

AMENDED BILL NO. 22-220**ORDINANCE NO. 9545**

AN ORDINANCE APPROVING A PRELIMINARY DEVELOPMENT PLAN ON LAND LOCATED AT 1471-1499 SW MARKET STREET IN DISTRICT CP-2, LOT 12A, SOUTH PORT BUSINESS PARK, ALL IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 33 OF THE UNIFIED DEVELOPMENT ORDINANCE OF THE CODE OF ORDINANCES FOR THE CITY OF LEE'S SUMMIT, MISSOURI.

WHEREAS, Application #PL2022-216 submitted by KC Blitz, LLC dba Macadoodles, requesting approval of a preliminary development plan in District CP-2 (Planned Community Commercial District) on land located at 1471-1499 SW Market St was referred to the Planning Commission to hold a public hearing; and,

WHEREAS, after due public notice in the manner prescribed by law, the Planning Commission held a public hearing for the consideration of the preliminary development plan on September 8, 2022, and October 13, 2022, and rendered a report to the City Council recommending that the preliminary development plan be denied; and,

WHEREAS, after due public notice in the manner prescribed by law, the City Council held a public hearing on November 1, 2022, and rendered a decision to approve the preliminary development plan for said property.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF LEE'S SUMMIT, MISSOURI, as follows:

SECTION 1. That a preliminary development plan is hereby approved in District PMIX on the following described property:

Lot 12A, South Port Business Park

SECTION 2. That the following conditions of approval apply:

1. A modification shall be granted to the minimum 20' parking lot setback from right-of-way, to allow a 4'-4" parking lot setback along the site's M-291 Hwy frontage.
2. A minimum 24' pavement width (excluding curb and gutter) shall be provided for the two-way drive aisle located south of the proposed drive-through facility.
3. Development shall be in accordance with the preliminary development plan dated July 12, 2022, except as otherwise conditioned for approval.

SECTION 3. That development shall be in accordance with the preliminary development plan dated July 12, 2022, as conditioned above and appended hereto as Attachment A, and made a part hereof.

SECTION 4. That in granting modifications listed herein, the Governing Body concludes that the development will provide sustainable value to the City, incorporates sound planning principles and design elements that are compatible with surrounding properties and consistent through the proposed project, effectively utilize the land upon which the development is proposed, and further the goals, spirit and intent of the Unified Development Ordinance.

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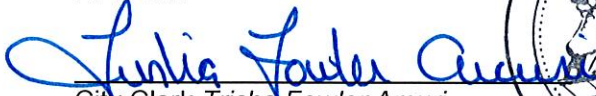
SECTION 5. Nonseverability. That all provisions of this ordinance are so essentially and inseparably connected with, and so dependent upon, each other that no such provision would be enacted without all others. If a court of competent jurisdiction enters a final judgment on the merits that is not subject to appeal and that declares any provision or part of this ordinance void, unconstitutional, or unenforceable, then this ordinance, in its collective entirety, is invalid and shall have no legal effect as of the date of such judgment.

SECTION 6. That failure to comply with all of the provisions contained in this ordinance shall constitute violations of both this ordinance and the City's Unified Development Ordinance, enacted by Ordinance No. 5209 and amended from time to time.

SECTION 7. That this ordinance shall be in full force and effect from and after the date of its passage and adoption, and approval by the Mayor.

PASSED by the City Council of the City of Lee's Summit, Missouri, this 8th day of November, 2022.

ATTEST:

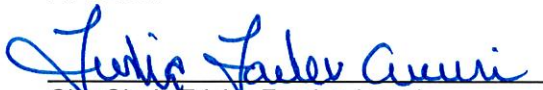

City Clerk Trisha Fowler Arcuri




Mayor William A. Baird

APPROVED by the Mayor of said city this 16th day of November, 2022.

ATTEST:


City Clerk Trisha Fowler Arcuri


Mayor William A. Baird

APPROVED AS TO FORM:


City Attorney Brian W. Head



PRELIMINARY DEVELOPMENT PLAN FOR MACADOODLES 1499 SW MARKET STREET

CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI
NW 1/4, SECTION S17, TOWNSHIP 47N, RANGE 31W



VICINITY MAP

SECTION S17-147N-431W
(1" = 2000')

DATE: 07/12/2022

GENERAL NOTES:

- EXISTING TOPOGRAPHIC INFORMATION SHOWN IS ACCORDING TO TOPOGRAPHIC SURVEY COMPLETED BY ANDERSON ENGINEERING, INC. ON FEBRUARY 11, 2022.
- ALL CONSTRUCTION SHALL FOLLOW THE CITY OF LEE'S SUMMIT CONSTRUCTION STANDARDS AND SPECIFICATIONS.
- THE DEVELOPMENT SERVICES ENGINEERING INSPECTION TO SCHEDULE A PRE-CONSTRUCTION MEETING WITH AN INSPECTOR PRIOR TO ANY LAND DISTURBANCE WORK.

PROJECT SPECIFICATIONS:

THE SPECIFICATIONS FOR THIS PROJECT SHALL BE THE FOLLOWING:

- THE CITY OF LEE'S SUMMIT, MISSOURI
- KANSAS CITY METRO AREA

THE STANDARD SPECIFICATIONS THROUGH AND INCLUDING THE LATEST AMENDMENTS SHALL BE PART OF THESE PROJECT DRAWINGS AND SPECIFICATIONS AND ARE INCORPORATED HEREIN BY REFERENCE. THE ENGINEER HAS REVIEWED THE STANDARD SPECIFICATIONS AND THOSE PREPARED BY THE ENGINEER PREPARING THESE PLANS SHALL GOVERN.



UTILITY CONTACTS:

SANITARY & WATER:
CITY OF LEE'S SUMMIT
1200 SE HAMBLEN ROAD
LEE'S SUMMIT, MO 64081
PHONE (816) 969-1800

AIR:
CITY OF LEE'S SUMMIT
1200 SE HAMBLEN ROAD
LEE'S SUMMIT, MO 64081
PHONE (816) 969-1800

STREETS:
CITY OF LEE'S SUMMIT
1200 SE HAMBLEN ROAD
LEE'S SUMMIT, MO 64081
PHONE (816) 969-1800

POWER:
CITY OF LEE'S SUMMIT
1200 SE HAMBLEN ROAD
LEE'S SUMMIT, MO 64081
PHONE (816) 969-1800

MISSOURI GAS ENERGY:
1800 SE HAMBLEN ROAD
LEE'S SUMMIT, MO 64081
PHONE (816) 417-1489

LEGAL DESCRIPTION:

LOT 18-A, SOUTH 1800 BUSINESS PARK OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF.

FEMA INFORMATION:

THIS SITE IS LOCATED WITHIN ZONE X PER FEMA FIRM MAPS 2009SC0406G AND 2009SC0419G. THE SITE IS NOT IN A SPECIAL FLOOD HAZARD AREA. THE SITE IS NOT IN A SPECIAL FLOOD HAZARD AREA. THE SITE IS NOT IN A SPECIAL FLOOD HAZARD AREA.

WATERSHED:

THIS SITE IS LOCATED WITHIN THE BIG CREEK WATERSHED. THIS SITE IS NOT LOCATED IN A LOCAL HISTORIC DISTRICT PER THE MISSOURI DEPARTMENT OF NATURAL RESOURCES HISTORIC DISTRICTS AND SITES DATABASE, ACCESSED JUNE 2, 2022.

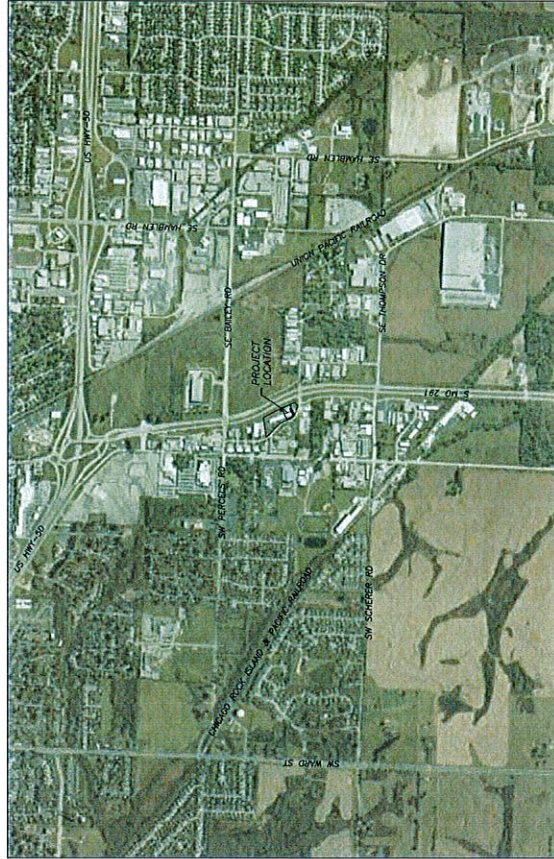
PROJECT BENCHMARK AND CONTROL POINT INFORMATION:

BM #106
N: 992506.2894
E: 762424.2581
ELEV: 1029.31
DESCRIPTION: SQUARE CUT IN THE SW CORNER OF A CULVERT INLET

CP #106
N: 992506.2894
E: 762424.2581
ELEV: 1029.31
DESCRIPTION: SQUARE CUT IN THE SW CORNER OF A CULVERT INLET

CP #107
N: 992506.2894
E: 762424.2581
ELEV: 1029.31
DESCRIPTION: SQUARE CUT IN THE SW CORNER OF A CULVERT INLET

LIMITS OF DISTURBANCE: 0.18-AC



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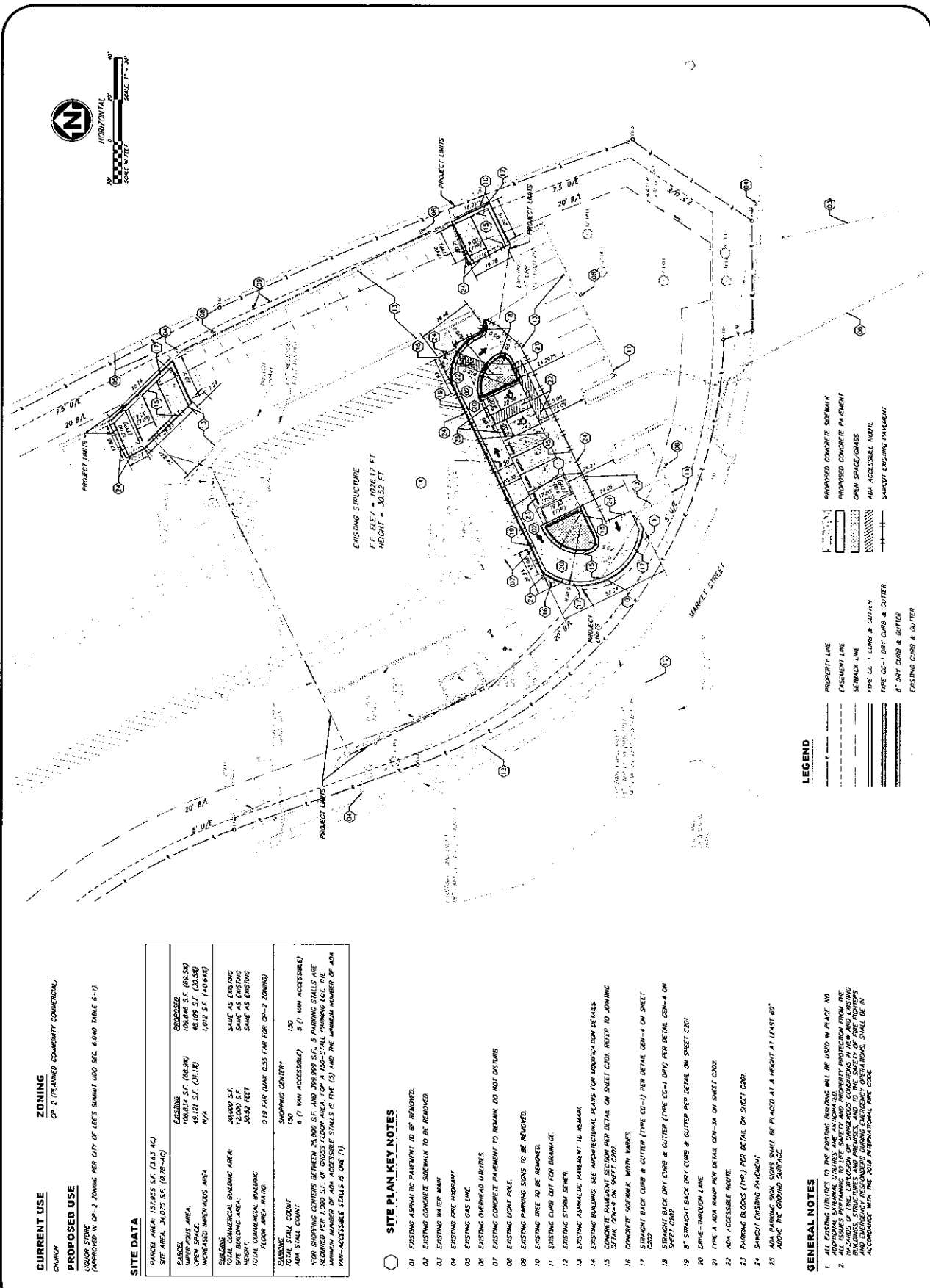
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1" = 100'



ANDERSON ENGINEERING
EMPLOYEE OWNED

ENGINEERS • SURVEYORS • LABORATORIES • DRILLING
314 N. FIRST STREET, SUITE 400, ST. LOUIS, MO 63102
P: 314.241.1111 • F: 314.241.1112 • E: info@andersoneng.com

NO. _____

DESCRIPTION _____

DATE _____

DRAWN BY _____

CHECK BY _____

DATE _____

PROJECT NO. _____

DATE _____

JOB NUMBER _____

1499 SW MARKET STREET, SUITE 400, ST. LOUIS, MO 63102

1499 SW MARKET STREET, SUITE 400, ST. LOUIS, MO 63102

PRELIMINARY DEVELOPMENT PLAN

LANE EXHIBIT

DRIVE-THROUGH

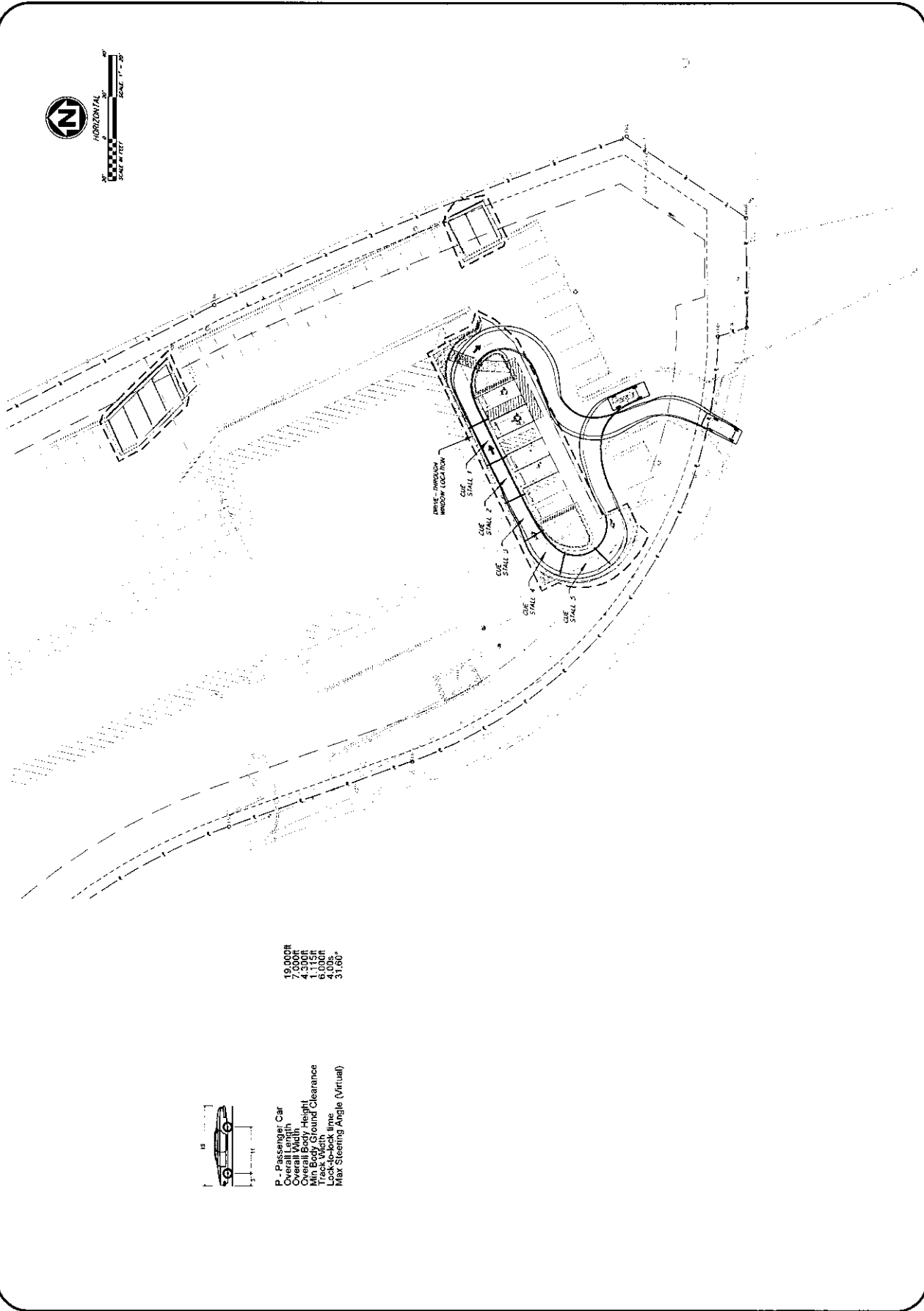
1499 SW MARKET STREET, SUITE 400, ST. LOUIS, MO 63102

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PRELIMINARY DEVELOPMENT PLAN

LANE EXHIBIT

DRIVE-THROUGH



P - Passenger Car
Overall Length
Overall Width
Overall Body Height
Min. Body Ground Clearance
Lock-to-lock time
Lock-to-lock time
Max Steering Angle (Virtual)

19,000ft
7,000ft
4,300ft
6,115ft
6,115ft
4,000ft
31.60°

[illegible]

