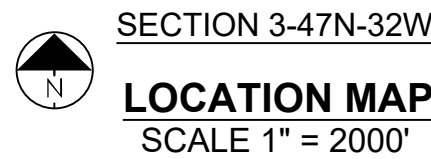
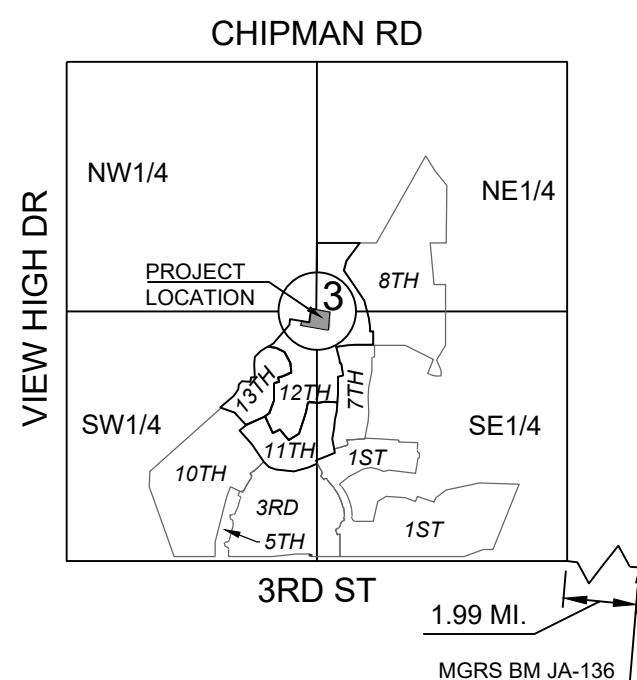


- ACCESS EASEMENT
- BACK OF CURB
- BACK TO BACK
- BENCHMARK
- BUILDING LINE
- CLEANOUT
- TELEPHONE JUNCTION BOX
- CURB AND GUTTER
- DRAINAGE EASEMENT
- ELECTRICAL EASEMENT
- ELEVATION
- FLOW LINE
- GAS LINE EASEMENT
- HIGH-DENSITY POLYETHYLENE
- LANDSCAPE EASEMENT
- MINIMUM SERVICEABLE FLOOR ELEVATION
- POLYVINYL CHLORIDE
- PROPERTY LINE
- PUBLIC EASEMENT
- REINFORCED CONCRETE PIPE
- RIGHT-OF-WAY
- SANITARY SEWER EASEMENT
- SERVICE LINE
- SIDEWALK
- TOP ELEVATION
- UTILITY EASEMENT
- WATER SURFACE ELEVATION
- WATERLINE EASEMENT

MISSOURI DEPARTMENT OF
TRANSPORTATION (MODOT)

Steve Holloway
600 NE Colbern Road
Lee's Summit, MO 64086
(816) 607-2186

Brent Jones
3025 SE Clover Drive
Lee's Summit, MO 64082
(816) 399-9633
brent.jones@spireenergy.

Gary Jones
Gary.Jones@evergy.com

Dena Mezger
220 SE Green Street
Lee's Summit, MO 64063
(816) 969-1800

Mark Manion or Marty Loper
500 E. 8th Street, Room 370
Kansas City, MO 64106
(816) 275-2341 or (816) 275-

John Meadows
4700 Little Blue Parkway
Independence, MO 64057
(816) 795-2257

Mark Schaufler
220 SE Green Street
Lee's Summit, MO 64063
(816) 969-1900

	ASPHALT PAVEMENT - EXISTING
	ASPHALT PAVEMENT - PROPOSED
	CONCRETE PAVEMENT - EXISTING
	ASPHALT PAVEMENT - EXISTING
	CONCRETE SIDEWALK - EXISTING
	CONCRETE SIDEWALK - PROPOSED
	CURB & GUTTER
	CURB & GUTTER - EXISTING
	TREELINE
	EXISTING LOT AND R/W LINES
	EXISTING PLAT LINES
	PROPERTY LINES
	RIGHT-OF-WAY
	SANITARY SEWER MAIN
	SANITARY SEWER MAIN - EXIST.
	STORM SEWER
	STORM SEWER - EXISTING
	CABLE TV - EXISTING
	FIBER OPTIC CABLE - EXISTING
	TELEPHONE LINE - EXIST.
	ELECTRIC LINE - EXISTING
	OVERHEAD POWER LINE - EXIST.
	UNDERGROUND ELECTRIC - EX.
	GAS LINE - EXISTING
	WATERLINE - EXISTING
	LIGHT - EXISTING
	EXISTING MANHOLE
	CLEANOUT
	EXISTING SANITARY MANHOLE
	PROPOSED SANITARY MANHOLE
	EXISTING AREA INLET
	EXISTING CURB INLET
	EXISTING GRATE INLET
	EXISTING JUNCTION BOX
	EXISTING STORM MANHOLE

SUMMARY OF QUANTITIES			
	ITEM	QUANTITY	UNITS
1	GRADING	1	LS
2	SEEDING AND SODDING	1	LS
3	TYPE "CG-2" CURB AND GUTTER	1,535	LF
4	TYPE "CG-1" CURB AND GUTTER	151	LF
5	SAWCUT EXISTING PAVEMENT	28	LF
6	6" ASPHALT	465	SY
7	6" BASE COURSE - MODOT TYPE 5 (6" CHEMICAL STABILIZATION) (OPTION A)	550	SY
8	ASPHALT REMOVAL	675	SY
9	ADA RAMP	2	EA
10	5' SIDEWALK	35	LF
11	5' SIDEWALK REMOVAL	175	LF
12	STD. 6'X4' CURB INLET	6	EA
13	CONNECT TO EXISTING STORM	2	EA
14	EROSION CONTROL DEVICES	1	LS
15	CITY PERMIT FEE	1	LS
16	LAND DISTURBANCE CITY FEE	1	LS
17	BONDS	1	LS

IN THE CITY OF LEE'S SUMMIT
JACKSON COUNTY, MISSOURI

1. ALL CONSTRUCTION TO FOLLOW THE CITY OF LEE'S SUMMIT DESIGN AND CONSTRUCTION MANUAL AS ADOPTED BY ORDINANCE 5813.
2. ALL WORKMANSHIP AND MATERIALS SHALL BE SUBJECT TO THE INSPECTION AND APPROVAL OF THE ENGINEERING DEPARTMENT OF THE CITY OF LEE'S SUMMIT, MISSOURI.
3. LINEAL FOOT MEASUREMENTS SHOWN ON THE PLANS ARE HORIZONTAL MEASUREMENTS, NOT SLOPE MEASUREMENTS. ALL PLACEMENT SHALL BE BASED ON HORIZONTAL MEASUREMENTS.
4. NO GEOLOGICAL INVESTIGATION HAS BEEN PERFORMED ON THE SITE.
5. THE UTILITY LOCATIONS SHOWN ON THESE PLANS ARE TAKEN FROM UTILITY COMPANY RECORDS AND APPARENT FIELD LOCATIONS. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
6. THE CONTRACTOR SHALL ADHERE TO THE PROVISIONS OF THE SENATE BILL NUMBER 583, 78TH GENERAL ASSEMBLY OF THE STATE OF MISSOURI. THE BILL REQUIRES THAT ANY PERSON OR FIRM DOING EXCAVATION ON PUBLIC RIGHT OF WAY DO SO ONLY AFTER GIVING NOTICE TO, AND OBTAINING INFORMATION FROM, UTILITY COMPANIES. STATE LAW REQUIRES 48 HOURS ADVANCE NOTICE. THE CONTRACTOR MAY ALSO UTILIZE THE FOLLOWING TOLL FREE PHONE NUMBER PROVIDED BY 'MISSOURI ONE CALL SYSTEM, INC.' - 1-800-DIG-RITE. THIS PHONE NUMBER IS APPLICABLE ANYWHERE WITHIN THE STATE OF MISSOURI. PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL NOTIFY ALL THOSE COMPANIES WHICH HAVE FACILITIES IN THE NEAR VICINITY OF THE CONSTRUCTION TO BE PERFORMED.
7. PRIOR TO ORDERING PRECAST STRUCTURES, SHOP DRAWING SHALL BE SUBMITTED TO THE DESIGN ENGINEER FOR APPROVAL. AFTER APPROVAL OF THE SHOP DRAWINGS, A COPY OF THE APPROVED AND SIGNED SHOP DRAWINGS SHALL BE PROVIDED TO THE CITY INSPECTOR UPON REQUEST.
8. THE CONTRACTOR SHALL PROTECT ALL MAJOR TREES FROM DAMAGE. NO TREE SHALL BE REMOVED WITHOUT PERMIT FROM THE OWNER, UNLESS SHOWN OTHERWISE.
9. CLEARING AND GRUBBING OPERATIONS AND DISPOSAL OF ALL DEBRIS THEREFROM SHALL BE PERFORMED BY THE CONTRACTOR IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND ORDINANCES.
10. ALL WASTE MATERIAL RESULTING FROM THE PROJECT SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR, OR AS DIRECTED BY THE OWNER.
11. ALL EXCAVATIONS SHALL BE UNCLASSIFIED. NO SEPARATE PAYMENT WILL BE MADE FOR ROCK EXCAVATION.
12. THE CONTRACTOR SHALL CONTROL THE EROSION AND SILTATION DURING ALL PHASES OF CONSTRUCTION, AND SHALL KEEP THE STREETS CLEAN OF MUD AND DEBRIS.
13. ALL MANHOLES, CATCH BASINS, UTILITY VALVES AND METER PITS TO BE ADJUSTED OR REBUILT TO GRADE AS REQUIRED.
14. THE CONTRACTOR SHALL CONTACT DEVELOPMENT SERVICES INSPECTIONS AT: 816-969-1800 TO OBTAIN A DEVELOPMENT SERVICES CONSTRUCTION PERMIT. A MINIMUM 48 HOUR NOTICE SHALL BE GIVEN PRIOR TO PERMIT ISSUANCE.
15. THE CONTRACTOR SHALL CONTACT THE CITY'S EROSION CONTROL SPECIALIST AT: 816-969-1800 PRIOR TO ANY LAND DISTURBANCE.
16. THE CONTRACTOR SHALL CONTACT THE RIGHT OF WAY INSPECTOR AT 816-969-1800 PRIOR TO ANY LAND DISTURBANCE ACTIVITIES WITHIN THE RIGHT OF WAY. THESE ACTIVITIES MAY REQUIRE A PERMIT.
17. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL TRAFFIC HANDLING MEASURES NECESSARY TO ENSURE THAT THE GENERAL PUBLIC IS PROTECTED AT ALL TIMES. TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD-LATEST EDITION).

1. ALL STREET CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE CITY OF LEE'S SUMMIT DESIGN AND CONSTRUCTION MANUAL. ALL APPLICABLE AASHTO STANDARDS HAVE BEEN MET.
2. ALL INSPECTION OF STREET CONSTRUCTION TO BE PERFORMED BY THE CITY OF LEE'S SUMMIT PUBLIC WORKS DEPARTMENT.
3. CURB RETURN RADI SHALL BE 25' AT BACK OF CURB UNLESS OTHERWISE NOTED.
4. UGBRADE TO BE COMPACTED TO 95% STANDARD PROCTOR DENSITY.
5. ASSUMED DESIGN SPEED = 25 MPH (COLLECTOR).
6. MINIMUM STOPPING SIGHT DISTANCE = 155 FEET.
7. MINIMUM K, SAG CURVE = 26 (14 WITH LIGHTING), CREST CURVE = 12.
8. GRADE INTERSECTIONS TO DRAIN AS SHOWN.
9. SSD = STOPPING SIGHT DISTANCE.

1. IT IS RECOMMENDED THAT A GEOTECHNICAL ENGINEER OBSERVE AND DOCUMENT ALL EARTHWORK ACTIVITIES.
2. CONTOURS HAVE BEEN SHOWN AT 1-FOOT OR 2-FOOT INTERVALS, AS INDICATED. GRADING SHALL CONSIST OF COMPLETING THE EARTHWORK REQUIRED TO BRING THE PHYSICAL GROUND ELEVATIONS OF THE EXISTING SITE TO THE FINISHED GRADE (OR SUB-GRADE) ELEVATIONS PROVIDED ON THE PLANS AS SPOT GRADES, CONTOURS OR OTHERS MEANS AS INDICATED ON THE PLANS.
3. THE EXISTING SITE TOPOGRAPHY DEPICTED ON THE PLANS BY CONTOURING HAS BEEN ESTABLISHED BY AERIAL PHOTOGRAPHY AND FIELD VERIFIED BY G.P.S. OBSERVATION NEAR APRIL 2018. THE CONTOUR ELEVATIONS PROVIDED MAY NOT BE EXACT GROUND ELEVATIONS, BUT RATHER INTERPRETATIONS OF SUCH. ACCURACY SHALL BE CONSIDERED TO BE SUCH THAT NOT MORE THAN 10 PERCENT SPOT ELEVATION CHECKS SHALL BE IN ERROR BY MORE THAN ONE-HALF THE CONTOUR INTERVAL PROVIDED, AS DEFINED BY THE NATIONAL MAP ACCURACY STANDARDS. ANY QUANTITIES PROVIDED FOR EARTHWORK VOLUMES ARE ESTABLISHED USING THIS TOPOGRAPHY CONTOUR ACCURACY, AND THEREFORE THE INHERENT ACCURACY OF ANY EARTHWORK QUANTITY IS ASSUMED FROM THE TOPOGRAPHY ACCURACY.
4. PROPOSED CONTOURS ARE TO APPROXIMATE FINISHED GRADE.
5. UNLESS OTHERWISE NOTED, PAYMENT FOR EARTHWORK SHALL INCLUDE BACKFILLING OF THE CURB AND GUTTER, SIDEWALK AND FURTHER MANIPULATION OF UTILITY TRENCH SPOLS. THE SITE SHALL BE LEFT IN A MOVABLE CONDITION AND POSITIVE DRAINAGE MAINTAINED THROUGHOUT.
6. UNLESS OTHERWISE NOTED, ALL EARTHWORK IS CONSIDERED UNCLASSIFIED. NO ADDITIONAL COMPENSATION WILL BE PROVIDED FOR ROCK OR SHALE EXCAVATION, UNLESS SPECIFICALLY STATED OTHERWISE.
7. PRE-CONSTRUCTION EARTHWORK ACTIVITIES, PRE-DISTURBANCE EROSION AND SEDIMENT CONTROL DEVICES SHALL BE IN PLACE PER THE STORM WATER POLLUTION PREVENTION PLAN AND/OR THE EROSION AND SEDIMENT CONTROL PLAN PREPARED FOR THIS SITE.
8. ALL TOPSOIL SHALL BE STRIPPED FROM ALL AREAS TO BE GRADED AND STOCKPILED ADJACENT TO THE SITE AT AN AREA SPECIFIED BY THE PROJECT OWNER OR HIS APPOINTED REPRESENTATIVE. VEGETATION, TRASH, TREES, BRUSH, TREE ROOTS AND LIMBS, ROCK FRAGMENTS GREATER THAN 6-INCHES AND OTHER DELETERIOUS MATERIALS SHALL BE REMOVED AND PROPERLY DISPOSED OF OFFSITE OR AS DIRECTED BY THE OWNER OR HIS APPOINTED REPRESENTATIVE.
9. UNLESS OTHERWISE SPECIFIED IN THE GEOTECHNICAL REPORT, ALL FILLS SHALL BE PLACED IN MAXIMUM 6-INCH LIFTS AND COMPACTED TO 95-PERCENT OF MAXIMUM DENSITY AS DEFINED USING A STANDARD PROCTOR TEST (AASHTO 1998ASTM 698).
10. FILL MATERIALS SHALL BE PER GEOTECHNICAL REPORT AND SHALL NOT INCLUDE ORGANIC MATTER, DEBRIS OR ALL OTHERS. ALL FILLS GREATER THAN 6" SHALL BE BENCHED.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REDISTRIBUTING THE TOPSOIL OVER PROPOSED TURF AND LANDSCAPED AREAS TO A MINIMUM DEPTH OF 6-INCHES BELOW FINAL GRADE.
12. ALL AREAS SHALL BE GRADED FOR POSITIVE DRAINAGE. UNLESS NOTED OTHERWISE THE FOLLOWING GRADES SHALL APPLY:
 - A. TURF AREAS – 2.5% MINIMUM, 4H:1V MAXIMUM
 - B. PAVED AREAS – 1.2% MINIMUM, 5% MAXIMUM
13. ALL DISTURBED AREAS SHALL BE FERTILIZED, SEEDDED AND MULCHED IMMEDIATELY AFTER EARTHWORK ACTIVITIES HAVE CEASED. SEEDING SHALL BE PER THE EROSION AND SEDIMENT CONTROL PLAN AND/OR LANDSCAPE PLAN. IF NOT SPECIFIED SEEDING SHALL BE PER APCA SECTION 2400, LATEST EDITION. UNLESS OTHERWISE NOTED, SEEDING SHALL BE SUBSIDIARY TO THE CONTRACT PRICE FOR EARTHWORK AND GRADING ACTIVITIES.
14. ALL DISTURBED AREAS IN THE RIGHT-OF-WAY SHALL BE SODDED.
15. UNDERDRAINS ARE RECOMMENDED FOR ALL PAVED AREAS ADJACENT TO IRRIGATED TURF AND LANDSCAPED BEDS.
16. CONTRACTOR SHALL ADHERE TO THE REPORTING REQUIREMENTS OUTLINED IN THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) PREPARED FOR THIS PROJECT. EROSION AND SEDIMENT CONTROL DEVICES SHALL BE PROPERLY MAINTAINED AND KEPT CLEAN OF SILT AND DEBRIS AND IN GOOD WORKING ORDER. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AS REQUIRED.

1. EXISTING UTILITIES HAVE BEEN SHOWN TO THE GREATEST EXTENT POSSIBLE BASED UPON INFORMATION PROVIDED TO THE ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE RESPECTIVE UTILITY COMPANIES AND FIELD LOCATING UTILITIES PRIOR TO CONSTRUCTION AND IDENTIFYING ANY POTENTIAL CONFLICTS. ALL CONFLICTS SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ANY REQUIRED UTILITY RELOCATIONS. UTILITIES DAMAGED THROUGH THE NEGLIGENCE OF THE CONTRACTOR SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
3. CONTRACTOR SHALL VERIFY FLOW-LINES AND STRUCTURE TOPS PRIOR TO CONSTRUCTION, AND SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES. PROVIDE SHOP DRAWINGS FOR ALL PRECAST AND MANUFACTURED UTILITY STRUCTURES FOR REVIEW BY THE ENGINEER PRIOR TO CONSTRUCTION OF THE STRUCTURES.
4. UTILITY SEPARATION: WATERLINES SHALL HAVE A MINIMUM OF 10 FEET HORIZONTAL AND 2 FEET VERTICAL SEPARATION FROM ALL SANITARY AND STORM SEWER LINES. IF MINIMUM SEPARATIONS CAN NOT BE OBTAINED, A CONTINUOUS CASING PIPE MUST BE USED ON THE WATER LINE AND EXTEND NO LESS THAN 10 FEET IN EACH DIRECTION FROM THE CROSSING OF THE SANITARY OR STORM SEWER LINE IN CONFLICT.
5. PAYMENT FOR TRENCHING, BACKFILLING, PIPE EMBEDMENT, FLOWLINE FILL, BACKFILL MATERIALS, CLEAN AND PROTECT, SLOTTED DRAINAGE, AND UTILITY REPAIRS SHALL BE THE RESPONSIBILITY OF THE UTILITY LINE. SHALL BE INCLUDED IN THE CONTRACT PRICE FOR THE UTILITY INSTALLATION.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING RESPECTIVE UTILITY COMPANIES 48-HOURS IN ADVANCE FOR THE INSPECTION OF ANY PROPOSED UTILITY MAIN EXTENSION OR SERVICE LINE OR SERVICE CONNECTION TO ANY EXISTING MAIN.
7. TRENCH SPOILS SHALL BE NEATLY PLACED ONSITE ADJACENT TO THE TRENCH, AND COMPACTED TO PREVENT SATURATION. EXCESS SEDIMENT RUNOFF, UNSUITABLE MATERIALS, EXCESS ROCK AND SHALE, ASPHALT, CONCRETE, TREES, BRUSH ETC. SHALL BE PROPERLY DISPOSED OF OFFSITE. MATERIALS MAY BE WASTED ONSITE AT THE DIRECTION OF THE OWNER OR HIS APPOINTED REPRESENTATIVE.

Sheet List Table	
Sheet Number	Sheet Title
1	COVER SHEET
2	PRE-CLEARING PLAN
3	ECP-CONSTRUCTION
4	FINAL STABILIZATION PLAN
5	EROSION CONTROL DETAILS
6	GENERAL LAYOUT
7	MDP - GRADING PLAN
8	MDP SPOT ELEVATIONS
9	MDP DRAINAGE AREA
10	INT DET (ADA RAMPS)
10.1	INT DET (ADA RAMP DETAIL)
11	EXISTING LINE 100 PLAN & PROFILE
12	STANDARD DETAILS
13	STANDARD DETAILS

CITY ENGINEER
APPROVED FOR ONE YEAR FROM THIS DATE

GALE COMMUNITIES, INC.
DAVID GALE
400 SW LONGVIEW BLVD, STE 109
LEE'S SUMMIT, MISSOURI 64081
O: (816) 761-9292
C: (816) 645-2336
DGALE@GALECOMMUNITIES.COM



BM JA-136, LOCATED AT INTERSECTION OF SW OLDHAM PARKWAY AND SW WARD ROAD, 61 FT SOUTH OF CL OF OLDHAM PARKWAY AND 28.9 FT EAST OF THE EAST EDGE OF WARD ROAD.

ELEV. 993.11'

SANITARY MANHOLE H2 AT NW CORNER OF LOT 1153 WINTERSET VALLEY 1ST PLAT, APPROX. 39' RT. OF CL OF NW PEALE BLVD.

ELEV.935.45'

CONFORMING TO CONSTRUCTION
RECORDS.

RPM	11/09/2020
BY	DATE

PREPARED BY:

SCHLAGEL & ASSOCIATES, P.A.

T T VALLEY REPLAT LOTS 1450, 1451, & TRACT A51
N T CONTROL PLAN, MASTER DRAINAGE PLAN,
STREET, AND STORMWATER PLANS
NNW CARSON DRIVE & AUDUBON LANE
LEE'S SUMMIT, MISSOURI

REVISION DATE	DESCRIPTION
1/04/28/2020	CITY COMMENTS
2/07/20/2020	ADA Spot Elevations
3/11/09/2020	AS-BUILTS
4/	
5/	
6/	
7/	
8/	
9/	

COVER SHEET

SHEET

1

LEGEND		
	SF1	SILT FENCE (PRIOR TO LAND DISTURBANCE)
	SF2	SILT FENCE (DURING CONSTRUCTION)
	X	CONSTRUCTION FENCE
	..	LIMITS OF DISTURBANCE
	965	EXISTING CONTOURS
	965	PROPOSED CONTOURS
		STRAW BALE DITCH CHECK
		GRAVEL FILTER FOR STORM SEWER STRUCTURES ONLY

NOTE:

1. CONSTRUCTION OF THIS CONTRACT IS TO BE CONCURRENT WITH WINTERSET VALLEY 13TH PLAT IMPROVEMENTS. THEREFORE EROSION CONTROL MEASURES FROM WINTERSET VALLEY 13TH PLAT SHALL REMAIN OR BE IMPROVED UPON DURING THIS CONTRACT.

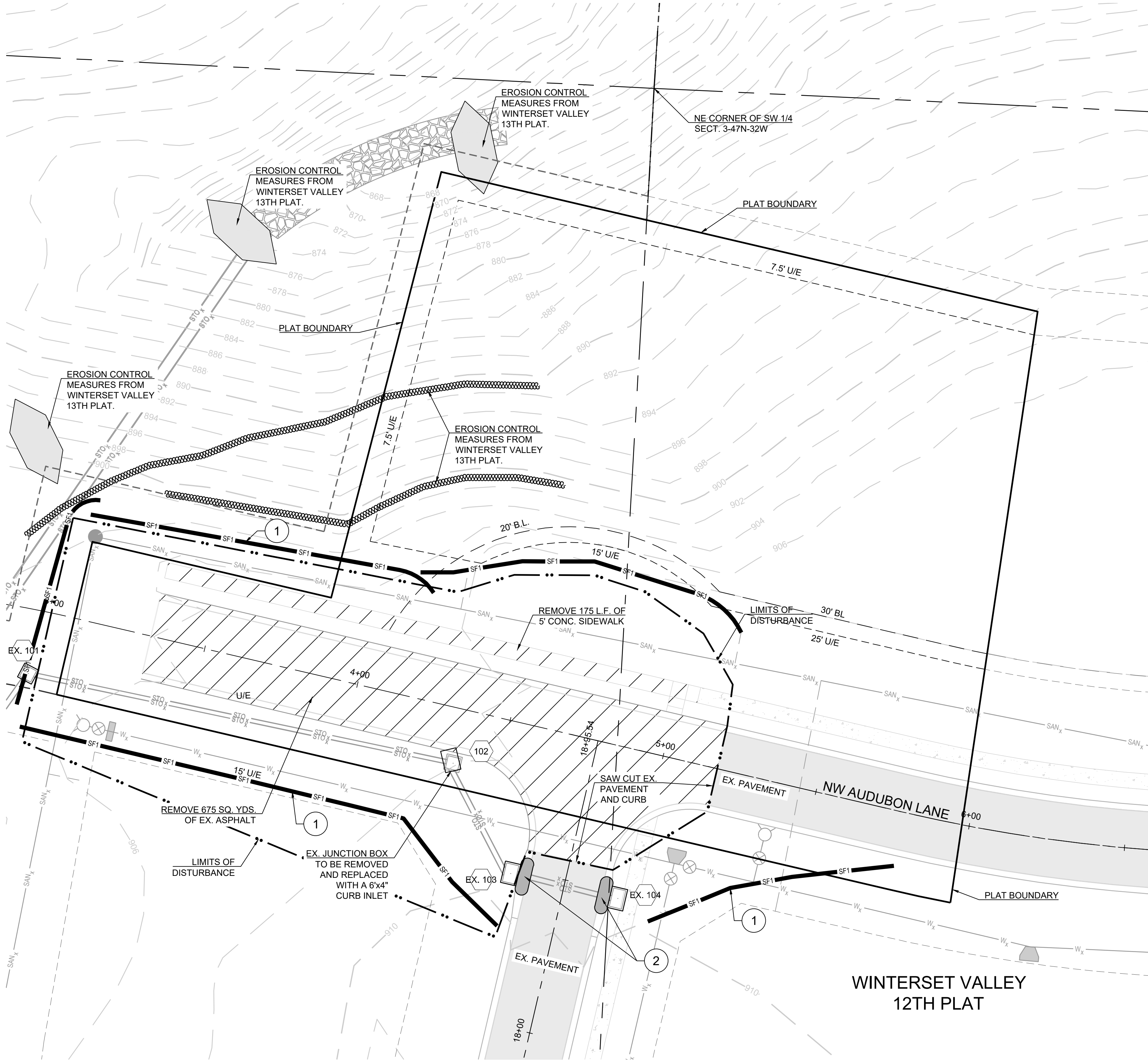
	EROSION AND SEDIMENT CONTROL STAGING CHART				
	PROJECT STAGE	BMP PLAN REF. NO	BMP DESCRIPTION	REMOVE AFTER STAGE	NOTES:
PRE-CLEARING PHASE	A - PRIOR TO LAND DISTURBANCE	N/A	CONSTRUCTION ENTRANCE & STAGING AREA	D	MAINTAIN, REPAIR, OR REPLACE AS NECESSARY
		1	SILT FENCE 1 (PRIOR TO LAND DISTURBANCE)	E	PLACE WHERE INDICATED, REPAIR OR REPLACE AS NECESSARY AND REMOVE ONLY WHEN GRADED AREAS HAVE SUFFICIENT GROUND COVER ESTABLISHED
		2	EXISTING INLET PROTECTION (GRAVEL CURB INLET SEDIMENT TRAP)	E	PLACE WHERE INDICATED, REPAIR OR REPLACE AS NECESSARY AND REMOVE ONLY WHEN GRADED AREAS HAVE SUFFICIENT GROUND COVER ESTABLISHED
CONSTRUCTION PHASE	B - MASS GRADING	3	SILT FENCE 2 (DURING CONSTRUCTION)	E	PLACE WHERE INDICATED, REPAIR OR REPLACE AS NECESSARY AND REMOVE ONLY WHEN GRADED AREAS HAVE SUFFICIENT GROUND COVER ESTABLISHED
		4	SILT SOCK/ ROCK SOCK/ SOCK WATTLE	D	PLACE WHERE INDICATED, REPAIR OR REPLACE AS NECESSARY AND REMOVE ONLY WHEN GRADED AREAS HAVE SUFFICIENT GROUND COVER ESTABLISHED
		5	FOAM SILT DIKE OR ROCK DITCH CHECK	E	PLACE WHERE INDICATED AS SOON AS SWALE IS ESTABLISHED, REPAIR OR REPLACE AS NECESSARY
	C - UTILITY CONSTRUCTION	6	CONCRETE WASHOUT AREA	E	MAINTAIN, REPAIR, OR REPLACE AS NECESSARY
		7	INLET PROTECTION (SILT FENCE)	D/E	BOARDS SHALL BE PLACED IN FRONT OF INLET OPENING FROM THE TIME SILT FENCE IS REMOVED UNTIL SUCH TIME THAT THE CURB / THROAT IS POURED. PLACE GRAVEL FILTER BAGS AT THE OPENING OF ALL CURB INLETS IMMEDIATELY AFTER THE INLET THROATS ARE POURED
FINAL STABILIZATION PHASE	D - AFTER PAVING OPERATIONS	8	INLET PROTECTION (GRAVEL FILTER BAGS)	E	BOARDS SHALL BE PLACED IN FRONT OF INLET OPENING FROM THE TIME SILT FENCE IS REMOVED UNTIL SUCH TIME THAT THE CURB / THROAT IS POURED. PLACE GRAVEL FILTER BAGS AT THE OPENING OF ALL CURB INLETS IMMEDIATELY AFTER THE INLET THROATS ARE POURED
		9	SILT FENCE 2 (AFTER CURB CONSTRUCTION)	E	PLACE WHERE INDICATED, REPAIR OR REPLACE AS NECESSARY AND REMOVE ONLY WHEN GRADED AREAS HAVE SUFFICIENT GROUND COVER ESTABLISHED
		10	SEEDING AND MULCHING	E	ALL DISTURBED AREAS AFTER 14 DAYS OF CONSTRUCTION INACTIVITY
	E - UNTIL CLOSURE OF LAND DISTURBANCE PERMIT				ADDITIONAL SEDIMENT AND EROSION CONTROL MEASURES MAY BE REQUIRED ANY TIME CURRENT MEASURES ARE FOUND TO BE INEFFECTIVE.

DISTURBED AREA = 0.44 A.C.

SITE SPECIFIC NOTES:

- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING UTILITY LOCATIONS PRIOR TO EXCAVATION.
- THERE ARE NO WETLANDS, NATURAL OR ARTIFICIAL WATER STORAGE DETENTION AREAS IN THE PROJECT AREA.
- NO PART OF THE PROJECT LIES WITHIN THE 100 YEAR FLOOD PLAIN PER FEMA FLOOD INSURANCE RATE MAP NUMBER 29095C0412G DATED JANUARY 20, 2017.
- ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IMPLEMENTED ACCORDING TO THE BMP STAGING CHART.
- ADDITIONAL EROSION CONTROL MAY BE REQUIRED BY THE CITY ENGINEER AT ANY TIME EXISTING MEASURES ARE FOUND TO BE INEFFECTIVE OR PROBLEMATIC AREAS ARE NOTED IN THE FIELD.

- STABILIZATION OF DISTURBED AREAS MUST, AT A MINIMUM, BE INITIATED IMMEDIATELY WHENEVER ANY CLEARING, GRADING, EXCAVATING, OR OTHER SOIL DISTURBING ACTIVITIES HAVE PERMANENTLY CEASED ON ANY PORTION OF THE SITE, OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS. THE DISTURBED AREAS SHALL BE PROTECTED FROM EROSION BY STABILIZING THE AREA WITH MULCH OR OTHER SIMILARLY EFFECTIVE SOIL STABILIZING BMPs. INITIAL STABILIZATION ACTIVITIES MUST BE COMPLETED WITHIN 14 DAYS AFTER SOIL DISTURBING ACTIVITIES CEASE.
- ALL PERIMETER SILT FENCE, EARTH DIKES, SEDIMENT BASINS, AND ROCK CONSTRUCTION ENTRANCES WILL BE INSTALLED BEFORE GRADING OPERATIONS BEGIN.
- SILT FENCE AND EARTH DIKES THAT ARE PLACED BEFORE GRADING BEGINS WILL BE MAINTAINED BY THE GRADING CONTRACTOR.
- AREAS WITHIN PUBLIC RIGHT-OF-WAY SHALL BE SODDED IMMEDIATELY AFTER CONSTRUCTION IS COMPLETE.



CONFORMING TO CONSTRUCTION RECORDS.

RPM 11/09/2020
BY DATE

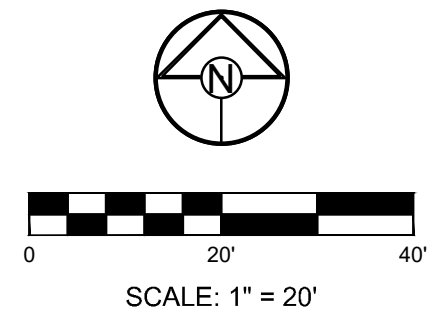


WINTERSET VALLEY REPLAT LOTS 1450, 1451, & TRACT A51
SEDIMENT CONTROL PLAN, MASTER DRAINAGE PLAN,
STREET, AND STORMWATER PLANS
NW CARSON DRIVE & AUDUBON LANE
LEE'S SUMMIT, MISSOURI

REVISION DATE	DESCRIPTION
04/28/2020	CITY COMMENTS
07/20/2020	ADA Spd Elevations
11/09/2020	AS-BUILTS

DRAWN BY:	DESCRIPTION
RPM	CITY COMMENTS
CHECKED BY:	ADA Spd Elevations
MAB	AS-BUILTS
DATE PREPARED:	
04/15/2020	
PROJ. NUMBER:	
20-074	

PRE-CLEARING PLAN
SHEET
2



SCHLAGEL

ENGINEERS PLANNERS SURVEYORS LANDSCAPE ARCHITECTS

14920 West 107th Street • Lenexa, Kansas 66215

(913) 492-5158 • Fax: (913) 492-8400

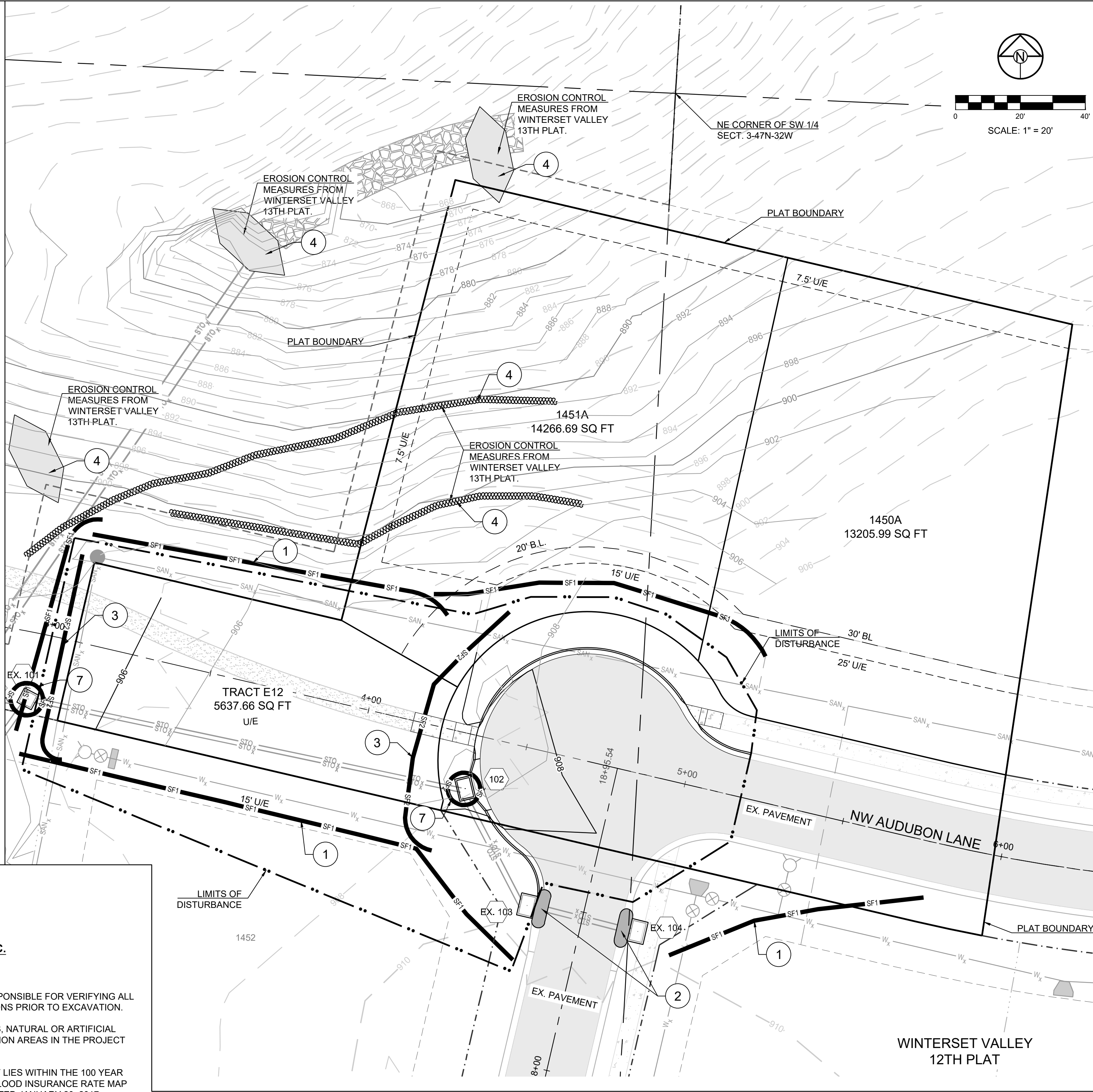
WWW.SCHLAGELASSOCIATES.COM

Missouri State Certificates of Authority

#E2002003600F #LAC200100237 #LS200200859F

PREPARED BY:

SCHLAGEL & ASSOCIATES, P.A.



NOTE:

1. CONSTRUCTION OF THIS CONTRACT IS TO BE CONCURRENT WITH WINTERSET VALLEY 13TH PLAT IMPROVEMENTS. THEREFORE EROSION CONTROL MEASURES FROM WINTERSET VALLEY 13TH PLAT SHALL REMAIN OR BE IMPROVED UPON DURING THIS CONTRACT.

PHASE	EROSION AND SEDIMENT CONTROL STAGING CHART				
	PROJECT STAGE	BMP PLAN REF. NO.	BMP DESCRIPTION	REMOVE AFTER STAGE	NOTES:
PRE-CLEARING PHASE	A - PRIOR TO LAND DISTURBANCE	N/A	CONSTRUCTION ENTRANCE & STAGING AREA	D	MAINTAIN, REPAIR, OR REPLACE AS NECESSARY
		1	SILT FENCE 1 (PRIOR TO LAND DISTURBANCE)	E	PLACE WHERE INDICATED. REPAIR OR REPLACE AS NECESSARY AND REMOVE ONLY WHEN GRADED AREAS HAVE SUFFICIENT GROUND COVER ESTABLISHED
		2	EXISTING INLET PROTECTION (GRAVEL CURB INLET SEDIMENT TRAP)	E	PLACE WHERE INDICATED. REPAIR OR REPLACE AS NECESSARY AND REMOVE ONLY WHEN GRADED AREAS HAVE SUFFICIENT GROUND COVER ESTABLISHED
CONSTRUCTION PHASE	B - MASS GRADING	3	SILT SOCK / ROCK SOCK / SOCK WATTLE	E	PLACE WHERE INDICATED. REPAIR OR REPLACE AS NECESSARY AND REMOVE ONLY WHEN GRADED AREAS HAVE SUFFICIENT GROUND COVER ESTABLISHED
		4	FOAM SILT DIKE OR ROCK DITCH CHECK	E	PLACE WHERE INDICATED AS SOON AS SWALE IS ESTABLISHED, REPAIR OR REPLACE AS NECESSARY
		5	CONCRETE WASHOUT AREA	E	MAINTAIN, REPAIR, OR REPLACE AS NECESSARY
CONSTRUCTION PHASE	C - UTILITY CONSTRUCTION	6	INLET PROTECTION (SILT FENCE)	D/E	PLACE SILT FENCE AROUND ALL STORM SEWER STRUCTURES / YARD AREA STORM STRUCTURES TO HAVE SILT FENCE REMOVED ONLY WHEN GRADED AREAS HAVE SUFFICIENT GROUND COVER ESTABLISHED
		7	INLET PROTECTION (GRAVEL FILTER BAGS)	E	BOARDS SHALL BE PLACED IN FRONT OF INLET OPENING FROM THE TIME SILT FENCE IS REMOVED UNTIL SUCH TIME THAT THE CURB / THROAT IS POURED. PLACE GRAVEL FILTER BAGS AT THE OPENING OF ALL CURB INLETS IMMEDIATELY AFTER THE INLET THROATS ARE POURED
		8	SILT FENCE 2 (AFTER CURB CONSTRUCTION)	E	PLACE WHERE INDICATED. REPAIR OR REPLACE AS NECESSARY AND REMOVE ONLY WHEN GRADED AREAS HAVE SUFFICIENT GROUND COVER ESTABLISHED
FINAL STABILIZATION PHASE	D - AFTER PAVING OPERATIONS	9	SEEDING AND MULCHING	E	ALL DISTURBED AREAS AFTER 14 DAYS OF CONSTRUCTION INACTIVITY
		10			ADDITIONAL SEDIMENT AND EROSION CONTROL MEASURES MAY BE REQUIRED ANY TIME CURRENT MEASURES ARE FOUND TO BE INEFFECTIVE.
	E - UNTIL CLOSURE OF LAND DISTURBANCE PERMIT				

DISTURBED AREA = 0.44 A.C.

SITE SPECIFIC NOTES:

- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING UTILITY LOCATIONS PRIOR TO EXCAVATION.
- THERE ARE NO WETLANDS, NATURAL OR ARTIFICIAL WATER STORAGE DETENTION AREAS IN THE PROJECT AREA.
- NO PART OF THE PROJECT LIES WITHIN THE 100 YEAR FLOOD PLAIN PER FEMA FLOOD INSURANCE RATE MAP NUMBER 29095C0412G DATED JANUARY 20, 2017.
- ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IMPLEMENTED ACCORDING TO THE BMP STAGING CHART.
- ADDITIONAL EROSION CONTROL MAY BE REQUIRED BY THE CITY ENGINEER AT ANY TIME EXISTING MEASURES ARE FOUND TO BE INEFFECTIVE OR PROBLEMATIC AREAS ARE NOTED IN THE FIELD.
- STABILIZATION OF DISTURBED AREAS MUST, AT A MINIMUM, BE INITIATED IMMEDIATELY WHENEVER ANY CLEARING, GRADING, EXCAVATING, OR OTHER SOIL DISTURBING ACTIVITIES HAVE PERMANENTLY CEASED ON ANY PORTION OF THE SITE, OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS. THE DISTURBED AREAS SHALL BE PROTECTED FROM EROSION BY STABILIZING THE AREA WITH MULCH OR OTHER SIMILARLY EFFECTIVE SOIL STABILIZING BMPs. INITIAL STABILIZATION ACTIVITIES MUST BE COMPLETED WITHIN 14 DAYS AFTER SOIL DISTURBING ACTIVITIES CEASE.
- ALL PERIMETER SILT FENCE, EARTH DIKES, SEDIMENT BASINS, AND ROCK CONSTRUCTION ENTRANCES WILL BE INSTALLED BEFORE GRADING OPERATIONS BEGIN.
- SILT FENCE AND EARTH DIKES THAT ARE PLACED BEFORE GRADING BEGINS WILL BE MAINTAINED BY THE GRADING CONTRACTOR.
- AREAS WITHIN PUBLIC RIGHT-OF-WAY SHALL BE SODDED IMMEDIATELY AFTER CONSTRUCTION IS COMPLETE.

LEGEND			
	TEMPORARY STORAGE AREA FOR EXCESS MATERIAL		SILT FENCE (PRIOR TO LAND DISTURBANCE)
	TEMP. CONSTRUCTION ENTRANCE AND STAGING AREA		SILT FENCE (DURING CONSTRUCTION)
	CONCRETE WASHOUT AREA		CONSTRUCTION FENCE
	SILT FOAM DIKE - STAKED & INSTALL PER MFR'S RECOMMENDATIONS		LIMITS OF DISTURBANCE
	ROCK DITCH CHECK		EXISTING CONTOURS
	SEDIMENT TRAP		PROPOSED CONTOURS
			STRAW BALE DITCH CHECK
			GRAVEL FILTER FOR STORM SEWER STRUCTURES ONLY
			SILT SOCK / ROCK SOCK / SOCK WATTLE
			BMP PLAN REF. NO.
			ROCK BLANKET
			TEMP. EROSION CONTROL BLANKET

CONFORMING TO CONSTRUCTION RECORDS.

RPM 11/09/2020
BY DATE



PREPARED BY:

SCHLAGEL & ASSOCIATES, P.A.

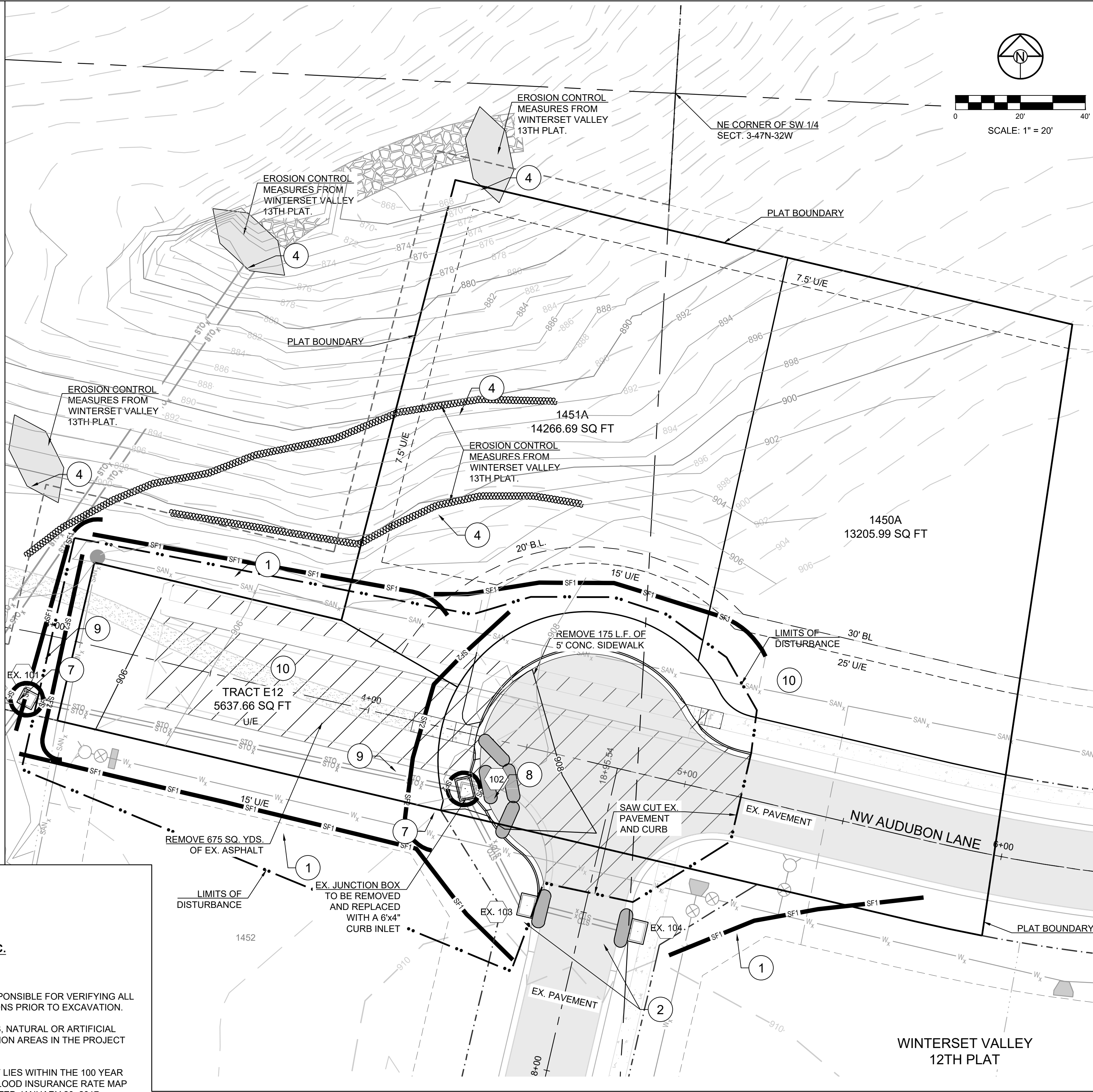
WINTERSET VALLEY REPLAT LOTS 1450, 1451, & TRACT A51
SEDIMENT CONTROL PLAN, MASTER DRAINAGE PLAN,
STREET, AND STORMWATER PLANS
NW CARSON DRIVE & AUDUBON LANE
LEE'S SUMMIT, MISSOURI

REVISION DATE	DESCRIPTION
04/28/2020	CITY COMMENTS
07/20/2020	ADA Spot Elevations
11/09/2020	AS-BUILTS

DRAWN BY:	RPM
CHECKED BY:	MAB
DATE PREPARED:	04/15/2020
PROJ. NUMBER:	20-074

ECP-CONSTRUCTION

SHEET



NOTE:

1. CONSTRUCTION OF THIS CONTRACT IS TO BE CONCURRENT WITH WINTERSET VALLEY 13TH PLAT IMPROVEMENTS. THEREFORE EROSION CONTROL MEASURES FROM WINTERSET VALLEY 13TH PLAT SHALL REMAIN OR BE IMPROVED UPON DURING THIS CONTRACT.

EROSION AND SEDIMENT CONTROL STAGING CHART

PROJECT STAGE	BMP PLAN REF. NO.	BMP DESCRIPTION	REMOVE AFTER STAGE	NOTES:
A - PRIOR TO LAND DISTURBANCE	N/A	CONSTRUCTION ENTRANCE & STAGING AREA	D	MAINTAIN, REPAIR, OR REPLACE AS NECESSARY
	1	SILT FENCE 1 (PRIOR TO LAND DISTURBANCE)	E	PLACE WHERE INDICATED. REPAIR OR REPLACE AS NECESSARY AND REMOVE ONLY WHEN GRADED AREAS HAVE SUFFICIENT GROUND COVER ESTABLISHED
	2	EXISTING INLET PROTECTION (GRAVEL CURB INLET SEDIMENT TRAP)	E	PLACE WHERE INDICATED. REPAIR OR REPLACE AS NECESSARY AND REMOVE ONLY WHEN GRADED AREAS HAVE SUFFICIENT GROUND COVER ESTABLISHED
B - MASS GRADING	3	SILT FENCE 2 (DURING CONSTRUCTION)	E	PLACE WHERE INDICATED. REPAIR OR REPLACE AS NECESSARY AND REMOVE ONLY WHEN GRADED AREAS HAVE SUFFICIENT GROUND COVER ESTABLISHED
	4	SILT SOCK / ROCK SOCK / SOCK WATTLE	D	PLACE WHERE INDICATED. REPAIR OR REPLACE AS NECESSARY AND REMOVE ONLY WHEN GRADED AREAS HAVE SUFFICIENT GROUND COVER ESTABLISHED
	5	FOAM SILT DIKE OR ROCK DITCH CHECK	E	PLACE WHERE INDICATED AS SOON AS SWALE IS ESTABLISHED, REPAIR OR REPLACE AS NECESSARY
C - UTILITY CONSTRUCTION	6	CONCRETE WASHOUT AREA	E	MAINTAIN, REPAIR, OR REPLACE AS NECESSARY
	7	INLET PROTECTION (SILT FENCE)	D/E	PLACE SILT FENCE AROUND ALL STORM SEWER STRUCTURES / YARD AREA STORM STRUCTURES TO HAVE SILT FENCE REMOVED ONLY WHEN GRADED AREAS HAVE SUFFICIENT GROUND COVER ESTABLISHED
	8	INLET PROTECTION (GRAVEL FILTER BAGS)	E	BOARDS SHALL BE PLACED IN FRONT OF INLET OPENING FROM THE TIME SILT FENCE IS REMOVED UNTIL SUCH TIME THAT THE CURB / THROAT IS POURED. PLACE GRAVEL FILTER BAGS AT THE OPENING OF ALL CURB INLETS IMMEDIATELY AFTER THE INLET THROATS ARE POURED
D - AFTER PAVING OPERATIONS	9	SILT FENCE 2 (AFTER CURB CONSTRUCTION)	E	PLACE WHERE INDICATED. REPAIR OR REPLACE AS NECESSARY AND REMOVE ONLY WHEN GRADED AREAS HAVE SUFFICIENT GROUND COVER ESTABLISHED
	10	SEEDING AND MULCHING	E	ALL DISTURBED AREAS AFTER 14 DAYS OF CONSTRUCTION INACTIVITY
E - UNTIL CLOSURE OF LAND DISTURBANCE PERMIT				ADDITIONAL SEDIMENT AND EROSION CONTROL MEASURES MAY BE REQUIRED ANY TIME CURRENT MEASURES ARE FOUND TO BE INEFFECTIVE.

DISTURBED AREA = 0.44 A.C.

SITE SPECIFIC NOTES:

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LEGEND			
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	TEMP. CONSTRUCTION ENTRANCE AND STAGING AREA		SILT FENCE (DURING CONSTRUCTION)
	CONCRETE WASHOUT AREA		CONSTRUCTION FENCE
	SILT FOAM DIKE - STAKED & INSTALL PER MFR'S RECOMMENDATIONS		LIMITS OF DISTURBANCE
	ROCK DITCH CHECK		EXISTING CONTOURS
	SEDIMENT TRAP		PROPOSED CONTOURS
			STRAW BALE DITCH CHECK
			GRAVEL FILTER FOR STORM SEWER STRUCTURES ONLY
			SILT SOCK / ROCK SOCK / SOCK WATTLE
			BMP PLAN REF. NO.
			ROCK BLANKET
			TEMP. EROSION CONTROL BLANKET

CONFORMING TO CONSTRUCTION RECORDS.

RPM 11/09/2020
BY DATE



WINTERSET VALLEY REPLAT LOTS 1450, 1451, & TRACT A51
SEDIMENT CONTROL PLAN, MASTER DRAINAGE PLAN,
STREET, AND STORMWATER PLANS
NW CARSON DRIVE & AUDUBON LANE
LEE'S SUMMIT, MISSOURI

FINAL
STABILIZATION
PLAN

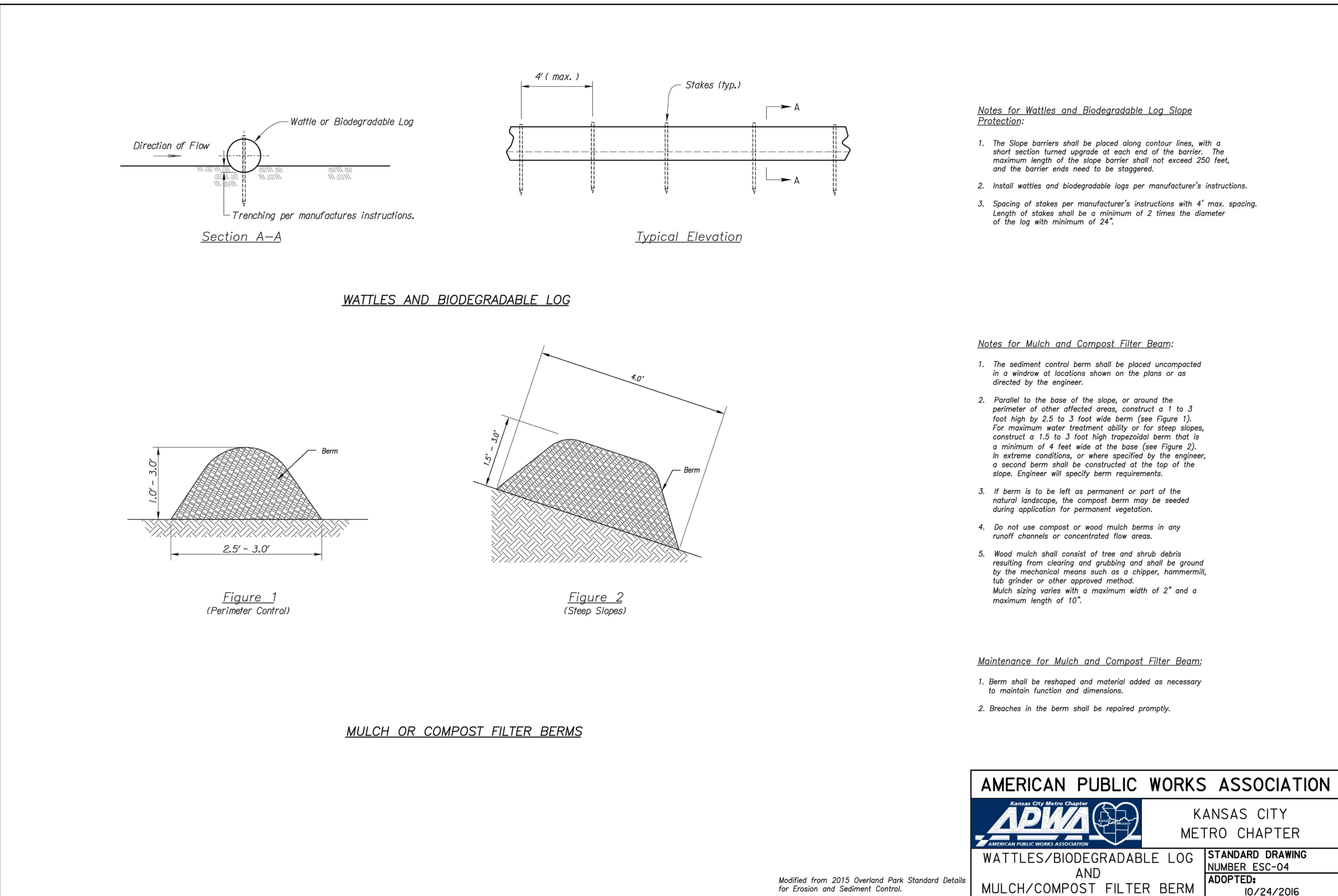
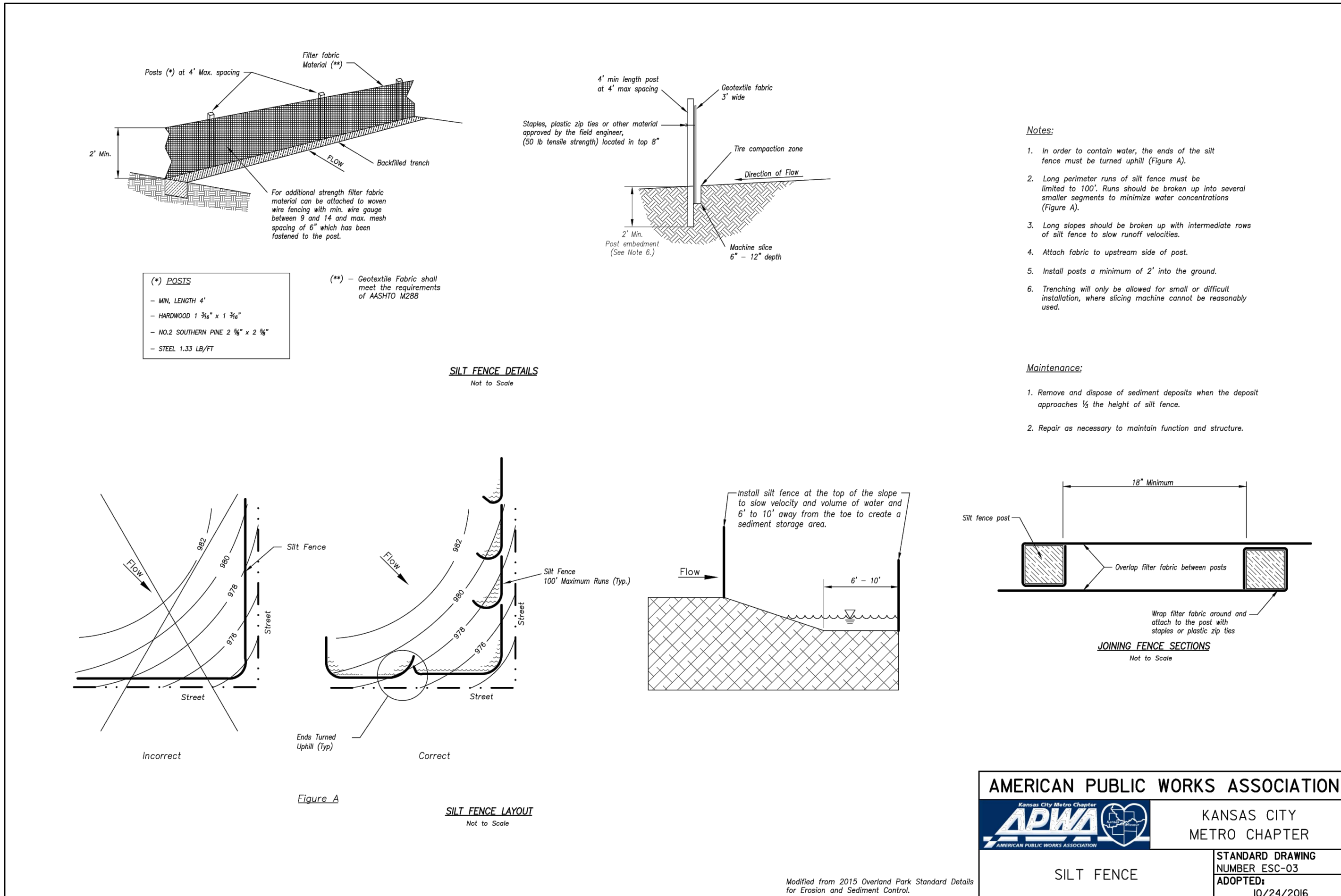
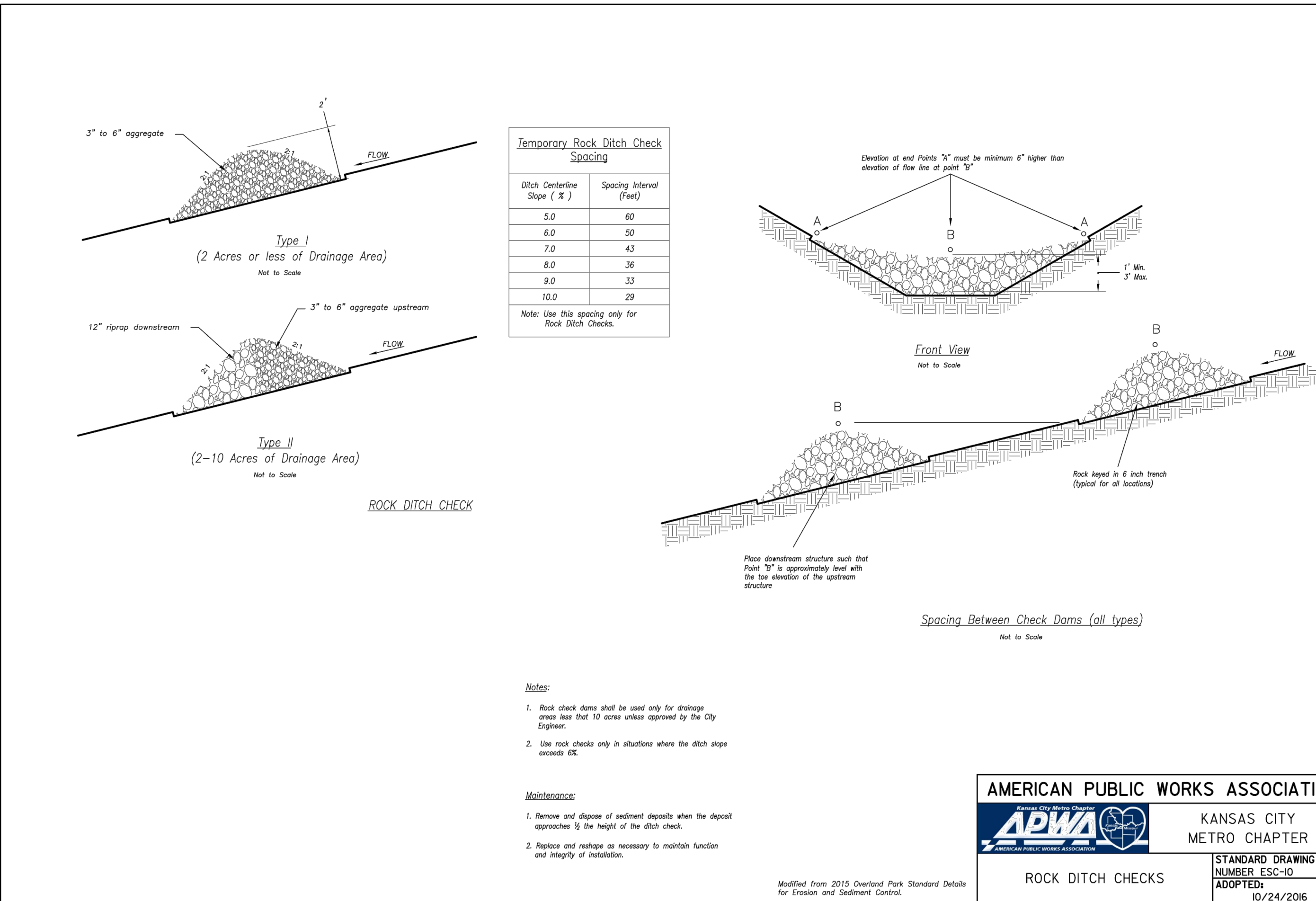
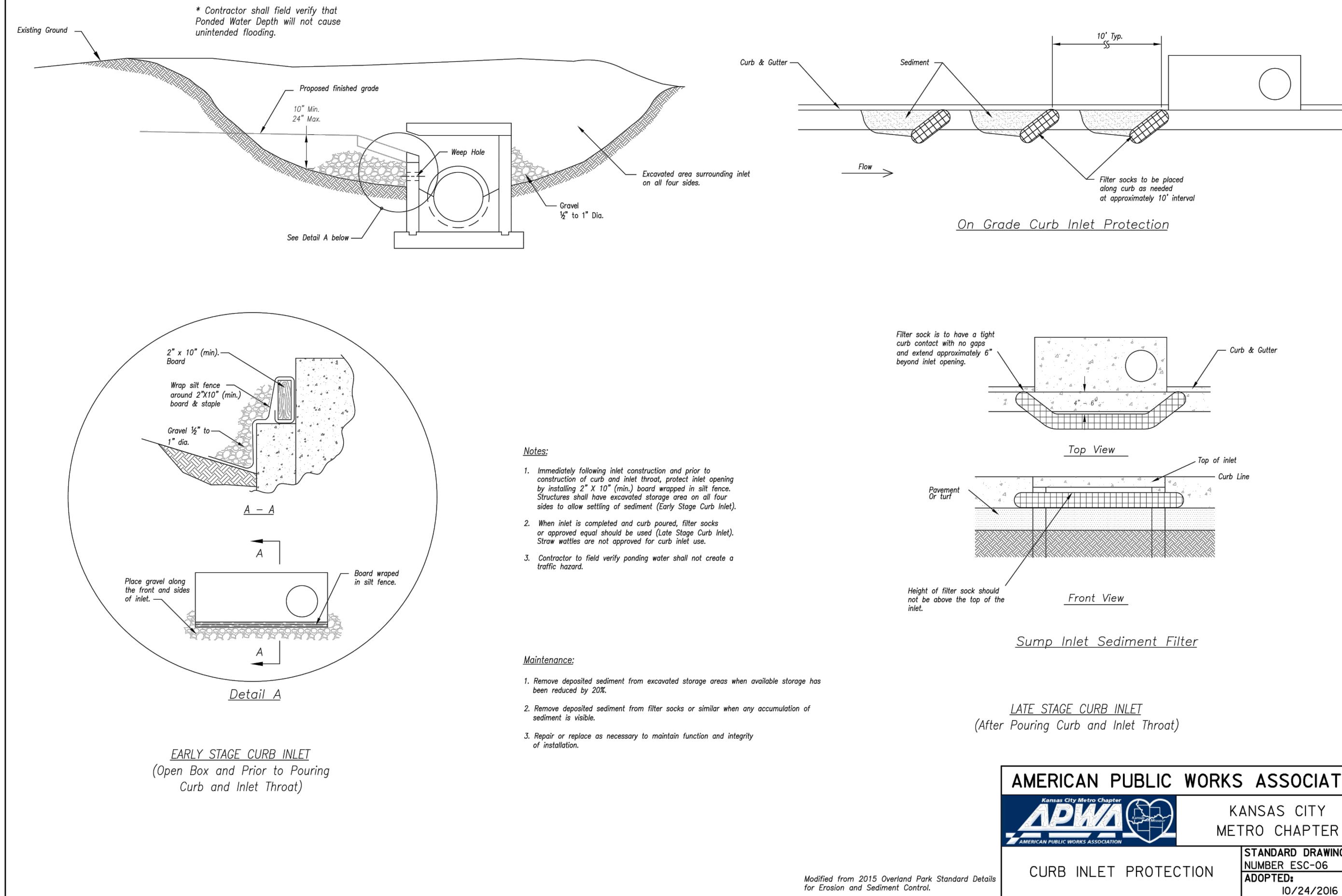
SHEET

4

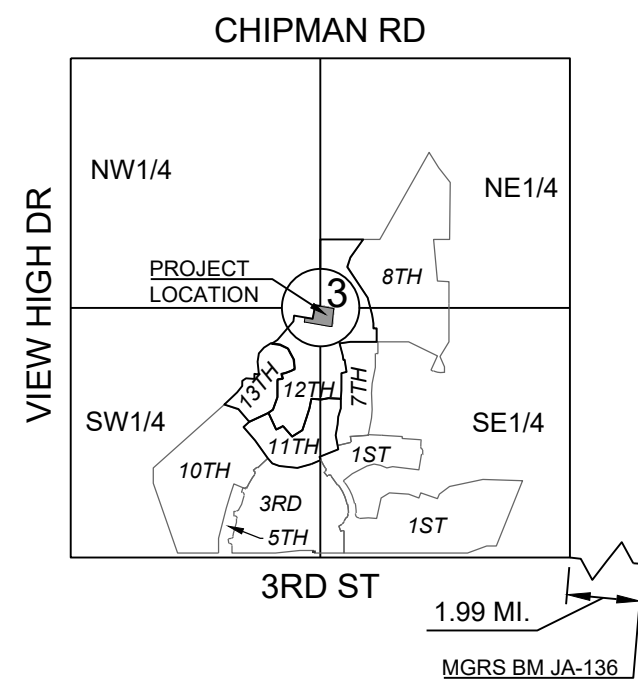
SCHLAGEL
ENGINEERS PLANNERS SURVEYORS LANDSCAPE ARCHITECTS
14920 West 107th Street • Lenexa, Kansas 66215
(913) 492-5158 • Fax: (913) 492-8400
WWW.SCHLAGELASSOCIATES.COM
Missouri State Certificates of Authority
#E2002003600-F #LAC2001003237 #LS200200859-F

PREPARED BY:

SCHLAGEL & ASSOCIATES, P.A.



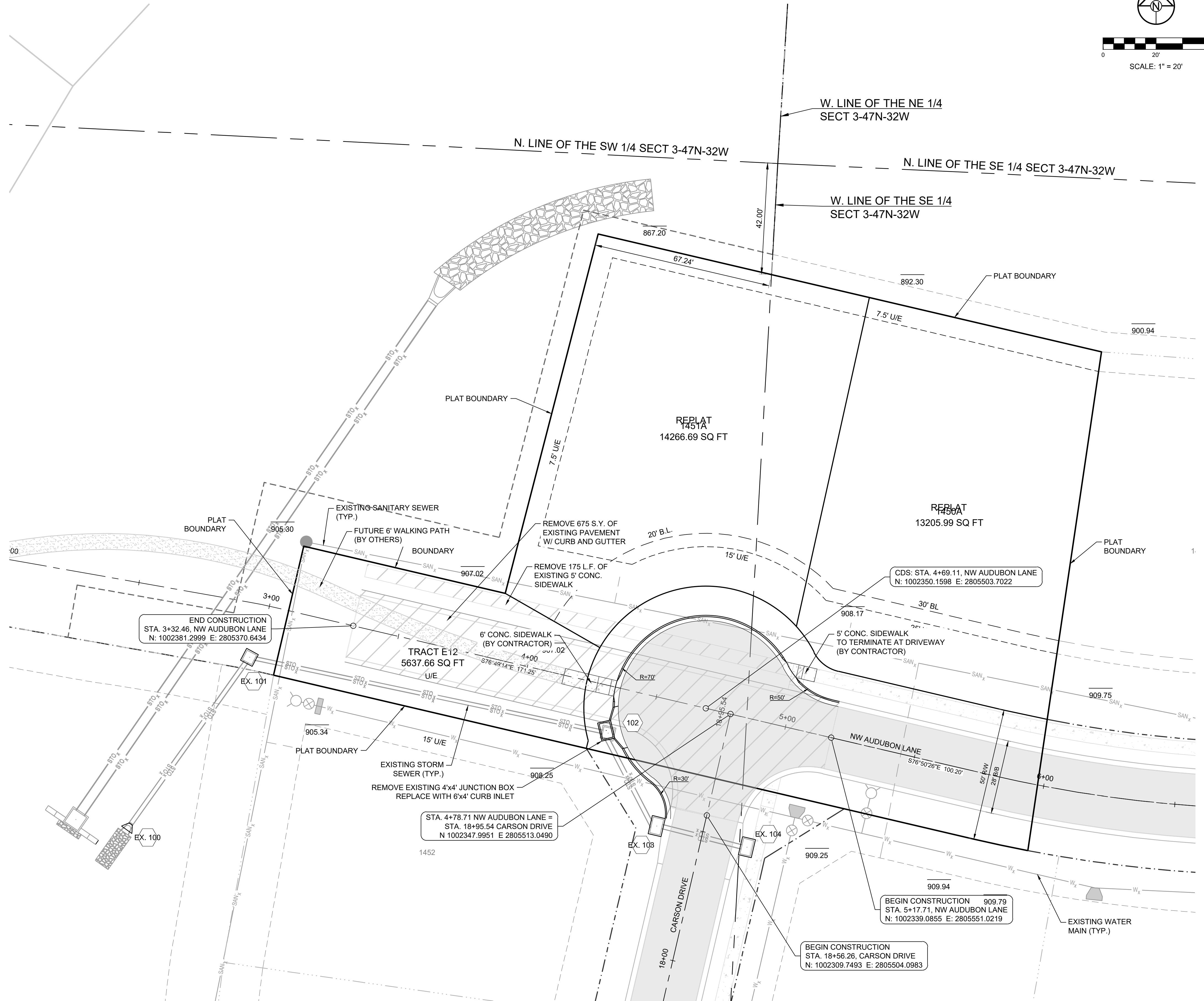
REVISION DATE	DESCRIPTION
04/28/2020	CITY COMMENTS
07/20/2020	ADA Spot Elevations
11/09/2020	AS-BUILTS
04/15/2020	MAB
04/15/2020	DATE PREPARED
20-074	PROJ. NUMBER



SECTION 3-47N-32W

LOCATION MAP

SCALE 1" = 2000'



CONFORMING TO CONSTRUCTION RECORDS.

RPM 11/09/2020
BY DATE

MISSOURI GEOGRAPHIC REFERENCE SYSTEM BENCH MARK:

BM JA-136, LOCATED AT INTERSECTION OF SW OLDHAM PARKWAY AND SW WARD ROAD, 61 FT SOUTH OF CL OF OLDHAM PARKWAY AND 28.9 FT EAST OF THE EAST EDGE OF WARD ROAD.

ELEV. 993.11'

PROJECT BENCH MARK:

SANITARY MANHOLE H2 AT NW CORNER OF LOT 1153 WINTERSET VALLEY 1ST PLAT, APPROX. 39' RT. OF CL OF NW PEALE BLVD.

ELEV. 935.45'



PREPARED BY:

SCHLAGEL & ASSOCIATES, P.A.

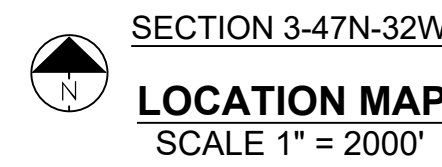
WINTERSET VALLEY REPLAT LOTS 1450, 1451, & TRACT A51
SEDIMENT CONTROL PLAN, MASTER DRAINAGE PLAN, STREET,
AND STORMWATER PLANS
NW CARSON DRIVE & AUDUBON LANE
LEE'S SUMMIT, MISSOURI

REVISION DATE	DESCRIPTION
1 04/28/2020	CITY COMMENTS
2 07/20/2020	ADA Spd Elevations
3 11/09/2020	AS-BUILTS
4	
5	
6	
7	
8	
9	








DRAWN BY:	RPM
CHECKED BY:	MAB
DATE PREPARED:	04/15/2020
PROJ. NUMBER:	20-074

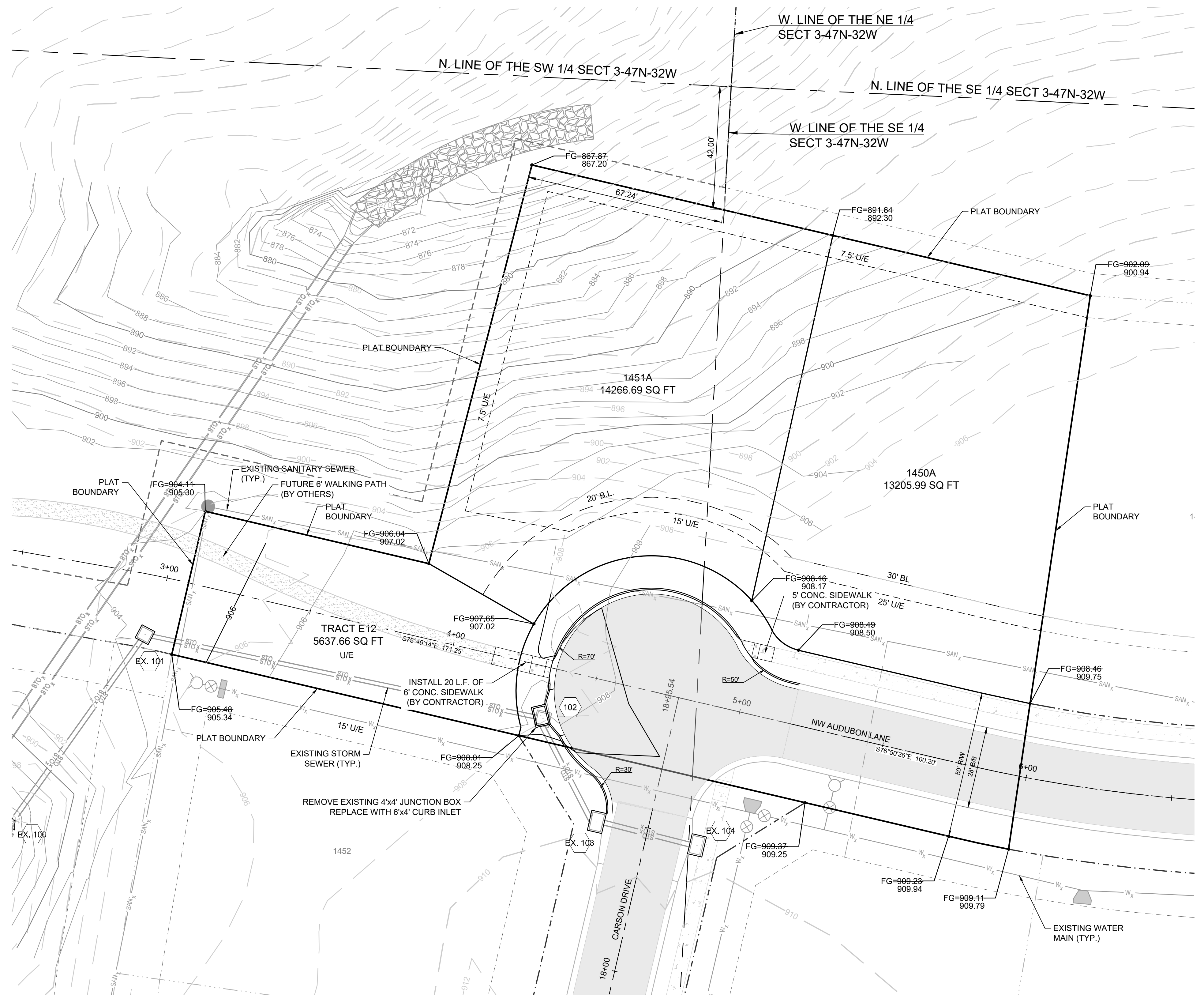
GENERAL LAYOUT

SHEET



THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL
EXISTING UTILITY LOCATIONS PRIOR TO EXCAVATIONS.

-  DENOTES RETAINING WALL
 DENOTES PROPOSED MAJOR CONTOUR
 DENOTES PROPOSED MINOR CONTOUR
  DENOTES EXISTING MAJOR CONTOUR
  DENOTES EXISTING MINOR CONTOUR



RPM	11/09/2020
BY	DATE

ELEV. 993.11'

ELEV.935.45'



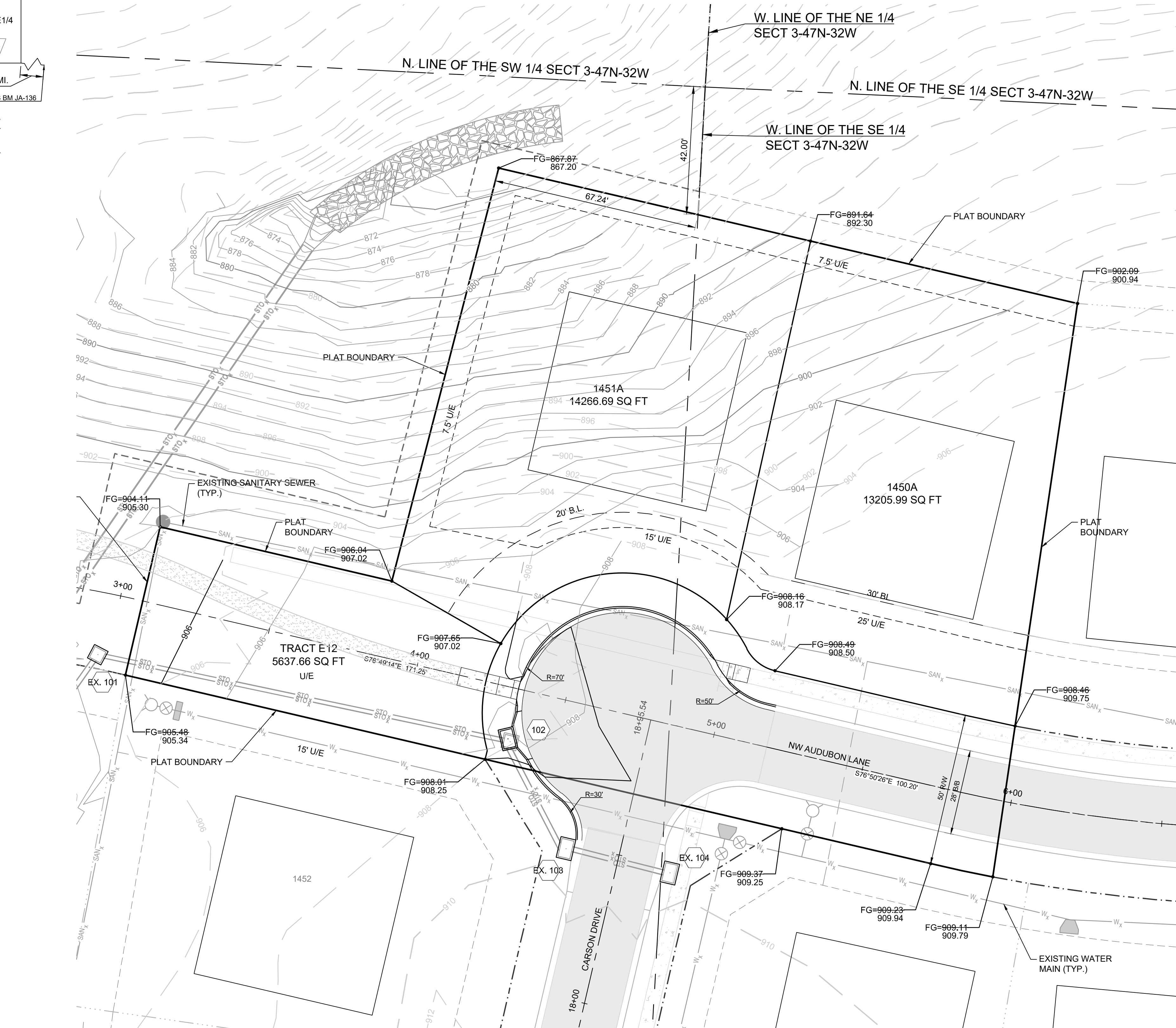
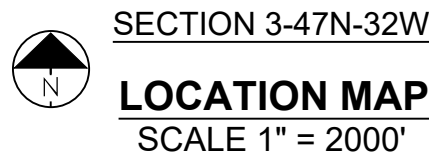
PREPARED BY:



HILGEL & ASSOCIATES, P.A.

WINTERSET VALLEY REPLAT LOTS 1450, 1451, & 1452
 SEDIMENT CONTROL PLAN, MASTER DRAINAGE PLAN, STREET,
 AND STORMWATER PLANS
 NW CARSON DRIVE & AUDUBON LANE
 LEE'S SUMMIT, MISSOURI

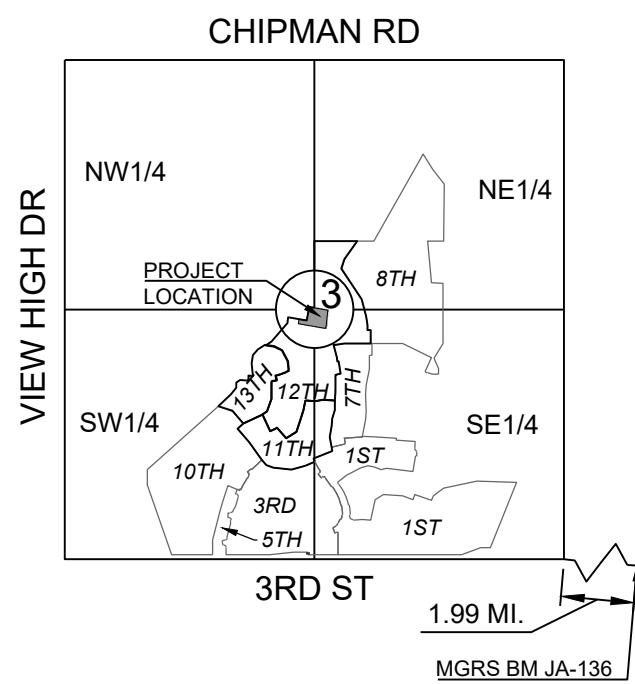
[illegible]MDP - GRADING
PLAN

SHEET



	FG=000.00	DENOTES FINISHED GRADE ELEVATION
	EX=000.00	DENOTES EXISTING GRADE ELEVATION
	HP=000.00	DENOTES LOT HIGH POINT ELEVATION

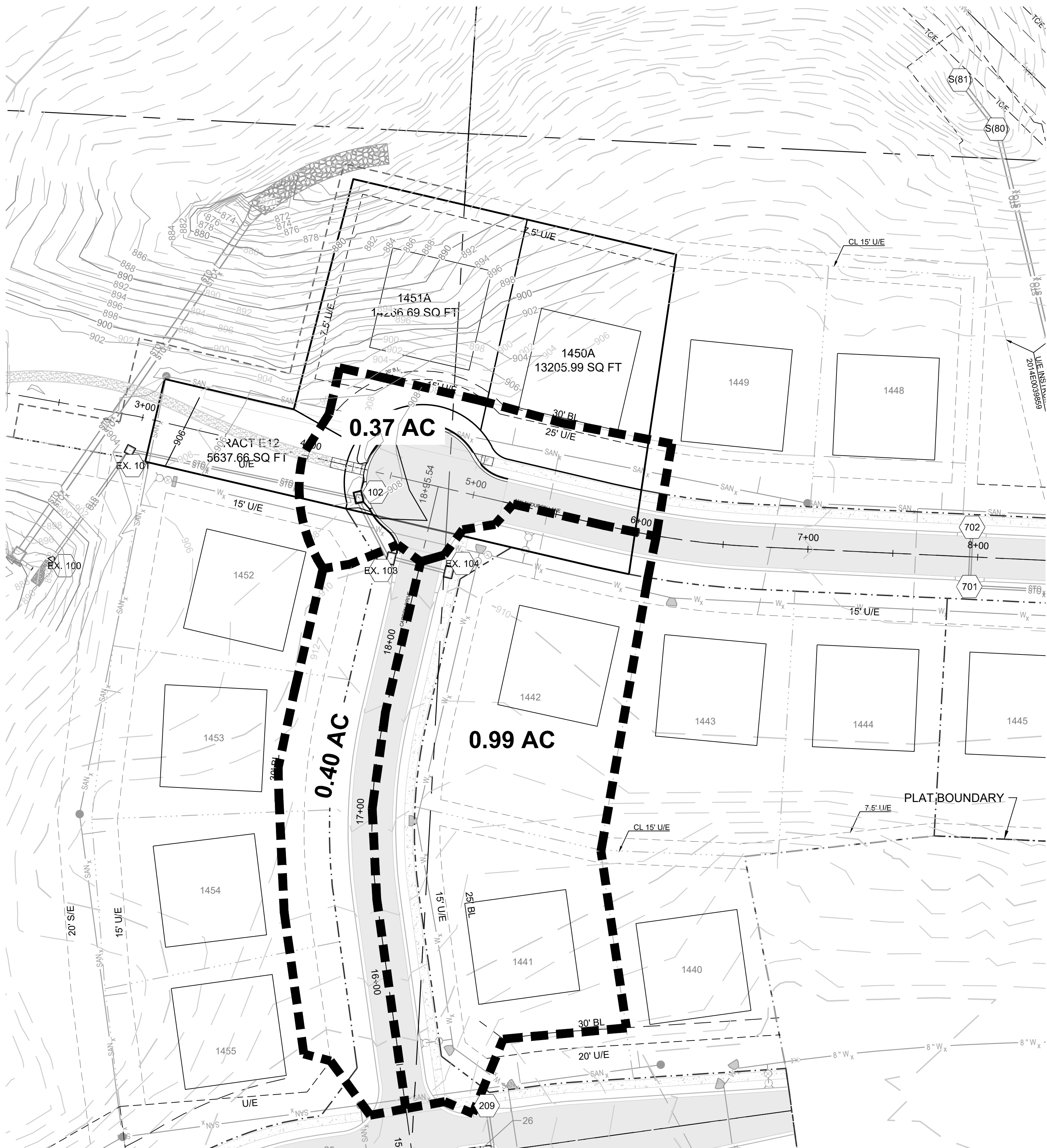
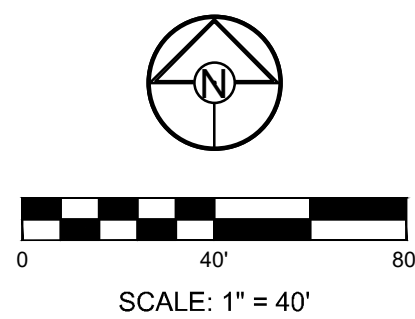




SECTION 3-47N-32W

LOCATION MAP

SCALE 1" = 2000'



10 YR STORM SEWER DESIGN CALCULATIONS

Runoff Calculations															Pipe Properties													
Inlet #	Area (acres)	"C" Value	Cumul. Area (acres)	Cumul. CxA	Tc	Intensity	Runoff To Inlet	Cumul. Runoff	Full Pipe Cap.	Pipe Vel.	Up Piped Inlet 1	Up Piped Inlet 2	Up Area (acres)	Up CxA	Up Inlet	Down Inlet	Pipe Type	"n" Value	Pipe Size	Length	Slope %	Drop In Inlet	FL Up	FL Down	Inlet Top	HGL Elev.		
LINE 100																												
EX	101	0.00	0.51	1.76	0.90	5.6	7.18	0.00	6.44	12.60	10.26		0.00	0.00	101	100	HDPE	0.012	15	77.23	3.24	0.58	894.50	892.00	906.00	895.80		
	102	0.37	0.51	1.76	0.90	5.2	7.30	1.38	6.55	8.51	6.94		0.00	0.00	102	101	HDPE	0.012	15	161.25	1.48	4.15	897.47	895.08	908.00	898.78		
EX	103	0.40	0.51	1.39	0.71	5.1	7.33	1.49	5.20	7.70	6.27		0.00	0.00	103	102	HDPE	0.012	15	39.62	1.21	0.50	902.10	901.62	909.63	903.24		
	104	0.99	0.51	0.99	0.50	5.0	7.35	3.71	3.71	8.93	7.28		0.00	0.00	104	103	HDPE	0.012	15	35.00	1.63	N/A	903.17	902.60	909.63	904.11		
																						DS TAILWATER @ STR #100					FREE	

100 YR STORM SEWER DESIGN CALCULATIONS

Runoff Calculations															Pipe Properties														
Inlet #	Area (acres)	"C" Value	Cumul. Area (acres)	Cumul. CxA	Tc	Intensity	Runoff To Inlet	Cumul. Runoff	Full Pipe Cap.	Pipe Vel.	Up Piped Inlet 1	Up Piped Inlet 2	Up Area (acres)	Up CxA	Up Inlet	Down Inlet	Pipe Type	"n" Value	Pipe Size	Length	Slope %	Drop In Inlet	FL Up	FL Down	Inlet Top	HGL Elev.			
LINE 100																													
EX. 101	0.00	0.51	1.76	0.90	5.6	10.09	0.00	11.32	12.60	10.26			0.00	0.00	101	100	HDPE	0.012	15	77.23	3.24	0.58	894.50	892.00	906.00	896.41			
EX. 102	0.37	0.51	1.76	0.90	5.2	10.25	2.42	11.50	8.51	6.94			0.00	0.00	102	101	HDPE	0.012	15	161.25	1.48	4.15	897.47	895.08	908.00	901.45			
EX. 103	0.40	0.51	1.39	0.71	5.1	10.29	2.62	9.12	7.70	6.27			0.00	0.00	103	102	HDPE	0.012	15	39.62	1.21	0.50	902.10	901.62	909.63	903.92			
EX. 104	0.99	0.51	0.99	0.50	5.0	10.32	6.51	6.51	8.93	7.28			0.00	0.00	104	103	HDPE	0.012	15	35.00	1.63	N/A	903.17	902.60	909.63	904.48			
																						DS TAILWATER @ STR #100						FREE	

MISSOURI GEOGRAPHIC REFERENCE SYSTEM

BENCH MARK:

BM JA-136, LOCATED AT INTERSECTION OF SW OLDHAM PARKWAY AND SW WARD ROAD, 61 FT SOUTH OF CL OF OLDHAM PARKWAY AND 28.9 FT EAST OF THE EAST EDGE OF WARD ROAD.

ELEV. 993.11'

PROJECT BENCH MARK:

SANITARY MANHOLE H2 AT NW CORNER OF LOT 1153 WINTERSET VALLEY 1ST STREET, APPROX. 39' RT. OF CL OF NW PEALE BLVD.

ELEV. 935.45'

CONFORMING TO CONSTRUCTION RECORDS.

RPM 11/09/2020
BY DATE



PREPARED BY:

SCHLAGEL & ASSOCIATES, P.A.

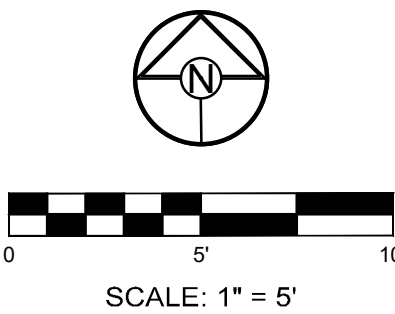
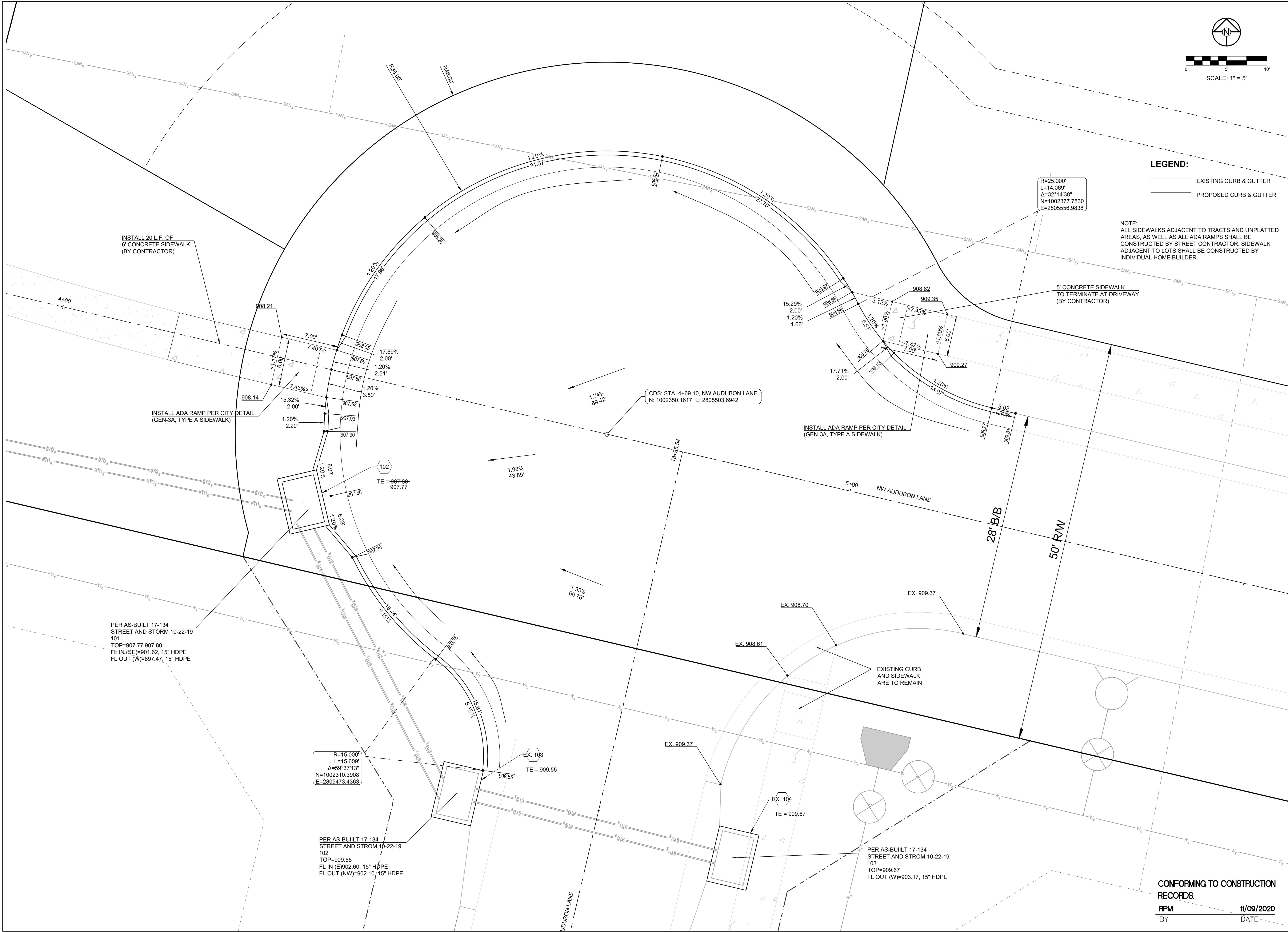
WINTERSET VALLEY REPLAT LOTS 1450, 1451, & TRACT A51
SEDIMENT CONTROL PLAN, MASTER DRAINAGE PLAN, STREET,
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NW CARSON DRIVE & AUDUBON LANE
LEE'S SUMMIT, MISSOURI

REVISION DATE	DESCRIPTION
04/28/2020	CITY COMMENTS
07/20/2020	ADA Spd Elevations
11/09/2020	AS-BUILTS

DRAWN BY: RPM
CHECKED BY: MAB
DATE PREPARED: 04/15/2020
PROJ. NUMBER: 20-074

MDP DRAINAGE AREA

SHEET



- LEGEND:**
- EXISTING CURB & GUTTER
 - PROPOSED CURB & GUTTER

NOTE:
ALL SIDEWALKS ADJACENT TO TRACTS AND UNPLATTED AREAS, AS WELL AS ALL ADA RAMP SHALL BE CONSTRUCTED BY STREET CONTRACTOR. SIDEWALK ADJACENT TO LOTS SHALL BE CONSTRUCTED BY INDIVIDUAL HOME BUILDER.

R=25,000'
L=14,069'
Δ=32°14'38"
N=1002377.7830
E=2805556.9838

CDS: STA. 4+69.10, NW AUDUBON LANE
N: 1002350.1617 E: 2805503.6942

R=15,000'
L=15,609'
Δ=59°37'13"
N=1002310.3908
E=2805473.4363

PER AS-BUILT 17-134
STREET AND STORM 10-22-19
102
TOP=909.55
FL IN (E)=902.60, 15" HDPE
FL OUT (NW)=902.10, 15" HDPE

PER AS-BUILT 17-134
STREET AND STORM 10-22-19
101
TOP=907.77 907.80
FL IN (SE)=901.62, 15" HDPE
FL OUT (W)=897.47, 15" HDPE

INSTALL ADA RAMP PER CITY DETAIL
(GEN-3A, TYPE A SIDEWALK)

INSTALL 20 L.F. OF
6" CONCRETE SIDEWALK
(BY CONTRACTOR)

INSTALL ADA RAMP PER CITY DETAIL
(GEN-3A, TYPE A SIDEWALK)

5' CONCRETE SIDEWALK
TO TERMINATE AT DRIVEWAY
(BY CONTRACTOR)

EX. 909.37

EX. 908.70

EX. 908.61

EX. 909.37

EX. 104

EX. 103

TE = 909.55

TE = 909.67

PER AS-BUILT 17-134
STREET AND STORM 10-22-19
103
TOP=909.67
FL OUT (W)=903.17, 15" HDPE

CONFORMING TO CONSTRUCTION
RECORDS.
RPM
BY
11/09/2020
DATE

SCHLAGEL
ENGINEERS PLANNERS SURVEYORS LANDSCAPE ARCHITECTS
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Missouri State Certificates of Authority
#E2002003600-F #LAC200100237 #LS200200859-F

PREPARED BY:

SCHLAGEL & ASSOCIATES, P.A.

WINTERSET VALLEY REPLAT LOTS 1450, 1451, & TRACT A51
SEDIMENT CONTROL PLAN, MASTER DRAINAGE PLAN,
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REVISION	DATE	DESCRIPTION
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3	11/09/2020	AS-BUILTS
4		
5		
6		
7		
8		
9		
10		

INT DET (ADA
RAMPS)

SHEET

10

PREPARED BY:

SCHLAGEL & ASSOCIATES, P.A.

WINTERSET VALLEY REPLAT LOTS 1450, 1451, & TRACT A51
SEDIMENT CONTROL PLAN, MASTER DRAINAGE PLAN,
STREET, AND STORMWATER PLANS
NW CARSON DRIVE & AUDUBON LANE
LEE'S SUMMIT, MISSOURI

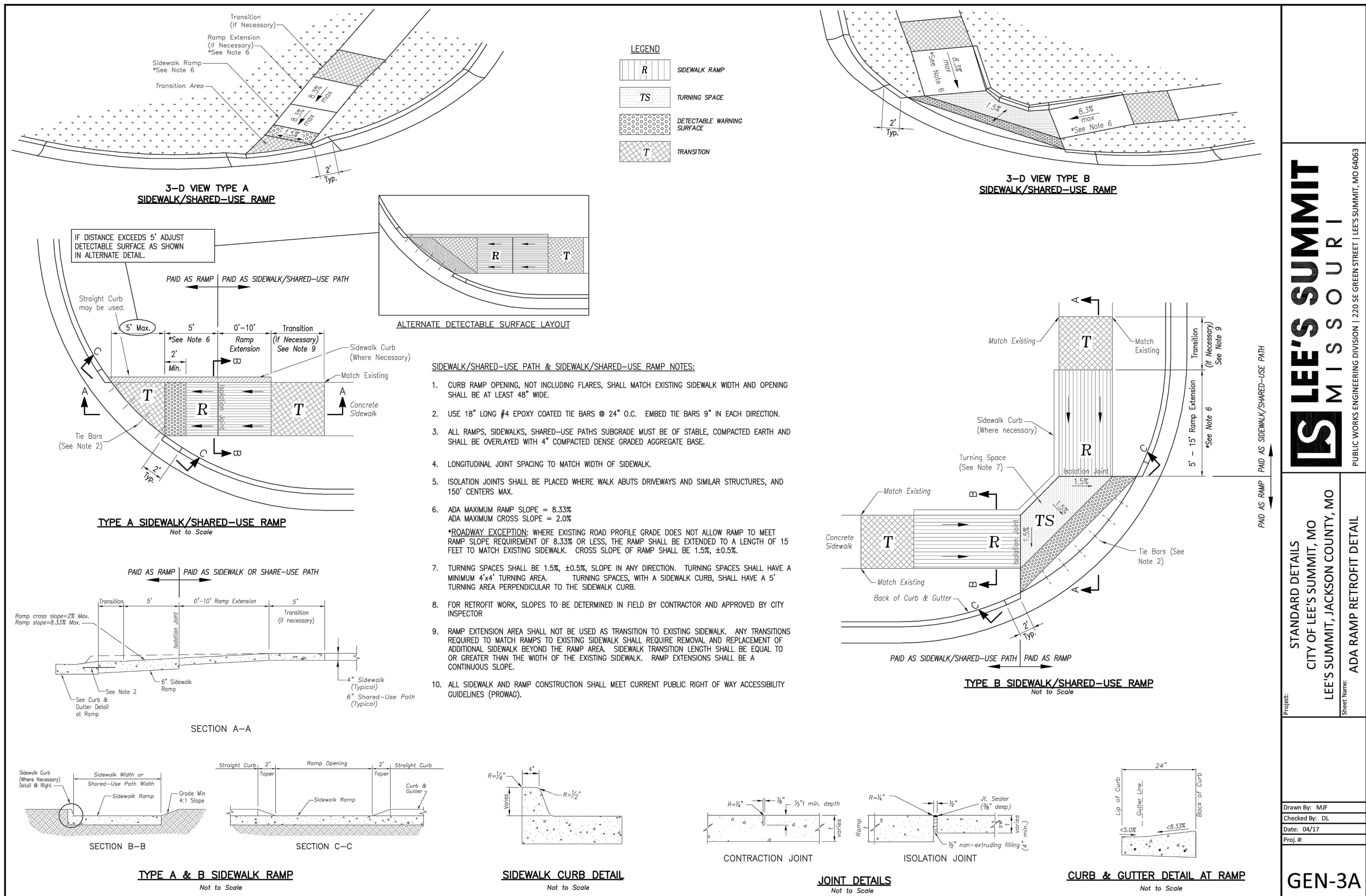
REVISION DATE	DESCRIPTION
1 04/28/2020	CITY COMMENTS
2 07/20/2020	ADA Spd Elevations
3 11/09/2020	AS-BUILTS
4	
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9	

DRAWN BY: RPM	CHECKED BY: MAB	DATE PREPARED: 04/15/2020	PROJ. NUMBER: 20-074
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INT DET (ADA
RAMP DETAIL)

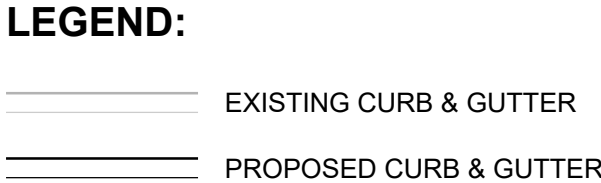
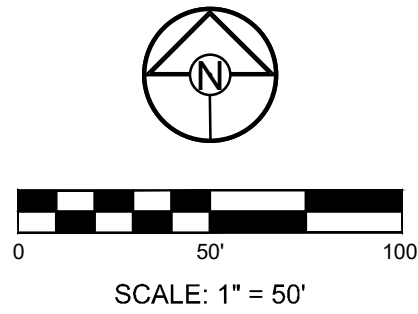
SHEET

10.1



CONFORMING TO CONSTRUCTION
RECORDS.

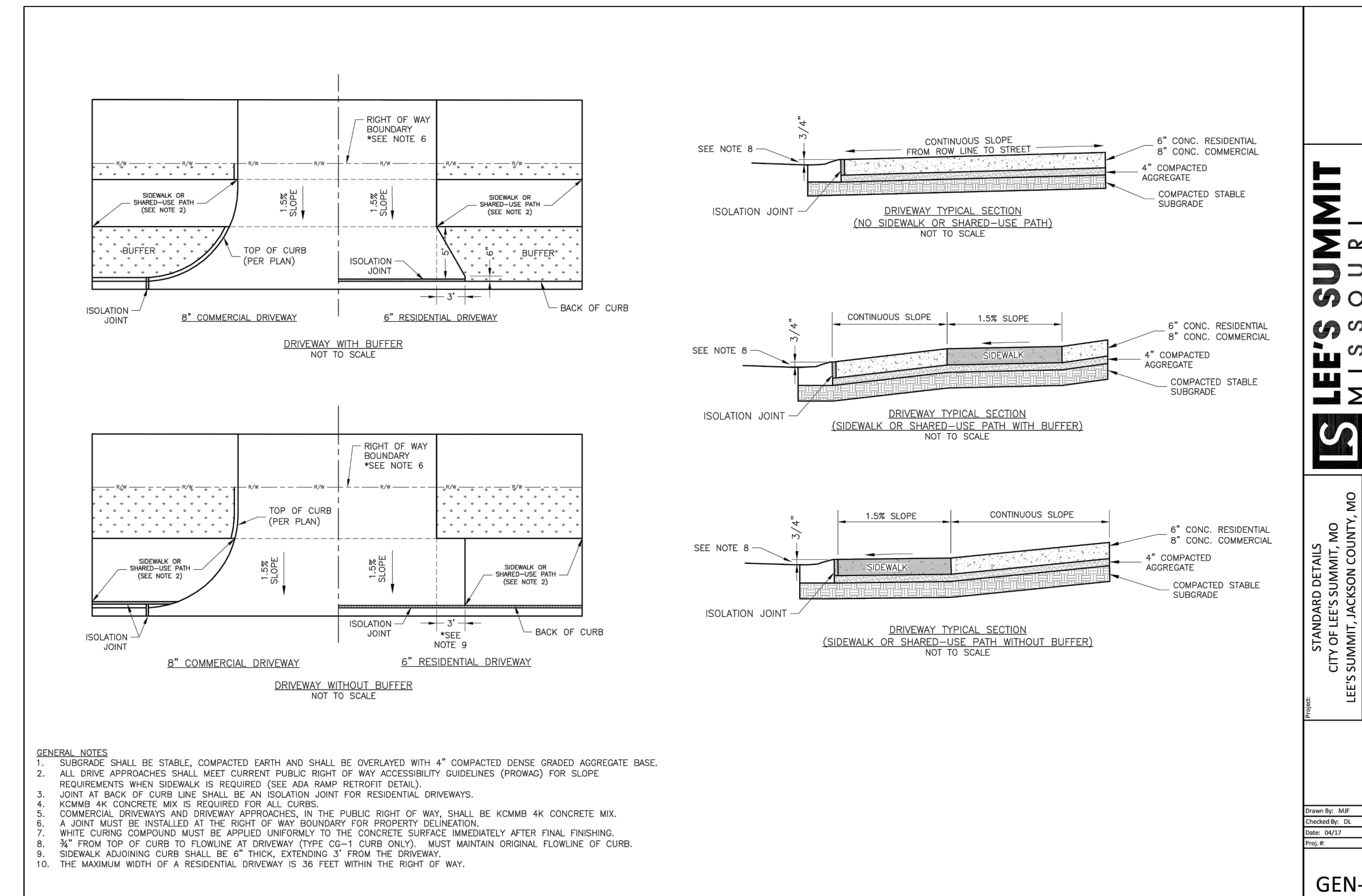
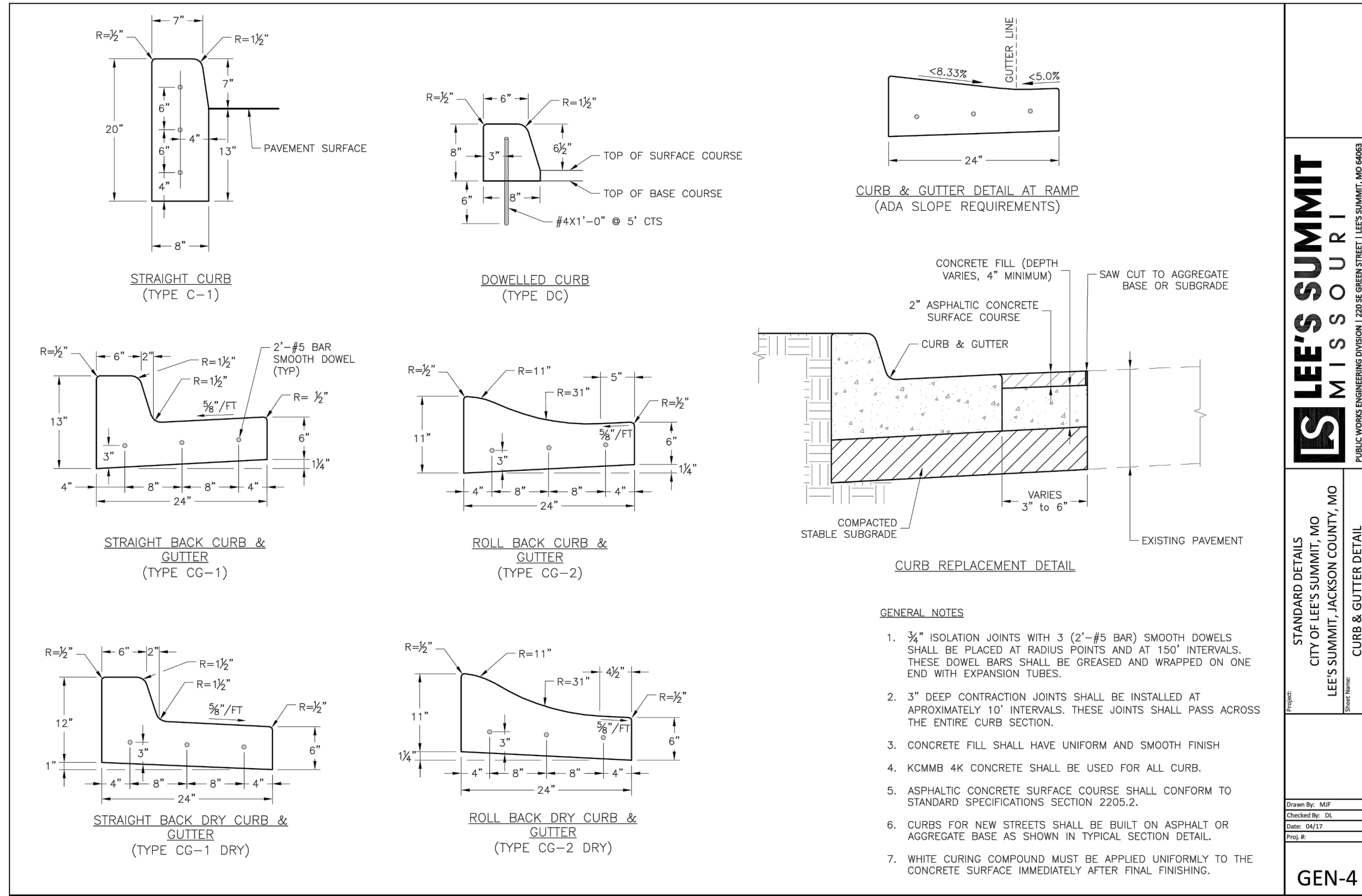
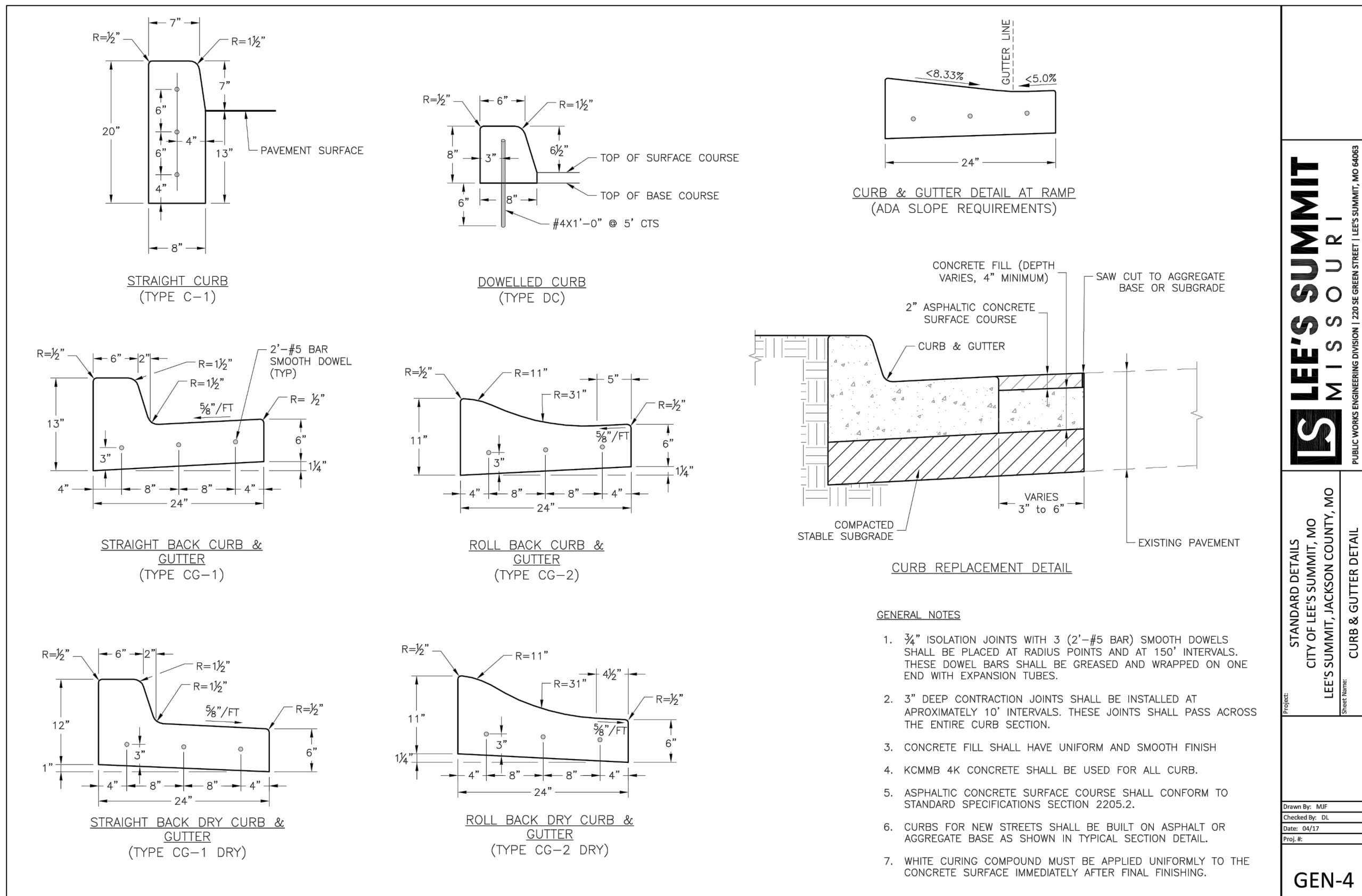
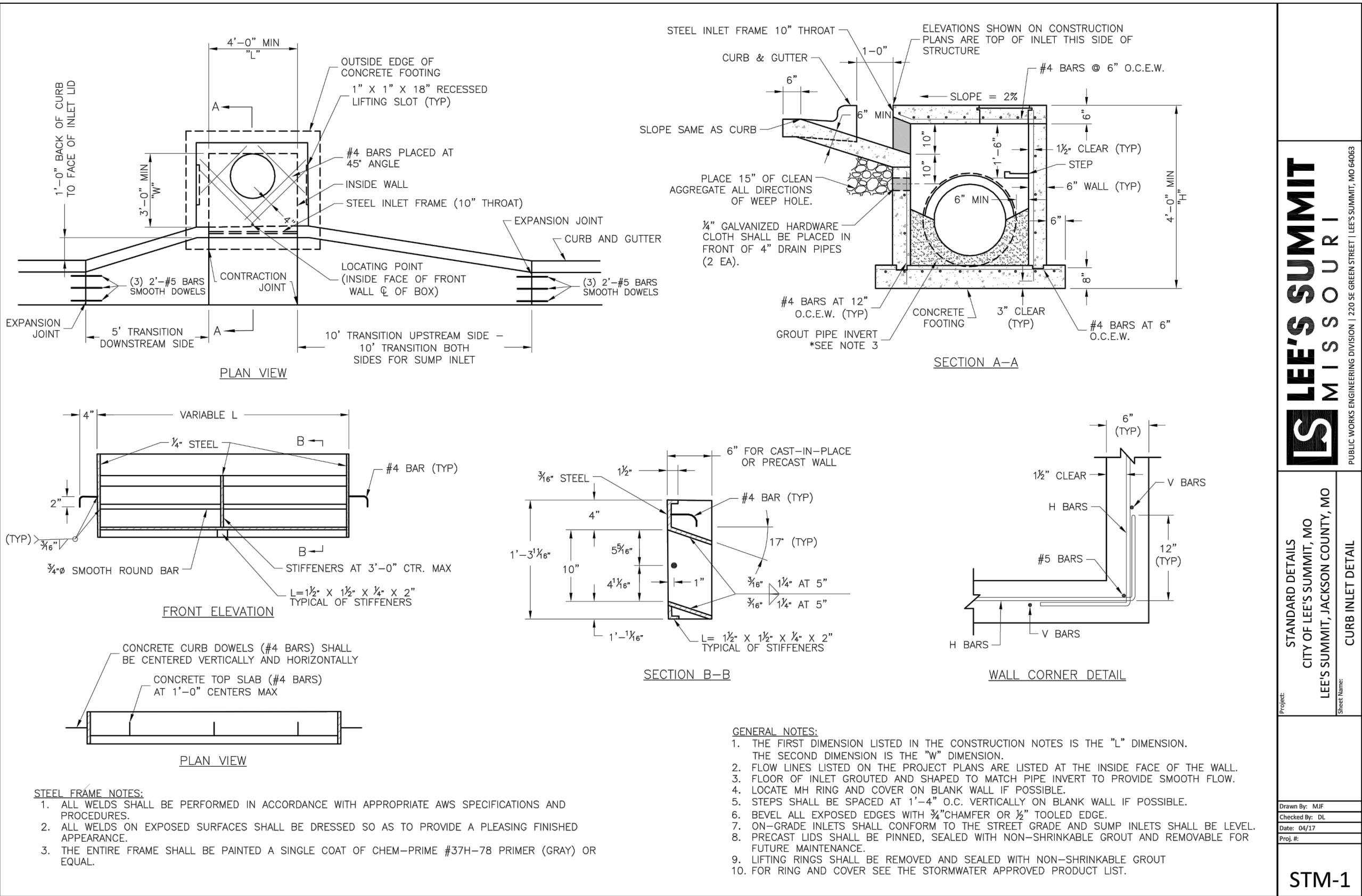
RPM 11/09/2020
BY DATE



RPM	11/09/2020
BY	DATE

NOTE:
ALL SIDEWALKS ADJACENT TO TRACTS AND UNPLATTED AREAS, AS WELL AS ALL ADA RAMPS SHALL BE CONSTRUCTED BY STREET CONTRACTOR. SIDEWALK ADJACENT TO LOTS SHALL BE CONSTRUCTED BY INDIVIDUAL HOME BUILDER.

REVISION	REVISION DATE	DESCRIPTION
1	04/28/2020	CITY COMMENTS
2	07/20/2020	ADA Spot Elevations
3	11/09/2020	AS-BUILTS



CONFORMING TO CONSTRUCTION RECORDS.
RPM
BY

11/09/2020
DATE

PREPARED BY:

SCHLAGEL & ASSOCIATES, P.A.

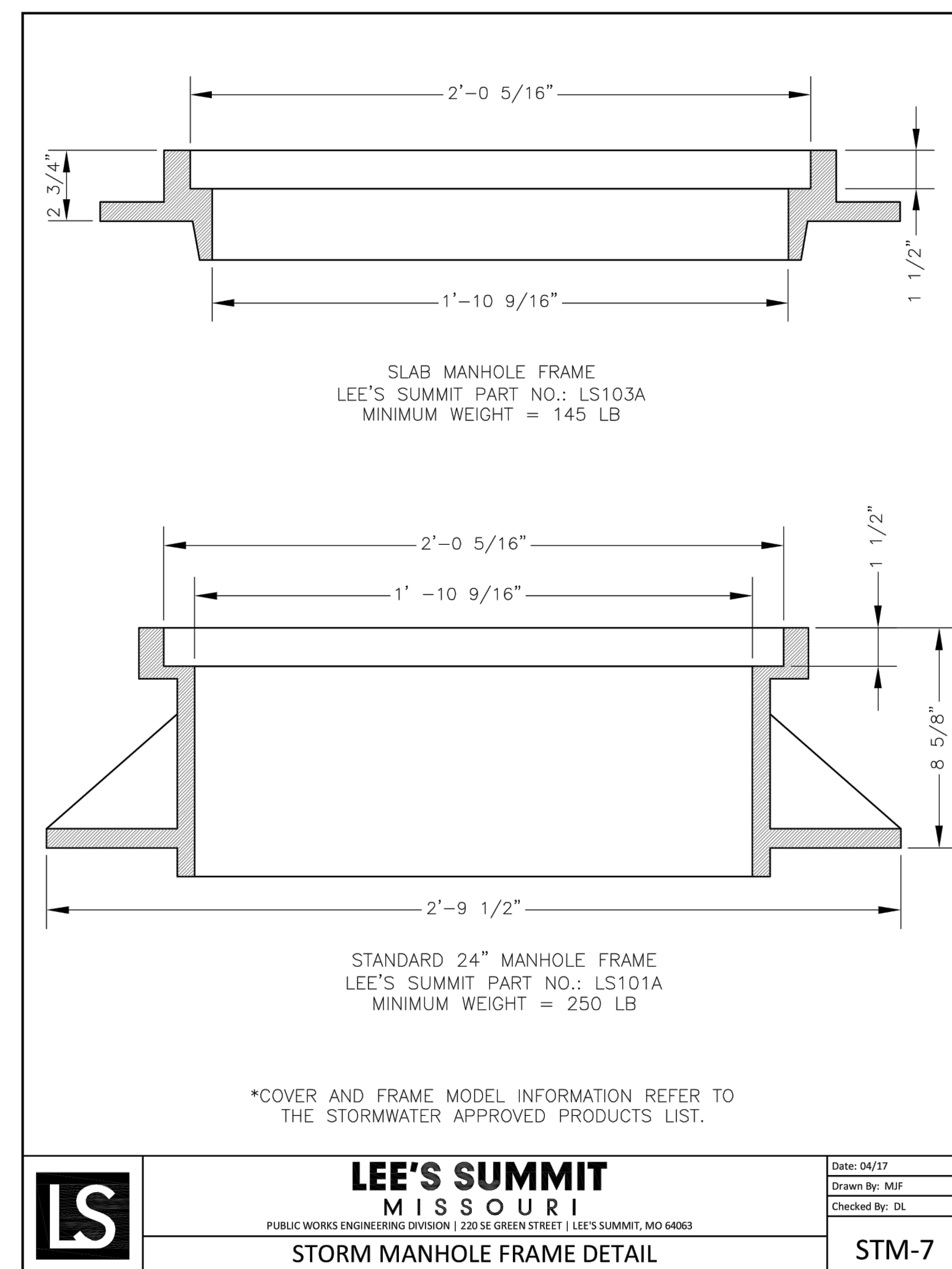
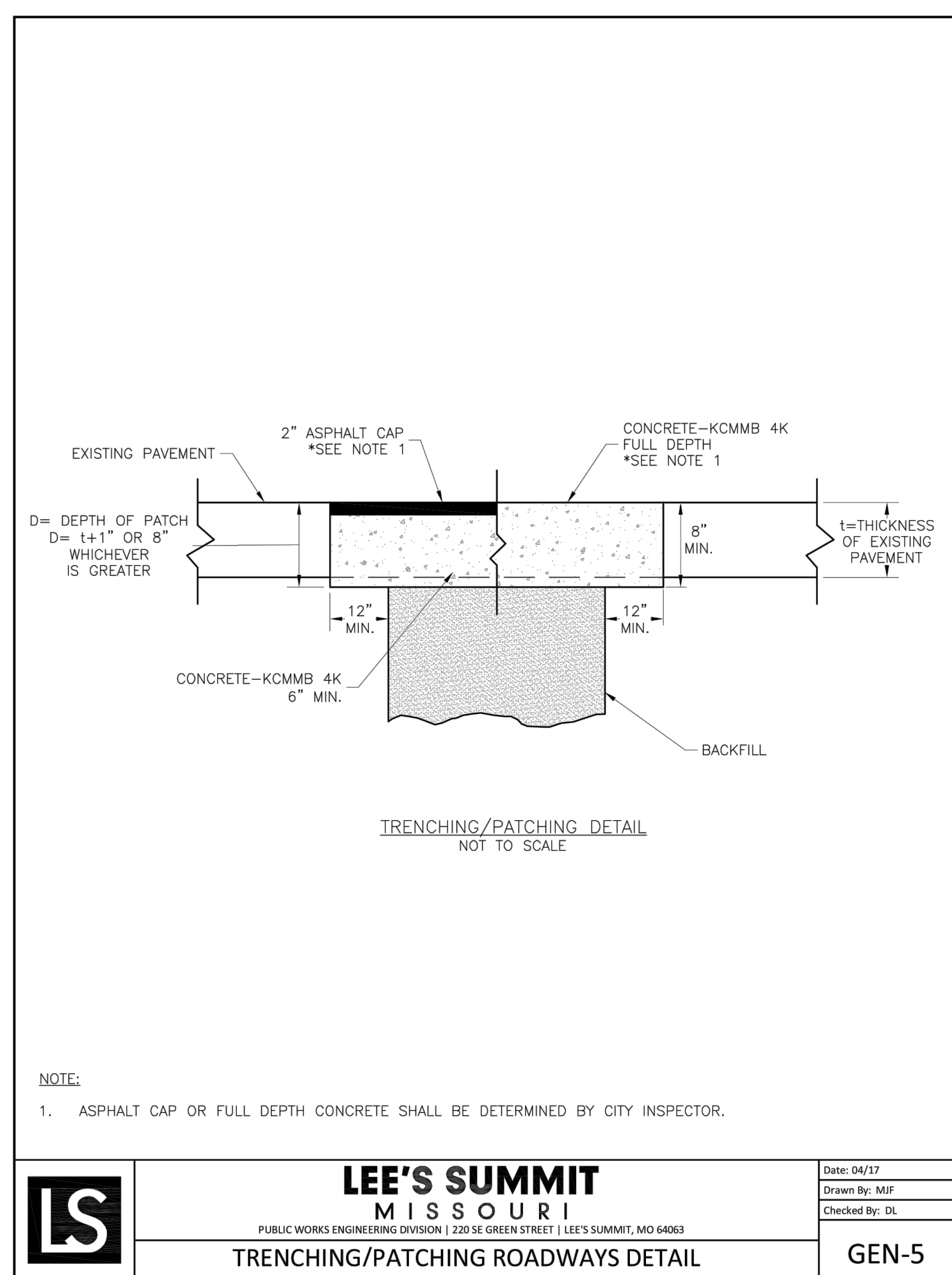
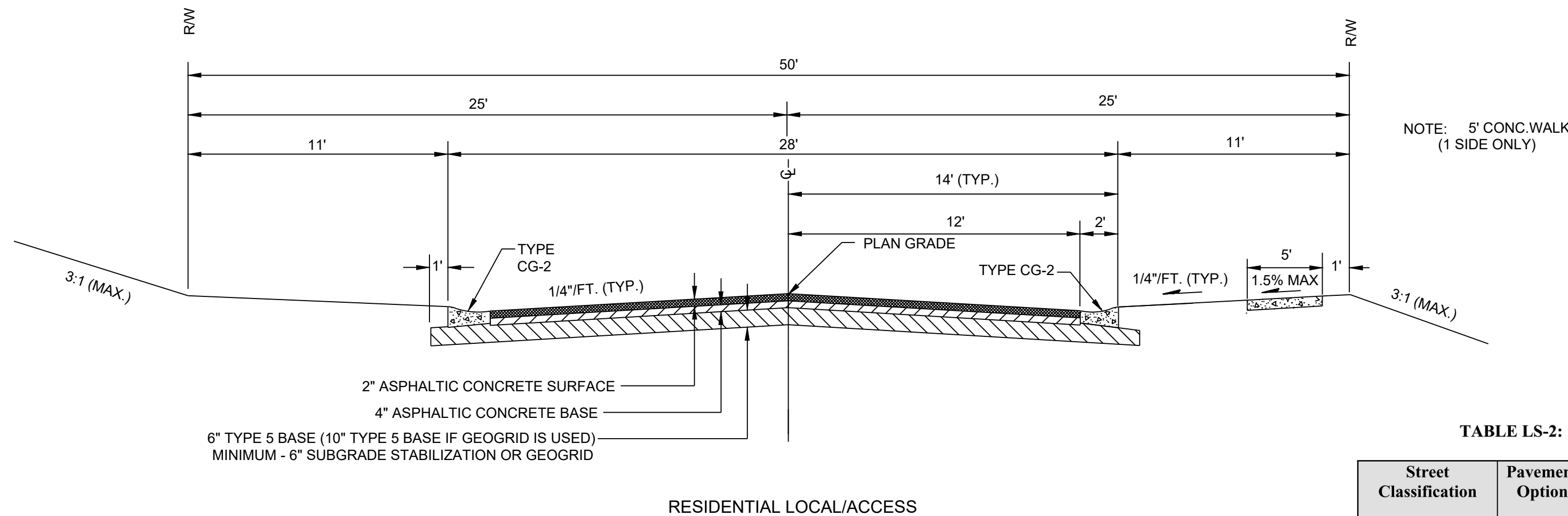
WINTERSET VALLEY REPLAT LOTS 1450, 1451, & TRACT A51
SEDIMENT CONTROL PLAN, MASTER DRAINAGE PLAN,
STREET, AND STORMWATER PLANS
NW CARSON DRIVE & AUDUBON LANE
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REVISION DATE	CITY COMMENTS	DESCRIPTION
04/28/2020	1	ADA Spd Elevations
07/20/2020	2	AS-BUILTS
11/09/2020	3	
	4	
	5	
	6	
	7	
	8	
	9	

STANDARD
DETAILS

SHEET

12



Street Classification	Pavement Option	AC Surface (in.)	AC Base (in.)	MoDOT Type 5 Base (in.)	Geogrid(1)	Chemical Subgrade Stabilization(2) (in.)
Residential Local/Access	A	2	4	6	--	6
	B	2	4	10	Geogrid	--
Residential Collector	A	2	5.5	6	--	9
	B	2	5.5	12	Geogrid	--
Commercial Industrial Local/Collector	A	2	7.5	6	--	9
	B	2	7.5	12	Geogrid	--

TABLE LS-3: MINIMUM PCC PAVEMENT THICKNESSES

Street Classification	PCC (in.)	Aggregate Base (in.)	Subgrade Stabilization⁽¹⁾ (in.)
Residential Local/Access	6	4	--
Residential Collector	6	4	6
Commercial Industrial Local/Collector	8	4	9

(1) Subgrade Stabilization and 4" aggregate base may be replaced by approved geogrid and 6" of aggregate base.

DRAWN BY:		REVISION DATE	DESCRIPTION
RPM	1	04/26/2020	CITY COMMENTS
	2	07/20/2020	ADA Spot Elevations
CHECKED BY:	3	11/09/2020	AS-BUILTS
IMB	4		
	5		
DATE PREPARED:	6		
04/15/2020	7		
PROJ. NUMBER:	8		