTEMS THAT ARE TO BE PUBLIC LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH SPECIFICATIONS PREVIOUSLY APPROVED BY THE CITY ENGINEER, AND THE STATE OF MISSOURI AND SHALL BE INSPECTED BY THE CITY ENGINEER. CONTRACTOR'S RESPONSIBILITY TO ASSURE THAT THIS INSPECTION OCCURS.
4. LOCATIONS SHOWN FOR PROPOSED WATER LINES ARE APPROXIMATE. VARIATIONS MAY BE MADE, WITH APPROVAL OF THE ENGINEER, TO AVOID CONFLICTS.
5. CONTRACTOR TO INSTALL TRACING TAPE ALONG ALL NON-METALLIC WATER MAINS AND SERVICE LINES PER SPECIFICATIONS.
6. CONTRACTOR SHALL EXPOSE EXISTING UTILITIES AT LOCATIONS OF POSSIBLE CONFLICT AND POINTS OF CONNECTION PRIOR TO ANY CONSTRUCTION OF NEW UTILITIES.
7. WATER LINES SHALL HAVE A MINIMUM COVER OF 40 INCHES. ALL VALVES ON MAINS AND FIRE HYDRANT LEADS SHALL BE WITH VALVE BOX ASSEMBLIES. THE SIZE OF VALVE BOX ASSEMBLY TO BE INSTALLED IS TO BE DETERMINED BY THE TYPE AND SIZE OF VALVE. VALVE BOX CAPS SHALL HAVE THE WORD "WATER".
8. A MINIMUM HORIZONTAL DISTANCE OF 10 FEET SHALL BE MAINTAINED BETWEEN PARALLEL WATER LINES. THE MINIMUM DISTANCE BETWEEN A WATER LINE TO CROSS A SANITARY SEWER SHALL BE 10 FEET. THE MINIMUM DISTANCE BETWEEN A WATER LINE TO CROSS A 60 INCH DIAMETER SANITARY SEWER SHALL BE 15 FEET. THE MINIMUM DISTANCE BETWEEN A WATER LINE TO CROSS A 48 INCH DIAMETER SANITARY SEWER SHALL BE 10 FEET. EITHER SIDE OF THE WATER LINE IS AT LEAST 2 FEET CLEAR DISTANCE ABOVE THE SANITARY SEWER LINE.
9. INSTALL 3/4" TYPE "K" COPPER FROM THE MAIN TO THE METER AND EITHER TYPE "K" OR POLYETHYLENE PLASTIC TUBING (PE 3608) FROM METER TO STOP AND WASTE WATER BUILDING.
10. CONTRACTOR RESPONSIBLE FOR PROVIDING CASEMENT FOR ELECTRICAL SERVICE PER KCP&L.
11. SANITARY SEWER SERVICE CONNECTIONS WILL BE MADE WITH A CUT IN WYE.

DETAILS

- MS1 TRENCH AND BEDDING DETAILS
SS2 2-WAY CLEAN-OUT
WAT-11 WATER SERVICE CONNECTION
WAT-7 FIRE HYDRANT
CO CLEANOUT

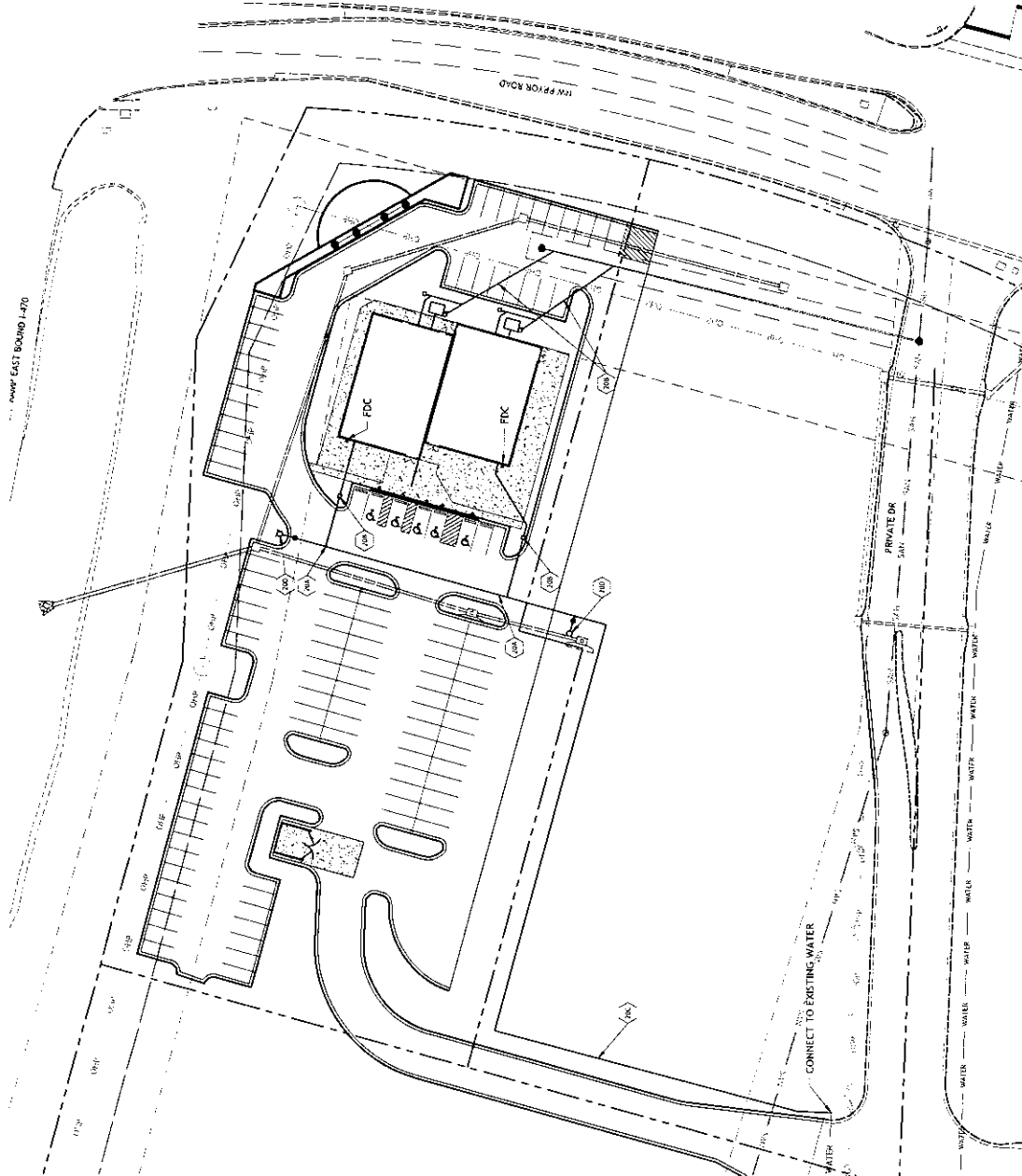
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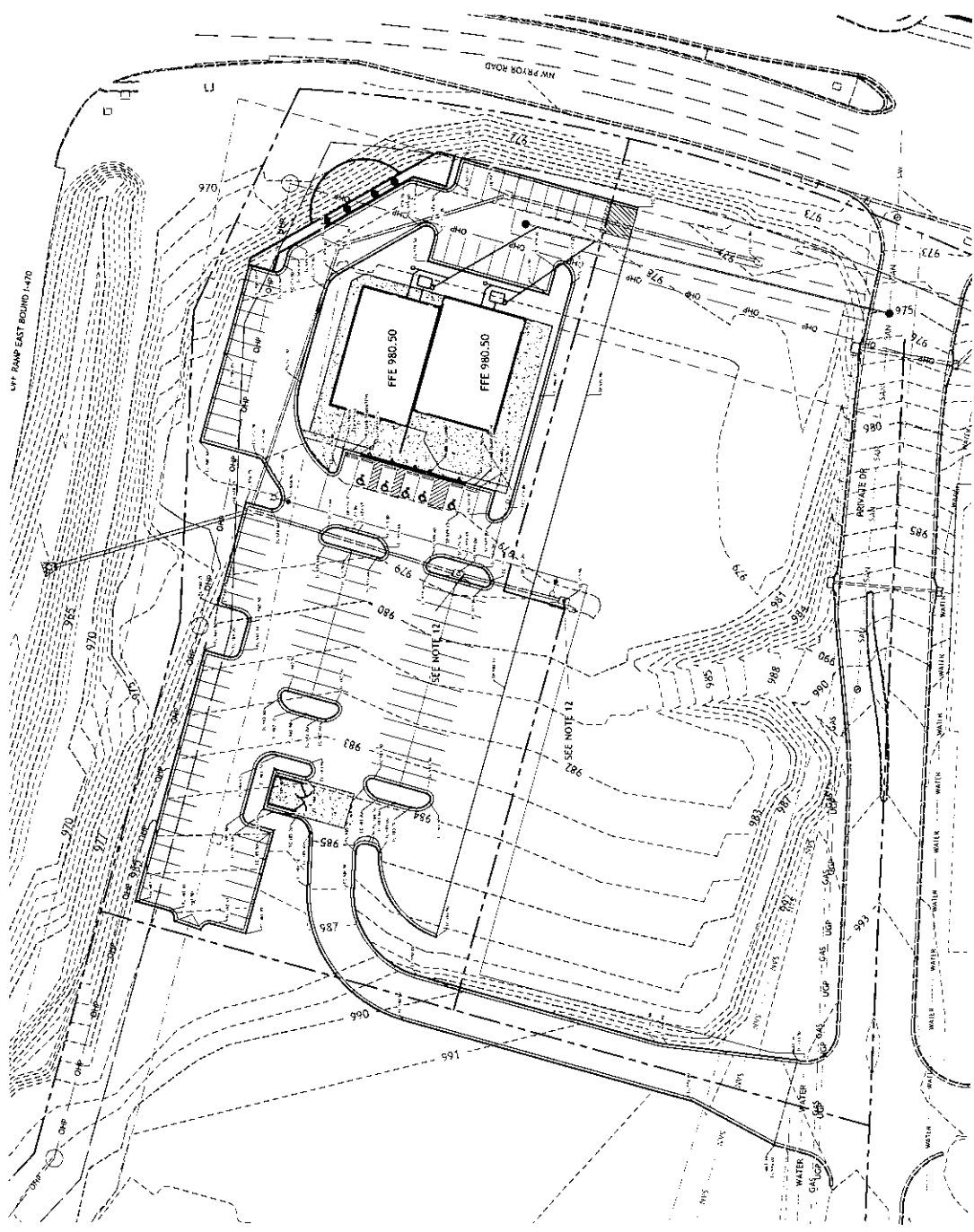
- POINT OF CONNECTION - WATER SERVICE
2" TAP AND METER WITH 2" SERVICE LINE
8" C-900 WATERLINE
FIRE HYDRANT ASSEMBLY
4" SANITARY SEWER SERVICE LINE-SDB-26 PVC

UTILITY STATEMENT.

UTILITY STATEMENT:

THE UNDERGROUND UTILITIES SHOWN HEREON ARE FROM FIELD SURVEY INFORMATION OF ONE-CALL LOCATED UTILITIES, FIELD SURVEY INFORMATION OF ABOVE GROUND OBSERVABLE UTILITIES, AND/OR THE SCALING AND PLOTTING OF EXISTING UTILITY MAPS AND DRAWINGS. THE SURVEYOR HAS CONDUCTED A VISUAL INSPECTION OF THE SURFACE FOR MAJOR HOLES TO THE DEPTH OF THE UTILITY. THE SURVEYOR HAS CONDUCTED A VISUAL INSPECTION OF THE UNDERGROUND UTILITIES FOR THE DEPTHS OF THE UTILITY. THE SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THE SURVEYOR DOES NOT WARRANT THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES BY EXCAVATION UNLESS OTHERWISE NOTED ON THIS SURVEY.





1. Prior to Land Disturbance activities, the following shall occur:
 - a. Identify the limits of construction in the proposed work area.
 - b. Notify appropriate regulatory agencies such as certification (stormwater) permitting and placement of physical barriers or construction signs to the City Engineer and in accordance with the City Engineer's approval.
 - c. Obtain a Land Disturbance Permit from the City Engineer.
 - d. Conduct a Land Disturbance Planning Meeting with the City Engineer, permittee, and project's existing stormwater management personnel to discuss the project's stormwater management plan and the project's stormwater management plan.
 - e. Obtain a Construction Stormwater Pollution Prevention Plan (CSWPPP) from the City Engineer.
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 - k. Obtain a Construction Stormwater Pollution Prevention Plan (CSWPPP) from the City Engineer.
 - l. Obtain a Construction Stormwater Pollution Prevention Plan (CSWPPP) from the City Engineer.
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 - r. Obtain a Construction Stormwater Pollution Prevention Plan (CSWPPP) from the City Engineer.
 - s. Obtain a Construction Stormwater Pollution Prevention Plan (CSWPPP) from the City Engineer.
 - t. Obtain a Construction Stormwater Pollution Prevention Plan (CSWPPP) from the City Engineer.
 - u. Obtain a Construction Stormwater Pollution Prevention Plan (CSWPPP) from the City Engineer.
 - v. Obtain a Construction Stormwater Pollution Prevention Plan (CSWPPP) from the City Engineer.
 - w. Obtain a Construction Stormwater Pollution Prevention Plan (CSWPPP) from the City Engineer.
 - x. Obtain a Construction Stormwater Pollution Prevention Plan (CSWPPP) from the City Engineer.
 - y. Obtain a Construction Stormwater Pollution Prevention Plan (CSWPPP) from the City Engineer.
 - z. Obtain a Construction Stormwater Pollution Prevention Plan (CSWPPP) from the City Engineer.
2. The site plan shall comply with all requirements of the

- [illegible]

2. Temporary seedling shall only be used for period not to exceed 12 months, for final stabilization. Temporary seedling shall only be used to establish vegetation on the perimeter, steeping or seedling stakes as indicated in the standard specifications. Final stabilization requires a uniform perennial vegetative cover with a density at 70% over 100% of disturbed area.

4. **Trusion and polination control** shall be provided for the duration of a project. An installed erosion and sediment control BMP's shall be maintained in a manner that preserves their effectiveness. If the City determines that the BMP's in place do not provide adequate trusion and sediment control at any time

3. Concrete wash or reuse water from concrete mixing equipment, wash and/or ready-mix trucks, etc., may not be discharged into the stormwater system, but may be collected and used for other purposes, such as watering lawns or other landscaping. Wash water may be collected in a tank or other storage facility and used for other purposes. Wash water may be collected in a tank or other storage facility and used for other purposes.

- Only use this for materials that will be designated as non-hazardous. If you are unsure, contact your local health department. This material will be designated as non-hazardous if it is not listed in the hazardous waste list, and it is not a solid, liquid, or gas, or a mixture of these, and it is not a flammable, corrosive, reactive, or toxic material. If you are unsure, contact your local health department. This material will be designated as non-hazardous if it is not listed in the hazardous waste list, and it is not a solid, liquid, or gas, or a mixture of these, and it is not a flammable, corrosive, reactive, or toxic material.

- to 30 ft. long and 12 in. wide, and the ends are shown sliding the back of the wall must be excavated until two more courses of the wall are exposed. The wall is then excavated to the top of the wall and the wall is then excavated to the top of the wall and the wall is then excavated to the top of the wall.

3. Quantity required beams and legs shall be initiated as required by building during next loading. Segment beams and legs shall be cleared out when the segment width has been reduced by 20% of its original design volume.

5. All manufactured parts, such as engine control devices, fuel, disposable bag, filter unit, transfer equipment, carriers, and hydraulic equipment shall be installed as directed by the manufacturer.

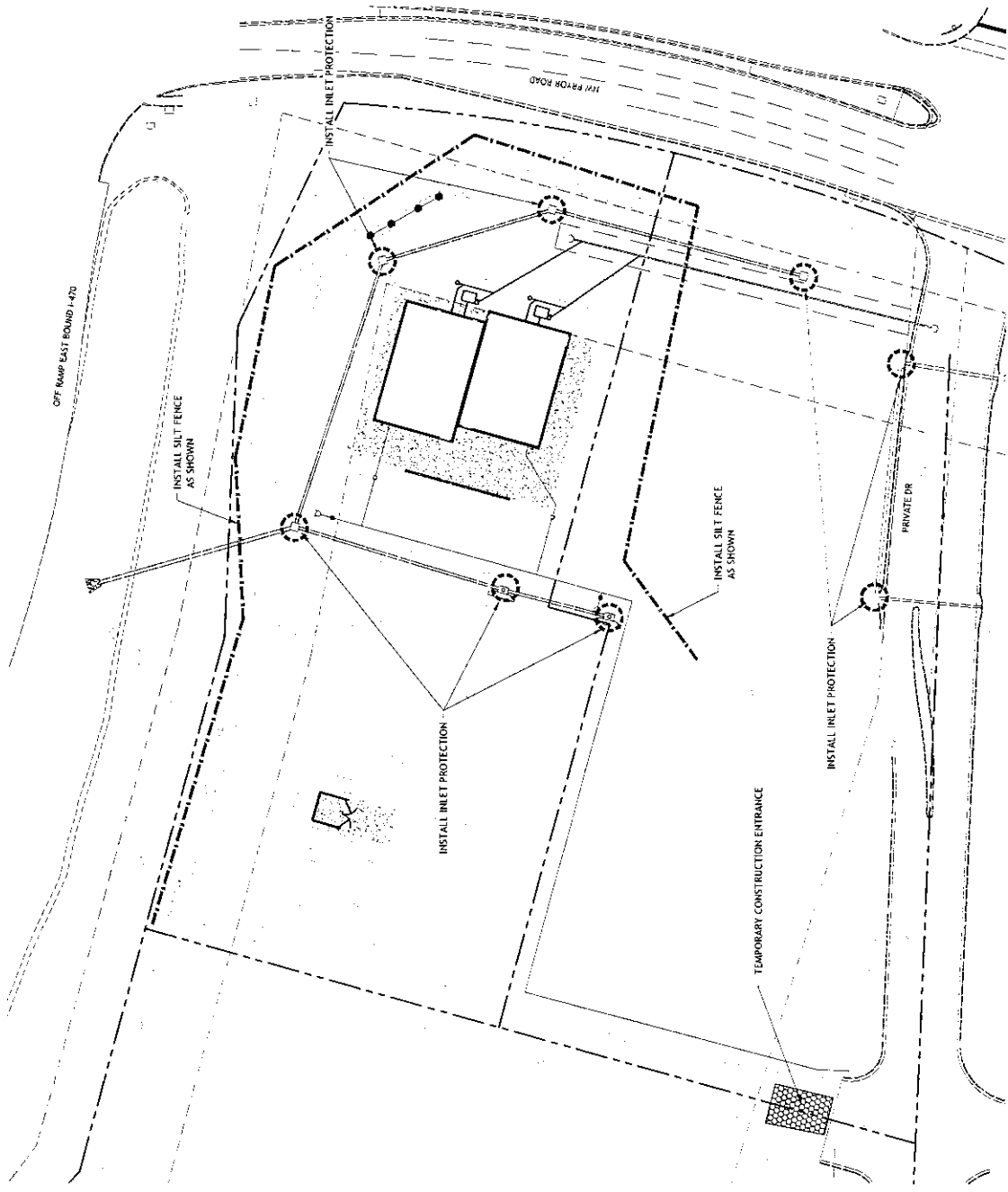
5. The above requirements are the responsibility of the committee for the site. Additionally, they are transferred to another party or the permittee, and the permittee should ensure compliance by trip data and/or beyond any of the above conditions are not met.

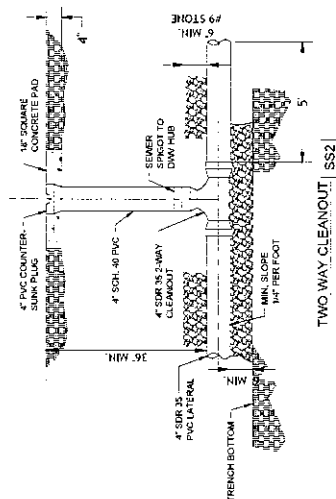
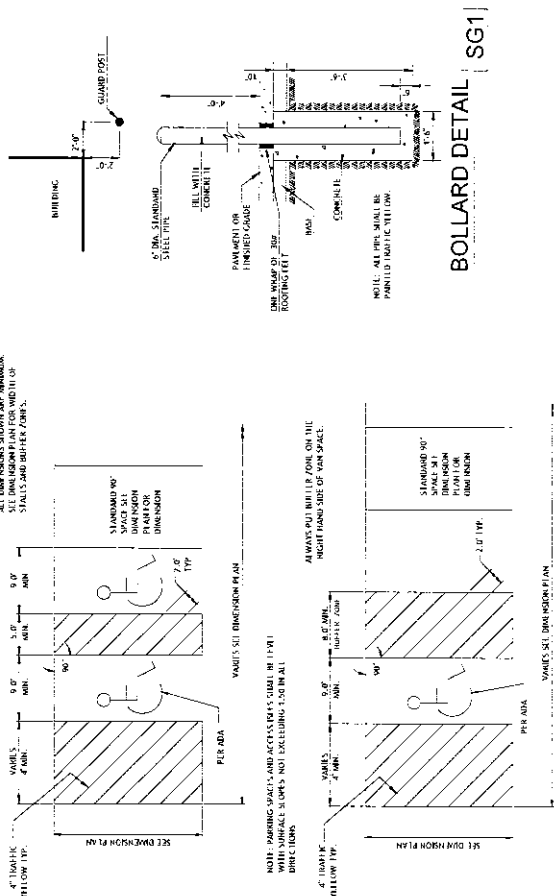
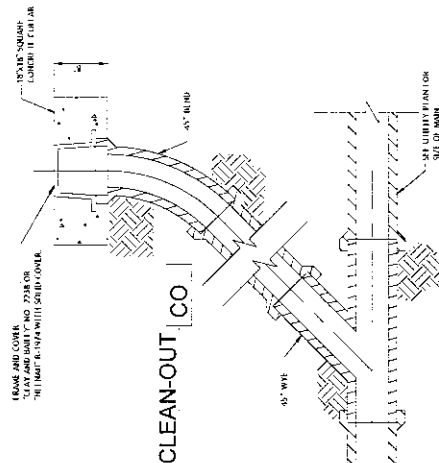
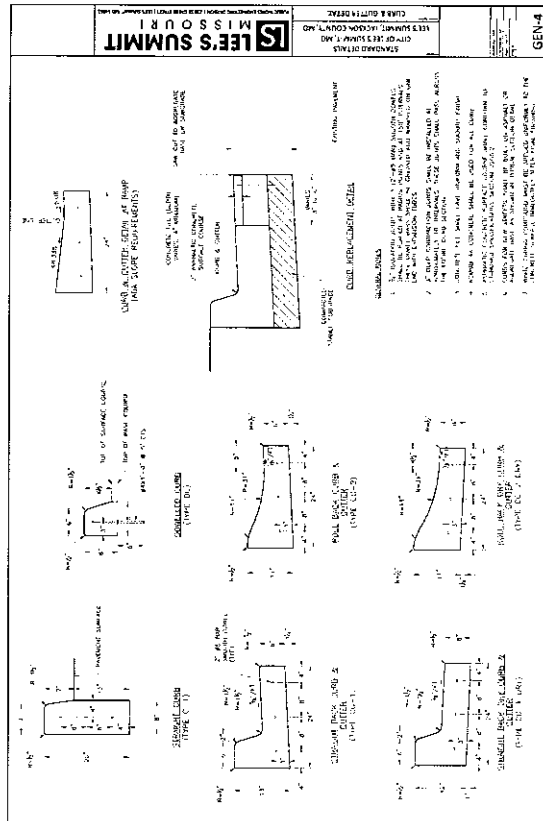
- LEGEND

- LEGEND
- SILT FENCE
 - INLET PROTECTION
 - TEMPORARY CONSTRUCTION ENTRANCE

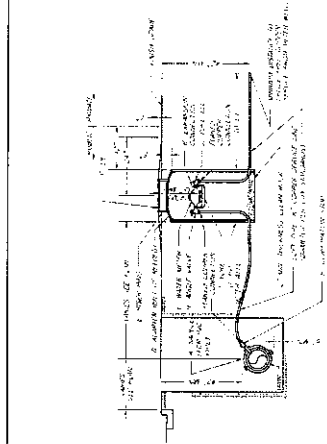
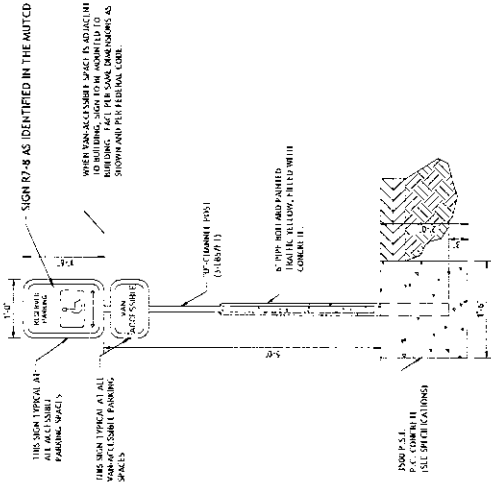
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- TEMPORARY CONSTRUCTION ENTRANCE

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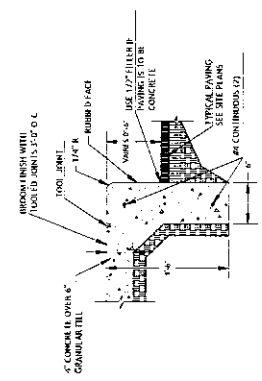




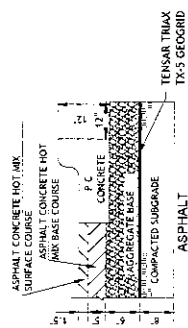
90° ACCESSIBLE &
VAN ACCESSIBLE SPACE STRIPING

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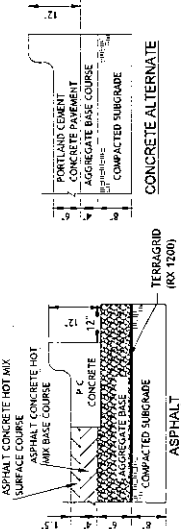
ACCESSIBLE PARKING SIGN



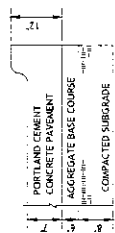
CURB WALK/CURB (AT BUILDING)



HEAVY DUTY ASPHALT PAVING

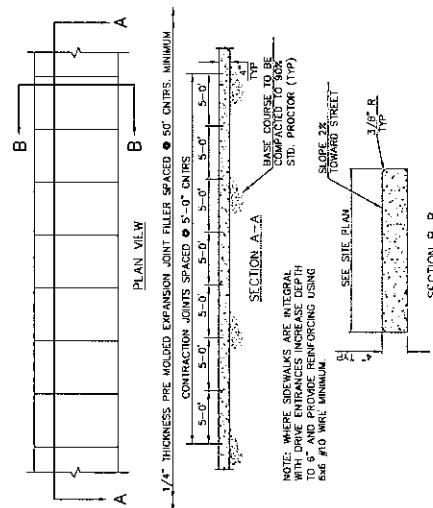


REGULAR DUTY PAVING



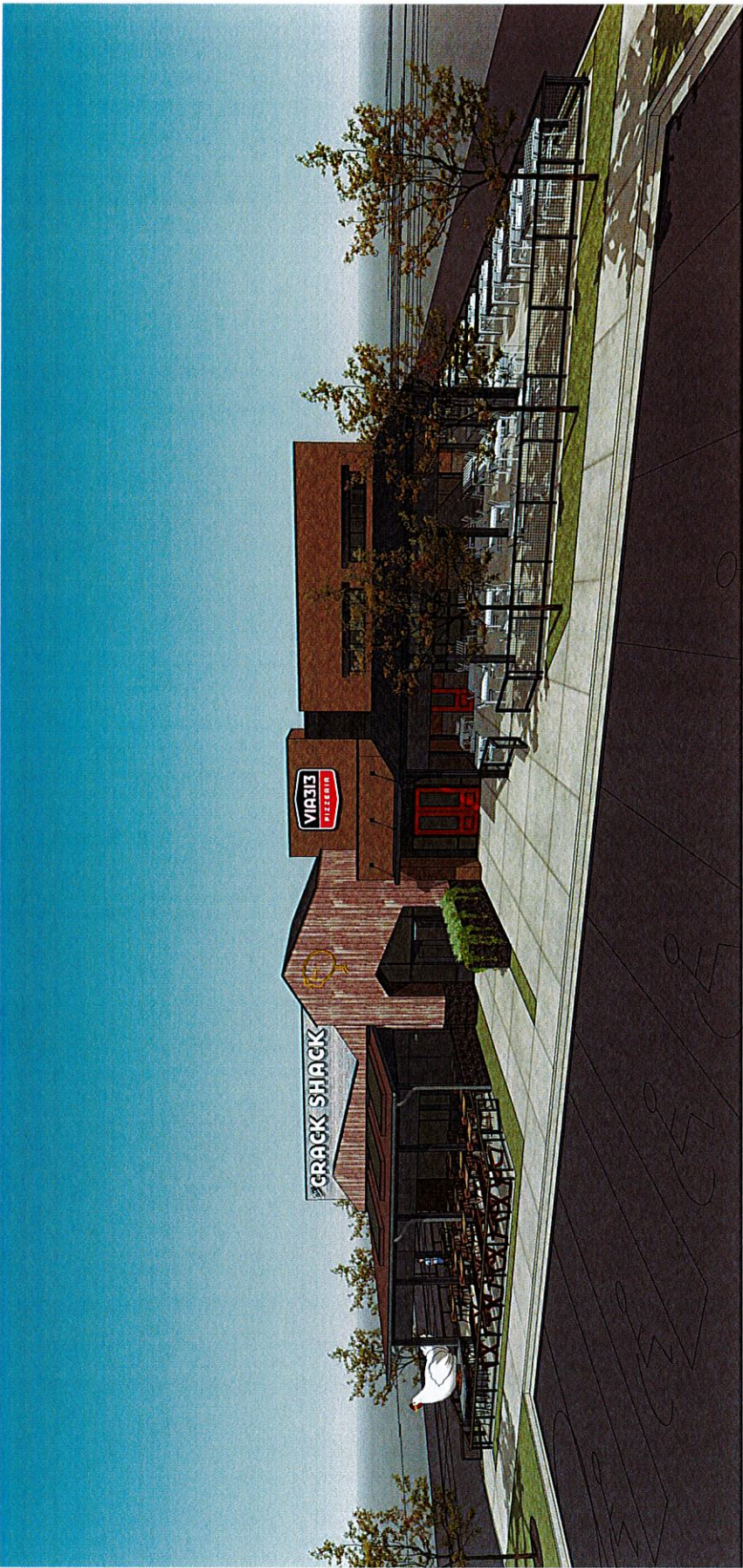
HEAVY DUTY CONCRETE

1. FLEXIBLE PAVEMENT SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MISSOURI DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS;
2. PORTLAND CEMENT CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS WITH A MAXIMUM AIR CONTENT OF 4% AND SHALL MEET OR EXCEED THE SPECIFICATIONS SET FORTH IN THE LATEST EDITION OF THE MISSOURI DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.



CONCRETE SIDEWALK

NOTE: CONCRETE SHALL BE CLASS A WITH $f'_c \approx 3000$ PSI.



CRACK SHACK/VIA 313
ELEVATION CONCEPT
LEES SUMMIT, MO

View 01

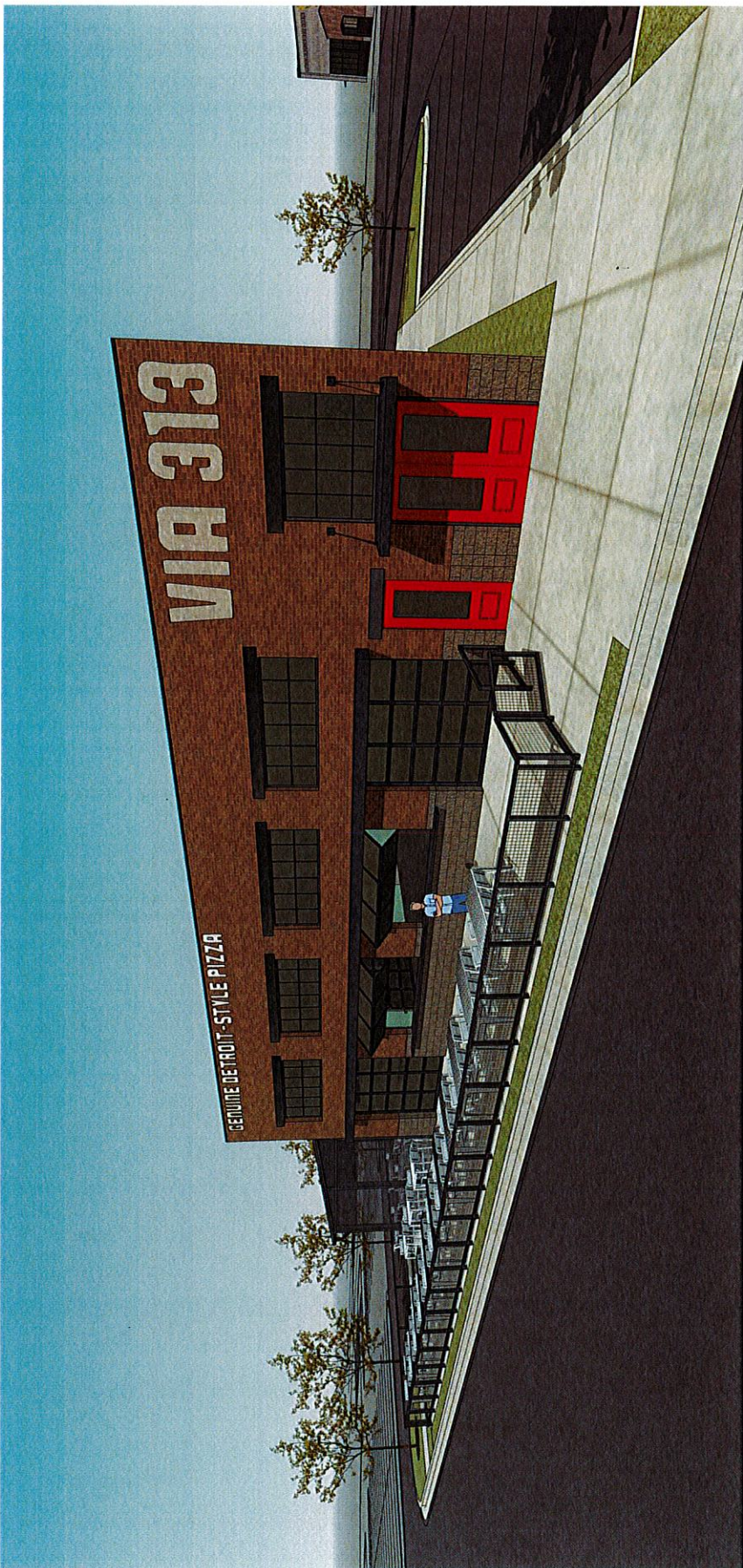
07.14.2022



CRACK SHACK/VIA 313
ELEVATION CONCEPT
LEES SUMMIT, MO

View 02

07.14.2022



CRACK SHACK/VIA 313
ELEVATION CONCEPT
LEES SUMMIT, MO

View 03

07.14.2022



CRACK SHACK/VIA 313
ELEVATION CONCEPT
LEES SUMMIT, MO

View 04

07.14.2022



View 05

07.14.2022

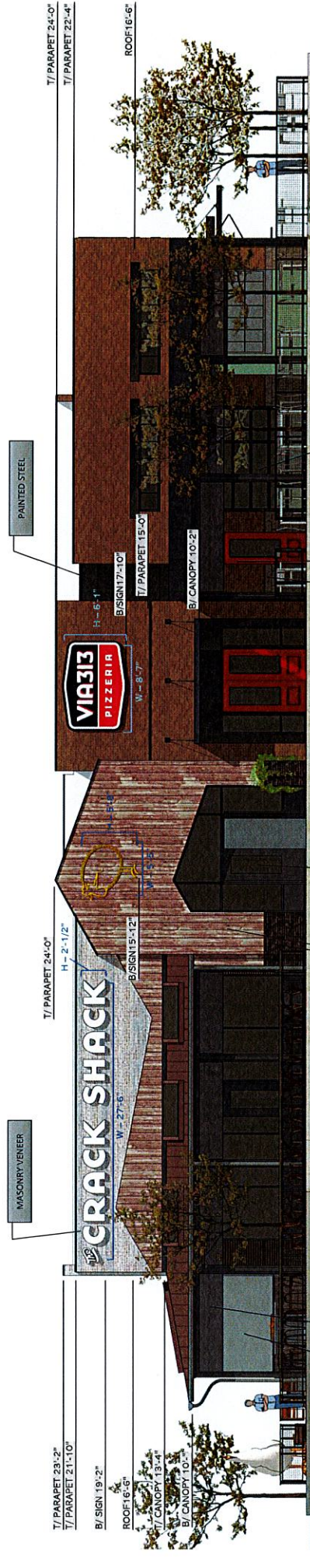
CRACK SHACK/VIA 313
ELEVATION CONCEPT
LEES SUMMIT, MO



CRACK SHACK/VIA 313
ELEVATION CONCEPT
LEES SUMMIT, MO

View 06

07.14.2022



WEST ELEVATION



EAST ELEVATION

CRACK SHACK/VIA 313 ELEVATION CONCEPT

LEES SUMMIT, MO

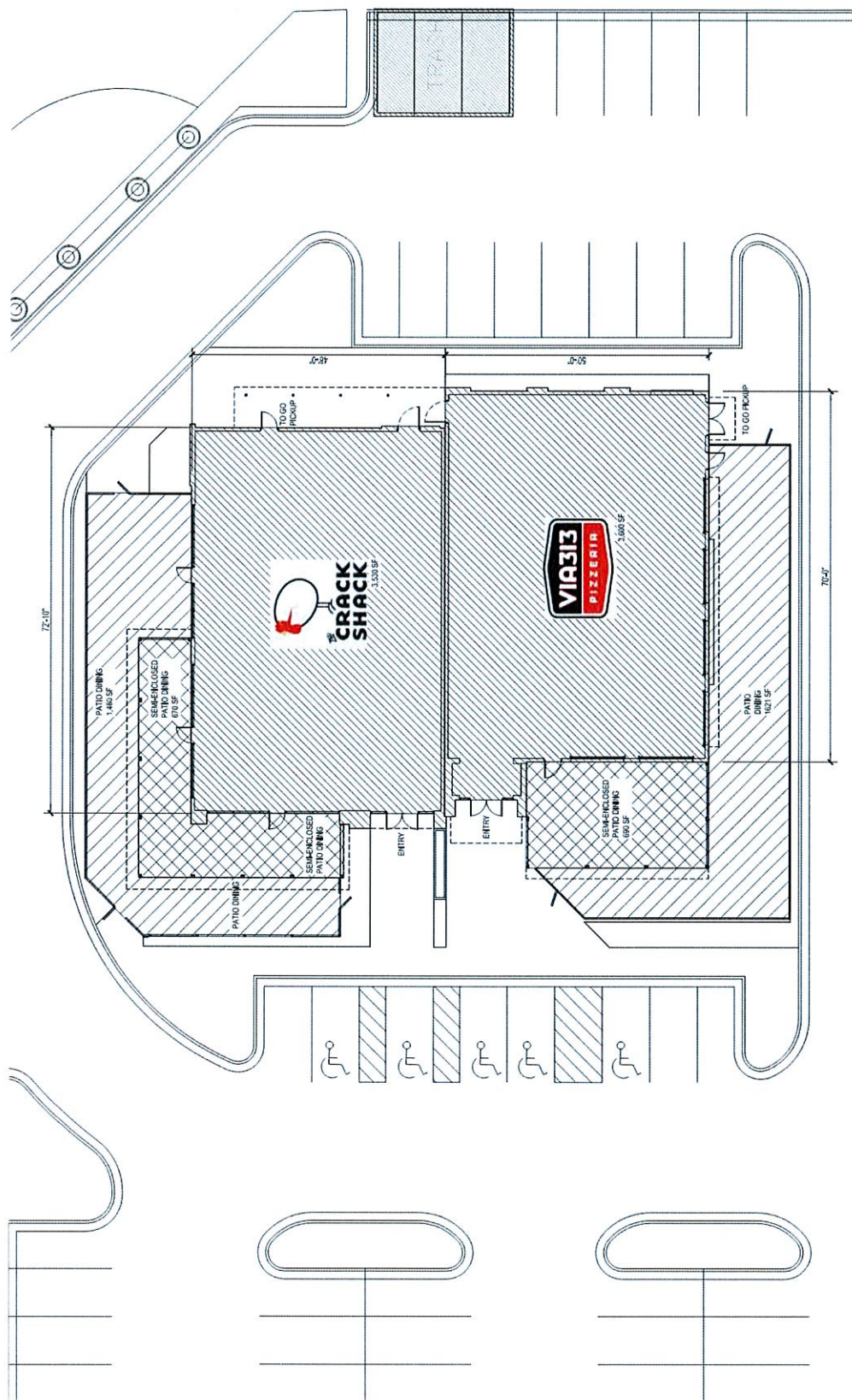
07.14.2022



CRACK SHACK/VIA 313 ELEVATION CONCEPT

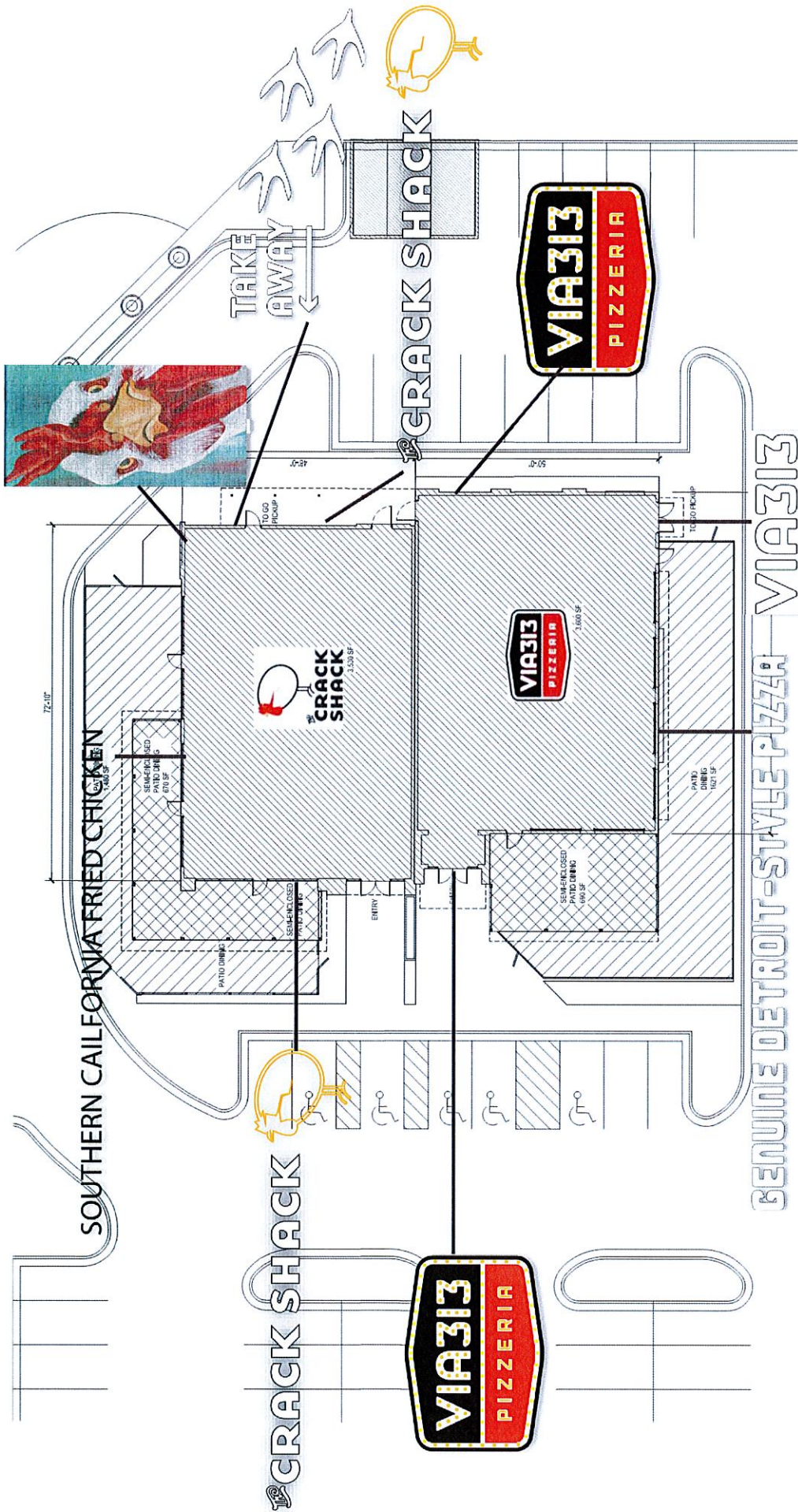
LEES SUMMIT, MO

07.14.2022



CRACK SHACK/VIA 313 LEES SUMMIT, MO

07.14.2022



Outdoor Signage The Crack Shack Pan Channel Letters

STANDARD FEATURES:

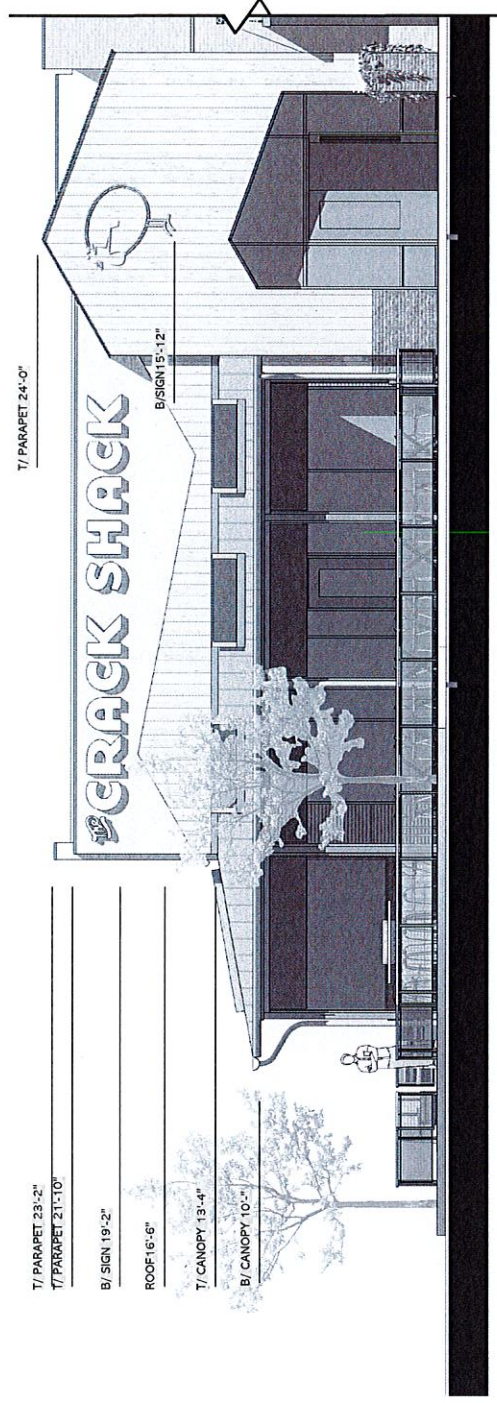
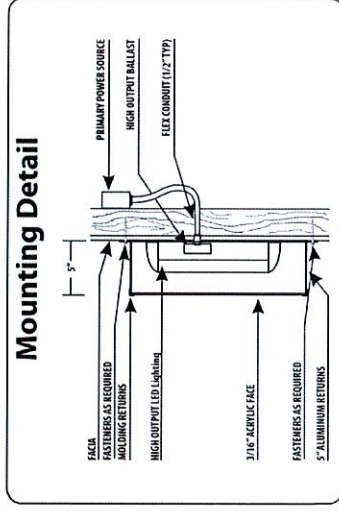
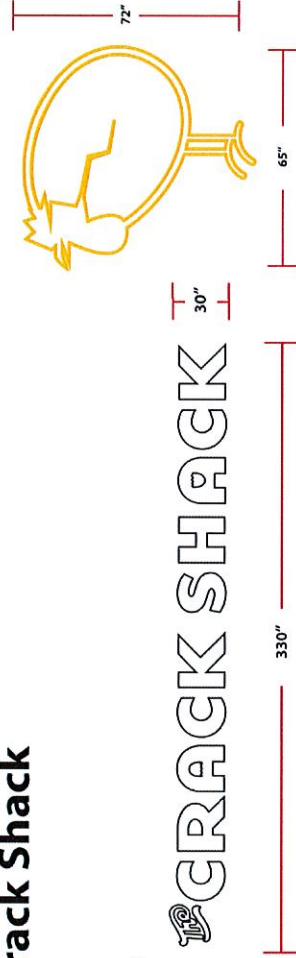
- Exterior Cabinets: Black 0.40 aluminum returns - 5" with 0.63 aluminum back
- 1" Black trim cap
- Faces: White Acrylic
- Illumination: L.E.D. Lighting

INSTALLATION:

- Mounted through stucco to wood wall into studs
- 3/16" x 4" STS Grabber Screws
- 3/16" Cement Anchors

ELECTRICAL:

- Carries UL listings



CRACK SHACK – WEST ELEVATION
OUTDOOR SIGNAGE
LEES SUMMIT, MO

Outdoor Signage - VIA313

STANDARD FEATURES:

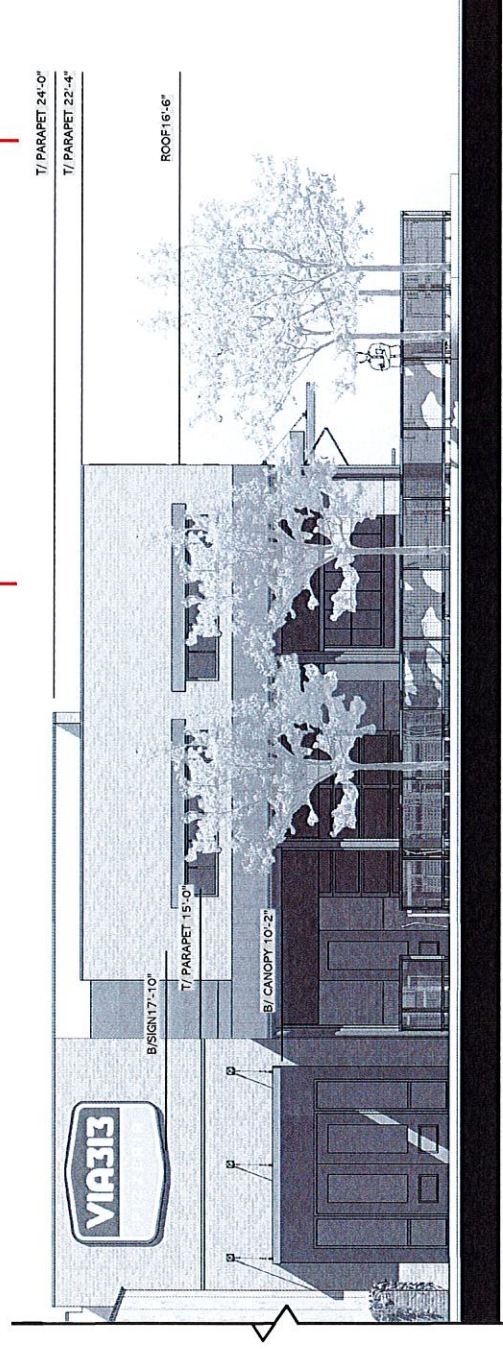
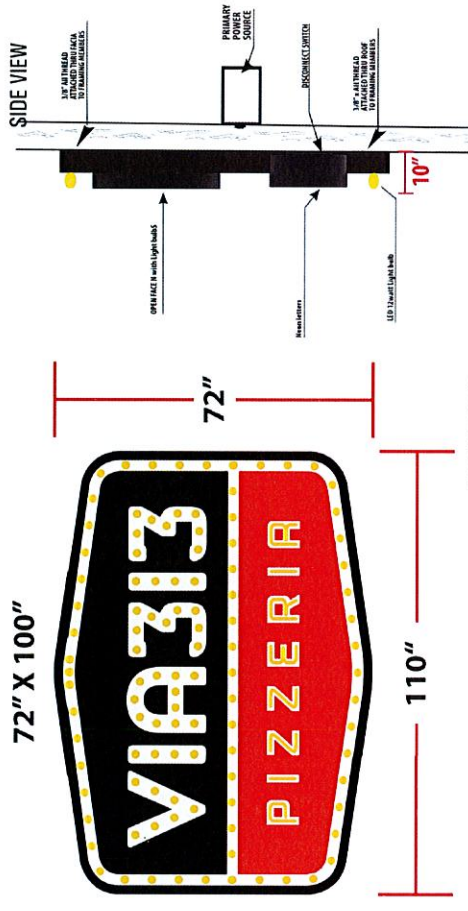
- Exterior Cabinets: Black 0.63 aluminum returns - 6" with 0.063 aluminum back & 2"x2" angle for structure
- Integral retainers with vinyl applied
- Faces: White Aluminum with Pan Channel Letters with bulbs and Neon
- Illumination: L.E.D. Lighting with 11 watt bulbs that chase
- Background Black 0.80 aluminum with 0.25"x2" Aluminum plate for mounting letters

INSTALLATION:

- Mounted through Roof beam and truss
- 3/8" All Thread and Strut 6 POINTS

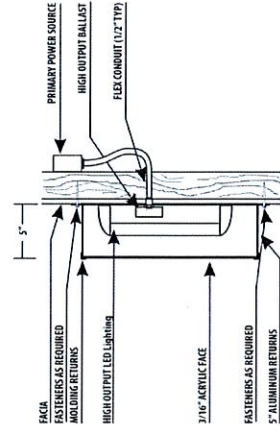
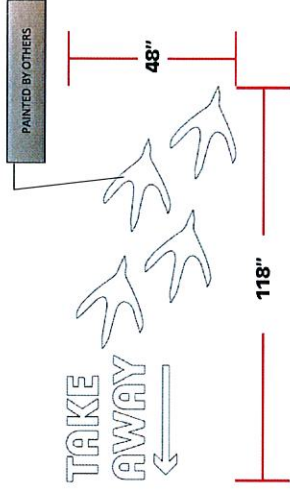
ELECTRICAL:

- Carries UL listings



VIA313 – WEST ELEVATION
OUTDOOR SIGNAGE
LEES SUMMIT, MO

- Carries UL listings



CORE STATES
GROUP

08.10.2022

Outdoor Signage - VIA313

STANDARD FEATURES:

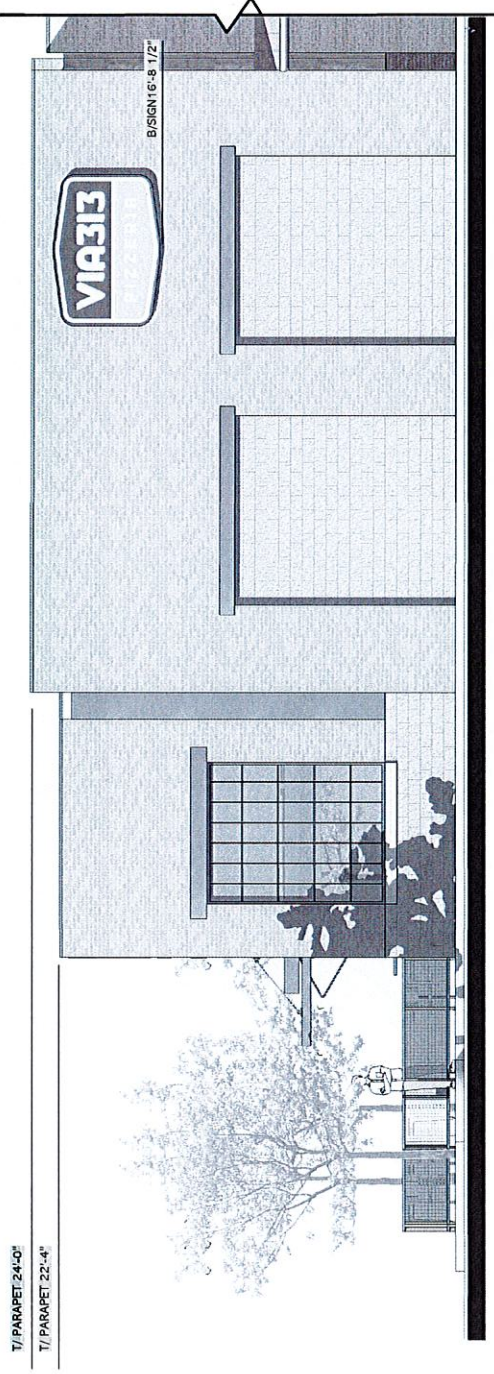
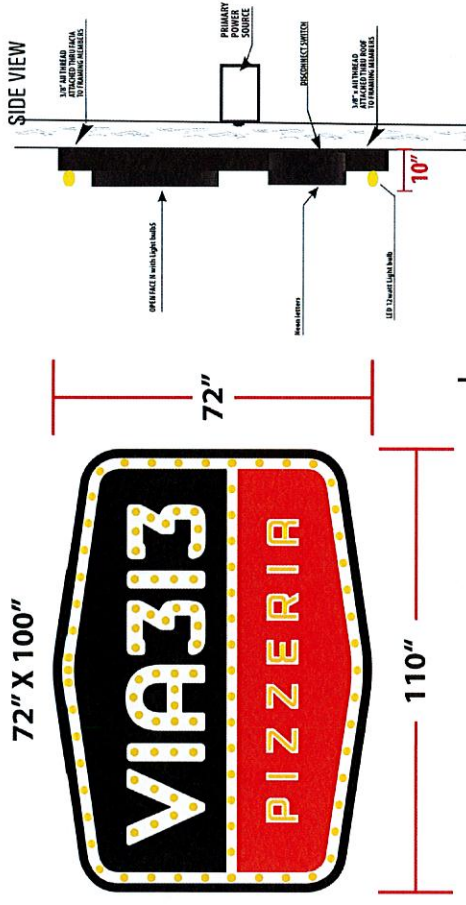
- Exterior Cabinets: Black 0.63 aluminum returns - 6" with 0.063 aluminum back & 2"x2" angle for structure
- Integral retainers with vinyl applied
- Faces: White Aluminum with Pan Channel Letters with bulbs and Neon
- Illumination: L.E.D. Lighting with 11 watt bulbs that chase
- Background Black 0.80 aluminum with 0.25"x2" Aluminum plate for mounting letters

INSTALLATION:

- Mounted through Roof beam and truss
- 3/8" All Thread and Strut 6 POINTS

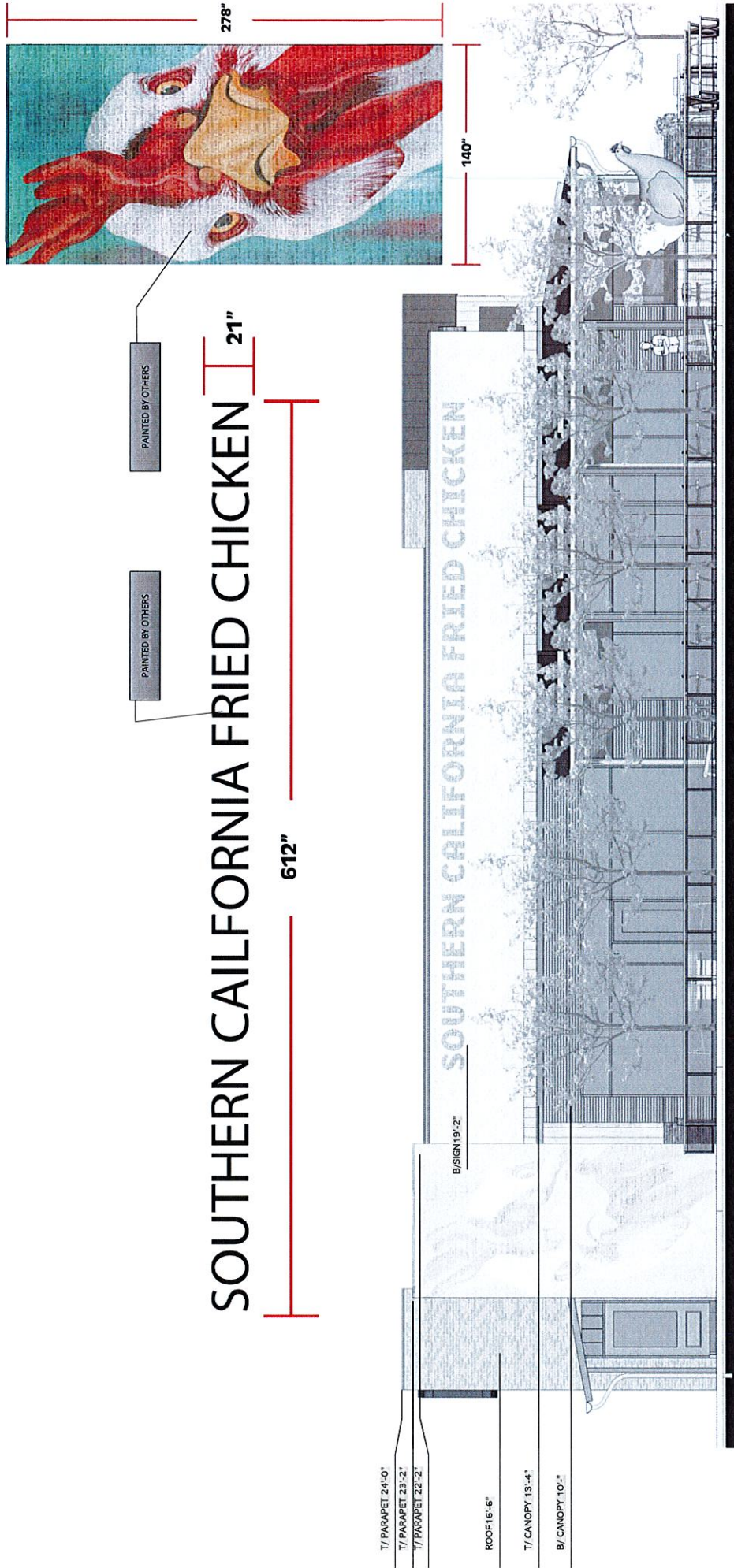
ELECTRICAL:

- Carries UL listings

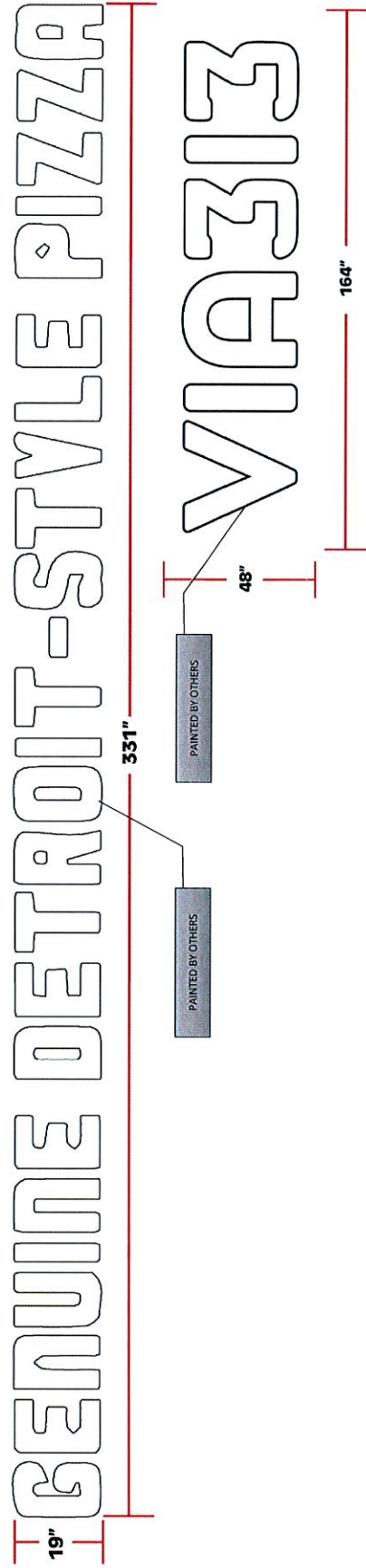


VIA313 – EAST ELEVATION
OUTDOOR SIGNAGE

LEES SUMMIT, MO



CRACK SHACK – NORTH ELEVATION
OUTDOOR SIGNAGE
LEES SUMMIT, MO



T/ PARAPET 24'-0"

T/ PARAPET 22'-4"

ROOF 16'-6"

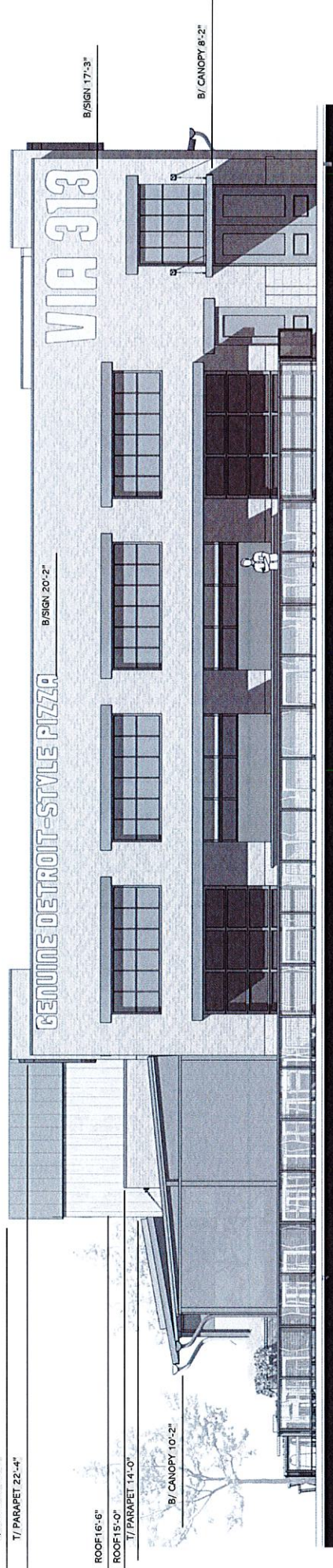
ROOF 15'-0"

T/ PARAPET 14'-0"

B/ CANOPY 10'-2"

B/ SIGN 17'-3"

B/ CANOPY 8'-2"



CRACK SHACK – SOUTH ELEVATION OUTDOOR SIGNAGE LEES SUMMIT, MO

Outdoor Signage - VIA313

STANDARD FEATURES:

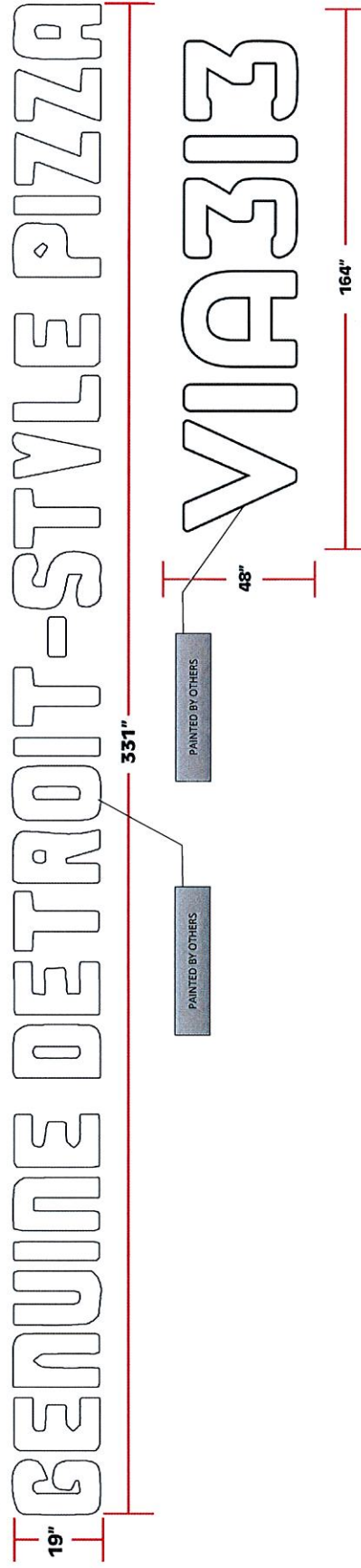
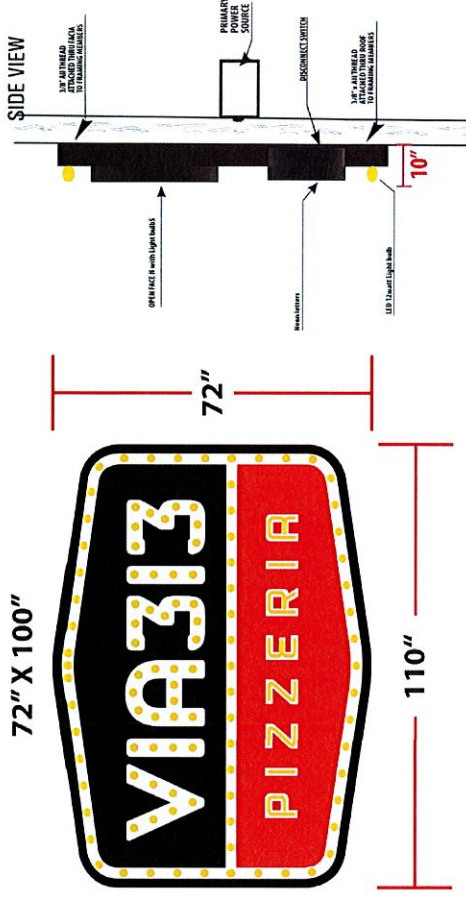
- Exterior Cabinets: Black 0.63 aluminum returns - 6" with 0.063 aluminum back & 2"x2" angle for structure
- Integral retainers with vinyl applied
- Faces: White Aluminum with Pan Channel Letters with bulbs and Neon
- Illumination: L.E.D. Lighting with 11 watt bulbs that chase
- Background Black 0.80 aluminum with 0.25"x2" Aluminum plate for mounting letters

INSTALLATION:

- Mounted through Roof beam and truss
- 3/8" All Thread and Strut 6 POINTS

ELECTRICAL:

- Carries UL listings



VIA313
OUTDOOR SIGNAGE
LEES SUMMIT, MO

Outdoor Signage The Crack Shack Pan Channel Letters

STANDARD FEATURES:

- Exterior Cabinets: Black 0.40 aluminum returns - 5" with 0.63 aluminum back
- 1" Black trim cap
- Faces: White Acrylic
- Illumination: L.E.D. Lighting

INSTALLATION:

- Mounted through stucco to wood wall into studs
- 3/16" x 4" STS Grabber Screws
- 3/16" Cement Anchors

ELECTRICAL:

- Carries UL listings

