CONTACT: MARGARET TROIA 10 S DEARBORN STREET, FLOOR 15

CHICAGO, IL 60603

312-732-7980

CORE STATES GROUP CIVIL ENGINEER: 6500 CHIPPEWA STREET, SUITE 200 ST. LOUIS, MO 63109 CONTACT: CHAD FAIRBANKS, P.E.

TEL: 314-270-5203

ARCHITECT: CORE STATES GROUP

> 6500 CHIPPEWA STREET, SUITE 200 ST. LOUIS, MO 63109 CONTACT: R. BRUCE LASURS, A.I.A

TEL: 314-730-0772

LANDSCAPE ARCHITECT: EVERGREEN DESIGN GROUP 1200 US HIGHWAY 22 E, SUITE 2000-2248

BRIDGEWATER, NJ 08807 **CONTACT: LARRY LESSER** TEL: 800-680-6630 EXT 5

SURVEYOR: SWT DESIGN, INC. 772 BIG BEND BOULEVARD

> ST. LOUIS, MO 63119 CONTACT: JAMES DEGENHARDT, P.L.S. TEL: 314-644-5700

GOVERNING AGENCIES CONTACTS:

PLANNING AND ZONING: LEE'S SUMMIT DEVELOPMENT SERVICES

220 SE GREEN LEE'S SUMMIT, MO 64063 TEL: 816-969-1238

BUILDING DEPARTMENT: LEE'S SUMMIT DEVELOPMENT SERVICES

220 SE GREEN LEE'S SUMMIT, MO 64063 TEL: 816-969-1241

FIRE DEPARTMENT: LEE'S SUMMIT FIRE DEPARTMENT

9933 DIAMOND DRIVE ST. LOUIS, MO 63137 CONTACT: ASSISTANT CHIEF JIM EDEN TEL: 816-969-7407

TRANSPORTATION MISSOURI DEPARTMENT OF TRANSPORTATION

> 600 NE COLBERN ROAD LEE'S SUMMIT, MO 64086 CONTACT: DEREK OLSON TEL: 816-607-2107

TRANSPORTATION LEE'S SUMMIT PUBLIC WORKS DEPARTMENT

DEPARTMENT: 220 SE GREEN STREET LEE'S SUMMIT, MO 64063

TEL: 816-969-1800 WATER/WASTEWATER: LEE'S SUMMIT WATER UTILITIES

TEL: 816-969-1900

TEL: 816-969-1800

1200 SE HAMBLEN ROAD LEE'S SUMMIT. MO 64081

STORMWATER STORMWATER (LEE'S SUMMIT PUBLIC WORKS DEPARTMENT)

220 SE GREEN STREET LEE'S SUMMIT, MO 64063

UTILITY CONTACTS:

DEPARTMENT:

ELECTRIC COMPANY:

EVERGY P.O. BOX 219330 KANSAS CITY, MO 64121 TEL: 816-556-2200

GAS COMPANY: SPIRE ENERGY

> 3025 SE CLOVER DRIVE LEE'S SUMMIT, MO 64082 TEL: 816-969-2200

TELEPHONE / INTERNET CHARTER / SPECTRUM

188 NW OLDHAM PARKWAY LEE'S SUMMIT, MO 64081 TEL: 866-874-2389

SOLID WASTE: WASTE MANAGEMENT 2404 S 88TH STREET KANSAS CITY, KS 66111 TEL: 866-570-4702

SITE DATUM ELEVATION:

ELEVATIONS SHOWN ARE IN FEET ABOVE THE NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D. 88) BASED ON MODOT VRS NETWORK. CONVERSION FROM NAVD 88 TO NGVD 29, NAVD 88 - 0.302' = NGVD 29.

FLOOD NOTE:

THIS PROPERTY IS LOCATED IN AN AREA DETERMINED TO BE OUTSIDE THE 0.1% ANNUAL CHANCE FLOOD (100-YEAR) AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP FOR THE CITY OF LEE'S SUMMIT, MISSOURI, MAP NUMBER 29095C0436G EFFECTIVE DATE 01/20/2017.

ALERT TO CONTRACTOR:

- 1. THE SITE WORK FOR THE PROPOSED DEVELOPMENT SHALL MEET OR EXCEED ALL CITY AND/OR COUNTY AND STATE STANDARDS FOR SITE WORK.
- 2. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO PROJECT COMPLETION.

ser: CFAIRBANKS Plot Date/Time: Sep. 28, 22 - 14:03:19 Drawing: P:\J.P. Morgan Chase\Lee's Summit, MO (Hwy 291 and SE Langford Rd.)-JPM.27135.001\CIVIL\Drawings\Presentation\JPM-27135-001-P-DETL.dwg; C1 COVER SHE

COMMERCIAL FINAL DEVELOPMENT PLAN

FOR CHASE (I)



Record Drawing

CHASE BANK HIGHWAY 291 & NE LANGSFORD

890 NE LANGSFORD ROAD LEE'S SUMMIT, MO 64063 JACKSON COUNTY, MISSOURI



VICINITY MAP SCALE: 1" = 2.000'

	S	HEE	T IND	DEX											
SHEET NUMBER	DESCRIPTION	REV 1	REV 2	REV 3	REV 4	REV 5	REV 6	REV 7	REV 8	REV 9	REV 10	REV 11	REV 12	REV 13	REV 14
C1	COVER SHEET	Δ	Δ	Δ	Δ	Δ	Δ	Δ	Δ	Δ	Δ		Δ	Δ	Δ
C2	GENERAL NOTES			Δ											
C3	EROSION AND SEDIMENTATION CONTROL PLAN PHASE I	Δ		Δ		Δ	Δ								
C4	EROSION AND SEDIMENTATION CONTROL PLAN PHASE II	Δ		Δ	Δ	Δ	Δ								
C5	EROSION AND SEDIMENTATION CONTROL DETAILS			Δ											
C6	DEMOLITION PLAN	Δ					Δ								
C7	SITE PLAN	Δ	Δ	Δ			Δ	Δ					Δ	Δ	Δ
C8	GRADING AND DRAINAGE PLAN	Δ		Δ			Δ	Δ							
C8A	DETAILED GRADING AND DRAINAGE PLAN			Δ		Δ	Δ	Δ					Δ	Δ	
C9	DRAINAGE BASIN MAPS						Δ	Δ							
C10	UTILITY PLAN	Δ	Δ		Δ		Δ								
C11-C13	CONSTRUCTION DETAILS	Δ			Δ			Δ	Δ						
C14	PHOTOMETRIC PLAN			Δ											
C15-C19	PHOTOMETRIC DETAILS	Δ													
C20	CONSTRUCTION DETAILS	Δ	Δ	Δ											
C21	ROADWAY PLAN	Δ	Δ	Δ											Δ
C22	ROADWAY CONSTRUCTION PLAN		Δ	Δ											Δ
C23	TRAFFIC CONTROL PLAN PHASE 1		Δ							Δ	Δ	Δ			
C24	TRAFFIC CONTROL PLAN PHASE 2		Δ							Δ	Δ	Δ			
C25-C27	CONSTRUCTION DETAILS			Δ		Δ		Δ							
	REFERENCE SHEETS		•												
SHEET NUMBER	DESCRIPTION	REV 1	REV 2	REV 3	REV 4	REV 5	REV 6								
1	ALTA/NSPS LAND TITLE SURVEY BY SWT DESIGN, INC.		Δ												
LP-1	PLANTING PLAN	Δ						Δ							
LP-2	PLANTING DETAILS, SPECS														
IR-1.0	IRRIGATION LEGEND & NOTES						Δ								
IR-2.0	IRRIGATION PLAN						Δ								
IR-3.0	IRRIGATION DETAILS						Δ								
IR-3.1	IRRIGATION DETAILS		1	1			Δ							1	1



OIL/GAS WELL MAP SCALE: 1" = 1,000'

LEGAL DESCRIPTION:

LOT 1, STAR FUEL CENTER OF LEE'S SUMMIT, LOT 1, A SUBDIVISION IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF FILED APRIL 3, 2000 IN PLAT BOOK I-67, PAGE 17 AS DOCUMENT NO. 200010020477.

CITY OF LEE'S SUMMIT NOTES:

- ALL CONSTRUCTION SHALL FOLLOW THE CITY OF LEE'S SUMMIT'S DESIGN AND
- CONSTRUCTION MANUAL.
- CONTRACTOR SHALL CONTACT THE CITY'S DEVELOPMENT SERVICES ENGINEERING INSPECTION TO SCHEDULE A PRE-CONSTRUCTION MEETING WITH AN INSPECTOR PRIOR TO ANY LAND DISTURBANCE WORK AT (816) 969-1200.

OIL AND GAS WELLS NOTE:

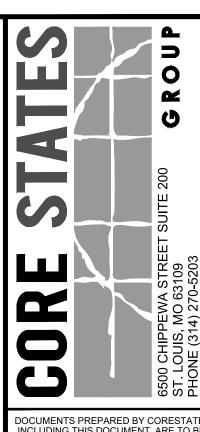
THERE ARE TWO (2) GAS WELLS AND ONE (1) OIL WELL ON PARCELS IN THE VICINITY OF THE PROJECT AREA, HOWEVER THERE ARE NO OIL OR GAS WELLS WITHIN 150 FEET OF THE PROJECT AREA ACCORDING TO THE MDNR GEOSTRAT SURVEY MAP.

RECORD DRAWING

The information provided on this drawing conforms to construction records; it is not intended for construction, implementation or recording purposes; and it is solely based on information {provided by others / obtained by my firm}.

"100.00 100.10", "1.00% 1.15% slope", or "8-inch HDPE PVC pipe" are all typical examples of revisions that indicate that design data has been replaced with "as-built" information. All other data is as designed and has not been field verified.

- Certified by: Chad Fairbanks Title: Project Manager - Civil Engineer
- Firm: Core States Group



DOCUMENTS PREPARED BY CORESTATES IN ONLY FOR THE SPECIFIC PROJECT AND SPEC USE FOR WHICH THEY WERE INTENDED. AN EXTENSION OF USE TO ANY OTHER PROJECT BY OWNER OR BY ANY OTHER PARTY, WITHOU CORESTATES, INC. IS DONE UNLAWFULLY AN AT THE USERS OWN RISK. IF USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDED SER WILL HOLD CORESTATES, INC. HARMLE FROM ALL CLAIMS AND LOSSES.

REVISIONS COMMENT 02/18/21 CITY COMMENTS 01/11/22 CITY COMMENTS & WATER L INE CITY COMMENT / ATM SECURITY WALL

CITY COMMENT (DETAIL) CITY & MoDOT 9 06/13/22 COMMENT CITY COMMENT 2 08/26/22 ENTRANCE SIDEWALK CDF 09/01/22 SIDEWALK CONNECT 1 | 09/28/22 | MEDIAN CHANGE

DOCUMENT CIVIL CONSTRUCTION PLANS FOR CHASE BANK

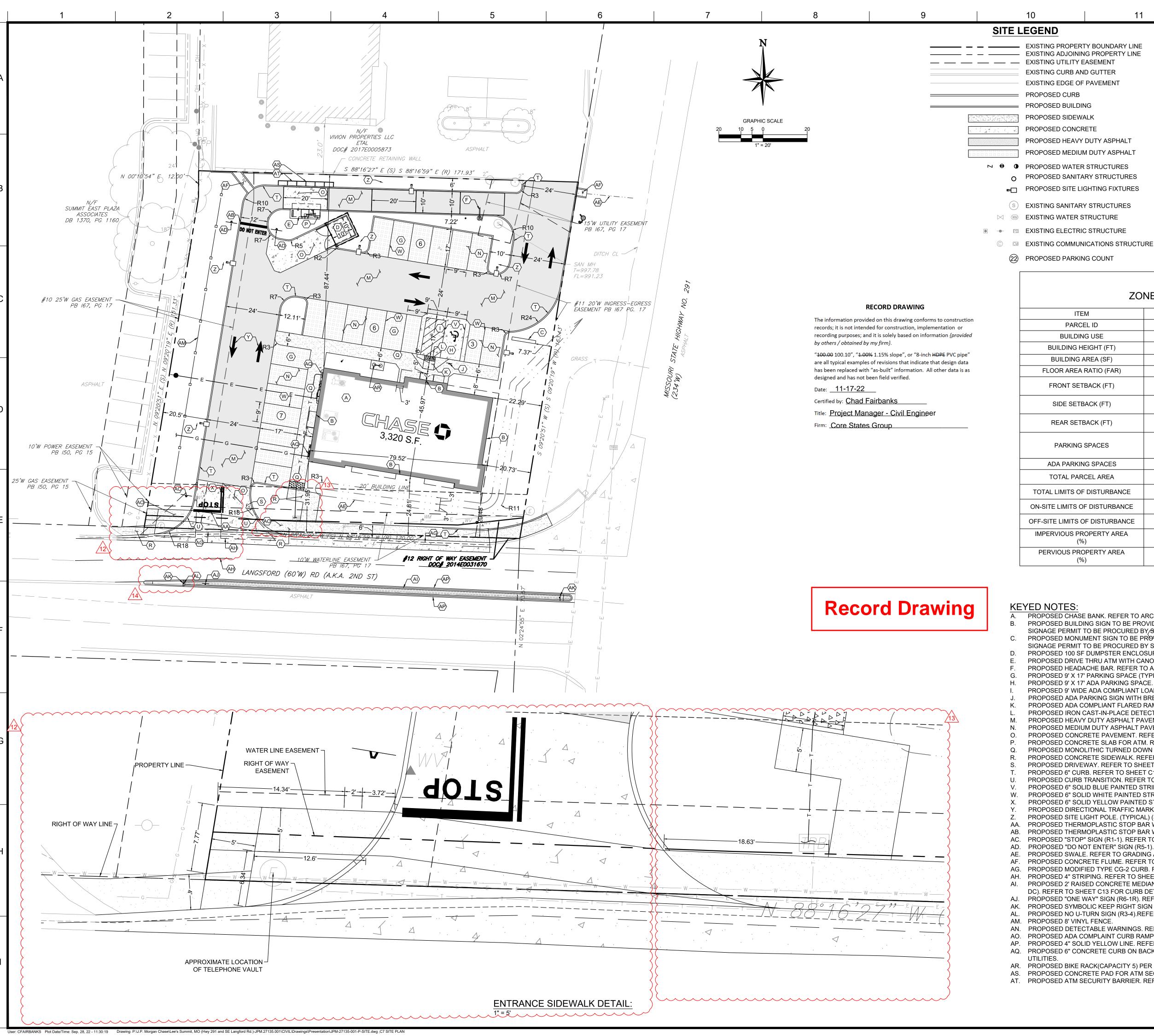
SITE LOCATION 890 NE LANGSFORD ROAD LEE'S SUMMIT, MO 64063

ENGINEER SEAL CHAD D. **FAIRBANKS** NUMBER E-2001018726:

COVER SHEET

JPM-27135.00 12/21/2020 SCALE: AS NOTE DRAWN BY:

CHECKED BY:



SITE NOTES:

- 1. REFER TO SHEET C2 FOR GENERAL NOTES.
 - REFER TO SHEET C6 FOR DEMOLITION PLAN.
 - 3. REFER TO SHEET C8 FOR GRADING AND DRAINAGE PLAN.
- 4. REFER TO SHEET C10 FOR UTILITY PLAN.
- 5. REFER TO LANDSCAPE PLAN.
- 6. REFER TO SHEET C14 FOR PHOTOMETRIC PLAN AND SHEETS C15-C19 FOR SITE LIGHTING DETAILS.
- 7. ALL DIMENSIONS ARE TO GROUND LEVEL IMPROVEMENTS (FACE OF CURB, CONCRETE SLAB, ETC.) UNLESS NOTED OTHERWISE. REFER TO ARCHITECTURAL PLANS FOR BUILDING DETAILS.
- 8. ALL DIMENSIONS FROM PROPERTY LINES ARE PERPENDICULAR UNLESS OTHERWISE NOTED.
- 9. CONTRACTOR TO SEED ALL DISTURBED AREA UNLESS NOTED
- 10. CONTRACTOR TO INSTALL ASPHALT PAVEMENT IN ALL DRIVING AREAS REFER TO SHEET C10 FOR ASPHALT PAVING DETAILS.

INCLUDING THIS DOCUMENT, ARE TO BE USE ONLY FOR THE SPECIFIC PROJECT AND SPEC USE FOR WHICH THEY WERE INTENDED. AN EXTENSION OF USE TO ANY OTHER PROJECT BY OWNER OR BY ANY OTHER PARTY, WITHOU THE EXPRESSED WRITTEN CONSENT OF CORESTATES, INC. IS DONE UNLAWFULLY ANI AT THE USERS OWN RISK. IF USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDED JSER WILL HOLD CORESTATES, INC. HARMLE: FROM ALL CLAIMS AND LOSSES.

CLIENT

DOCUMENTS PREPARED BY CORESTATES IN

ZONING DATA ZONED C-2 - GENERAL BUSINESS

ITEM	EXISTING / REQUIRED	PROPOSED		
PARCEL ID	61-210-11-37-02-0-00-000	61-210-11-37-02-0-00		
BUILDING USE	VACANT PAVED LOT (EXISTING)	BANKING FACILITY		
BUILDING HEIGHT (FT)	MAX: 40'	21'-6"		
BUILDING AREA (SF)	0 SF (EXISTING)	3,320 SF		
FLOOR AREA RATIO (FAR)	0.55 (MAXIMUM)	0.12 (PROPOSED)		
FRONT SETBACK (FT)	20' (SOUTH) (MINIMUM) 15' (EAST) (MINIMUM)	20.48' (SOUTH) 20.73' (EAST)		
SIDE SETBACK (FT)	10' (MINIMUM)	N/A		
REAR SETBACK (FT)	20' (MINIMUM)	87.44' (NORTH) 68.5' (WEST)		
PARKING SPACES	4 SPACES / 1,000 SF = 14 SPACES MINIMUM	22 SPACES (INCLUDING 1 ADA SPACES)		
ADA PARKING SPACES	1 SPACES (MINIMUM)	1 SPACES		
TOTAL PARCEL AREA	0.632 AC (27,550 SF)	0.632 AC (27,550 SF)		
TOTAL LIMITS OF DISTURBANCE	N/A	0.682 AC (29,716 SF)		
ON-SITE LIMITS OF DISTURBANCE	N/A	0.629 AC (27,390 SF)		
OFF-SITE LIMITS OF DISTURBANCE	N/A	0.056 AC (2,454 SF)		
IMPERVIOUS PROPERTY AREA (%)	0.613 AC (21,369 SF) 77.56% (EXISTING)	0.418 AC (20,415 SF) 68.70%		
PERVIOUS PROPERTY AREA (%)	0.142 AC (6,181 SF) 22.44% (EXISTING)	0.214 AC (9,301 SF) 31.30%		

KEYED NOTES:

- A. PROPOSED CHASE BANK. REFER TO ARCHITECTURAL PLANS FOR DETAILS AND ELEVATIONS.
- PROPOSED BUILDING SIGN TO BE PROVIDED AND INSTALLED BY OTHERS. REFER TO SIGNAGE PACKAGE BY VENDOR. SIGNAGE PERMIT TO BE PROCURED BY/SIGNAGE VENDOR.
- PROPOSED MONUMENT SIGN TO BE PROVIDED AND INSTALLED BY OTHERS. REFER TO SIGNAGE PACKAGE BY VENDOR. SIGNAGE PERMIT TO BE PROCURED BY SIGNAGE VENDOR.
- PROPOSED 100 SF DUMPSTER ENCLOSURE. REFER TO ARCHITECTURAL PLANS FOR DETAILS AND ELEVATIONS. PROPOSED DRIVE THRU ATM WITH CANOPY. REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS AND ELEVATIONS.
- PROPOSED HEADACHE BAR. REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS AND ELEVATIONS. PROPOSED 9' X 17' PARKING SPACE (TYPICAL).
- PROPOSED 9' X 17' ADA PARKING SPACE. REFER TO SHEET C11 FOR DETAIL.
- PROPOSED 9' WIDE ADA COMPLIANT LOADING AREA. REFER TO SHEET C11 FOR DETAILS. PROPOSED ADA PARKING SIGN WITH BREAK AWAY POST. REFER TO SHEET C12 FOR DETAIL.
- PROPOSED ADA COMPLIANT FLARED RAMP. REFER TO SHEET C11 FOR DETAILS. PROPOSED IRON CAST-IN-PLACE DETECTABLE WARNINGS. REFER TO SHEET C11 FOR DETAILS.
- PROPOSED HEAVY DUTY ASPHALT PAVEMENT (TYPICAL). REFER TO SHEET C11 FOR DETAIL.
- PROPOSED MEDIUM DUTY ASPHALT PAVEMENT. REFER TO SHEET C11 FOR DETAIL. PROPOSED CONCRETE PAVEMENT. REFER TO SHEET C11 FOR DETAIL.
- PROPOSED CONCRETE SLAB FOR ATM. REFER TO ARCHITECTURAL PLANS FOR DETAILS. PROPOSED MONOLITHIC TURNED DOWN CONCRETE SIDEWALK. REFER TO SHEET C11 FOR DETAIL.
- PROPOSED CONCRETE SIDEWALK. REFER TO SHEET C13 FOR DETAIL.
- PROPOSED DRIVEWAY. REFER TO SHEET C13 FOR DETAIL. PROPOSED 6" CURB. REFER TO SHEET C13 FOR DETAIL.
- PROPOSED CURB TRANSITION. REFER TO SHEET C12 FOR DETAIL. PROPOSED 6" SOLID BLUE PAINTED STRIPE (TYPICAL). REFER TO SHEET C11 FOR DETAIL.
- PROPOSED 6" SOLID WHITE PAINTED STRIPE (TYPICAL). REFER TO SHEET C11 FOR DETAIL. PROPOSED 6" SOLID YELLOW PAINTED STRIPE. REFER TO SHEET C11 FOR DETAIL.
- PROPOSED DIRECTIONAL TRAFFIC MARKING (TYPICAL). REFER TO SHEET C12 FOR DETAIL.
- PROPOSED SITE LIGHT POLE. (TYPICAL) (SEE NOTE #6).
- PROPOSED THERMOPLASTIC STOP BAR WITH "STOP" TEXT. REFER TO SHEET C12 FOR DETAIL. PROPOSED THERMOPLASTIC STOP BAR WITH "STOP" AND "DO NOT ENTER" TEXT. REFER TO SHEET C12 FOR DETAIL.
- AC. PROPOSED "STOP" SIGN (R1-1). REFER TO SHEET C11 FOR DETAIL.
- AD. PROPOSED "DO NOT ENTER" SIGN (R5-1). REFER TO SHEET C11 FOR DETAILS. PROPOSED SWALE. REFER TO GRADING AND DRAINAGE PLAN FOR ELEVATIONS.
- AF. PROPOSED CONCRETE FLUME. REFER TO SHEET C12 FOR DETAIL.
- AG. PROPOSED MODIFIED TYPE CG-2 CURB. REFER TO SHEET C13 FOR DETAIL.
- AH. PROPOSED 4" STRIPING. REFER TO SHEET C20 FOR DETAIL. PROPOSED 2' RAISED CONCRETE MEDIAN (RED BRICK-STAMPED) WITH CITY OF LEE'S SUMMIT DOWELLED CURB (TYPE
- DC). REFER TO SHEET C13 FOR CURB DETAIL AND C20 FOR DETAIL.
- PROPOSED "ONE WAY" SIGN (R6-1R). REFER TO SHEET C11 FOR DETAIL.
- AK. PROPOSED SYMBOLIC KEEP RIGHT SIGN (R4-7) AND OBJECT MARKER SIGN (OM1-3). REFER TO SHEET C20 FOR DETAIL.
- PROPOSED NO U-TURN SIGN (R3-4).REFER TO SHEET C20 FOR DETAIL.
- AM. PROPOSED 8' VINYL FENCE.
- AN. PROPOSED DETECTABLE WARNINGS. REFER TO SHEET C11 FOR DETAILS. AO. PROPOSED ADA COMPLAINT CURB RAMP. REFER TO SHEET C25 FOR DETAILS.
- AP. PROPOSED 4" SOLID YELLOW LINE. REFER TO SHEET C20 FOR DETAIL. AQ. PROPOSED 6" CONCRETE CURB ON BACK OF SIDEWALK. TO BE INTEGRAL TO SIDEWALK AND UNDER ALL PROTRUDING
- UTILITIES.
- AR. PROPOSED BIKE RACK(CAPACITY 5) PER CHASE SPECIFICATION.
- AS. PROPOSED CONCRETE PAD FOR ATM SECURITY BARRIER. AT. PROPOSED ATM SECURITY BARRIER. REFER TO SHEET C25 FOR DETAILS.

A

Know what's below. Call before you dig. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION ANDIOR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON DESIGN DRAWINGS, RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE. MEASUREMENTS TAKEN IN THE FIELD. CORESTATES, INC. DOES NOT GUARANTEE THAT LOCATIONS SHOWN ARE EXACT. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES.								
REVISIONS								
	REV	DATE	COMMENT	BY				
	1	02/18/21	CITY COMMENTS	RJD				
,	2 04/27/21		CITY COMMENTS	RJD				
	3	06/02/21	CITY COMMENTS	RJD				
	6	01/11/22	CITY COMMENTS & WATER LINE	CDF				
	7	03/04/22	CITY COMMENT / ATM SECURITY WALL	CDF				
	12	08/26/22	ENTRANCE SIDEWALK	CDF				
	13	09/01/22	SIDEWALK CONNECT	CDF				
	14	09/28/22	MEDIAN CHANGE	CDF				

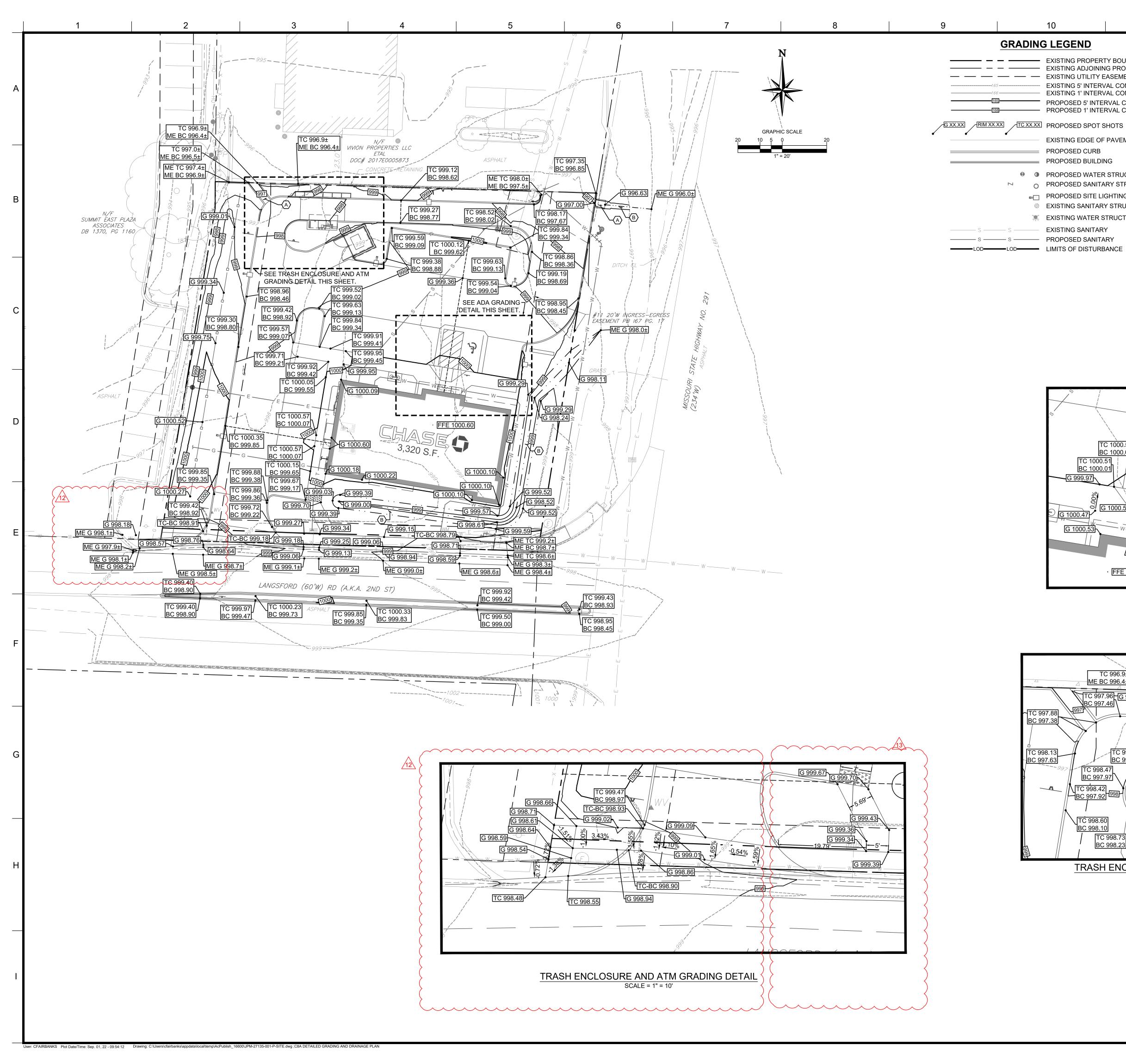
DOCUMENT CIVIL CONSTRUCTION PLANS FOR CHASE **BANK**

SITE LOCATION 890 NE LANGSFORD ROAD LEE'S SUMMIT, MO 64063

ENGINEER SEAL CHAD D. FAIRBANKS NUMBER E-2001018726:

SITE PLAN

JOB #:	JPM-27135.001
DATE:	12/21/2020
SCALE:	1" = 20'
DRAWN BY:	RJD
CHECKED DV:	CDE



GRADING NOTES:

——— EXISTING ADJOINING PROPERTY LINE

EXISTING 5' INTERVAL CONTOUR LINE

EXISTING 1' INTERVAL CONTOUR LINE

PROPOSED 5' INTERVAL CONTOUR LINE

PROPOSED 1' INTERVAL CONTOUR LINE

EXISTING EDGE OF PAVEMENT

O PROPOSED SANITARY STRUCTURES

PROPOSED SITE LIGHTING FIXTURES

⊗ EXISTING SANITARY STRUCTURES

— — EXISTING UTILITY EASEMENT

PROPOSED CURB

PROPOSED BUILDING

• PROPOSED WATER STRUCTURES

EXISTING WATER STRUCTURE

- 1. REFER TO SHEET C2 FOR GENERAL NOTES. EXISTING PROPERTY BOUNDARY LINE
 - 2. ALL DIMENSIONS ARE TO GROUND LEVEL IMPROVEMENTS (FACE OF CURB, CONCRETE SLAB, ETC.) UNLESS NOTED OTHERWISE. REFER TO ARCHITECTURAL PLANS FOR BUILDING DETAILS.
 - 3. ALL DIMENSIONS FROM PROPERTY LINES ARE PERPENDICULAR UNLESS OTHERWISE NOTED.
 - 4. CONTRACTOR TO SEED ALL DISTURBED AREA UNLESS NOTED
 - 5. CONTRACTOR TO INSTALL ASPHALT PAVEMENT IN ALL DRIVING AREAS. REFER TO SHEET C11 FOR ASPHALT PAVING DETAILS.

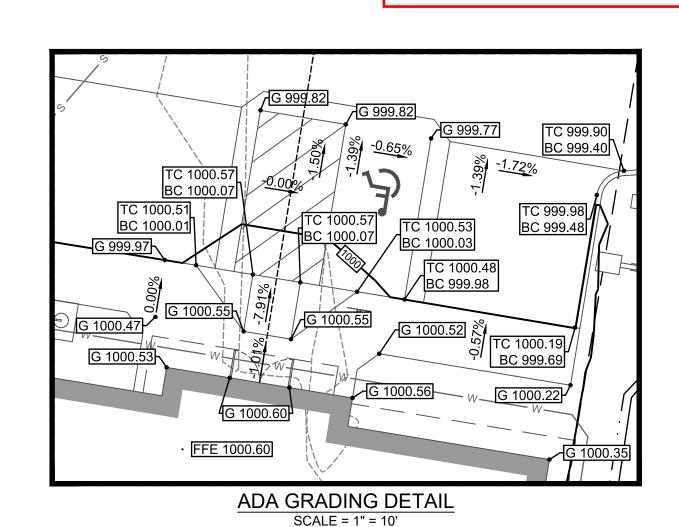
GENERAL NOTES:

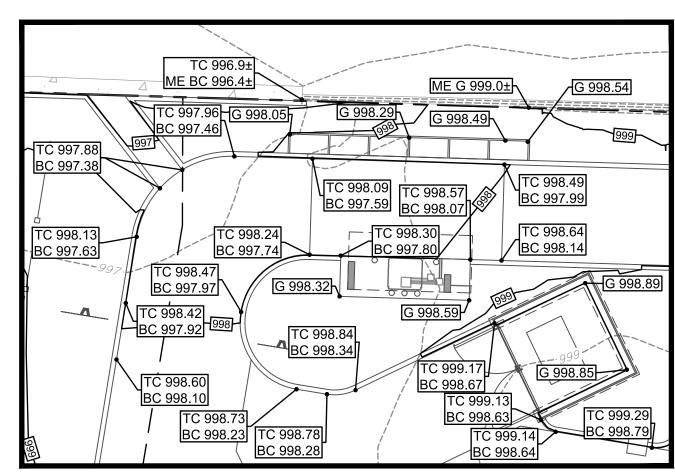
- 1. RETENTION / DETENTION AREAS MUST BE STABILIZED WITH SOD UNLESS AN ALTERNATIVE METHOD IS SPECIFICALLY PERMITTED PRIOR TO PLAN APPROVAL. NO ORGANIC MULCH WILL BE PERMITTED IN OR ADJOINING RETENTION / DETENTION AREA.
- 2. THE PROJECT OWNER IS RESPONSIBLE FOR THE PERPETUAL MAINTENANCE OF ALL FEATURES OF THE SURFACE WATER MANAGEMENT SYSTEM AS OUTLINED ON THE DRAINAGE PLAN.
- SITE DATUM ELEVATION: ELEVATIONS SHOWN ARE IN FEET ABOVE THE NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D. 88) BASED ON MODOT VRS NETWORK. CONVERSION FROM NAVD 88 TO NGVD 29, NAVD 88 + 0.085' = NGVD 29.

KEYED NOTES:

- A. PROPOSED 3' WIDE CONCRETE FLUME.
- B. PROPOSED SWALE.

Record Drawing





TRASH ENCLOSURE AND ATM GRADING DETAIL SCALE = 1" = 10'

RECORD DRAWING

The information provided on this drawing conforms to construction records; it is not intended for construction, implementation or recording purposes; and it is solely based on information {provided by others / obtained by my firm}.

"100.00 100.10", "1.00% 1.15% slope", or "8-inch HDPE PVC pipe" are all typical examples of revisions that indicate that design data has been replaced with "as-built" information. All other data is as designed and has not been field verified.

Date: ___11-17-22

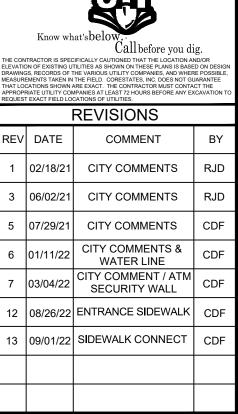
Certified by: Chad Fairbanks

Title: Project Manager - Civil Engineer

Firm: Core States Group

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CLIENT



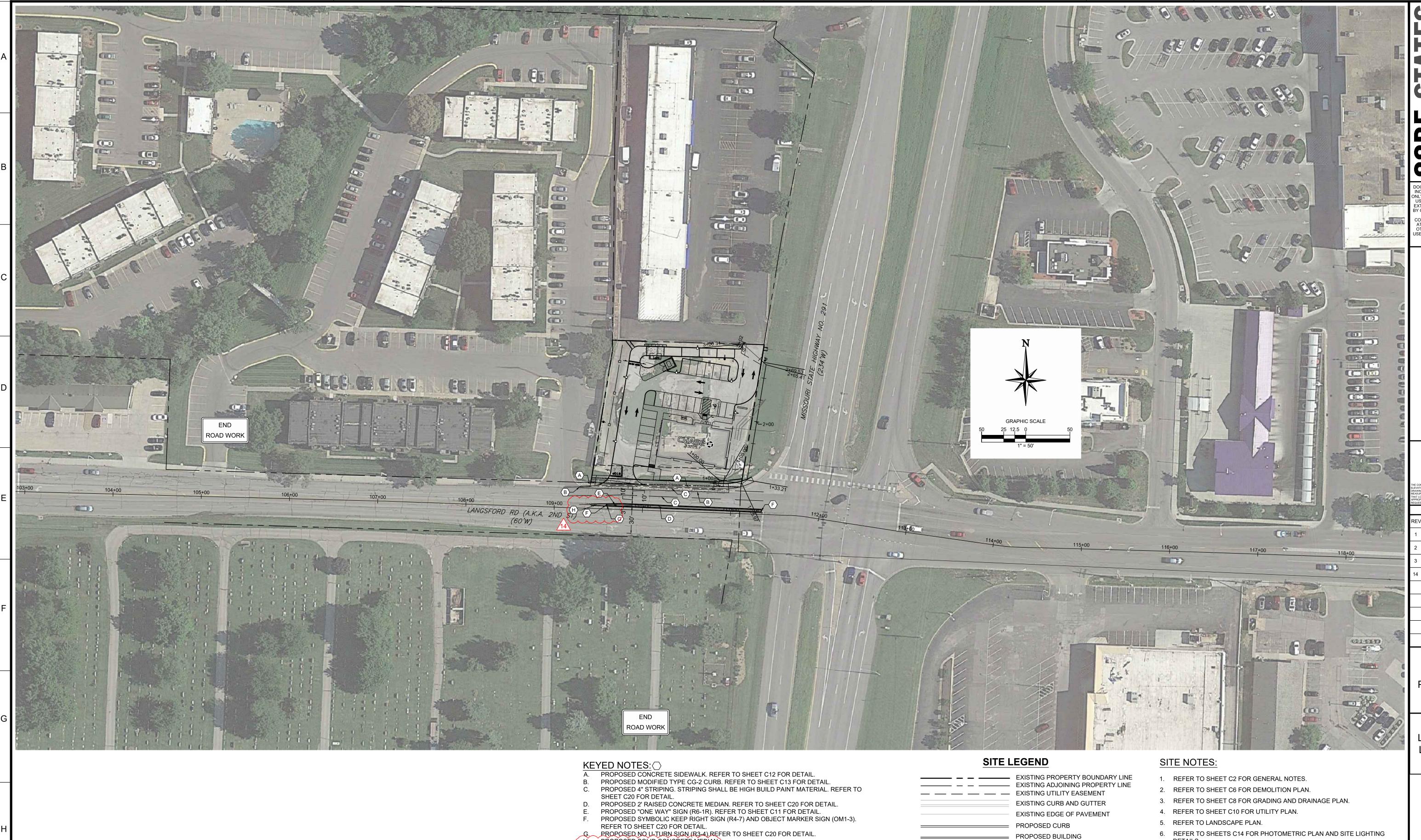
DOCUMENT CIVIL CONSTRUCTION PLANS FOR CHASE **BANK**

SITE LOCATION 890 NE LANGSFORD ROAD LEE'S SUMMIT, MO 64063



SHEET TITLE DETAILED **GRADING AND** DRAINAGE PLAN

JPM-27135.00 12/21/2020 SCALE: 1" = 20 DRAWN BY: CHECKED BY:



PŘOPOSED SOĽID CONCŘETE MEDÍAN.)

Record Drawing

Iser: CFAIRBANKS Plot Date/Time: Sep. 28, 22 - 11:39:03 Drawing: P:\J.P. Morgan Chase\Lee's Summit, MO (Hwy 291 and SE Langford Rd.)-JPM.27135.001\CIVIL\Drawings\Presentation\JPM-27135-001-P-SITE-ROAD.dwg; C21 OVERALL ROADWAY PLAN

$\langle 1 \rangle$

RECORD DRAWING

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" $100.00 \ 100.10$ ", " $1.00\% \ 1.15\% \ slope$ ", or "8-inch HDPE PVC pipe" are all typical examples of revisions that indicate that design data has been replaced with "as-built" information. All other data is as designed and has not been field verified. Date: 11-17-22

Certified by: Chad Fairbanks

Title: Project Manager - Civil Engineer

Firm: Core States Group

- PROPOSED SIDEWALK PROPOSED CONCRETE
- PROPOSED MEDIUM DUTY ASPHALT
- ▶ PROPOSED WATER STRUCTURES O PROPOSED SANITARY STRUCTURES
 - PROPOSED SITE LIGHTING FIXTURES

PROPOSED HEAVY DUTY ASPHALT

- (S) EXISTING SANITARY STRUCTURES
- M EXISTING WATER STRUCTURE
- EXISTING ELECTRIC STRUCTURE
- © EXISTING COMMUNICATIONS STRUCTURE
- (22) PROPOSED PARKING COUNT

- 7. ALL DIMENSIONS ARE TO GROUND LEVEL IMPROVEMENTS (FACE OF CURB, CONCRETE SLAB, ETC.) UNLESS NOTED OTHERWISE. REFER TO ARCHITECTURAL PLANS FOR BUILDING DETAILS.
- 8. ALL DIMENSIONS FROM PROPERTY LINES ARE PERPENDICULAR UNLESS OTHERWISE NOTED.
- 9. CONTRACTOR TO SEED ALL DISTURBED AREA UNLESS NOTED OTHERWISE.
- 10. CONTRACTOR TO INSTALL ASPHALT PAVEMENT IN ALL DRIVING AREAS.

REFER TO SHEET C11 FOR ASPHALT PAVING DETAILS.

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02/18/21 CITY COMMENTS 04/27/21 CITY COMMENTS 06/02/21 CITY COMMENTS 14 | 09/28/21 | MEDIAN CHANGE | CDF

DOCUMENT CIVIL CONSTRUCTION PLANS FOR CHASE BANK

SITE LOCATION 890 NE LANGSFORD ROAD LEE'S SUMMIT, MO

64063

ENGINEER SEAL CHAD D. FAIRBANKS NUMBER E-2001018726

OVERALL ROADWAY PLAN

JPM-27135.00 12/21/2020 SCALE: 1" = 50 DRAWN BY: CHECKED BY:

