

AN ORDINANCE APPROVING A PRELIMINARY DEVELOPMENT PLAN ON LAND LOCATED AT 900 NW PRYOR RD IN DISTRICT PMIX, PROPOSED LOT 9, STREETS OF WEST PRYOR, ALL IN ACCORDANCE WITH THE PROVISIONS OF UNIFIED DEVELOPMENT ORDINANCE, NO. 5209, FOR THE CITY OF LEE'S SUMMIT, MISSOURI.

WHEREAS, Application #PL2021-403 submitted by Streets of West Pryor, LLC, requesting approval of a preliminary development plan in District PMIX (Planned Mixed Use District) on land located at 900 NW Pryor Rd was referred to the Planning Commission to hold a public hearing; and,

WHEREAS, after due public notice in the manner prescribed by law, the Planning Commission held a public hearing for the consideration of the preliminary development plan on December 16, 2021, and rendered a report to the City Council recommending that the preliminary development plan be approved; and,

WHEREAS, after due public notice in the manner prescribed by law, the City Council held a public hearing on January 18, 2022, and rendered a decision to approve the preliminary development plan for said property.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF LEE'S SUMMIT, MISSOURI, as follows:

SECTION 1. That a preliminary development plan is hereby approved in District PMIX on the following described property:

Lot 9 Streets of West Pryor Lots 1 thru 14, Tracts A, B, C, & D, in the south half of section 35, Township 48, Range 32, City of Lee's Summit, County of Jackson, State of Missouri.

SECTION 2. That the following conditions of approval apply:

1. An additional wall sign for Lot 9C totaling 4 wall signs shall be approved per the sign specification plan set submitted December 8, 2021.
2. Additional roof form and parapet heights; pronounced recesses and projections; and vertical accents or focal points shall be required for lot 9A proposed "PNC Bank" building.
3. Development shall be in accordance with the preliminary development plan dated November 16, 2021.

SECTION 3. That development shall be in accordance with the preliminary development plan dated stamped November 16, 2021, appended hereto and made a part hereof.

SECTION 4. That in granting modifications listed herein, the Governing Body concludes that the development will provide sustainable value to the City, incorporates sound planning principles and design elements that are compatible with surrounding properties and consistent through the proposed project, effectively utilize the land upon which the development is proposed, and further the goals, spirit and intent of the Unified Development Ordinance.

BILL NO. 22-12**ORDINANCE NO. 9329**

SECTION 5. Nonseverability. That all provisions of this ordinance are so essentially and inseparably connected with, and so dependent upon, each other that no such provision would be enacted without all others. If a court of competent jurisdiction enters a final judgment on the merits that is not subject to appeal and that declares any provision or part of this ordinance void, unconstitutional, or unenforceable, then this ordinance, in its collective entirety, is invalid and shall have no legal effect as of the date of such judgment.

SECTION 6. That failure to comply with all of the provisions contained in this ordinance shall constitute violations of both this ordinance and the City's Unified Development Ordinance, enacted by Ordinance No. 5209 and amended from time to time.

SECTION 7. That this ordinance shall be in full force and effect from and after the date of its passage and adoption, and approval by the Mayor.

PASSED by the City Council of the City of Lee's Summit, Missouri, this 1st day of February, 2022.

ATTEST:

Trisha Fowler Arcuri
City Clerk Trisha Fowler Arcuri



William A. Baird
Mayor William A. Baird

APPROVED by the Mayor of said city this 1st day of February, 2022.

ATTEST:

Trisha Fowler Arcuri
City Clerk Trisha Fowler Arcuri

William A. Baird
Mayor William A. Baird

APPROVED AS TO FORM:

Brian W. Head
City Attorney Brian W. Head



FOR

rebeccadavis@google.com

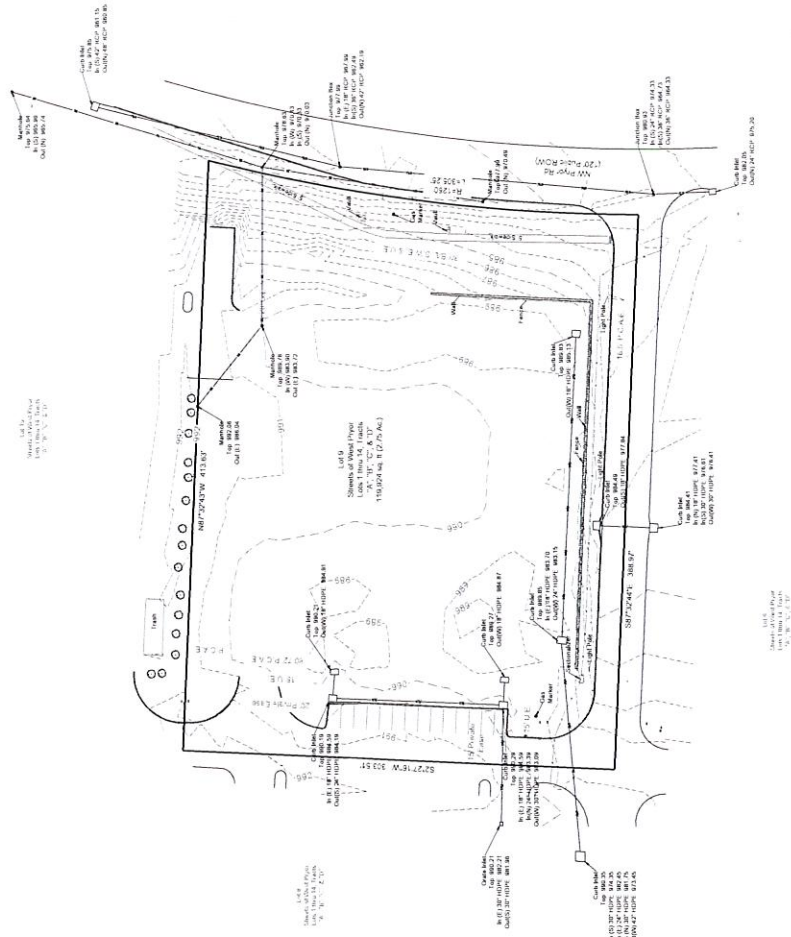
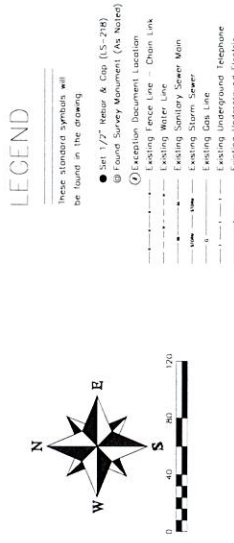
CAUTION- NOTICE TO CONTRACTOR
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY EXCAVATION AS BEING EXACT ON COMPLETE. THE CONTRACTOR MUST OBTAIN THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION.

Revisions
11/15/21 CITY COMMENTS

SAMUEL D. MALINOWSKY
PROFESSIONAL ENGINEER

sheet
C1.0
Civil
COVER SHEET
permit
15 OCTOBER 2021

*ALTA/NSPS Land Title Survey
Streets of West Pryor Lot 9
Section 35, Township 48, Range 32
Lee's Summit, Jackson County, Missouri*



SURVEYOR'S GENERAL NOTES:

- [illegible]

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This is to certify that this material was obtained from the survey on which it is based were made in accordance with the 2011 Minimum Standard Dated Requirements for AL TALETS and TALETS Surveys, jointly established and adopted by AL TA and NPS, and includes items 1, 2, 3, 4, 6 a & b, 8, 9, 10, 9, 10, 6, 11, 12, 13, 16, 17, 18, 19 and 20 of Table A thereof. The field work was completed on April 11, 2013.

Date of Plot or Map: April 25, 2013

Matthew J. Smith, KS-PLS 1586
Engineering Solutions, LLC, Corp Authority CLS-218

ALTA/NSPS Land Title Survey

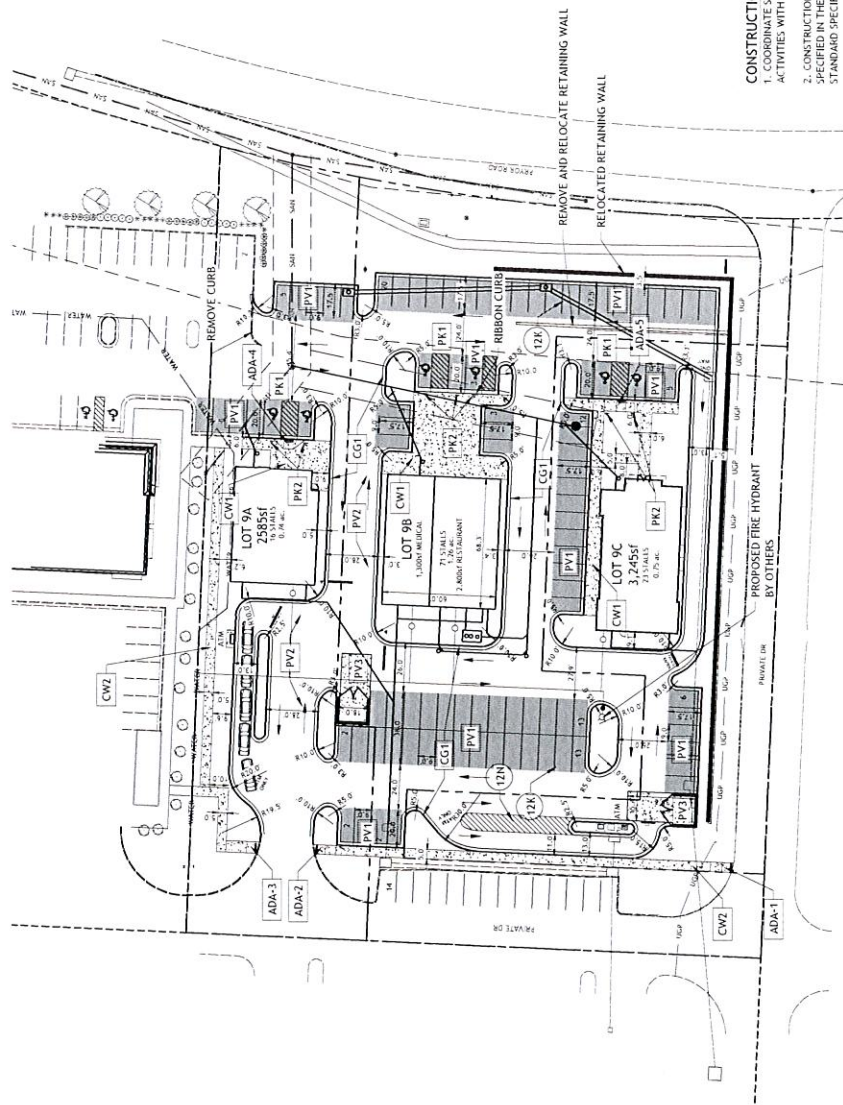
Streets of West Pryor Lot 9
Section 35, Township 48, Range 32
Lee's Summit, Jackson County, Missouri

REVISIONS		DATE



ENGINEERING
—SOLUTIONS—
ENGINEERING & SURVEYING

50 SE WORTH STREET
TEES SUMMIT, M40 40RS



SITE DATA

Category	OT 9A	OT 9B	OT 9C
TOTAL SITE	0.74ac (32,234sf)	1.29ac (54,885sf)	0.75ac (32,676sf)
TOTAL IMPERVIOUS AREA	22.458sf	40.480sf	22.676sf
OPEN SPACE	9.576sf (29.7%)	14.405sf (26.2%)	9.103sf (27.8%)
TOTAL BUILDING	2.585sf	4.100sf	3.245sf
TOTAL PARKING	16.6 (66 STALLS / 1000sf)	71.1 (66 STALLS / 1000sf)	23.7 (68 STALLS / 1000sf)

CONSTRUCTION NOTES:

- COORDINATE START-UP AND ALL CONSTRUCTION ACTIVITIES WITH OWNER.
- CONSTRUCTION METHODS AND MATERIALS NOT TO BE USED ARE TO BE MET OR EXCEED THE STANDARD SPECIFICATIONS.
- ALL CONSTRUCTION WORK AND UTILITY WORK OUTSIDE OF PROPERTY BOUNDARIES SHALL BE IN ACCORDANCE WITH REGULATIONS OF THE AUTHORITIES CONCERNED.
- PUBLIC CONVENIENCE AND SAFETY: THE CONSTRUCTION SHALL INSURE, IN A MANNER THAT SHALL INSURE AS FAR AS PRACTICABLE, THE LEAST OBSTRUCTION TO TRAFFIC, AND SHALL PROVIDE FOR THE PUBLIC CONVENIENCE AND SAFETY OF THE GENERAL PUBLIC AND RESIDENTS ALONG AND ADJACENT TO THE STREETS IN THE CONSTRUCTION AREA.
- ALL DIMENSIONS SHOWN ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
- ALL ACCESSIBLE STAIRS SHOWN WITH A "V" MAY BE ACCESSIBLE, AND SHALL HAVE A SIGN DESIGNATING "V" AS ACCESSIBLE. (SEE DETAIL 102.)

NOTE:

- THE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ALL FOUNDATION, WALL, AND ROOFING ELEMENTS. CONTRACTOR SHALL VERIFY AND NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES. CONTRACTOR IS SOLELY RESPONSIBLE FOR REVIEW AND CORRECTION OF ALL DRAWINGS, AND CONTRACTOR DOCUMENTS.
- ALL DIMENSIONS ARE PERPENDICULAR TO PROPERTY LINE.
- ALL ACTUAL SIGN LOCATIONS TO BE COORDINATED WITH STRUCTURAL DRAWINGS.

SEE DETAIL SHEET FOR THE FOLLOWING DETAILS:

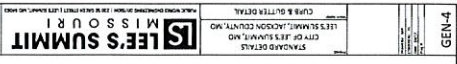
PK-2	96" ACCESSIBLE & VAN ACCESSIBLE SPACE STRIPING
PK-3	ACCESSIBLE SIGN
SG-1	BOLLARD DETAIL
CG-1	TYPE B CURB AND GUTTER
CW1	CURB WALK AT BUILDING
PV1	REGULAR DUTY PAVEMENT
PV2	HEAVY DUTY ASPHALT PAVEMENT
PV3	HEAVY DUTY CONCRETE PAVEMENT
SDWALK	SIDEWALK
ADW-1	HANDICAP RAMP SEE GEN-3A DETAIL
ADW-2	1, 2, 3, 4, 5

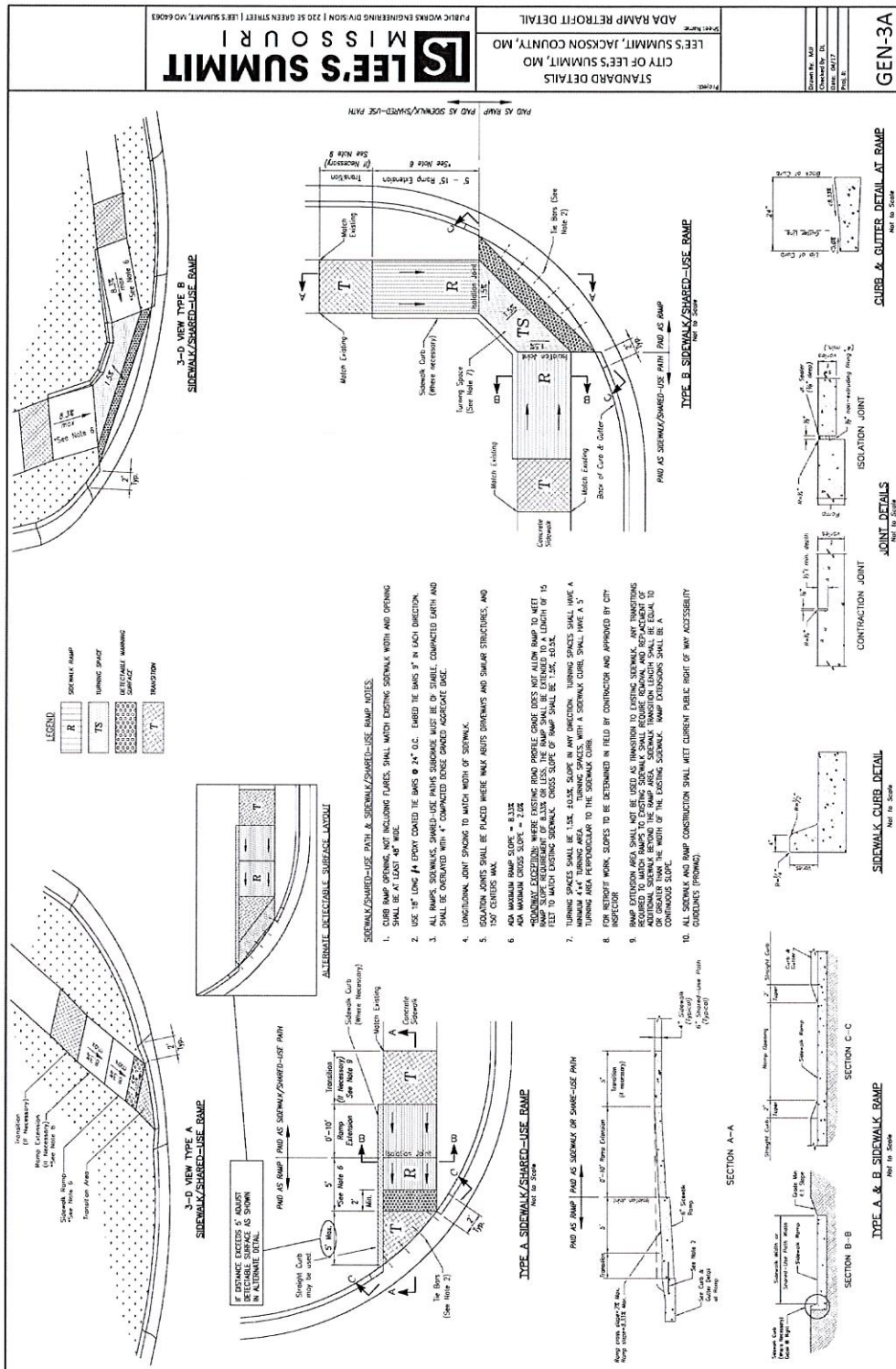
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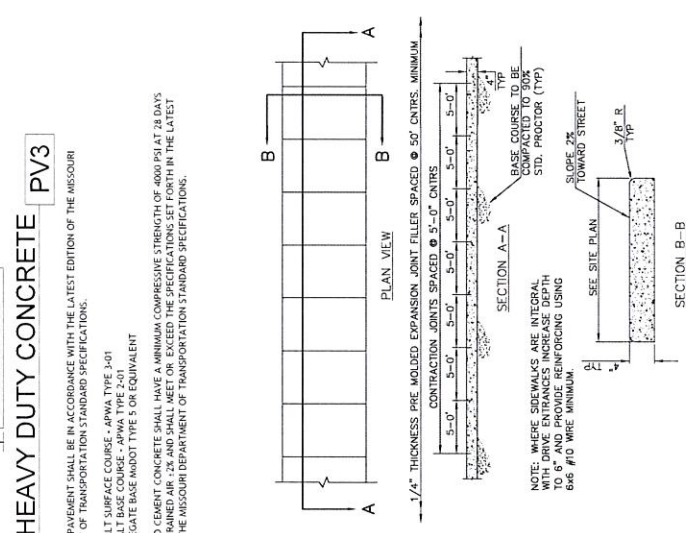
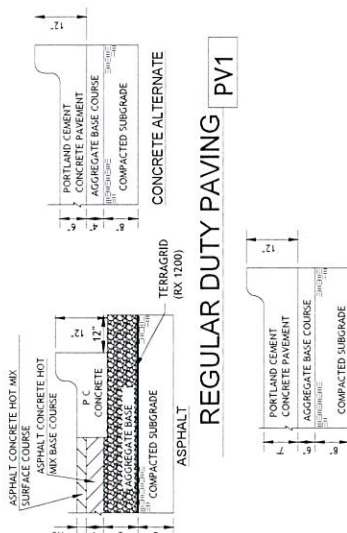
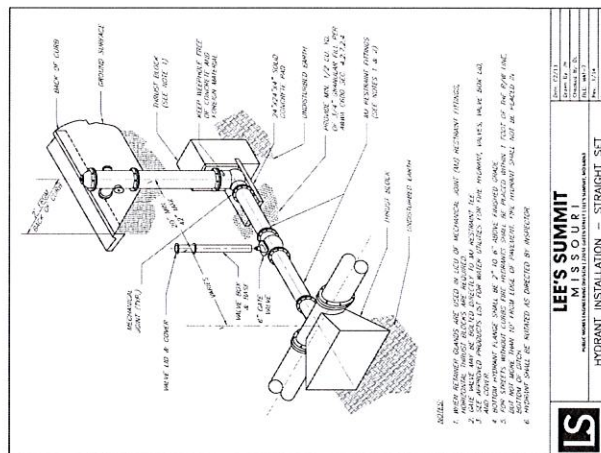
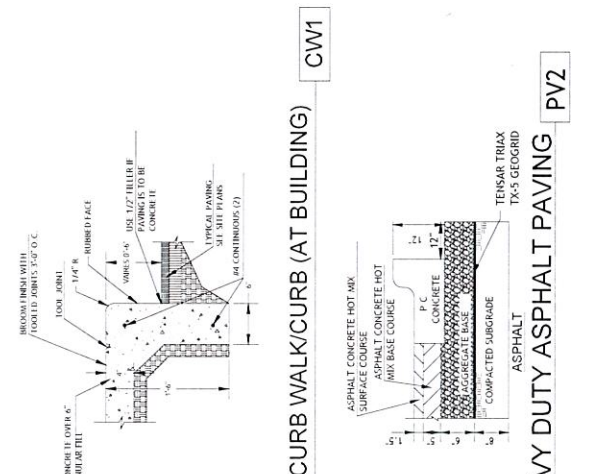
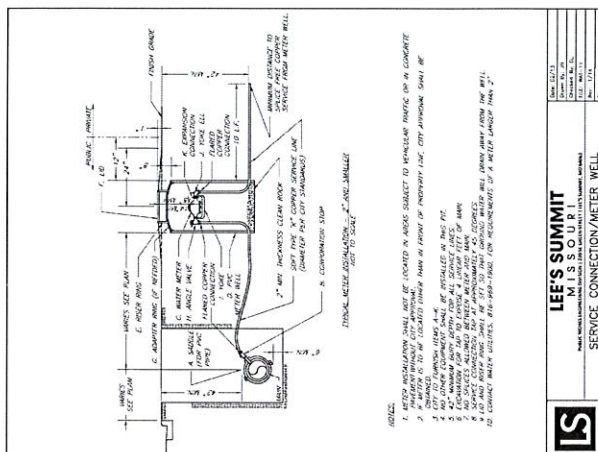
- NOTES:
- | | |
|----|--|
| 10 | DOOR (SEE ARCH. PLANS) |
| 20 | YELLOW PARKING LOT STRIPING (SHERWIN-WILLIAMS) |
| 21 | TM 2160 LEAD FREE OR APPROVED EQUAL |
| 22 | 4" YELLOW STRIPES 3'-0" O.C. |
| 23 | CLEAN-OUT (SEE GRADING PLAN) |
| 24 | PAINT CURB RED |



ALWAYS PUT BUFFER ZONE ON THE
RIGHT HAND SIDE OF VAN SPACE.







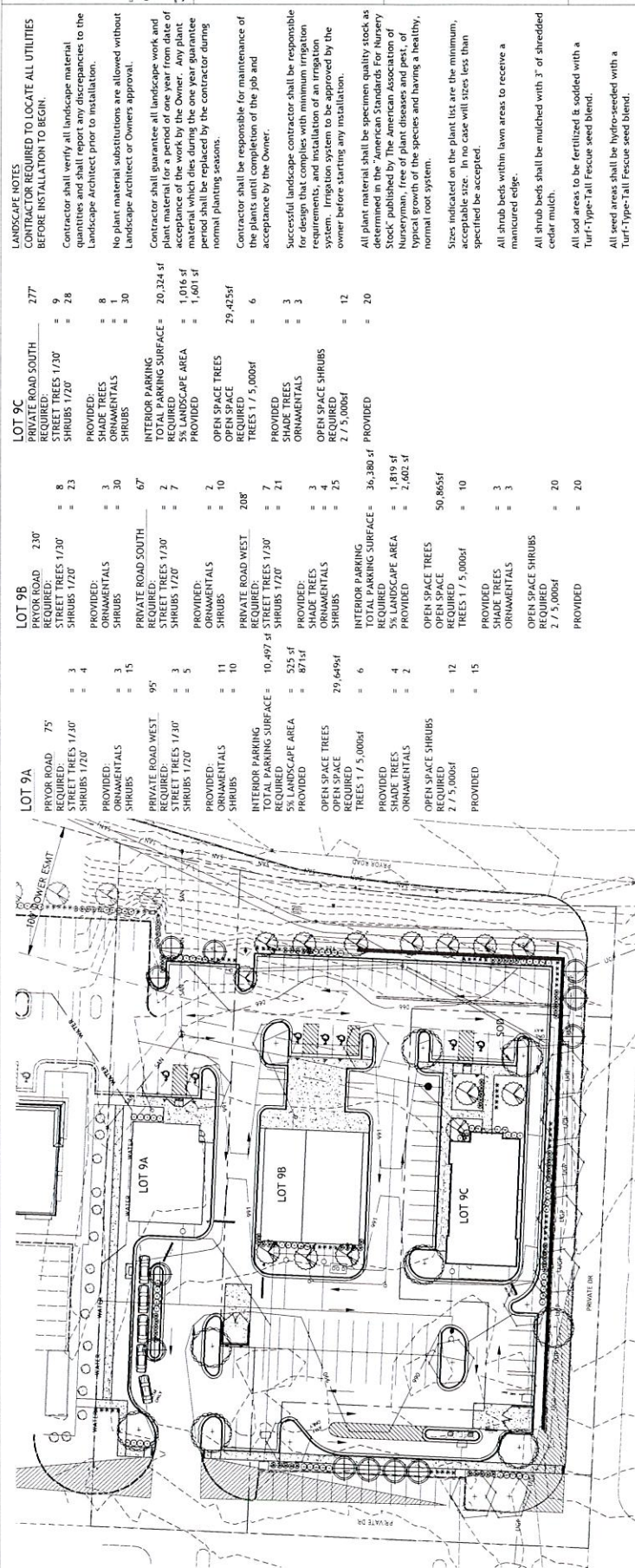
1. FLEXIBLE PAVEMENT SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MISSOURI DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.

2. PORTLAND CEMENT CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI WITH 6% ENTRAINED AIR. 2% AND SHALL MEET OR EXCEED THE SPECIFICATIONS SET FORTH IN THE SPECIFICATIONS OF THE MISSOURI DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.

NOTE: CONCRETE SHALL BE CLASS A WITH $f'_c = 3000$ PSI

ACCESSIBLE PARKING SIGN

LEE'S SUMMIT
MISSOURI
PUBLISHED MONTHLY (except January) | 2014 LEE'S SUMMIT | 100% RECYCLED PAPER

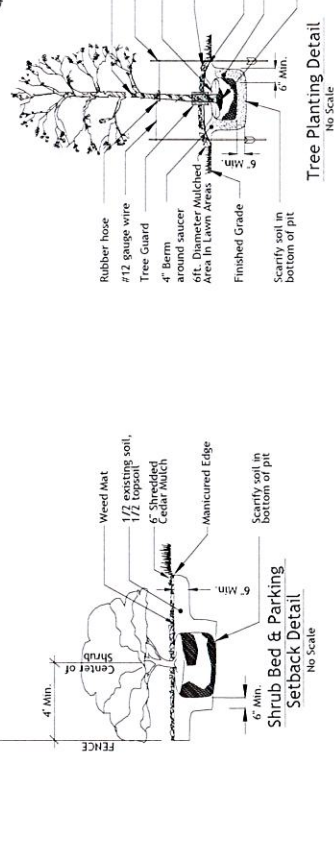


Tree List

Symbol	Quantity	Common Name	Botanical Name	Size	Condition	Spacing
	8	October Glory Maple	Acer Rubrum 'October Glory'	3" cal	BB	As Shown
	13	Skyline Honeylocust	Gleditsia Tracanthos 'Skyline'	3" cal	BB	As Shown
	14	Golden Raintree	Koelreuteria paniculata	3" cal	BB	As Shown
	12	Prunefire Crabapple	Malus Sp. 'Prunefire'	3" cal	BB	As Shown

Shrub List

Symbol	Quantity	Common Name	Botanical Name	Size	Condition	Spacing
	65	Seagreen Juniper	Juniperus Chinensis 'Seagreen'	18"-24" sp.	Cont.	40 c.c.
	60	Dwarf Winged Euonymus	Euonymus Alatus 'Compactus'	18"-24" sp.	Cont.	40 c.c.
	50	Morning Light Maiden Grass	Miscanthus Sinensis 'Morning Light'	18"-24" sp.	Cont.	40 c.c.



UTILITY BOXES SHALL BE CLUSTERED AS MUCH AS POSSIBLE

LANDSCAPE NOTES
CONTRACTOR REQUIRED TO LOCATE ALL UTILITIES BEFORE INSTALLATION TO BEGIN.

Contractor shall verify all landscape material quantities and shall report any discrepancies to the Landscape Architect prior to installation.

No plant material substitutions are allowed without Landscape Architect or Owners approval.

Contractor shall guarantee all landscape work and plant material for a period of one year from date of acceptance of the work by the Owner. Any plant material which dies during the one year guarantee period shall be replaced by the contractor during normal planting seasons.

Contractor shall be responsible for maintenance of the plant material during the life of the job and acceptance by the Owner.

Successful landscape contractor shall be responsible for design that complies with minimum irrigation requirements, and installation of an irrigation system. Irrigation system to be approved by the owner before starting any installation.

All plant material shall be specimen quality stock as determined in the 'American Standards For Nursery Stock' published by The American Association of Nurserymen, free of plant diseases and pest, of typical growth of the species and having a healthy, normal root system.

Sizes indicated on the plant list are the minimum, acceptable size. In no case will sizes less than specified be accepted.

All shrub beds within lawn areas to receive a manicured edge.

All sod areas shall be mulched with 3" of shredded cedar mulch.

All sod areas to be fertilized & sodded with a Turf-Type-Tall Fescue seed blend.

All sod areas shall be hydroseeded with a Turf-Type-Tall Fescue seed blend.

PL2021-403 STREETS OF WEST PRYOR, LOT 9
900 NW PRYOR RD
PRELIMINARY DEVELOPMENT PLAN

