

BILL NO. 22-223**ORDINANCE NO. 9541**

AN ORDINANCE APPROVING A PRELIMINARY DEVELOPMENT PLAN ON LAND LOCATED AT 3511 SW MARKET STREET IN DISTRICT CP-2, ALL IN ACCORDANCE WITH THE PROVISIONS OF UNIFIED DEVELOPMENT ORDINANCE, CHAPTER 33, OF THE CODE OF ORDINANCES FOR THE CITY OF LEE'S SUMMIT, MISSOURI.

WHEREAS, Application #PL2022-296 submitted by Lee's Summit Retail Partners, LLC, requesting approval of a preliminary development plan in District CP-2 (Planned Community Commercial District) on land located at 3511 SW Market St. was referred to the Planning Commission to hold a public hearing; and,

WHEREAS, after due public notice in the manner prescribed by law, the Planning Commission held a public hearing for the consideration of the preliminary development plan on October 13, 2022, and rendered a report to the City Council recommending that the preliminary development plan be approved; and,

WHEREAS, after due public notice in the manner prescribed by law, the City Council held a public hearing on November 1, 2022, and rendered a decision to approve the preliminary development plan for said property.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF LEE'S SUMMIT, MISSOURI, as follows:

SECTION 1. That a preliminary development plan is hereby approved in District CP-2 on the following described property:

LOT 2, MARKET STREET CENTER, A SUBDIVISION OF LAND IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

SECTION 2. That the following conditions of approval apply:

1. Development shall be in accordance with the preliminary development plan dated September 13, 2022.

SECTION 3. Development shall be in accordance with the preliminary development plan dated September 13, 2022., as conditioned above and appended hereto as Attachment A.

SECTION 4. Nonseverability. That all provisions of this ordinance are so essentially and inseparably connected with, and so dependent upon, each other that no such provision would be enacted without all others. If a court of competent jurisdiction enters a final judgment on the merits that is not subject to appeal and that declares any provision or part of this ordinance void, unconstitutional, or unenforceable, then this ordinance, in its collective entirety, is invalid and shall have no legal effect as of the date of such judgment.

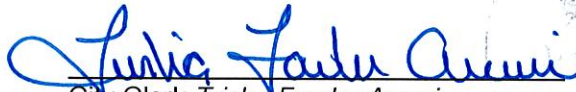
SECTION 5. That failure to comply with all of the provisions contained in this ordinance shall constitute violations of both this ordinance and the City's Unified Development Ordinance, enacted by Ordinance No. 5209 and amended from time to time.

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SECTION 6. That this ordinance shall be in full force and effect from and after the date of its passage and adoption, and approval by the Mayor.

PASSED by the City Council of the City of Lee's Summit, Missouri, this 8th day of November, 2022.

ATTEST:


City Clerk Trisha Fowler Arcuri




Mayor William A. Baird

APPROVED by the Mayor of said city this 16th day of November, 2022.

ATTEST:


City Clerk Trisha Fowler Arcuri


Mayor William A. Baird

APPROVED AS TO FORM:


City Attorney Brian W. Head





Know what's below.
Call before you dig.

LEGAL DESCRIPTION:

AREA = 2.6822 ACRES / ± 112,481.21 SQ.FT.

SITE PLAN NOTES:

- [illegible]

SITE DIMENSION NOTES:

... ALL DIMENSIONS SHOWN FOR THE FINISHING LOT AND CURBS ARE MEASURED FROM BACK OF CURB TO BACK OF BUILDING. I.E., SHOWN ARE TO THE OUTSIDE FACE OF PROPOSED WALLS. THE SUBCONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR SPECIFIC DIMENSIONS AND LAYOUT INFORMATION FOR THE BUILDINGS.

PAVEMENT MARKING AND SIGNAGE NOTES:

[illegible]

CONING:

THIS PROPERTY IS ZONED CP-2, DEFINED AS PLANNED COMMUNITY COMMERCIAL DISTRICT

OIL-GAS WELLS:

ACCORDING TO THE MISSOURI DEPARTMENT OF NATURAL RESOURCES STATE OIL & GAS COUNCIL WELLS LOCATED
 AT www.dnr.missouri.gov/energy/petroleum/stratigraphy.htm, THERE ARE NO OIL OR GAS WELLS ON THE PROPERTY SHOWN
 ON THE MAP.

RE-CONSTRUCTION MEETING NOTE:

E. CONTRACTOR SHALL CONTACT THE CITY'S DEVELOPMENT SERVICES ENGINEERING DEPARTMENT TO SCHEDULE A PRE-CONSTRUCTION MEETING WITH A FIELD ENGINEERING INSPECTOR PRIOR TO ANY LAND DISTURBANCE WORK AT THE PROJECT SITE.

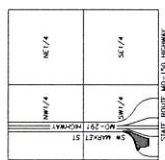
IRE ACCESS ROAD NOTE:

ALL FIRE ACCESS LANES SHALL BE HEAVY DUTY ASPHALT CAPABLE OF SUPPORTING 75,000-POUNDS

BUILDING & LOT DATA

Zoning		CP-2
Lot 2	Site Area	2.50 Ac.
	Home Improvement	1 Story
	No. of Stories	15,200 S.F.
	Building S.F.	15,200 S.F.
	Fall / Building Envelope	0.1552
	Fall / Building Coverage	1.76 Ac. (69%)
	Impervious Area	0.80 Ac. (31%)
	Drain Source	

PARKING SUMMARY

[illegible]VICINITY MAP
SEC. 29-47-31

LEGEND

- | | |
|------------------|--------------------------------|
| PL | PROPERTY LINE |
| UL | UTILITY |
| ADJUTANT | ADJUTANT |
| 2' CURB & GUTTER | 2' CURB & GUTTER |
| B/L | BUILDING SETBACK LINE |
| P/S | PARKING SETBACK LINE |
| | STANDARD DUTY ASPHALT PAVEMENT |
| | PROPOSED PAVING |
| | CONCRETE PAVEMENT |
| | CONCRETE SIDEWALK |



SCALE: 1"=40'

SITE PLAN

sheet number

12

eddy breakup

PDP
projects number

59177

Westlake ACE Hardware
a new store for
3511 SW Market Street
Lee's Summit, Missouri 64082

3511 SW Market Street
Lee's Summit, Missouri 64082

a new store for

status	drawn by	checked by	revisions
1	09-13-22	REVISED PER PLK	COMMENTS

SITE PLAN

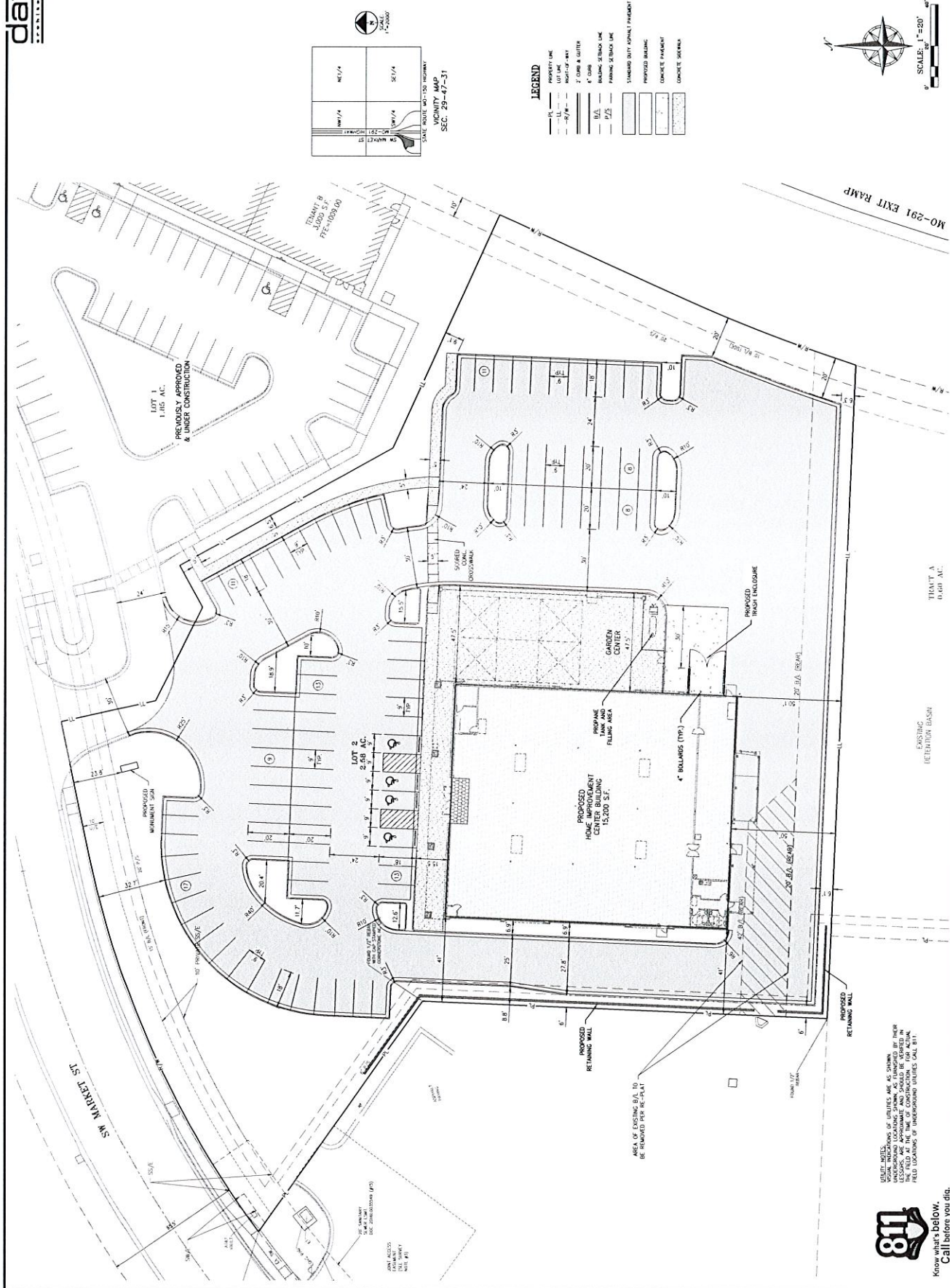
sheet number

12

eddy breakup

PDP
projects number

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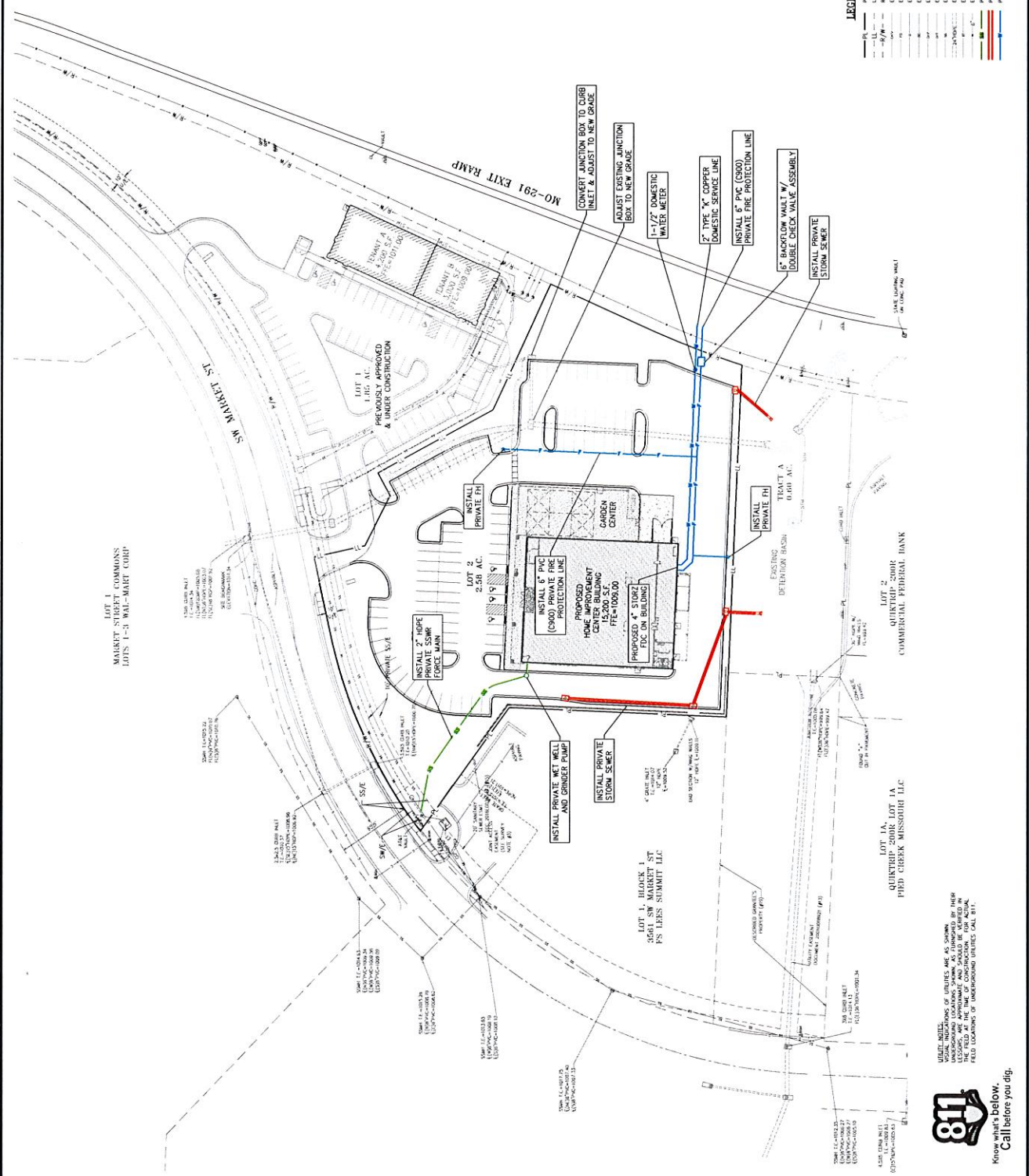
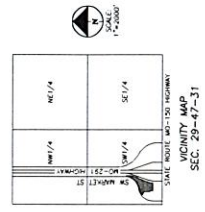


FLOOD NOTE:
1. FLOOD ZONE 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 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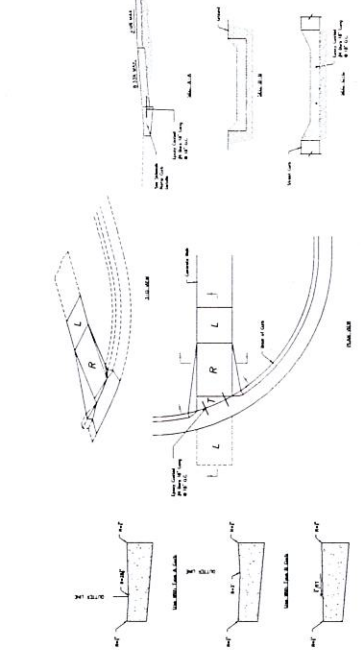
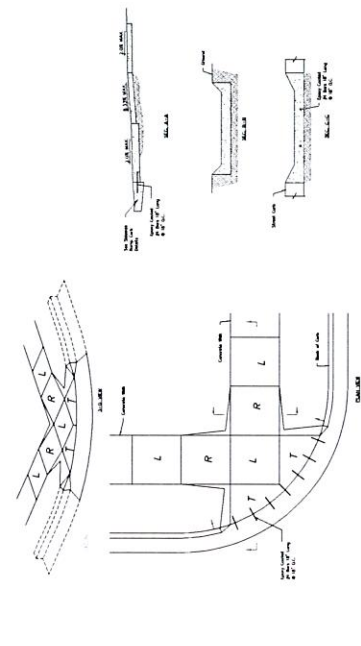
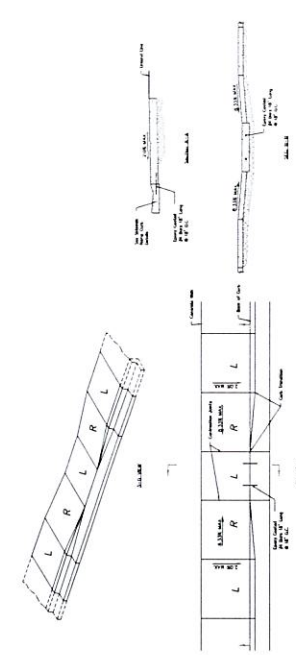
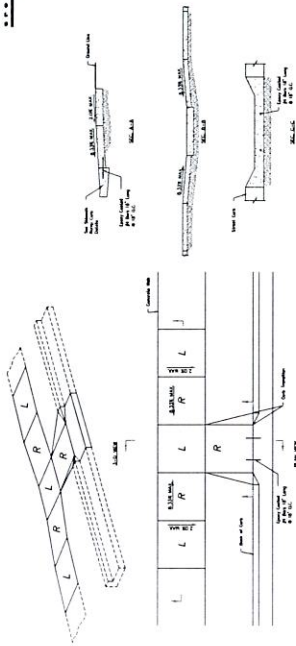


LEGEND

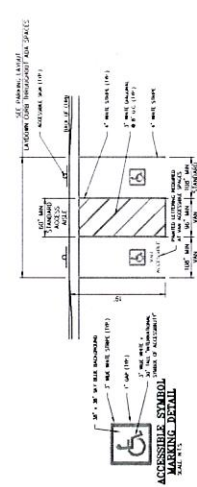
— PL —	PROPERTY LINE
— E —	EXISTING ELEC. LINE
— P —	PROPOSED ELEC. LINE
— W —	EXISTING WATER LINE
— PW —	PROPOSED WATER LINE
— S —	EXISTING SEWER LINE
— PS —	PROPOSED SEWER LINE
— G —	EXISTING GAS LINE
— PG —	PROPOSED GAS LINE
— T —	EXISTING TELLURIDE LINE
— PT —	PROPOSED TELLURIDE LINE
— F —	EXISTING FIRE LINE
— PF —	PROPOSED FIRE LINE
— D —	EXISTING DRAINAGE LINE
— PD —	PROPOSED DRAINAGE LINE
— L —	EXISTING LIGHTING LINE
— PL —	PROPOSED LIGHTING LINE
— M —	EXISTING MISC. LINE
— PM —	PROPOSED MISC. LINE



UTILITY NOTES:
1. LOCATIONS OF UTILITIES ARE AS SHOWN.
2. UNDEGROUND LOCATIONS SHOWN AS DETERMINED BY FIELD SURVEY.
3. THE FIELD AT THE TIME OF CONSTRUCTION FOR ACTUAL FIELD LOCATIONS OF UNDEGROUND UTILITIES CALL 811.

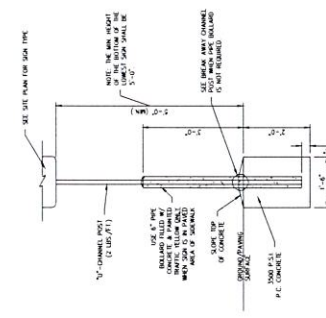


PRIVATE SIDEWALK RAMP
 SCALE: 1/4" = 1'-0"

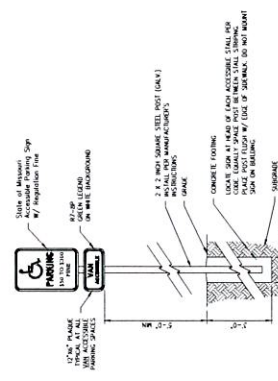


- GENERAL NOTES:
1. ALL SIDEWALKS SHALL BE CONCRETE.
 2. ALL SIDEWALKS SHALL BE 4'-0" WIDE.
 3. ALL SIDEWALKS SHALL BE 4'-0" WIDE.
 4. ALL SIDEWALKS SHALL BE 4'-0" WIDE.
 5. ALL SIDEWALKS SHALL BE 4'-0" WIDE.
 6. ALL SIDEWALKS SHALL BE 4'-0" WIDE.
 7. ALL SIDEWALKS SHALL BE 4'-0" WIDE.
 8. ALL SIDEWALKS SHALL BE 4'-0" WIDE.
 9. ALL SIDEWALKS SHALL BE 4'-0" WIDE.
 10. ALL SIDEWALKS SHALL BE 4'-0" WIDE.

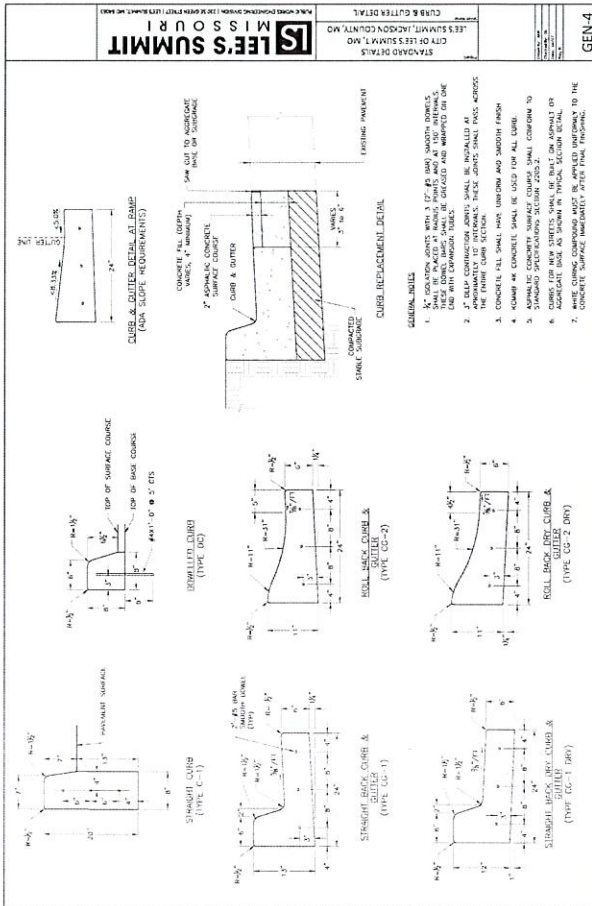
ACCESSIBLE PARKING SPACE DETAIL
 SCALE: 1/4" = 1'-0"



SIGN BASE DETAIL IN
 SIDEWALK & PAVED AREAS
 SCALE: 1/4" = 1'-0"



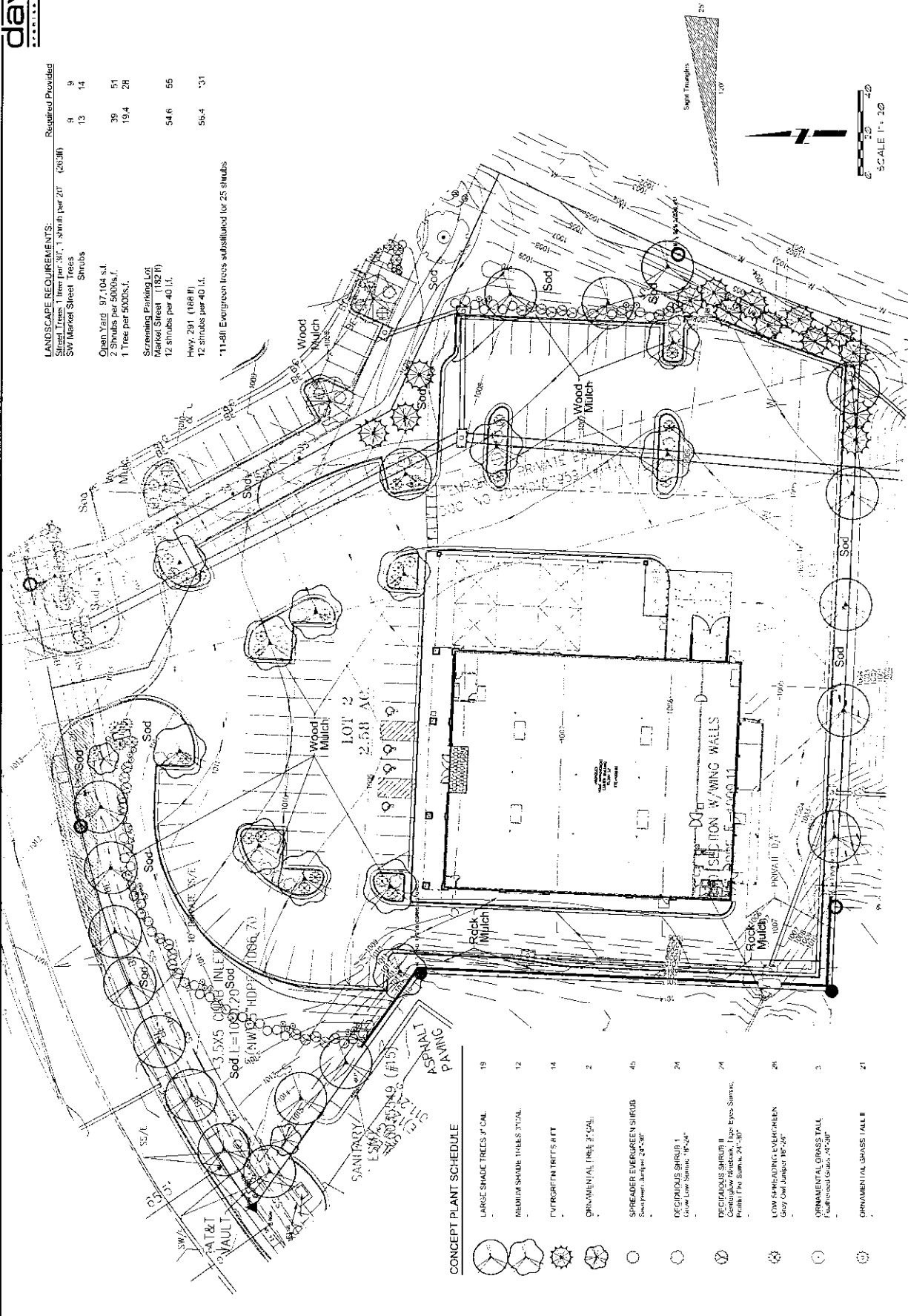
CROSSWALK DETAIL
 SCALE: 1/4" = 1'-0"



LANDSCAPE REQUIREMENTS:

Registered Provided	Registered Provided
Street Trees 1 tree per 30', 1 shrub per 20' (2638)	9
SW Market Street Trees	13
Shrubs	14
Open Yard 97,104 s.f.	39
2 Shrubs per 1000s. f.	19.4
1 Tree per 5000s. f.	28
Screening Parking Lot	
Market Street (1182 ft)	
12 shrubs per 40 f.f.	54.6
HWY. 291 (168 ft)	
12 shrubs per 40 f.f.	56.4
	31

*11-8ft Evergreen trees substituted for 25 shrubs

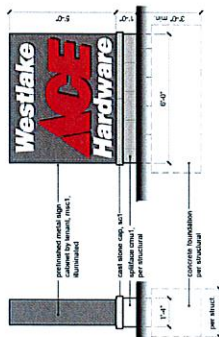


CONCEPT PLANT SCHEDULE

	19	LARGE SHRUB TREES 7' OAL
	12	MEDIUM SHRUB TREES 5' OAL
	14	PYRAMIDAL TREES 6' FT
	2	ORNAMENTAL TREES 7' OAL
	45	SPREADER EVERGREEN SHRUB Swamp Pine, Juniper, 24"-36"
	24	DECIDUOUS SHRUB 1' Columbine, Salix, 18"-24"
	24	DECIDUOUS SHRUB 2' Columbine, Salix, 24"-36"
	26	LOW SPREADING EVERGREEN Grey Oak Juniper 18"-24"
	3	ORNAMENTAL GRASS TALL Fountain Grass, 4'-5'0"
	21	ORNAMENTAL GRASS TALL II

UTILITY NOTE:
Utilities shown on plan are approximate only. They may be relocated. Before starting any construction call all utilities and marking service. In Missouri call 1-800-368-5878 (SAFE-5878) to have utilities located.

Exterior materials and finishes:

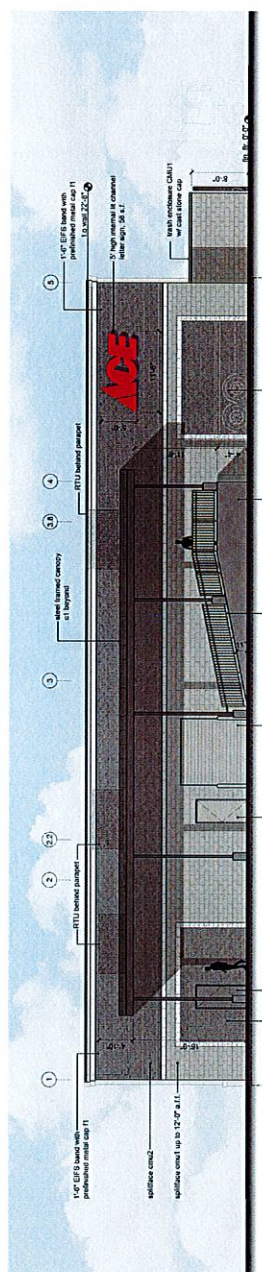
[illegible]

monument sign elevation
scale: 1/2" = 1'-0"

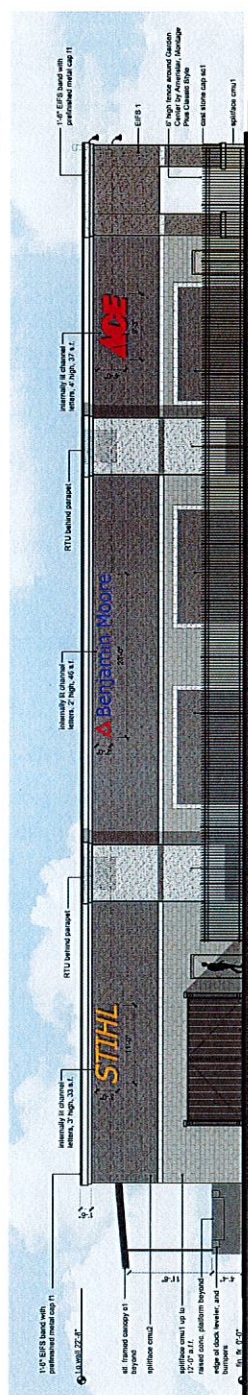
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1

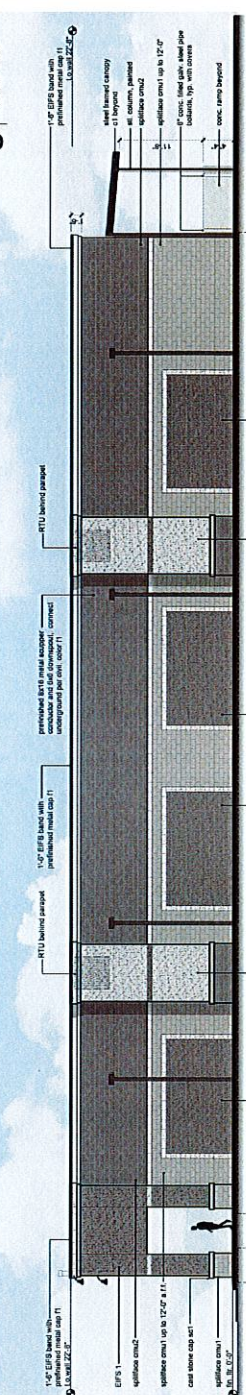
north elevation
scale: 1/8" = 1'-0"



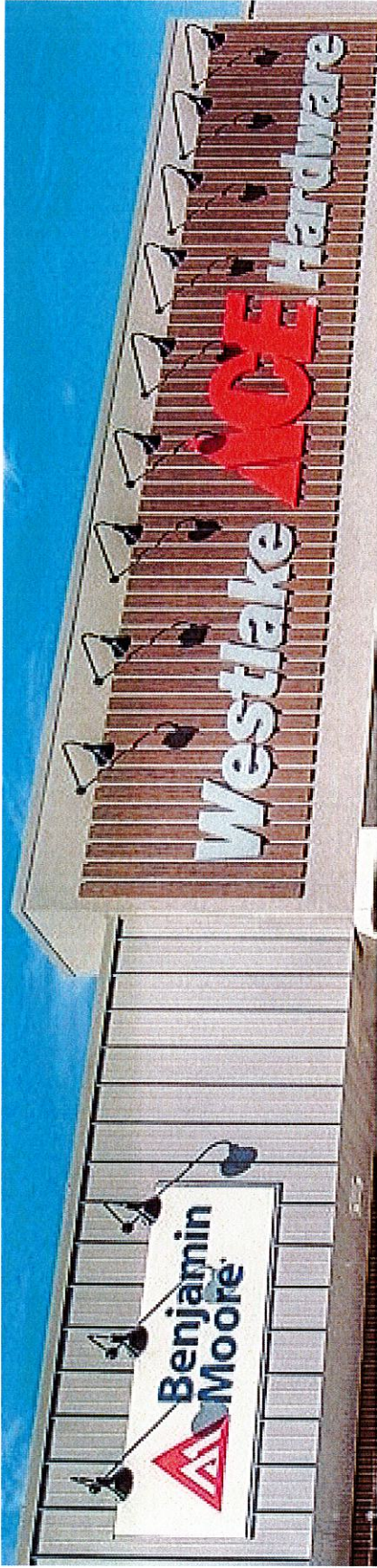
2 south elevation
scale: 1/8" = 1'-0"



3 east elevation
scale: 1/8" = 1'-0"



west elevation
scale: 1/8" = 1'-0"



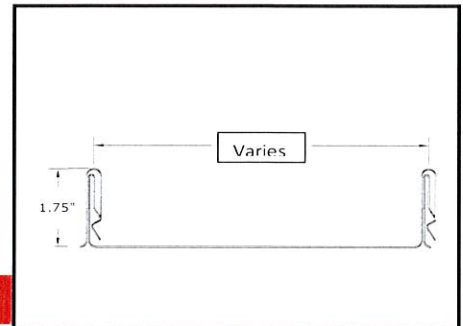
Example of standing seam metal fascia

TECHNICAL INFORMATION SHEET

UNA-CLAD™ UC-14

Item Description

Standing Seam Panel For Architectural Metal Roofing



Product Information

Description:

Firestone UNA-CLAD UC-14 Roofing Panel is a factory formed continuous interlocking, concealed clip, architectural standing seam metal roof panel with a proven seam design that snaps together for ease of installation. An optional thermally-applied pre-assembly in-seam sealant is available. The minimum slope requirement for a Firestone Red Shield™ Warranty is 3:12. For warranty requirements for slopes between 3:12 and 1:12, please contact your Building Systems Advisor.

Method of Application:

1. Firestone UC-14 panels must be installed in a sequential order.
2. Application of a Firestone underlayment prior to panel installation is recommended.
3. A smooth, solid substrate of plywood, OBS, or a rigid insulation board mechanically attached to a steel deck is recommended for the Firestone UC-14 metal roof panel.

NOTE: Install assembly according to Firestone Metal Design and Application Guides found on the Firestone website. Follow approved installation details.

Storage:

- Firestone metal panels should be stored in a well ventilated, dry place where no moisture can contact them. Moisture (From rain, snow, condensation, etc.) trapped between layers of material may cause water stains or white rust, which can affect the service life of the material and will detract for the appearance.
- If outdoor storage cannot be avoided, protect the panels with a ventilated canvas or waterproof paper cover. Do not use plastic, which can cause condensation. Keep the material off the ground in an inclined position with an insulator such as wood. Protective film may degrade or become brittle with long term exposure to direct sunlight.

Precautions:

- Oil canning is not a cause for rejection. Heavier gauges, narrower widths, striations, and embossing minimize oil canning.
- Firestone recommends a minimum bend radius of 2T. Anything less than a 2T bend radius can cause crazing to the material.
- Sealant for end laps and lap joints shall be non-drying, non-toxic, and non-shrinking with a serviceable temperature of -60 to 212 °F (-51 to 100 °C).
- Quality, long-life butyl sealants work best as a gasket sandwiched between two pieces of metal. Non-acetic cured silicone color matching sealants are recommended when voids must be filled. Sealants are not a substitute for proper assembly and workmanship.
- Exercise caution when lifting, moving, transporting, storing or handling Firestone metal to avoid possible physical damage.
- Refer to Safety Data Sheets (SDS) for safety information.
- Immediately remove protective film after installation.

TECHNICAL INFORMATION SHEET



UNA-CLAD™ UC-14

Manufacturing Location:

Anoka, MN



Product Data

Tapered Panels:	No
Radius Panels:	No
Stiffening Ribs:	Optional
Striations:	Optional
Sealant:	Optional In-Seam, Thermally Applied
Standard Panel Surface:	Smooth
Optional Panel Surface:	Stucco Embossed
Clip:	UC-14 Clip

Product Size

Panel Width:	8" (203.2 mm) – 24" (609.6 mm)
Optimal Panel Width:	18" (457.2 mm)
Seam Height:	1.75" (44.5 mm)
Minimum Panel Length:	36" (914.4 mm)
Maximum Panel Length:	600" (15.24 m)

Technical Information

Up lift Resistance:	UL 580 Class 90
Air Infiltration:	ASTM E 1680
Uniform Static Air Pressure :	ASTM E 1592
Water Penetration:	ASTM E 1646
Fire Rating:	UL Class A Rated Assemblies, UL 263 and UL 790
Hail Impact Rating:	Class 4, UL 2218
Miami-Dade County & Florida Building Code:	Approved

NOTE: Testing is not applicable for all combinations of substrates, materials, and dimensions. All construction assemblies must be installed in accordance with the tested assembly. Please refer to the Metal Code Approval Guide on the Firestone website for tested assemblies and code listings.

Please contact your Building Systems Advisor for warranty requirements and additional information.



Metal Systems Color Availability

UNA-CLAD™ METAL PANEL COLOR SELECTION GUIDE



Stone White



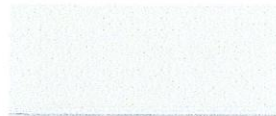
Slate Gray



Bone White



Cityscape



Almond



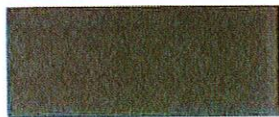
Charcoal Gray



Sandstone



Sierra Tan



Medium Bronze



Dark Bronze



Extra Dark Bronze



Matte Black



Brandywine



Colonial Red



Terra Cotta



Mansard Brown



Regal Red



Award Blue



Sky Blue



Electric Blue



Regal Blue



Teal



Patina Green



Dark Ivy



Sherwood Green



Hartford Green



Hemlock Green



Tropical Patina



Silver Metallic



Classic Copper



Champagne Metallic

Firestone
BUILDING PRODUCTS
NOBODY COVERS YOU BETTER.™

Colors shown are as close to actual painted steel as allowed by the printing process. Contact your local sales rep for actual metal samples.