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	A		JP MORGAN CHASE 1111 POLARIS PARKWAY COLUMBUS, OH 43240 CONTACT: MARGARET TROIA 10 S DEARBORN STREET, FLOOR 15 CHICAGO, IL 60603	C	OMMEF	S (A		F	- N				
	_	CIVIL ENGINEER:	CORE STATES GROUP 6500 CHIPPEWA STREET, SUITE 200 ST. LOUIS, MO 63109 CONTACT: CHAD FAIRBANKS, P.E.	DE	EVELOF			E		Γ	Ρ			N	لې م
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		LANDSCAPE ARCHITECT:	1200 US HIGHWAY 22 E, SUITE 2000-2248 BRIDGEWATER, NJ 08807 CONTACT: LARRY LESSER												
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			220 SE GREEN LEE'S SUMMIT, MO 64063 TEL: 816-969-1241	HIG	HWAY 291	&	Ν	Eι	_A	N	GS	FC	DR	D	
	D	FIRE DEPARTMENT:	9933 DIAMOND DRIVE ST. LOUIS, MO 63137 CONTACT: ASSISTANT CHIEF JIM EDEN												
	_		600 NE COLBERN ROAD LEE'S SUMMIT, MO 64086 CONTACT: DEREK OLSON					•				21			
			220 SE GREEN STREET LEE'S SUMMIT, MO 64063			NE Inde	6	н, . ЭНЈ							
	E	WATER/WASTEWATER:	1200 SE HAMBLEN ROAD LEE'S SUMMIT, MO 64081			SITE									EXISTING OIL OR GAS WELL
		STORMWATER	220 SE GREEN STREET LEE'S SUMMIT, MO 64063		SE DO SE 2nd St	29					2 7				EXISTING OIL OR GAS WELL
	F		EVERGY P.O. BOX 219330		SE 37d St						8				EXISTING OIL
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User: CFAIRBANKS Plot Date/Time: Sep. 28, 22 - 14:03:19 Drawing: P:\J.P. Morgan Chase\Lee's Summit, MO (Hwy 291 and SE Langford Rd.)-JPM.27135.001\CIVIL\Drawings\Presentation\JPM-27135.001\CIVIL\Drawings\Presentation\LIPM-27135.001\CIVIL\Drawings\Presentation\LIPM-27135.001\CIVIL\D				IR-3.1											





LEGAL DESCRIPTION:

LOT 1, STAR FUEL CENTER OF LEE'S SUMMIT, LOT 1, A SUBDIVISION IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF FILED APRIL 3, 2000 IN PLAT BOOK I-67, PAGE 17 AS DOCUMENT NO. 200010020477.

CITY OF LEE'S SUMMIT NOTES:

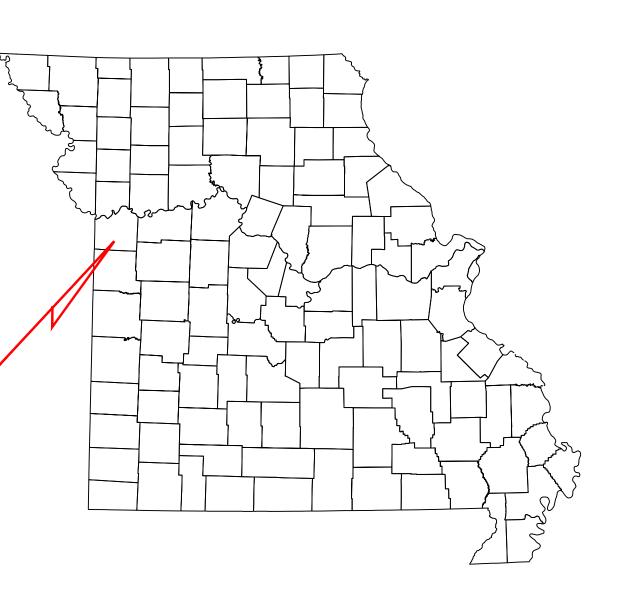
CONSTRUCTION MANUAL.

OIL AND GAS WELLS NOTE:

THERE ARE TWO (2) GAS WELLS AND ONE (1) OIL WELL ON PARCELS IN THE VICINITY OF THE PROJECT AREA, HOWEVER THERE ARE NO OIL OR GAS WELLS WITHIN 150 FEET OF THE PROJECT AREA ACCORDING TO THE MDNR GEOSTRAT SURVEY MAP.







OIL/GAS WELL MAP SCALE: 1" = 1,000'

1. ALL CONSTRUCTION SHALL FOLLOW THE CITY OF LEE'S SUMMIT'S DESIGN AND

2. CONTRACTOR SHALL CONTACT THE CITY'S DEVELOPMENT SERVICES ENGINEERING INSPECTION TO SCHEDULE A PRE-CONSTRUCTION MEETING WITH AN INSPECTOR PRIOR TO ANY LAND DISTURBANCE WORK AT (816) 969-1200.

RECORD DRAWING

The information provided on this drawing conforms to construction records; it is not intended for construction, implementation or recording purposes; and it is solely based on information {provided by others / obtained by my firm}.

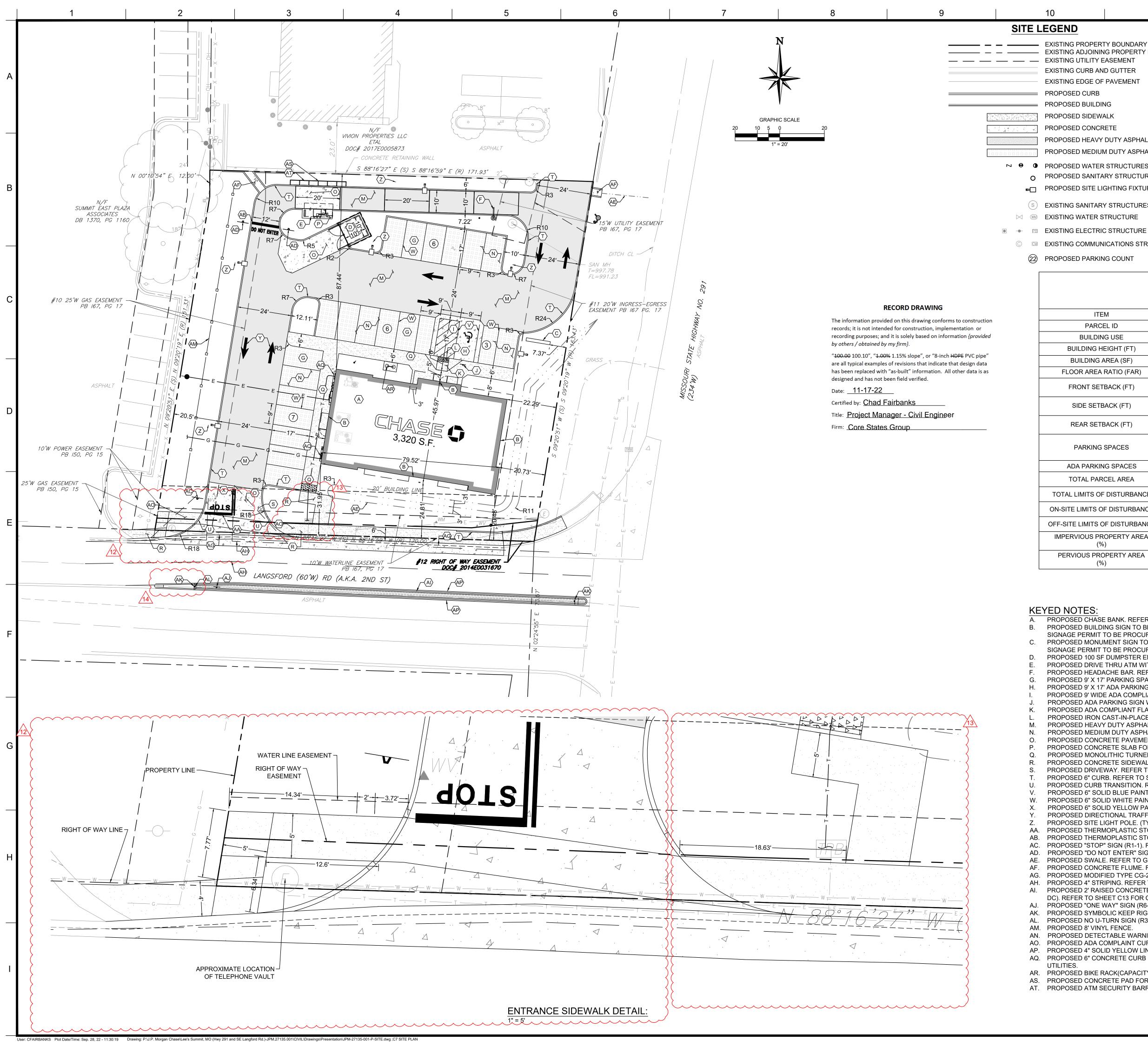
"100.00 100.10", "1.00% 1.15% slope", or "8-inch HDPE PVC pipe" are all typical examples of revisions that indicate that design data has been replaced with "as-built" information. All other data is as designed and has not been field verified.

Date: _____11-17-22

Certified by: Chad Fairbanks Title: Project Manager - Civil Engineer

Firm: Core States Group

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BUILDING HEIGHT (FT)		MAX: 40'	21'-6"			5	
BUILDING AREA (SF)		0 SF (EXISTING)	3,320 SF				
OOR AREA RATIO (FAR)		0.55 (MAXIMUM)	0.12 (PROPOSED)				
FRONT SETBACK (FT)		20' (SOUTH) (MINIMUM) 15' (EAST) (MINIMUM)	20.48' (SOUTH) 20.73' (EAST)		VH		
SIDE SETBACK (FT)		10' (MINIMUM)	N/A		I		
REAR SETBACK (FT)		20' (MINIMUM)	87.44' (NORTH) 68.5' (WEST)			1	
PARKING SPACES	4 SPA	ACES / 1,000 SF = 14 SPACES MINIMUM	22 SPACES (INCLUDING 1 ADA SPACES)				
ADA PARKING SPACES		1 SPACES (MINIMUM)	1 SPACES		0	<u>77</u>	
TOTAL PARCEL AREA		0.632 AC (27,550 SF)	0.632 AC (27,550 SF)		ğ	μ	
AL LIMITS OF DISTURBANCE		N/A	0.682 AC (29,716 SF)	Know	what'sbelow	Call before you	dia
TE LIMITS OF DISTURBANCE		N/A	0.629 AC (27,390 SF)	THE CONTRACTOR IS ELEVATION OF EXIST DRAWINGS, RECORDS	SPECIFICALLY CAUTIO NG UTILITIES AS SHOW S OF THE VARIOUS UTIL S IN THE SIEL D. COORD	JAII DEIORE YOU NED THAT THE LOCATION IN ON THESE PLANS IS BA LITY COMPANIES, AND WHE ESTATES INC. DOCOMON	ulg. JAND/OR SED ON DESIG
ITE LIMITS OF DISTURBANCE		N/A	0.056 AC (2,454 SF)	APPROPRIATE UTILIT REQUEST EXACT FIEL	EN IN THE FIELD. CORI OWN ARE EXACT. THE Y COMPANIES AT LEAS D LOCATIONS OF UTILI	TIES.	TACT THE EXCAVATION
ERVIOUS PROPERTY AREA (%)		0.613 AC (21,369 SF) 77.56% (EXISTING)	0.418 AC (20,415 SF) 68.70%	REV DATE	REVIS	IONS DMMENT	BY
		0 1/2 AC (6 181 SE)	0.214 AC (0.201 SE)				+

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0.214 AC (9,301 SF)

31.30%

(%)

A. PROPOSED CHASE BANK. REFER TO ARCHITECTURAL PLANS FOR DETAILS AND ELEVATIONS.

PROPOSED BUILDING SIGN TO BE PROVIDED AND INSTALLED BY OTHERS. REFER TO SIGNAGE PACKAGE BY VENDOR. SIGNAGE PERMIT TO BE PROCURED BY SGNAGE VENDOR. PROPOSED MONUMENT SIGN TO BE PROVIDED AND INSTALLED BY OTHERS. REFER TO SIGNAGE PACKAGE BY VENDOR. SIGNAGE PERMIT TO BE PROCURED BY SIGNAGE VENDOR.

0.142 AC (6,181 SF)

22.44% (EXISTING)

PROPOSED 100 SF DUMPSTER ENCLOSURE. REFER TO ARCHITECTURAL PLANS FOR DETAILS AND ELEVATIONS. PROPOSED DRIVE THRU ATM WITH CANOPY. REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS AND ELEVATIONS. PROPOSED HEADACHE BAR. REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS AND ELEVATIONS. PROPOSED 9' X 17' PARKING SPACE (TYPICAL).

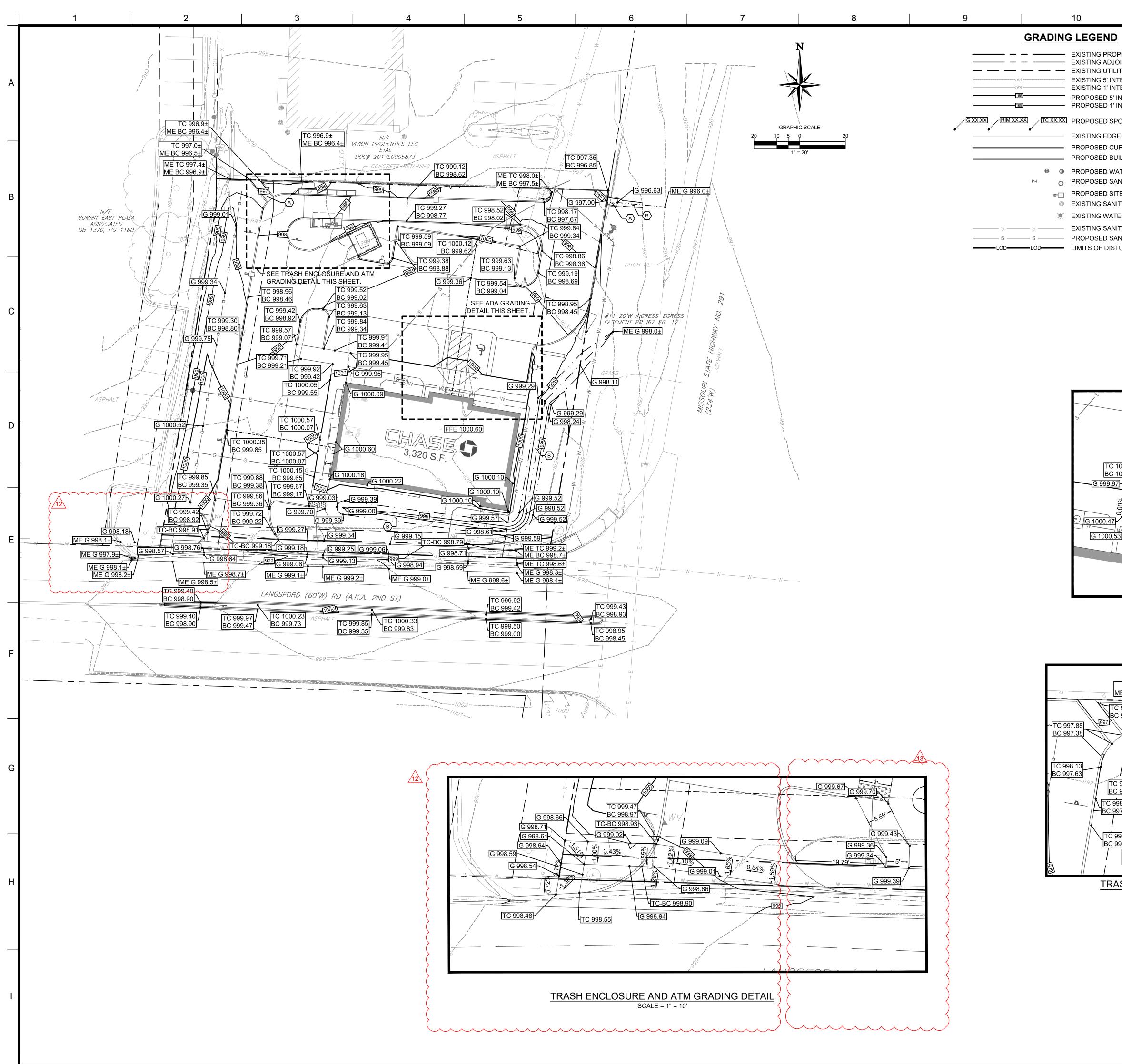
PROPOSED 9' X 17' ADA PARKING SPACE. REFER TO SHEET C11 FOR DETAIL.

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- PROPOSED 9' WIDE ADA COMPLIANT LOADING AREA. REFER TO SHEET C11 FOR DETAILS.
- PROPOSED ADA PARKING SIGN WITH BREAK AWAY POST. REFER TO SHEET C12 FOR DETAIL.
- PROPOSED ADA COMPLIANT FLARED RAMP. REFER TO SHEET C11 FOR DETAILS.
- PROPOSED IRON CAST-IN-PLACE DETECTABLE WARNINGS. REFER TO SHEET C11 FOR DETAILS.
- PROPOSED HEAVY DUTY ASPHALT PAVEMENT (TYPICAL). REFER TO SHEET C11 FOR DETAIL.
- PROPOSED MEDIUM DUTY ASPHALT PAVEMENT. REFER TO SHEET C11 FOR DETAIL.
- PROPOSED CONCRETE PAVEMENT. REFER TO SHEET C11 FOR DETAIL.
- PROPOSED CONCRETE SLAB FOR ATM. REFER TO ARCHITECTURAL PLANS FOR DETAILS. PROPOSED MONOLITHIC TURNED DOWN CONCRETE SIDEWALK. REFER TO SHEET C11 FOR DETAIL.
- PROPOSED CONCRETE SIDEWALK. REFER TO SHEET C13 FOR DETAIL.
- PROPOSED DRIVEWAY. REFER TO SHEET C13 FOR DETAIL. PROPOSED 6" CURB. REFER TO SHEET C13 FOR DETAIL.
- PROPOSED CURB TRANSITION. REFER TO SHEET C12 FOR DETAIL.
- PROPOSED 6" SOLID BLUE PAINTED STRIPE (TYPICAL). REFER TO SHEET C11 FOR DETAIL.
- PROPOSED 6" SOLID WHITE PAINTED STRIPE (TYPICAL). REFER TO SHEET C11 FOR DETAIL. PROPOSED 6" SOLID YELLOW PAINTED STRIPE. REFER TO SHEET C11 FOR DETAIL.
- PROPOSED DIRECTIONAL TRAFFIC MARKING (TYPICAL). REFER TO SHEET C12 FOR DETAIL.
- PROPOSED SITE LIGHT POLE. (TYPICAL) (SEE NOTE #6).
- PROPOSED THERMOPLASTIC STOP BAR WITH "STOP" TEXT. REFER TO SHEET C12 FOR DETAIL. PROPOSED THERMOPLASTIC STOP BAR WITH "STOP" AND "DO NOT ENTER" TEXT. REFER TO SHEET C12 FOR DETAIL. AC. PROPOSED "STOP" SIGN (R1-1). REFER TO SHEET C11 FOR DETAIL.
- AD. PROPOSED "DO NOT ENTER" SIGN (R5-1). REFER TO SHEET C11 FOR DETAILS.
- PROPOSED SWALE. REFER TO GRADING AND DRAINAGE PLAN FOR ELEVATIONS. AF. PROPOSED CONCRETE FLUME. REFER TO SHEET C12 FOR DETAIL.
- AG. PROPOSED MODIFIED TYPE CG-2 CURB. REFER TO SHEET C13 FOR DETAIL.
- AH. PROPOSED 4" STRIPING. REFER TO SHEET C20 FOR DETAIL. PROPOSED 2' RAISED CONCRETE MEDIAN (RED BRICK-STAMPED) WITH CITY OF LEE'S SUMMIT DOWELLED CURB (TYPE DC). REFER TO SHEET C13 FOR CURB DETAIL AND C20 FOR DETAIL.
- PROPOSED "ONE WAY" SIGN (R6-1R). REFER TO SHEET C11 FOR DETAIL.
- AK. PROPOSED SYMBOLIC KEEP RIGHT SIGN (R4-7) AND OBJECT MARKER SIGN (OM1-3). REFER TO SHEET C20 FOR DETAIL. PROPOSED NO U-TURN SIGN (R3-4).REFER TO SHEET C20 FOR DETAIL.
- AN. PROPOSED DETECTABLE WARNINGS. REFER TO SHEET C11 FOR DETAILS.
- AO. PROPOSED ADA COMPLAINT CURB RAMP. REFER TO SHEET C25 FOR DETAILS.
- AP. PROPOSED 4" SOLID YELLOW LINE. REFER TO SHEET C20 FOR DETAIL. AQ. PROPOSED 6" CONCRETE CURB ON BACK OF SIDEWALK. TO BE INTEGRAL TO SIDEWALK AND UNDER ALL PROTRUDING
- AR. PROPOSED BIKE RACK(CAPACITY 5) PER CHASE SPECIFICATION.
- AS. PROPOSED CONCRETE PAD FOR ATM SECURITY BARRIER. AT. PROPOSED ATM SECURITY BARRIER. REFER TO SHEET C25 FOR DETAILS.

02/18/21 CITY COMMENTS 04/27/21 CITY COMMENTS RJE 06/02/21 CITY COMMENTS CITY COMMENTS & 01/11/22 WATER LINE 03/04/22 CITY COMMENT / ATM SECURITY WALL 2 08/26/22 ENTRANCE SIDEWALK CDF 09/01/22 SIDEWALK CONNECT CDF 14 09/28/22 MEDIAN CHANGE DOCUMENT CIVIL CONSTRUCTION PLANS FOR CHASE BANK SITE LOCATION 890 NE LANGSFORD ROAD LEE'S SUMMIT, MO 64063 ENGINEER SEAL

- E OF MISS CHAD D. FAIRBANKS NUMBER E-2001018726
- 9-2 9-28-22
- SHEET TITLE SITE PLAN
- JPM-27135.00 JOB #: 12/21/202 SCALE: 1" = 20 DRAWN BY: CHECKED BY: SHEET NO.



User: CFAIRBANKS Plot Date/Time: Sep. 01, 22 - 09:54:12 Drawing: C:\Users\cfairbanks\appdata\local\temp\AcPublish_16600\JPM-27135-001-P-SITE.dwg ;C8A DETAILED GRADING AND DRAINAGE PLAN

	12		13		
END	GRADING NOTES:				•
G PROPERTY BOUNDARY LINE	 REFER TO SHEET C2 FOR ALL DIMENSIONS ARE TO 		MENTS (FACE OF		R O
G UTILITY EASEMENT	CURB, CONCRETE SLAB, E	ETC.) UNLESS NOTED OTH			0
G 5' INTERVAL CONTOUR LINE G 1' INTERVAL CONTOUR LINE	ARCHITECTURAL PLANS F 3. ALL DIMENSIONS FROM PF				•
ED 5' INTERVAL CONTOUR LINE	UNLESS OTHERWISE NOT				0 5
ED 1' INTERVAL CONTOUR LINE	 CONTRACTOR TO SEED AI OTHERWISE. 	LL DISTURBED AREA UNLE	ESS NOTED		E 200 COM
ED SPOT SHOTS	5. CONTRACTOR TO INSTALL	_ ASPHALT PAVEMENT IN ,	ALL DRIVING		SUITE ATES.C
G EDGE OF PAVEMENT	AREAS. REFER TO SHEET				
ED CURB					TRE 09 203 RE-5
ED BUILDING	GENERAL NOTES:				6500 CHIPPEWA STREE ST. LOUIS, MO 63109 PHONE (314) 270-5203 CFAIRBANKS@CORE-S
ED WATER STRUCTURES	1. RETENTION / DETENTION / UNLESS AN ALTERNATIVE				PEW KS@ KS@
ED SANITARY STRUCTURES	PRIOR TO PLAN APPROVA	L. NO ORGANIC MULCH W			HIPI UIS, BAN BAN
ED SITE LIGHTING FIXTURES	IN OR ADJOINING RETENT		FRPETIJAJ		1. LC
G SANITARY STRUCTURES	MAINTENANCE OF ALL FEA	ATURES OF THE SURFACE	EWATER		5 5 5 E 5
G WATER STRUCTURE	MANAGEMENT SYSTEM AS 3. SITE DATUM ELEVATION: E			DOCUMENTS PREPARED BY INCLUDING THIS DOCUMEN	NT, ARE TO BE USED
G SANITARY ED SANITARY	THE NORTH AMERICAN VE ON MODOT VRS NETWOR	ERTICAL DATUM OF 1988 (I	N.A.V.D. 88) BASED	ONLY FOR THE SPECIFIC PRO USE FOR WHICH THEY WER EXTENSION OF USE TO ANY	RE INTENDED. ANY
F DISTURBANCE	NAVD 88 + 0.085' = NGVD 2		VD 88 TO NGVD 29,	BY OWNER OR BY ANY OTH THE EXPRESSED WRITT	ER PARTY, WITHOUT
				CORESTATES, INC. IS DONE AT THE USERS OWN RISK. OTHER THAN THAT SPECIF	. IF USED IN A WAY FICALLY INTENDED,
	KEYED NOTES: ()			USER WILL HOLD CORESTA FROM ALL CLAIMS A	
	A. PROPOSED 3' WIDE CONB. PROPOSED SWALE.	ICRETE FLUME.		CLIEN	IT
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		,		L A	ſ
<u>G 999.82</u>	/G 999.82	/			
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	8 - <u>0.65</u> %	<u>C 999.40</u>			
TC 1000.57 BC 1000.07					
TC 1000.51	00.57 TC 1000 52 RC 00				-
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00.47	10.55			Know what's $below.$	lbefore you dig.
	G 1000.52			THE CONTRACTOR IS SPECIFICALLY CAUTIONED T ELEVATION OF EXISTING UTILITIES AS SHOWN ON DRAWINGS, RECORDS OF THE VARIOUS UTILITY C MEASUREMENTS TAKEN IN THE FIELD. CORESTAT	THAT THE LOCATION AND/OR THESE PLANS IS BASED ON DESIGN COMPANIES, AND WHERE POSSIBLE,
	Ч <u>ВС 999.6</u>	<u>9</u> / /		MEASUREMENTS TARENTIA THE TIELD. CORESTAT THAT LOCATIONS SHOWN ARE EXACT. THE CONT APPROPRIATE UTILITY COMPANIES AT LEAST 72 H REQUEST EXACT FIELD LOCATIONS OF UTILITIES.	RACTOR MUST CONTACT THE IOURS BEFORE ANY EXCAVATION TO
	G 1000.56 W G 1000.22			REVISIO	NS
4 <u>G 1000.60</u> 4				REV DATE COMM	MENT BY
· FFE 1000.60		G 1000.35		1 02/18/21 CITY COM	MMENTS RJD
				3 06/02/21 CITY COM	MMENTS RJD
ADA GRAD	ING DETAIL			5 07/29/21 CITY COM	MMENTS CDF
SCALE	= 1" = 10'			6 01/11/22 CITY COM WATER	
				7 03/04/22 CITY COMM SECURIT	
				12 08/26/22 ENTRANCE	
				13 09/01/22 SIDEWALK	CONNECT CDF
TC 996.9±					
ME BC 996.4±	ME G 999.0±	G 998.54			FNT
	08.29 G 998.49			CIVI	
BC 997.46		999		CONSTRU	JCTION
				PLANS FOR	R CHASE
	8.09 TC 998.57 BC 997.99			BAN	K
	<u>BC 998.07</u>				
TC 998.24 BC 997.74	TC 998.30 BC 997.80 TC 998.64 BC 998.14			SITE LOCA 890 N	
TC 998.47				LANGSFOR	
BC 997.97	- 000 - 1 - 299	<u>G 998.89</u>		LEE'S SUM	
TC 998.42 BC 997.92 998 TC 998.84	<u>G 998.59</u>			6406	•
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TC 998.60	TC 999.17 BC 998.67 G 998.67	85		ENGINEER	SEAL
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TC 998.73 BC 998.23 TC 998.78	BC 998.63 TC 999.14	BC 998.79		S. ONADD.	
BC 998.28	BC 998.64				R
TRASH ENCLOSURE AN	D ATM GRADING DET	AIL		E-20010187	
SCALE	= 1" = 10'			BOMESSA	WALININ
				(UNIT THE	9-1-22
		RECORD DRAWING		SHEET T	-
		n provided on this drawing confor t intended for construction, imple		DETAIL	
	recording purpo	oses; and it is solely based on info		GRADING DRAINAGE	
		iined by my firm}. " "1 00% 1 15% clope" or "& inch			
	are all typical ex	", " 1.00% 1.15% slope", or "8-incł camples of revisions that indicate	that design data	JOB #:	JPM-27135.001
		ed with "as-built" information. A as not been field verified.	Il other data is as	DATE: SCALE:	12/21/2020 1" = 20'
	Date:			DRAWN BY:	1" = 20" RJD
	Date.	Chad Fairbanks		CHECKED BY:	CDF
		t Managar Civil Engin		SHEET N	10.

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_{Certified by:} <u>Chad Fairbanks</u> _{Title:} <u>Project Manager - Civil Engin</u>eer

C8A

Title: Core States Craun

Firm: Core States Group



User: CFAIRBANKS Plot Date/Time: Sep. 28, 22 - 11:39:03 Drawing: P:\J.P. Morgan Chase\Lee's Summit, MO (Hwy 291 and SE Langford Rd.)-JPM.27135.001\CIVIL\Drawings\Presentation\JPM-27135-001-P-SITE-ROAD.dwg; C21 OVERALL ROADWAY PLAN

- PROPOSED 2' RAISED CONCRETE MEDIAN. REFER TO SHEET C20 FOR DETAIL.
- PROPOSED "ONE WAY" SIGN (R6-1R). REFER TO SHEET C11 FOR DETAIL. PROPOSED SYMBOLIC KEEP RIGHT SIGN (R4-7) AND OBJECT MARKER SIGN (OM1-3). REFER TO SHEET C20 FOR DETAIL.
- PROPOSED NO U-TURN SIGN (R3-4), REFER TO SHEET C20 FOR DETAIL. PROPOSED SOLID CONCRETE MEDIAN.) H.

RECORD DRAWING

The information provided on this drawing conforms to construction records; it is not intended for construction, implementation or recording purposes; and it is solely based on information {provided by others / obtained by my firm}.

"100.00 100.10", "1.00% 1.15% slope", or "8-inch HDPE PVC pipe" are all typical examples of revisions that indicate that design data has been replaced with "as-built" information. All other data is as designed and has not been field verified.

- Date: 11-17-22
- Certified by: Chad Fairbanks
- Title: Project Manager Civil Engineer
- Firm: Core States Group

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- SANITARY STRUCTURES EXISTING WATER STRUCTURE ■ → B EXISTING ELECTRIC STRUCTURE © EXISTING COMMUNICATIONS STRUCTURE
 - (22) PROPOSED PARKING COUNT

- CURB AND GUTTER
- EDGE OF PAVEMENT
- D CURB D BUILDING
- D SIDEWALK
- D CONCRETE D HEAVY DUTY ASPHALT
- D MEDIUM DUTY ASPHALT
- D WATER STRUCTURES D SANITARY STRUCTURES D SITE LIGHTING FIXTURES
- 3. REFER TO SHEET C8 FOR GRADING AND DRAINAGE PLAN.
- 4. REFER TO SHEET C10 FOR UTILITY PLAN.
- 5. REFER TO LANDSCAPE PLAN.
- 6. REFER TO SHEETS C14 FOR PHOTOMETRIC PLAN AND SITE LIGHTING DETAILS.
- 7. ALL DIMENSIONS ARE TO GROUND LEVEL IMPROVEMENTS (FACE OF CURB, CONCRETE SLAB, ETC.) UNLESS NOTED OTHERWISE. REFER TO ARCHITECTURAL PLANS FOR BUILDING DETAILS.
- 8. ALL DIMENSIONS FROM PROPERTY LINES ARE PERPENDICULAR UNLESS OTHERWISE NOTED.
- 9. CONTRACTOR TO SEED ALL DISTURBED AREA UNLESS NOTED OTHERWISE.
- 10. CONTRACTOR TO INSTALL ASPHALT PAVEMENT IN ALL DRIVING AREAS. REFER TO SHEET C11 FOR ASPHALT PAVING DETAILS.
- 9-28-22 SHEET TITLE OVERALL ROADWAY PLAN

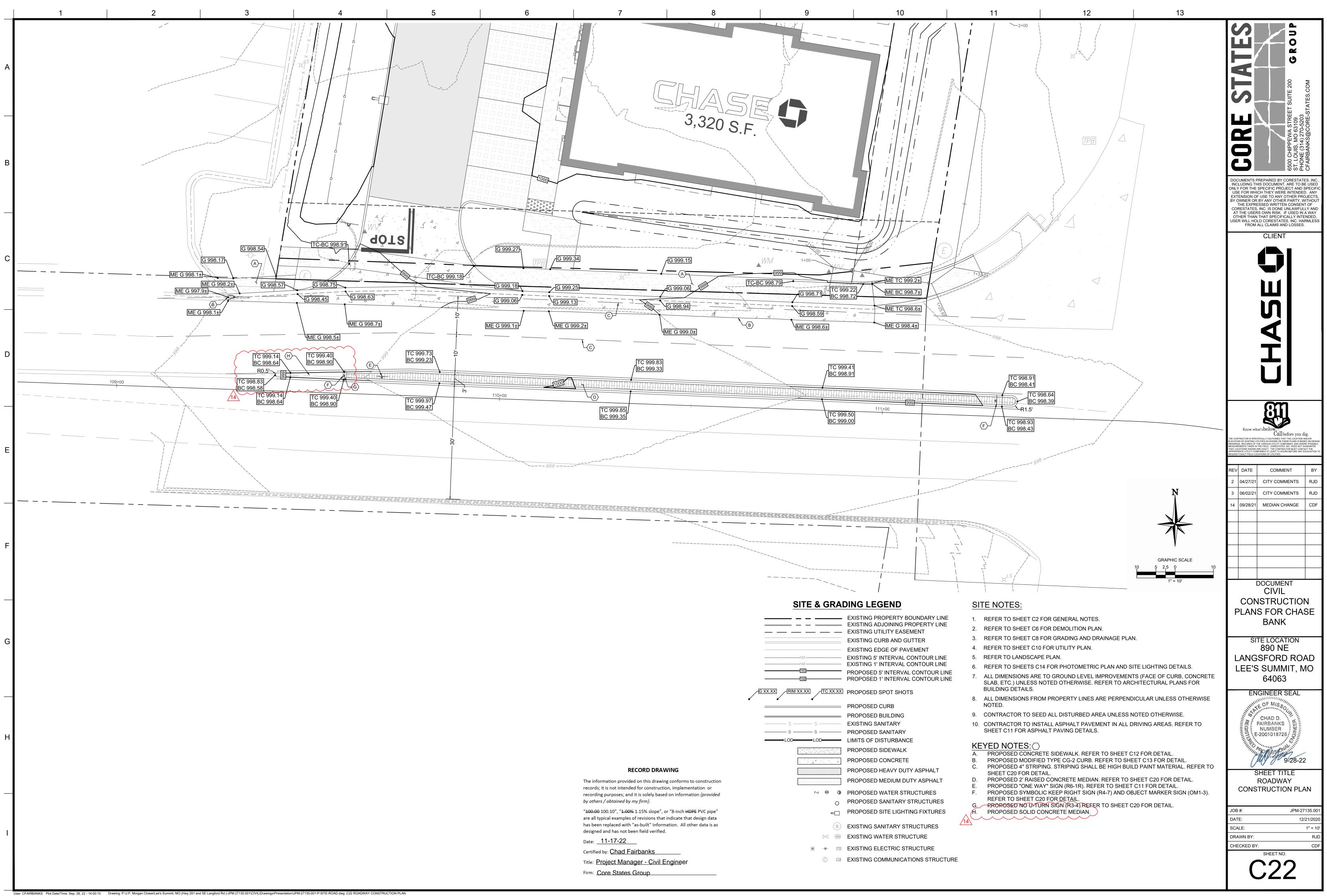
CHAD D.

FAIRBANKS

NUMBER

E-2001018726

JPM-27135.00 JOB #: DATE: 12/21/2020 SCALE: 1" = 50 DRAWN BY: RJI CHECKED BY: SHEET NO. $C2^{\prime}$



		EXISTING PROPERTY BOUNDAR EXISTING ADJOINING PROPERTY EXISTING UTILITY EASEMENT
		EXISTING CURB AND GUTTER
		EXISTING EDGE OF PAVEMENT
	165 	EXISTING 5' INTERVAL CONTOUR EXISTING 1' INTERVAL CONTOUR
	[165] 	PROPOSED 5' INTERVAL CONTO PROPOSED 1' INTERVAL CONTO
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or rovided	N 😁 🚺	PROPOSED WATER STRUCTURE
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