

AN ORDINANCE APPROVING A PRELIMINARY DEVELOPMENT PLAN ON LAND LOCATED AT 1471-1499 SW MARKET STREET IN DISTRICT CP-2, LOT 12A, SOUTH PORT BUSINESS PARK, ALL IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 33 OF THE UNIFIED DEVELOPMENT ORDINANCE OF THE CODE OF ORDINANCES FOR THE CITY OF LEE'S SUMMIT, MISSOURI.

WHEREAS, Application #PL2022-216 submitted by KC Blitz, LLC dba Macadoodles, requesting approval of a preliminary development plan in District CP-2 (Planned Community Commercial District) on land located at 1471-1499 SW Market St was referred to the Planning Commission to hold a public hearing; and,

WHEREAS, after due public notice in the manner prescribed by law, the Planning Commission held a public hearing for the consideration of the preliminary development plan on September 8, 2022, and October 13, 2022, and rendered a report to the City Council recommending that the preliminary development plan be denied; and,

WHEREAS, after due public notice in the manner prescribed by law, the City Council held a public hearing on November 1, 2022, and rendered a decision to approve the preliminary development plan for said property.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF LEE'S SUMMIT, MISSOURI, as follows:

SECTION 1. That a preliminary development plan is hereby approved in District PMIX on the following described property:

Lot 12A, South Port Business Park

SECTION 2. That the following conditions of approval apply:

1. A modification shall be granted to the minimum 20' parking lot setback from right-of-way, to allow a 4'-4" parking lot setback along the site's M-291 Hwy frontage.
2. A minimum 24' pavement width (excluding curb and gutter) shall be provided for the two-way drive aisle located south of the proposed drive-through facility.
3. Development shall be in accordance with the preliminary development plan dated July 12, 2022, except as otherwise conditioned for approval.

SECTION 3. That development shall be in accordance with the preliminary development plan dated July 12, 2022, as conditioned above and appended hereto as Attachment A, and made a part hereof.

SECTION 4. That in granting modifications listed herein, the Governing Body concludes that the development will provide sustainable value to the City, incorporates sound planning principles and design elements that are compatible with surrounding properties and consistent through the proposed project, effectively utilize the land upon which the development is proposed, and further the goals, spirit and intent of the Unified Development Ordinance.

SECTION 5. Nonseverability. That all provisions of this ordinance are so essentially and inseparably connected with, and so dependent upon, each other that no such provision would be enacted without all others. If a court of competent jurisdiction enters a final judgment on the merits that is not subject to appeal and that declares any provision or part of this ordinance void, unconstitutional, or unenforceable, then this ordinance, in its collective entirety, is invalid and shall have no legal effect as of the date of such judgment.

SECTION 6. That failure to comply with all of the provisions contained in this ordinance shall constitute violations of both this ordinance and the City's Unified Development Ordinance, enacted by Ordinance No. 5209 and amended from time to time.

SECTION 7. That this ordinance shall be in full force and effect from and after the date of its passage and adoption, and approval by the Mayor.

PASSED by the City Council of the City of Lee's Summit, Missouri, this 8th day of November, 2022.

ATTEST:

Trisha Fowler Arcuri
City Clerk Trisha Fowler Arcuri



W.A. Baird
Mayor William A. Baird

APPROVED by the Mayor of said city this 16th day of November, 2022.

W.A. Baird
Mayor William A. Baird

ATTEST:

Trisha Fowler Arcuri
City Clerk Trisha Fowler Arcuri

APPROVED AS TO FORM:

Brian W. Head
City Attorney Brian W. Head





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ENGINEERING
ANDERSON

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149 SW MARKET ST., LEES SUMMIT, MO 64081

SHEET NUMBER
C102
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OVERVIEW



**ANDERSON
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EMPLOYEE OWNED
GENERAL CONTRACTORS • ENGINEERS • SURVEYORS • DRILLING
ENVIRONMENTAL • CONSTRUCTION • LANDSCAPING • CONCRETE
STRUCTURES • CONCRETE PAVING • STORMWATER MANAGEMENT • DREDGING
WATER FEATURES • RETAINING WALLS • CONCRETE • STONE • METAL • WOOD • GLASS • PLASTIC
LANDSCAPE ARCHITECTURE • GREEN ROOFS • ROOFING • ROOF REPAIR • ROOFING SYSTEMS
STRUCTURAL ENGINEERING • MECHANICAL • ELECTRICAL • PLUMBING • AIR CONDITIONING • HEATING
WATER HEATING SYSTEMS • SCAFFOLDING • CONCRETE FORMING • CONCRETE PUMPING
CRANE RENTAL • CONCRETE PUMPING • CONCRETE PUMPING • CONCRETE PUMPING • CONCRETE PUMPING

ZONING

CP-2 (PLANNED COMMERCIAL)

CURRENT USE

CHURCHES

PROPOSED USE

COMMERICAL
STORE
(AMENDED BY CP-2 ZONING PER CITY OF LEE'S SUMMIT ZOO. SEC. 6 AND TABLE 6-12)

SITE DATA

PARCEL AREA: 157,355 S.F. (3.63 AC)	PARCEL ID: 34025 (A-78-4C)
240' CCZ	EXISTING
UPPER AREA:	100,415 S.F. (60.50%)
OPEN SPACE:	46,121 S.F. (30.13%)
INCLOSED MANUFACTURING AREA:	10,019 S.F. (6.36%)
BUILDING:	
TOTAL CHANICAL BUILDING AREA:	30,000 S.F.
SITE BUILDING AREA:	12,000 S.F.
HEIGHT:	30.32 FEET
TOTAL CHANICAL BUILDING FLOOR AREA RATE:	0.19 FAIR FLARE 0.55 FAR FOR CP-2 ZONING
FAIRFLARE:	SHOPPING CENTER: 1.00
AUX. STALL COUNT:	150 (1 VAN ACCESSORY)
AUX. STALL COUNT:	6 (1 VAN ACCESSORY)
NON SHOPPING CENTERS BETWEEN 20,000 S.F. AND 30,000 S.F.: 5 PARKING STALLS ARE REQUIRED PER 1,000 SF OF GROSS FLOOR AREA, FOR A 150-STALL PARKING LOT, THE MINIMUM NUMBER OF ADA ACCESSIBLE STALLS IS ONE (1) AND THE MAXIMUM NUMBER OF ADA VAN-ACCESSIBLE STALLS IS ONE (1).	5 (1 VAN ACCESSORY)

SITE PLAN KEY NOTES

- 01 EXISTING ASPHALT PAVEMENT TO BE REMOVED.
- 02 EXISTING ASPHALTIC PAVEMENT TO BE REMOVED.
- 03 EXISTING CONCRETE SIDEWALK TO BE REMOVED.
- 04 EXISTING WATER MAIN.
- 05 EXISTING GAS LINE.
- 06 EXISTING OVERHEAD UTILITIES.
- 07 EXISTING CONCRETE PAVEMENT TO REBUNK DO NOT DISTURB.
- 08 EXISTING LIGHT POLE.
- 09 EXISTING PARKING SPOTS TO BE RELOCATED.
- 10 EXISTING TREE TO BE REMOVED.
- 11 EXISTING CURB CUT FOR BRAMAGE.
- 12 EXISTING STORM SEWER.
- 13 EXISTING CONCRETE PAVEMENT TO REBUNK.
- 14 EXISTING BUILDING SEE ARCHITECTURAL PLANS FOR MODIFICATION DETAILS.
- 15 CONCRETE PAVEMENT TO REBUNK PER DETAIL GEN-4 ON SHEET C201.
- 16 CONCRETE SIDEWALK WITH VARIATION.
- 17 STRAIGHT BACK CURB & GUTTER (TYPE CC-1 DRY) PER DETAIL GEN-4 ON SHEET C202.
- 18 STRAIGHT BACK CURB & GUTTER (TYPE CC-1 DRY) PER DETAIL GEN-4 ON SHEET C202.
- 19 8" STRAIGHT BACK CURB & GUTTER PER DETAIL GEN-4 ON SHEET C201.
- 20 DRIVE-THROUGH LANE.
- 21 ADA PUMP PIPE DETAIL GEN-4A ON SHEET C202.
- 22 ADA ACCESSIBLE ROUTE.
- 23 PARKING BLOCKS (TYPE) PER DETAIL ON SHEET C201.
- 24 SMOOTH EXISTING PAVEMENT.
- 25 ADA PARKING SPOTS SHALL BE PLACED AT A HEIGHT AT LEAST 60"
- 26 ABOVE THE GROUND SURFACE.

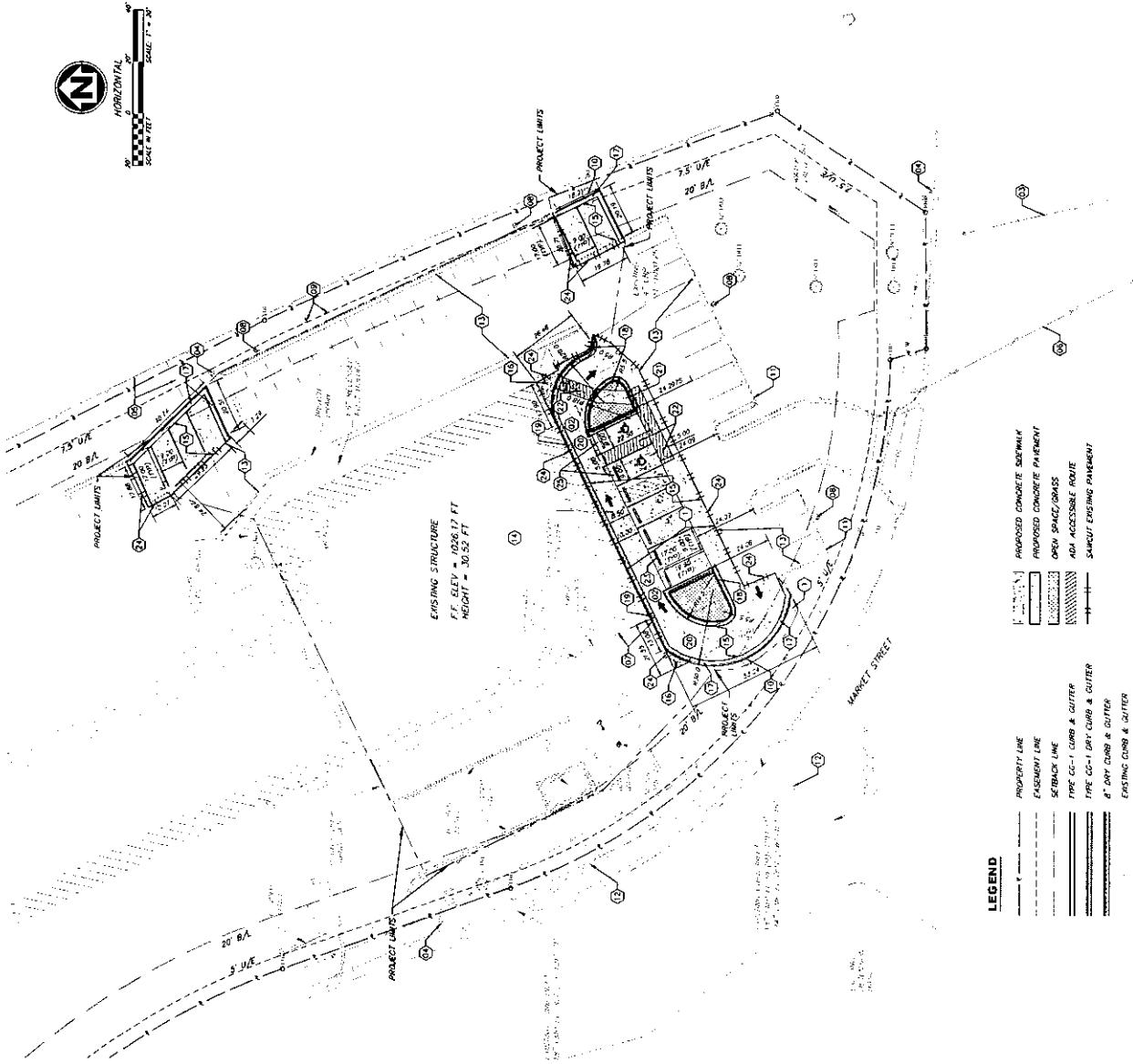
GENERAL NOTES

1. ALL EXISTING UTILITIES TO THE EXISTING BUILDING WILL BE USED IN PLACE. NO ADDITIONAL UTILITIES ARE TO BE PROVIDED OR LOCATED IN THE EXISTING BUILDING. PROTECTION OF EXISTING UTILITIES FROM DAMAGE DUE TO CONSTRUCTION ACTIVITIES IS THE RESPONSIBILITY OF THE OWNER OF THE EXISTING BUILDING.
 2. MAINTENANCE OF EXISTING UTILITIES IS THE RESPONSIBILITY OF THE OWNER OF THE EXISTING BUILDING. EXPENSES OF REPAIRS OR DETERIORATION OF UTILITIES IN NEW AND EXISTING BUILDINGS, TRAFFIC LINES, AND PRESESSES, AND TO THE SAFETY OF THE ROADS, STREETS, AND SIDEWALKS, ARE THE RESPONSIBILITY OF THE OWNER OF THE EXISTING BUILDING.
- IN CONFORMANCE WITH THE 2006 INTERNATIONAL PLUMBING CODE

LEGEND

PROPERTY LINE	— — — — —
ELEMENT LINE	— — — — —
SETBACK LINE	— — — — —
TYPE CC-1 CURB & GUTTER	— — — — —
TYPE CC-1 DRY CURB & GUTTER	— — — — —
ADA ACCESSIBLE ROUTE	— — — — —
EXISTING CURB & GUTTER	— — — — —

SHEET NUMBER
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ENGINEERING

EMPLOYEE OWNED

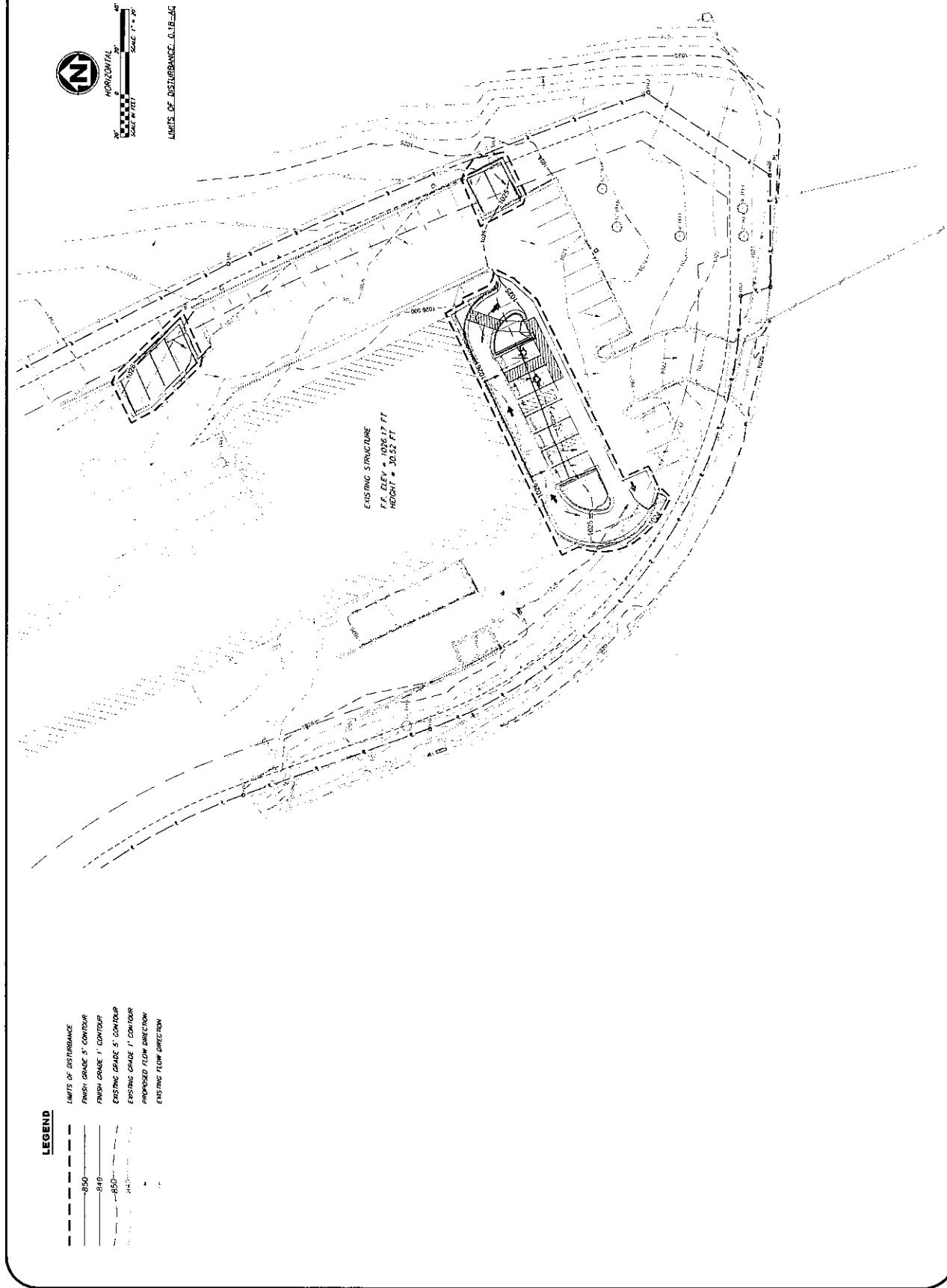
92. WPA-1988-5-A-4-KANSAS CITY NO. 64-11-1-D-043 (1988) 222-244

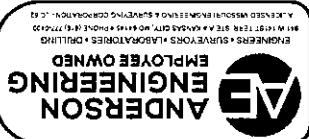
ESTATE PLANNING AND TAX REDUCTION STRATEGIES FOR HIGH-NET-WORTH INDIVIDUALS

GENERAL INFORMATION		EMPLOYEE INFORMATION	
DESCRIPTION	AB-DATE	PAYROLL AB-DATE	CNA
DEPARTMENT	00000000000000000000000000000000	00000000000000000000000000000000	CNA
NAME	JOHN SMITH	JOHN SMITH	
ADDRESS	123 Main Street	123 Main Street	
PHONE	(555) 123-4567	(555) 123-4567	
LICENSE NO.	PE-1234567777	PE-1234567777	
PERIOD	01-CHECKUP	01-CHECKUP	
CONTRACT	CONTRACT	CONTRACT	

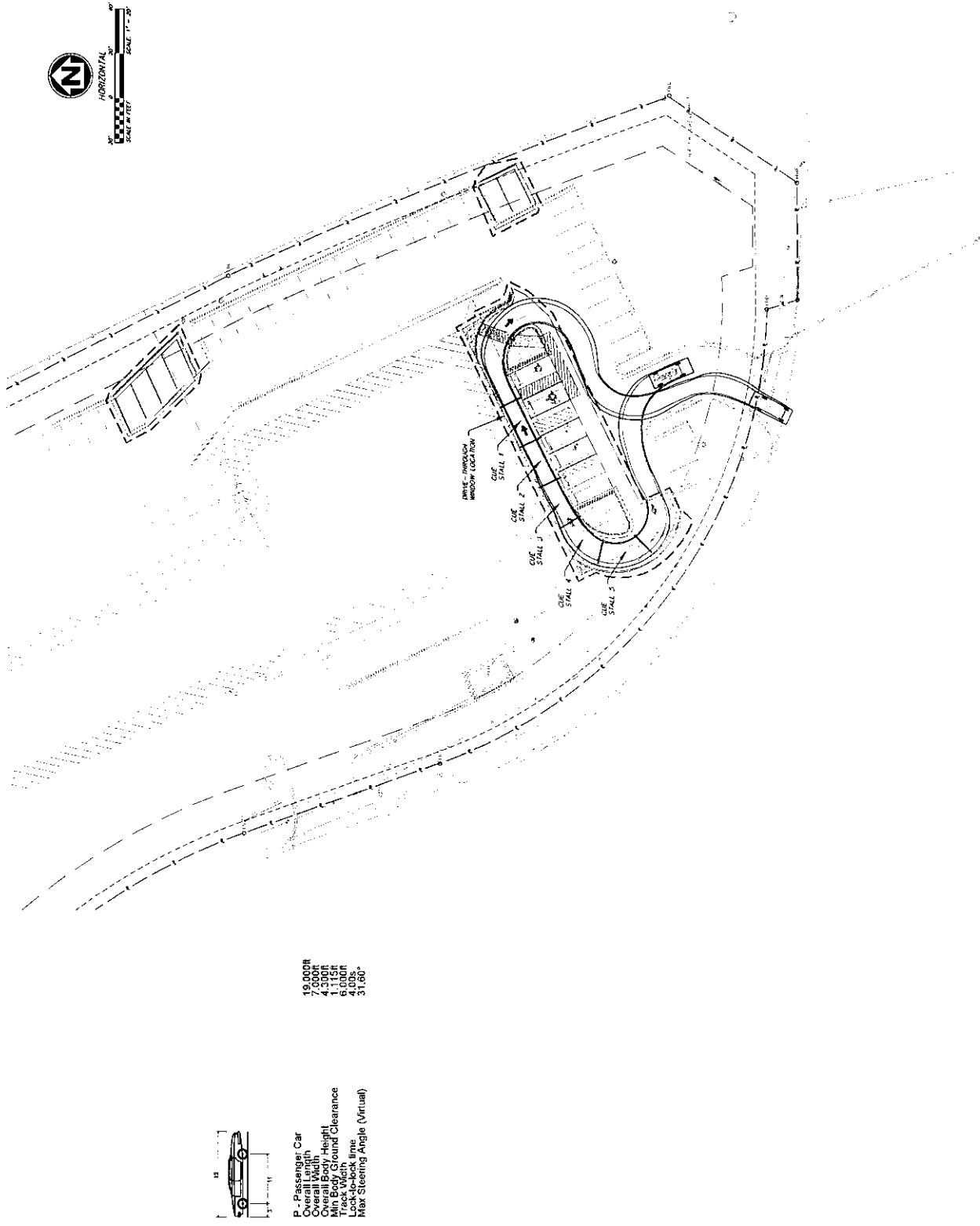
1499 SW MARKET ST., LEES SUMMIT, MO 64081

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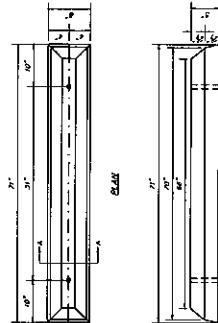
SHEET NUMBER
C105
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ANDERSON
ENGINEERING

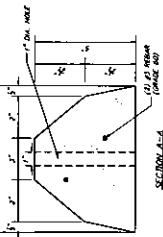


EMPLOYEE OWNED



MAINTAIN DRAINAGE DURING CONCRETE PLACEMENT. DRAINAGE DRAINS SHOULD BE PLACED TO A DEPTH OF 12" IN THE DRAINED BASE COURSE. DRAINED BASE COURSE IS TO BE PLACED ON ONE END IN ELEVATION. DRAINED BASE COURSE IS TO BE PLACED ON ONE END IN ELEVATION. DRAINED BASE COURSE IS TO BE PLACED ON ONE END IN ELEVATION. DRAINED BASE COURSE IS TO BE PLACED ON ONE END IN ELEVATION.

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8" STRAIGHT BACK DRY CURB & GUTTER

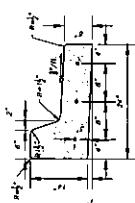
SCALE: N.T.S.

CONCRETE PAVEMENT SECTION

SCALE: N.T.S.

GENERAL NOTES:

1. 8" PULLDOWN DROPS SHALL BE PLACED AT MUDS POINTS AND AT 10' SPAN. THESE DROPS SHALL BE ORIENTED AND SECURED ON ONE END IN ELEVATION. 2. 1" DROPS, CONTRACTOR SHALL BE INSTALLED APPROXIMATELY 10' APART. THESE DROPS SHALL PASS ACROSS THE CURB SECTION. 3. CURB SHALL HAVE LUMPS AND BURNISHED. 4. NOSE OF CURB SHALL BE LOST OR FLAT. 5. ADJACENT CONCRETE SURFACE COURSE SHALL CONNECT TO CURB AT 8' SPAN. 6. ADJACENT CONCRETE SURFACE COURSE SHALL CONNECT TO THE CURB AT 8' SPAN. 7. ALL CURBS & BARS SHALL BE PLAIN QUAID. 8. CURB DRY CURE MANUFACTURERS, MUST SHOT BLOW FROM THE CENTER TO THE LINE @ 6.55' AND 8.50'



CURB AND GUTTER GENERAL NOTES:
1. 8" PULLDOWN DROPS SHALL BE PLACED AT MUDS POINTS AND AT 10' SPAN. THESE DROPS SHALL BE ORIENTED AND SECURED ON ONE END IN ELEVATION. 2. 1" DROPS, CONTRACTOR SHALL BE INSTALLED APPROXIMATELY 10' APART. THESE DROPS SHALL PASS ACROSS THE CURB SECTION. 3. CURB SHALL HAVE LUMPS AND BURNISHED. 4. NOSE OF CURB SHALL BE LOST OR FLAT. 5. ADJACENT CONCRETE SURFACE COURSE SHALL CONNECT TO THE CURB AT 8' SPAN. 6. ADJACENT CONCRETE SURFACE COURSE SHALL CONNECT TO THE CURB AT 8' SPAN. 7. ALL CURBS & BARS SHALL BE PLAIN QUAID. 8. CURB DRY CURE MANUFACTURERS, MUST SHOT BLOW FROM THE CENTER TO THE LINE @ 6.55' AND 8.50'

PARKING BLOCK STANDARD DETAIL

SCALE: N.T.S.

ELEVATION
SECTION A-A
SECTION B-B
SECTION C-C
SECTION D-D

1. 2000 LB UNPULLED CONCRETE BLOCKS @ 6000

DETAILS I

MACADOO DRIVES 149 SW MARKET ST, LEES SUMMIT, MO 64081

149 SW MARKET ST, LEES SUMMIT, MO 64081

SHEET NUMBER
C201
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**ANDERSON
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149 SW MARKET ST, LEE'S SUMMIT, MO 64081	6 COMMERCIAL AREA/INDUSTRIAL BUILDING
149 SW MARKET ST, LEE'S SUMMIT, MO 64081	149 SW MARKET ST, LEE'S SUMMIT, MO 64081
149 SW MARKET ST, LEE'S SUMMIT, MO 64081	149 SW MARKET ST, LEE'S SUMMIT, MO 64081
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C202
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