



KEEP THIS AREA CLEAR FOR  
ELECTRONIC APPROVAL STAMP  
(WICHITA/SEDGWICK COUNTY ONLY)

1. CONTRACTOR TO VERIFY EXISTING SITE AND BUILDING CONDITIONS. INFORM ARCHITECT OF ANY CONFLICT BETWEEN EXISTING CONDITIONS AND CONSTRUCTION DOCUMENTS PRIOR TO STARTING CONSTRUCTION.
2. WALLS AND OTHER BUILDING COMPONENTS SHOWN WITH LIGHT GRAY LINES ARE EXISTING. THOSE SHOWN WITH SOLID BLACK LINES ARE PART OF THE NEW CONSTRUCTION.
3. ALL DIMENSIONS ON THIS PLAN ARE MEASURED TO GRID LINE AND/OR FACE OF STUD. U.N.O.
4. REF. SHEET G10.0 FOR RESPONSIBILITY SCHEDULE.
5. REF. SHEET A70.0 FOR DOOR SCHEDULE, WINDOW TYPES, PARTITION SCHEDULE, INTERIOR FINISH SCHEDULE AND RESTROOM ACCESSORY SCHEDULE.
6. REF. SHEET A70.0 FOR LOCATIONS OF ACCESSORIES THAT REQUIRE IN-WALL BLOCKING FOR ATTACHMENT.
7. REF. SHEET A70.0 FOR TYPICAL ACCESSIBILITY REQUIREMENTS AT PLUMBING FIXTURES AND ACCESSORIES.
8. REF. MECHANICALS FOR ALL PLUMBING FIXTURES AND CONNECTIONS.
9. REF. ELEC PLANS FOR ALL ELECTRICAL FIXTURES AND CONNECTIONS.

## KEYNOTE LEGEND

**CLIENT:**

HAMBLEN ROAD PROJECT LLC

**PROJECT:**

COLTON'S CROSSING - CLUBHOUSE

**ADDRESS:**

PROJECT ADDRESS

**PROJECT NO:**

###

**CHRISTOPHER CLARK, AIA, NCARB**  
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(316) 302-4472  
[chris@clarkitecture.net](mailto:chris@clarkitecture.net)

**ARCHITECTURE**  
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## STRUCTURAL

## MECHANICAL

## ELECTRICAL

**CIVIL & LANDSCAPE**

ISSUE DATE: MM/DD/YY

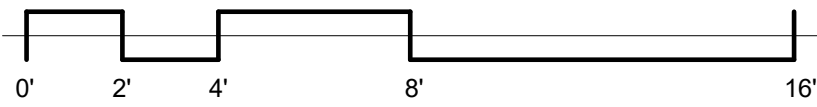
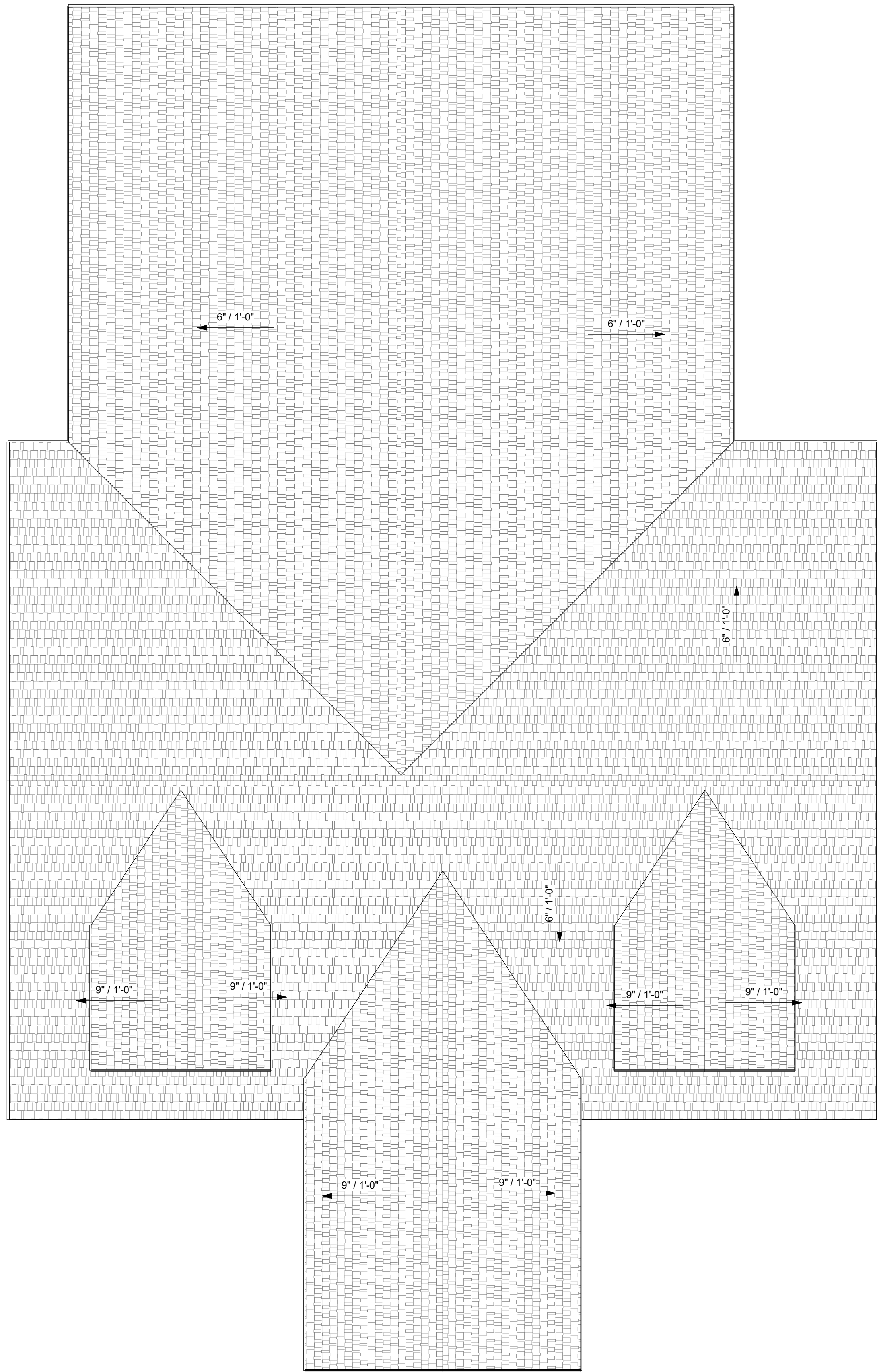
**ISSUED FOR:** DESIGN REVIEW

## REVISION SCHEDULE

[illegible]**PROFESSIONAL'S SEAL:**

## FLOOR PLAN

## A21.0



1. CONTRACTOR TO VERIFY EXISTING SITE AND BUILDING CONDITIONS. INFORM ARCHITECT OF ANY CONFLICT BETWEEN EXISTING CONDITIONS AND CONSTRUCTION DOCUMENTS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. ALL DIMENSIONS ON THIS PLAN ARE MEASURED TO GRID LINE AND/OR FACE OF STUD. U.O.
3. REF. MECH AND ELEC PLANS FOR ALL ROOF PENETRATION SIZES AND LOCATIONS. INFORM ARCHITECT OF ANY CONFLICT BETWEEN DISCIPLINES.
4. CONTRACTOR TO PROVIDE ATTIC VENTILATION BY MEANS OF ROOF VENTS AND PERFORATED SOFFITS SO THAT A NET FREE VENTILATING AREA OF 1/300 OF THE AREA OF THE ATTIC IS PROVIDED AS REQUIRED BY ASHRAE SECTION 62.2.2. THE NET FREE AREA REQUIRED SHALL BE SPLIT EQUALLY BETWEEN THE INTAKE AND THE EXHAUST FOR A BALANCED VENTILATION SYSTEM.

**CLIENT:**  
HAMBLEN ROAD PROJECT LLC

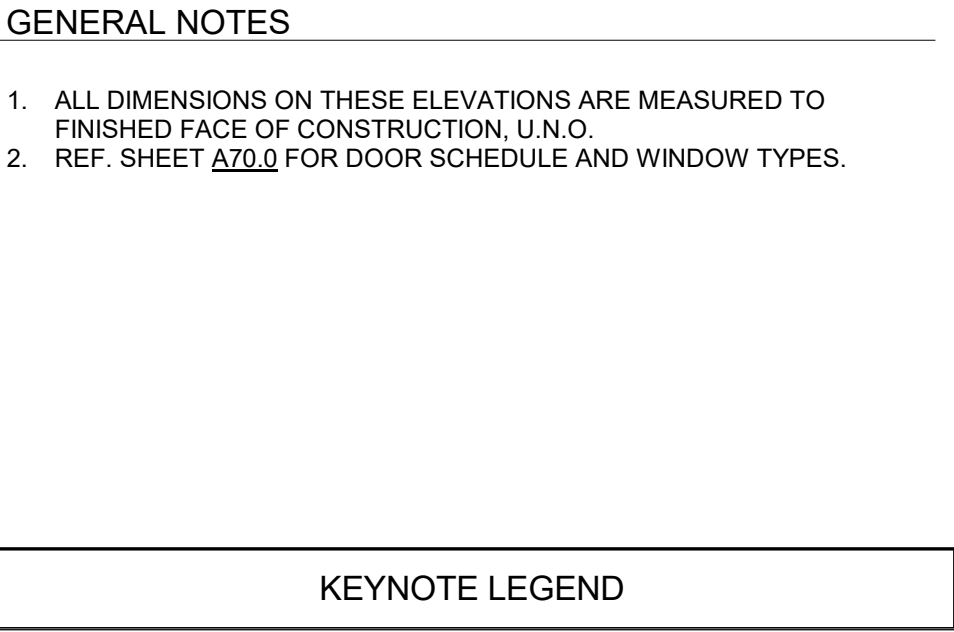
**PROJECT:**  
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## A26.0





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(316) 302-4472

**CLIENT:**  
HAMBLETON ROAD PROJECT LLC

**PROJECT:**  
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## STRUCTURAL

## MECHANICAL

## ELECTRICAL

**CIVIL & LANDSCAPE**

ISSUE DATE: 09/21/2022  
ISSUED FOR: DESIGN REVIEW

[illegible]**PROFESSIONAL'S SEAL:**

## BUILDING ELEVATIONS

## A30.0

Architectural elevation drawing of a single-story house. The house features a gabled roof with three dormer windows, each containing a six-pane window. The main facade has a central entrance with a glass door and a small side window, flanked by two large six-pane windows. The house is built on a brick foundation. The ground line is labeled "FFL 0". To the right of the house, there is a vertical dimension line labeled "BEARING HT 10'-0\"".

4 WEST ELEVATION / NEW  
1/4" = 1'-0"

