

TO: Current Homeowner  
FROM: Gary Stanek and Aileen Murphy  
DATE: November 21, 2022  
RE: Notice of Variance requested for 4744 SW Gull Point Dr., Lee's Summit, MO 64082

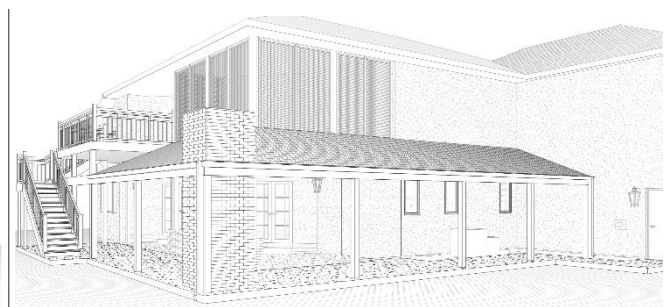
Hello,

We are the owners of the above property, and you are receiving this notice because you own property within 300 feet of our property line. We have filed an application with the City of Lee's Summit Board of Zoning to request approval of a variance from certain provisions in the City of Lee's Summit Zoning Ordinance and are writing to provide you further details on that application.

Our property is currently developed with a second story deck that sits ~30 feet from our rear property line. It does not include an outside staircase to access the ground and water runoff creates persistent issues. Pictures that show the current structure are included below.



While designing improvements to our outdoor space, we learned that a minimum of 30 feet from the rear of the property is required for any structure connected to the home. Below are drawings for our proposed home improvements that would add roofing and drainage to mitigate standing water issues we are having in our back yard as well as adds a staircase from the upstairs deck to the lower level. The edge of these improvements are ~20 feet from the back of the property line and thus we have needed to apply for a 10 foot variance.



As a part of this application process, we are required to notify you as neighboring homeowners as well as inform you with a minimum of 15 days notice of your rights to appear at a public hearing at which our application will be reviewed. The public hearing has been scheduled before the City of Lee's Summit Board of Zoning Adjustments on Thursday, December 15, 2022 at 6:00pm. Our application materials state that the meeting will occur at City Hall in the Strother Room, 220 SE Green Street, Lee's Summit, MO 64063. An update online indicates that the meeting will be held via Videoconference:

<https://lsmo.legistar.com/Calendar.aspx>.

If you wish to make any comment on the application, when the case is called, you can present any comments or objections. In advance of the hearing, we are also happy to answer any questions directly related to our application - Gary Stanek: (618) 830-5743 or [garystanek@yahoo.com](mailto:garystanek@yahoo.com).

Following the hearing, we will proceed with having any resulting plans reviewed by Raintree Lake Homeowners' Association Architectural Review Board. We were advised by the HOA Office to proceed with our application for variance and finalizing of plans prior to submitting.

Property radius of 300 feet:



Respectfully,

*Gary and Aileen*