

Nov 02, 2022 - 1:25pm Plotted By: kurt.yoder V:\03570-e1_lukes_ess\03-DMG\Eng\Sheet\03570-SHTS-C006.dwg Layout: Cover Sheet

FINAL DEVELOPMENT PLAN

SAINT LUKE'S EAST HOSPITAL - ASC EXPANSION & RENOVATION

LEE'S SUMMIT, MO 64086

100 NE SAINT LUKE'S BLVD.

GENERAL NOTES

- All work in public easement and Right-of-Way shall be installed per the requirements and specifications of the City of Lee's Summit, Missouri.
- All existing topographic, survey, and utility information shown was provided to BHC in the form of an Topographic Survey prepared by BHC and dated July 12, 2022. Contractors shall satisfy themselves as to the existing conditions of the site and have all utilities located prior to commencing construction.
- The Contractor shall be required to obtain all Federal, State, and Local permits required for this project prior to commencing construction.
- Any work adjacent to or crossing existing streets requires proper traffic control devices. Traffic control devices shall be placed in accordance with the Manual of Uniform Traffic Control Devices (MUTCD).
- The contractor shall be required to demolish, remove and dispose of all existing structures, pavements, and features necessary to construct the improvements shown hereon. Any waste materials generated during construction shall be removed from the site by the Contractor and disposed of in accordance with all local, State, and Federal regulations governing such disposal.
- The contractor shall prevent any trash, debris, or liquid wastes from being disposed of in sanitary sewers, storm sewers, or open drainage systems.
- The Contractor shall be solely responsible to protect adjacent property, structures, and other improvements from damage during construction. In the event of damage to adjacent property, structures, or improvements, the contractor shall repair or replace such damage to the Owner's satisfaction at the Contractor's expense.
- Contractors at the site shall be solely responsible for jobsite safety for all aspects of work shown hereon.
- All work and materials used in the construction of the improvements shown hereon shall comply with all referenced standards, specifications, and plan notes.
- All buildings are shown as a reference only. All buildings shall be located and constructed per the Architectural drawings prepared by others.
- Contractor shall be responsible for contacting all utility companies for field locations of underground utilities affected by the contract. All existing utilities indicated on these plans are according to the best information available to the engineer; however, all utilities actually existing may not be shown. Utilities damaged through the negligence of the contractor to obtain the location of same shall be repaired or replaced at the expense of the contractor.
- Coordinate with facility representative as to when construction activities may be performed to work with the operations of the facility.
- Any and all hazards shall be properly identified and barricaded from access during all non-construction periods.
- A Right-of-Way permit is required from the City of Lee's Summit, Missouri Public Works Department for any work within the public right-of-way.

UTILITY CONTACTS

PLANNING AND DEVELOPMENT
CITY HALL
220 SE GREEN STREET
LEE'S SUMMIT, MO 64063
TEL: (816) 969-1600
FAX: (816) 969-1619

CODES ADMINISTRATION
CITY HALL
220 SE GREEN STREET
LEE'S SUMMIT, MO 64063
TEL: (816) 969-1200
FAX: (816) 969-1201

PUBLIC WORKS
CITY HALL
220 SE GREEN STREET
LEE'S SUMMIT, MO 64063
TEL: (816) 969-1800
FAX: (816) 969-1809

WATER UTILITIES
CITY HALL
1200 SE HAMBLEN RD
LEE'S SUMMIT, MO 64063
TEL: (816) 969-1900
FAX: (816) 969-1935

LEE'S SUMMIT FIRE DEPARTMENT
207 SE DOUGLAS ROAD
LEE'S SUMMIT, MO 64063
TEL: (816) 969-1300

ELECTRIC COMPANY
EVERGY
TEL: (888) 471-5275

TELEPHONE COMPANY
AT&T
TEL: (800) 464-7928

GAS COMPANY
MISSOURI GAS ENERGY
TEL: (816) 756-5252

BENCHMARKS

(DATUM: NAVD88)

BENCHMARK NUMBER: 1
CHISELED SQUARE ON THE FRONT FACE OF A DUAL MANHOLE CURB INLET, LOCATED 49.8 FEET NORTHWEST OF THE NORTHEAST CORNER OF THE NORTH END OF SAINT LUKE'S HOSPITAL.

ELEVATION= 982.88

BENCHMARK NUMBER: 2
CHISELED SQUARE ON THE FRONT FACE OF A CURB INLET, LOCATED ±97.4 FEET SOUTHWEST OF THE SOUTHEAST CORNER ON THE NORTH END SAINT LUKE'S HOSPITAL.

ELEVATION= 979.35

FLOOD STATEMENT

The subject property lies within Flood Zone " X " (unshaded) (Areas determined to be outside the 0.2% annual chance floodplain), as shown on the Jackson County, Missouri and Incorporated Areas Flood Insurance Rate Map (F.I.R.M.).

Map Number: 29095C0409G
Panel No: 409 of 625
Map Revised Date: January 20, 2017

NOTE: This statement is provided for informational purposes only and shall in no way constitute a basis for a flood certificate. No field work was performed to establish the boundaries of this zone. The information was derived by scaling the subject property on the above referenced map.



Sheet List Table	
Sheet Number	Sheet Title
CVR	Cover Sheet
C100	Demolition Plan - Building Expansion
C101	Demolition Plan - Parking Expansion
C200	Overall Site Plan
C201	Site Plan - Building Expansion
C202	Site Plan - Parking Expansion
C203	Dimension Plan - Building Expansion
C204	Dimension Plan - Parking Expansion
C300	Overall Grading Plan
C301	Detailed Grading Plan - Building Expansion
C302	Detailed Grading Plan - Parking Expansion
C303	Overall Erosion Control Plan
C304	Erosion Control Plan - Building Expansion
C305	Erosion Control Plan - Parking Expansion
C306	Erosion Control Details
C400	Overall Utility Plan
C401	Sanitary Plan & Profile
C402	Photometric Plan
C500	Overall Drainage Map
C501	Expansion Drainage Map
C502	Storm Plan & Profile
C503	Storm Plan & Profile
C504	Storm Plan & Profile
C505	Storm Plan & Profile
C506	Detention Basin Plan
C600	Retaining Wall Plan & Profile
C700	Civil Details 1
C701	Civil Details 2
C703	Civil Details 3
C704	Civil Details 4
L100	Landscape Plan
L200	Planting Details
L201	Irrigation Details 1
L202	Irrigation Details 2
A120	Architectural Site Plan Details
A214	Roof Plan and Details
A510	Exterior Elevations
A511	Exterior Elevations

SURVEYOR OF RECORD

BHC
712 STATE AVE.
KANSAS CITY, KANSAS 66101
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F (913) 663-1633
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EMAIL: BRENT.THOMPSON@IBHC.COM

CIVIL ENGINEER

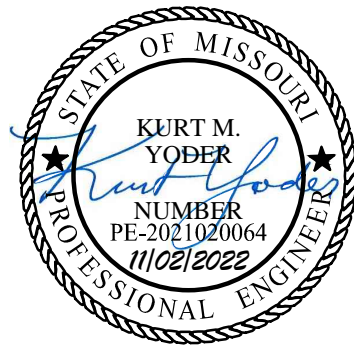
BHC
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OVERLAND PARK, KANSAS 66210
P (913) 663-1900
F (913) 663-1633
CONTACT: KURT YODER
EMAIL: KURT.YODER@IBHC.COM

ARCHITECT OF RECORD

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1710 WYANDOTTE ST.
KANSAS CITY, MISSOURI 64108
P (816) 763-9600
CONTACT: SAMUEL BECKMAN
EMAIL: SBECKMAN@ACIBOLAND.COM

OWNER/DEVELOPER

SAINT LUKE'S
4401 WORNALL ROAD
KANSAS CITY, MISSOURI 64111
(816) 932-3200
CONTACT: TJ STEINKIRCHNER
EMAIL: TSTEINKIRCHNER@SAINTLUKESKC.ORG



Kurt M. Yoder, Civil Engineer
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EAST HOSPITAL
ASC EXPANSION & RENOVATION
100 NE Saint Luke's Blvd
Lee's Summit, MO 64086
Final Development Plan

Date	11/01/2022
Job Number	3-21037
Drawn By	KMY
Checked By	KMY

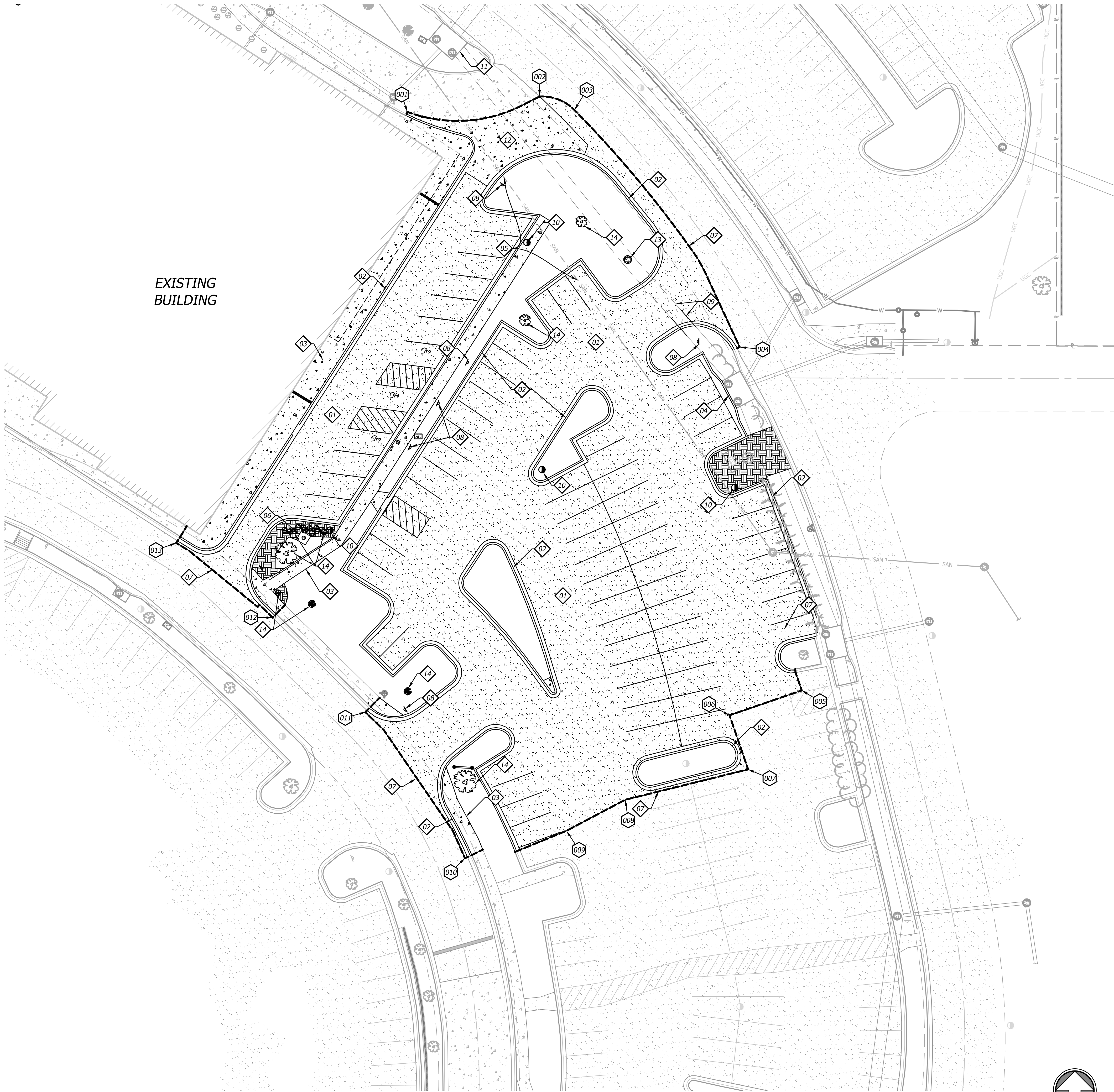
Revision		
Number	Date	Description

CVR

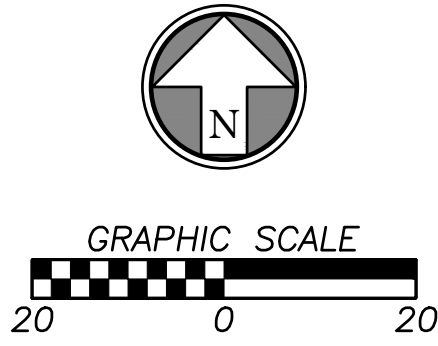
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COVER SHEET

Nov 02, 2022 - 10:15am Plotted By: kurt.yoder V:\033570-st. Luke's east\04-DWG\Eng\Sheet\DWG\033570-SHFS-DEM0.dwg Layout: Demo Plan - BLOC EYE



EXISTING
BUILDING



Points		
PNT#	NORTHING	EASTING
001	1010665.3769	2822810.6325
002	1010671.4699	2822863.1137
003	1010666.1269	2822876.9259
004	1010572.0843	2822942.4655
005	1010435.8537	2822967.0927
006	1010426.0022	2822938.4413
007	1010404.5284	2822945.8249
008	1010392.4896	2822897.0912
009	1010380.1714	2822873.7746
010	1010369.3130	2822833.4996
011	1010427.2440	2822794.0161
012	1010464.7257	2822757.2513
013	1010494.3534	2822718.9622
014	1010706.6061	2822646.3877
015	1010740.8680	2822593.2310
016	1010760.7079	2822695.2189
017	1010771.5610	2822698.8321
018	1010782.5031	2822656.5943

019	1010770.8482	2822654.9237
020	1010774.4995	2822629.4509
021	1010774.3650	2822627.6620
022	1010767.6407	2822010.5209
023	1010753.4676	2822995.7218
024	1010788.6900	2822960.5369
025	1010802.5162	2822973.3625
026	1010914.7347	2822800.0240
027	1010897.0483	2822792.5862
028	1010915.7557	2822742.4019
029	1010933.9612	2822748.3452
030	1010962.3994	2822609.6211
031	1010943.7337	2822606.8999
032	1010950.9468	2822557.4230
033	1010969.6020	2822560.1426
034	1010981.9767	2822476.0482
035	1010963.2161	2822473.3131
036	1010968.1229	2822375.0897
037	1010971.6933	2822374.9029

GENERAL NOTES

- Contractor shall verify the location, size, material and depth of all utilities prior to any excavation or construction activity.
- All materials shall be removed and disposed of off-site. It is the contractors responsibility to meet all applicable laws and regulations pertaining to the disposal of construction/demolition material.
- The Contractor shall ensure that any structures to remain which are damaged during demolition operations shall be repaired to meet current code, at no additional cost to the owner.
- The Contractor shall remove any and all existing debris which is encountered from the existing site. This shall include, but shall not be limited to, footings, concrete slabs, conduits, granular subgrade, utility services, and/or unsuitable structural fill material as determined by the owner's engineer. The cost for these removals shall be considered incidental to the project. Said debris shall become property of the contractor and it shall be the responsibility of the contractor to dispose of properly off-site.
- It shall be the Contractor's responsibility to meet all applicable laws and regulations pertaining to the disposal of construction/demolition material.
- The Contractor shall be responsible for obtaining and payment of any permits for demolition that pertain to this project.
- All protection fencing shall be installed prior to demolition/construction activity. The Contractor shall provide a 6-foot security fence around the entire job site with locked gated access points, if required by the owner or the city.
- All existing utilities removed during construction shall have their trenches backfilled with structural fill and be compacted to the requirements for structural fill.
- All removals required to properly perform the work (whether shown on the plans or not) shall be performed by the Contractor at no additional cost to the owner.

DEMOLITION NOTES

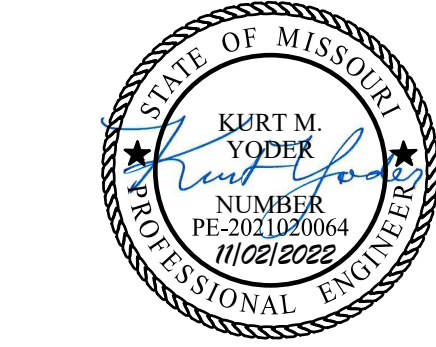
- REMOVE & DISPOSE OF EXISTING ASPHALT.
- REMOVE & DISPOSE OF EXISTING CURB.
- REMOVE AND DISPOSE OF CONCRETE SIDEWALK.
- REMOVE THROAT ON WEST SIDE OF INLET. FILL WEST INLET OPENING WITH MORTAR TO CLOSE OFF OPENING.
- REMOVE AND DISPOSE OF ENOUGH 8" PVC SANITARY MAIN TO ALLOW PLACEMENT OF NEW MANHOLE. ABANDON REMAINING SANITARY MAIN AND FILL WITH FLOWABLE FILL.
- EXISTING UTILITY TUNNEL ACCESS LID. REMOVE ACCESS LID.
- SAW CUT EXISTING PAVEMENT TO FULL DEPTH AND CLEAN EDGE.
- REMOVE & DISPOSE OF EXISTING PARKING SIGNS.
- REMOVE AND DISPOSE OF ENOUGH 60" RCP STORM MAIN TO ALLOW PLACEMENT OF NEW JUNCTION BOX. ABANDON REMAINING STORM MAIN AND FILL WITH FLOWABLE FILL.
- REMOVE EXISTING LIGHT POLE.
- PLUG SOUTHEAST PIPE OPENING WITH BRICK AND MORTAR.
- REMOVE & DISPOSE OF CONCRETE PAVEMENT.
- EXISTING 8x8 CONCRETE STORM JUNCTION BOX. REMOVE & DISPOSE OF LID AND TOP 2 FT OF STRUCTURE. FILL STRUCTURE WITH FLOWABLE FILL.
- REMOVE AND DISPOSE OF EXISTING LANDSCAPING.

COORDINATE LEGEND

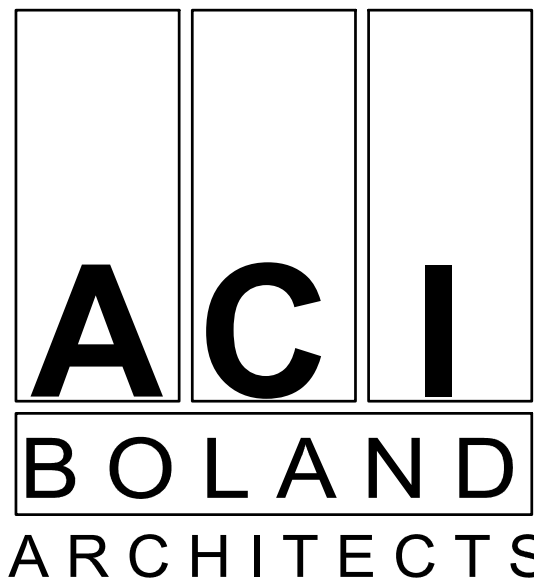
POINT LOCATION INDICATOR

DEMOLITION LEGEND

- SAW CUT LINE
- ASPHALT PAVEMENT TO BE REMOVED
- CONCRETE SIDEWALK TO BE REMOVED
- CONCRETE PAVEMENT TO BE REMOVED
- EXISTING TREE LINE
- EXISTING TREE LINE TO BE REMOVED



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100 NE Saint Luke's Blvd
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Final Development Plan

Date 11/01/2022
Job Number 3-21037
Drawn By KMY
Checked By KMY

Revision
Number Date Description

C100

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DEMOLITION PLAN -
BUILDING EXPANSION

V:\033570-01- Luke east\04-DWG\Eng\Sheet\PSA\033570-SHFS-DEM.dwg Layout: Demo Plan - PARK EXP Nov 02, 2022 - 10:15am Plotted By: kurt.yoder

GENERAL NOTES

- Contractor shall verify the location, size, material and depth of all utilities prior to any excavation or construction activity.
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- All removals required to properly perform the work (whether shown on the plans or not) shall be performed by the Contractor at no additional cost to the owner.

DEMOLITION NOTES

- REMOVE & DISPOSE OF EXISTING ASPHALT.
- REMOVE & DISPOSE OF EXISTING CURB.
- CURB INLET TO REMAIN. REMOVE THROAT AND REBUILD THROAT. PLUG STORM MAIN OPENING FROM THE EAST WITH BRICK AND MORTAR.
- REMOVE CURB INLET. ABANDON STORM MAIN TO THE WEST.
- REMOVE PARKING STALL STRIPING FROM PAVEMENT. PAVEMENT TO REMAIN HERE.
- NOT USED.
- SAW CUT EXISTING PAVEMENT TO FULL DEPTH AND CLEAN EDGE.
- REMOVE & DISPOSE OF EXISTING PARKING SIGNS.
- NOT USED.
- REMOVE EXISTING LIGHT POLE.
- CLEAR TREES AND BRUSH TO ALLOW FOR GRADING.
- REMOVE & DISPOSE OF TRASH ENCLOSURE.
- REMOVE & DISPOSE OF CONCRETE PAVEMENT.
- REMOVE SPRINKLER EQUIPMENT
- REMOVE & DISPOSE OF CONCRETE STORM PIPES AND OUTLET STRUCTURE
- REMOVE & DISPOSE OF CONCRETE STORM PIPES AND HEADWALLS TO ALLOW FOR PLACEMENT OF JUNCTION BOXES. SEE STORM PLANS FOR LOCATIONS OF JUNCTION BOXES.
- NOT USED.
- REMOVE AND DISPOSE OF EXISTING LANDSCAPING.

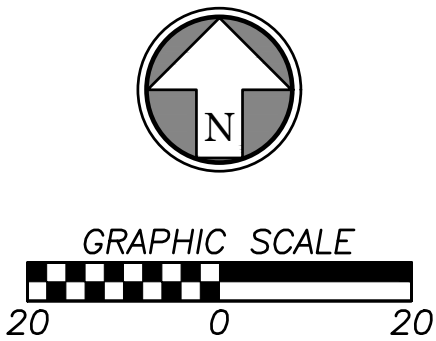
EXISTING
BUILDING

Points		
PNT#	NORTHING	EASTING
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035	1010963.2161	2822473.3131
036	1010968.1229	2822375.0897
037	1010971.6933	2822374.9029

DEMOLITION LEGEND

- SAW CUT LINE
- ASPHALT PAVEMENT TO BE REMOVED
- CONCRETE SIDEWALK TO BE REMOVED
- CONCRETE PAVEMENT TO BE REMOVED
- EXISTING TREE LINE
- EXISTING TREE LINE TO BE REMOVED



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EAST HOSPITAL
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100 NE Saint Luke's Blvd
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Final Development Plan

Date 11/01/2022
Job Number 3-21037
Drawn By KMY
Checked By KMY

Revision
Number Date Description

C101

DEMOLITION PLAN -
PARKING EXPANSION



Kurt M. Yoder, Civil Engineer
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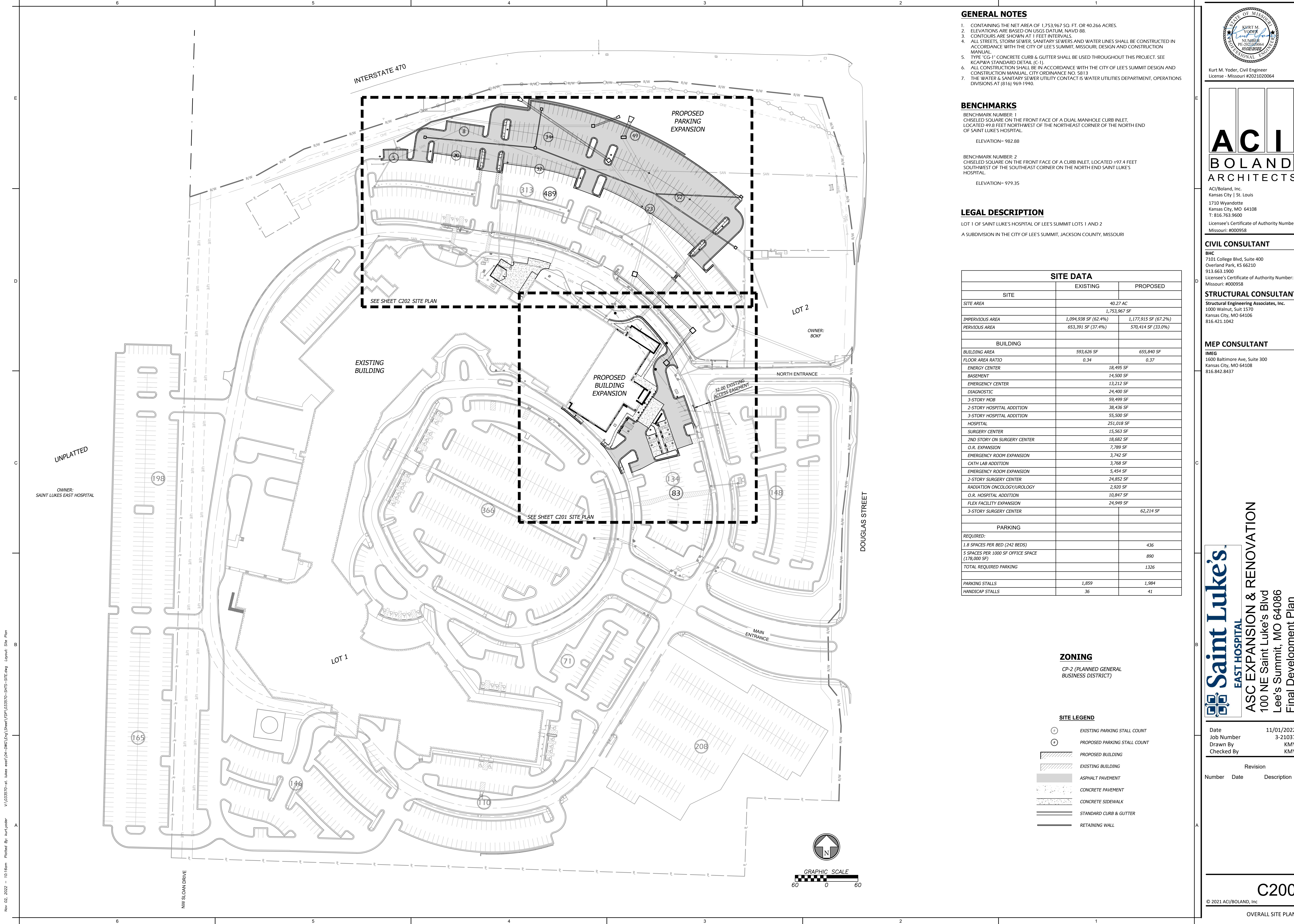
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Nov 02, 2022 - 10:16am Plotted By: kurt.yoder V:\033570-st. lukes east\04-dwg\Eng\Sheet\CPA\033570-SHFS-SITE.dwg Layout: Site Plan



GENERAL NOTES

1. CONTAINING THE NET AREA OF 1,753,967 SQ. FT. OR 40.266 ACRES.
2. ELEVATIONS ARE BASED ON USGS DATUM, NAVD 88.
3. CONTOURS ARE SHOWN AT 1 FEET INTERVALS.
4. ALL STREETS, STORM SEWER, SANITARY SEWERS AND WATER LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LEE'S SUMMIT, MISSOURI, DESIGN AND CONSTRUCTION MANUAL.
5. TYPE "CG-1" CONCRETE CURB & GUTTER SHALL BE USED THROUGHOUT THIS PROJECT. SEE KCAPWA STANDARD DETAIL (C-1).
6. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF LEE'S SUMMIT DESIGN AND CONSTRUCTION MANUAL, CITY ORDINANCE NO. 5813
7. THE WATER & SANITARY SEWER UTILITY CONTACT IS WATER UTILITIES DEPARTMENT, OPERATIONS DIVISIONS AT (816) 969-1940.

BENCHMARKS

BENCHMARK NUMBER: 1
CHISELED SQUARE ON THE FRONT FACE OF A DUAL MANHOLE CURB INLET,
LOCATED 49.8 FEET NORTHWEST OF THE NORTHEAST CORNER OF THE NORTH END
OF SAINT LUKE'S HOSPITAL.

ELEVATION~ 982.88

BENCHMARK NUMBER: 2
CHISELED SQUARE ON THE FRONT FACE OF A CURB INLET, LOCATED +97.4 FEET
SOUTHWEST OF THE SOUTHEAST CORNER ON THE NORTH END SAINT LUKE'S
HOSPITAL.

ELEVATION~ 979.35

LEGAL DESCRIPTION

LOT 1 OF SAINT LUKE'S HOSPITAL OF LEE'S SUMMIT LOTS 1 AND 2

A SUBDIVISION IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

SITE DATA		
SITE	EXISTING	PROPOSED
SITE AREA	40.27 AC	
	1,753,967 SF	
IMPERVIOUS AREA	1,094,938 SF (62.4%)	1,177,915 SF (67.2%)
PERVIOUS AREA	653,391 SF (37.4%)	570,414 SF (33.0%)
BUILDING		
BUILDING AREA	593,626 SF	655,840 SF
FLOOR AREA RATIO	0.34	0.37
ENERGY CENTER		18,495 SF
BASEMENT		14,500 SF
EMERGENCY CENTER		13,212 SF
DIAGNOSTIC		24,400 SF
3-STORY MOB		59,499 SF
2-STORY HOSPITAL ADDITION		38,436 SF
3-STORY HOSPITAL ADDITION		55,500 SF
HOSPITAL		251,018 SF
SURGERY CENTER		15,563 SF
2ND STORY ON SURGERY CENTER		18,682 SF
O.R. EXPANSION		7,789 SF
EMERGENCY ROOM EXPANSION		3,742 SF
CATH LAB ADDITION		3,768 SF
EMERGENCY ROOM EXPANSION		5,454 SF
2-STORY SURGERY CENTER		24,852 SF
RADIATION ONCOLOGY/UROLOGY		2,920 SF
O.R. HOSPITAL ADDITION		10,847 SF
FLEX FACILITY EXPANSION		24,949 SF
3-STORY SURGERY CENTER		62,214 SF
PARKING		
REQUIRED:		
1.8 SPACES PER BED (242 BEDS)		436
5 SPACES PER 1000 SF OFFICE SPACE (178,000 SF)		890
TOTAL REQUIRED PARKING		1326
PARKING STALLS	1,859	1,984
HANDICAP STALLS	36	41

ZONING

CP-2 (PLANNED GENERAL
BUSINESS DISTRICT)

SITE LEGEND

- EXISTING PARKING STALL COUNT
- PROPOSED PARKING STALL COUNT
- PROPOSED BUILDING
- EXISTING BUILDING
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- CONCRETE SIDEWALK
- STANDARD CURB & GUTTER
- RETAINING WALL



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License - Missouri #2021020064



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ASC EXPANSION & RENOVATION
100 NE Saint Luke's Blvd
Lee's Summit, MO 64086
Final Development Plan

Date 11/01/2022
Job Number 3-21037
Drawn By KMY
Checked By KMY

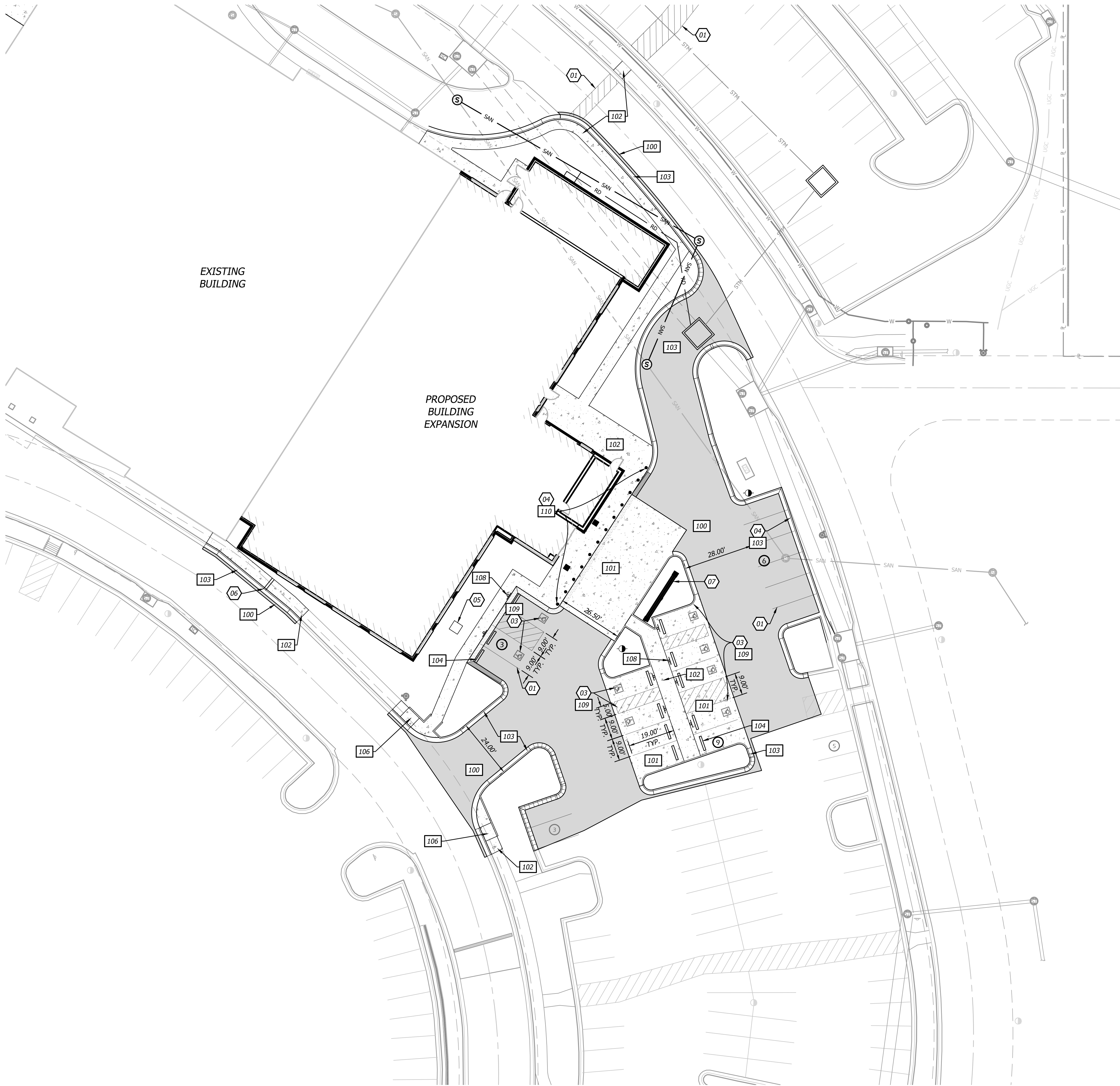
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OVERALL SITE PLAN

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Nov 02, 2022 - 10:17am Plotted By: kurt.yoder



CONSTRUCTION NOTES

- 01 LEAD FREE, WATER-BORNE EMULSION BASED TRAFFIC PAINT FOR PARKING LOT STRIPING (WHITE ON ASPHALT & YELLOW ON CONCRETE).
- 02 PROPOSED SITE LIGHTING, REFER TO LIGHTING PLANS.
- 03 ADA PARKING AREA. 2% MAXIMUM SLOPE IN ANY DIRECTION.
- 04 INSTALL CONCRETE BOLLARDS 6 FT APART.
- 05 PROPOSED ACCESS LID TO EXISTING TUNNEL. DESIGN OF CONCRETE ACCESS AND LID BY STRUCTURAL.
- 06 PROPOSED 6" TRENCH DRAIN THROUGH SIDEWALK WITH SOLID LID FOR OVERFLOW DRAIN FROM BUILDING. TRENCH DRAIN TO DRAIN TO PAVEMENT THROUGH CURB.
- 07 PROPOSED CANOPY AND FOOTING. SEE ARCHITECTURAL DRAWINGS FOR DETAILS.

DETAILS

SEE CONSTRUCTION DETAILS - SHEETS C700-C703

- 100 ASPHALT PAVEMENT
- 101 CONCRETE PAVEMENT
- 102 CONCRETE SIDEWALK SECTION
- 103 CONCRETE CURB & GUTTER
- 104 CONCRETE WHEEL STOP
- 106 SIDEWALK RAMP
- 108 (ADA) HANDICAP PARKING SIGNAGE
- 109 (ADA) HANDICAP PARKING STRIPING
- 110 STEEL/CONCRETE BOLLARD

ZONING

CP-2 (PLANNED COMMUNITY COMMERCIAL)

SITE LEGEND

- EXISTING PARKING STALL COUNT
- PROPOSED PARKING STALL COUNT
- PROPOSED BUILDING
- EXISTING BUILDING
- STANDARD CURB & GUTTER
- DRY CURB & GUTTER
- ZERO HEIGHT CURB
- TRANSITION CURB
- ASPHALT PAVEMENT
- CONCRETE SIDEWALK



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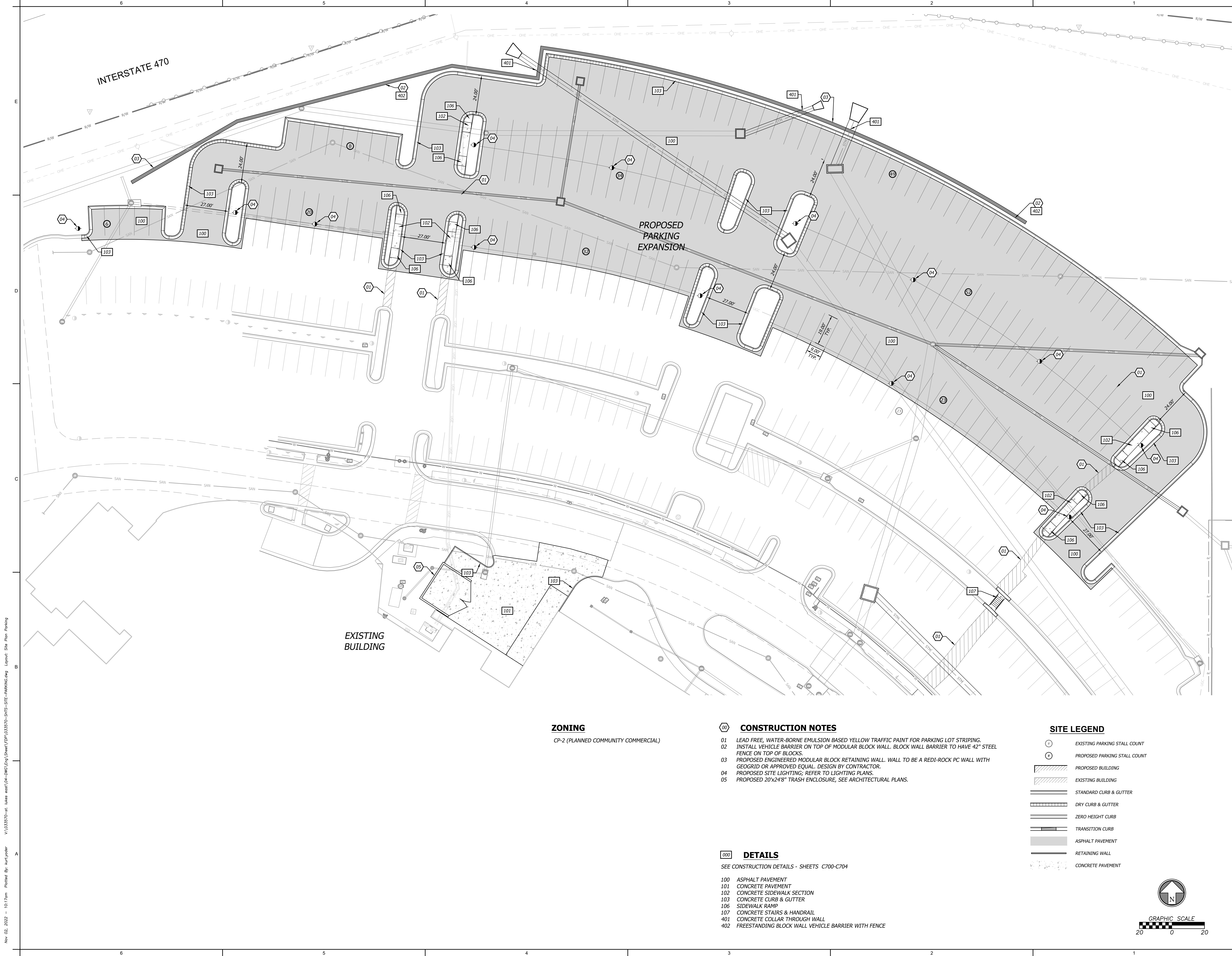
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SITE PLAN - BUILDING
EXPANSION

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ZONING

CP-2 (PLANNED COMMUNITY COMMERCIAL)

CONSTRUCTION NOTES

- 01 LEAD FREE, WATER-BORNE EMULSION BASED YELLOW TRAFFIC PAINT FOR PARKING LOT STRIPING.
02 INSTALL VEHICLE BARRIER ON TOP OF MODULAR BLOCK WALL. BLOCK WALL BARRIER TO HAVE 42" STEEL FENCE ON TOP OF BLOCKS.
03 PROPOSED ENGINEERED MODULAR BLOCK RETAINING WALL. WALL TO BE A REDI-ROCK PC WALL WITH GEORGRID OR APPROVED EQUAL. DESIGN BY CONTRACTOR.
04 PROPOSED SITE LIGHTING; REFER TO LIGHTING PLANS.
05 PROPOSED 20'x24'8" TRASH ENCLOSURE, SEE ARCHITECTURAL PLANS.

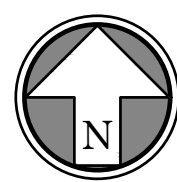
DETAILS

SEE CONSTRUCTION DETAILS - SHEETS C700-C704

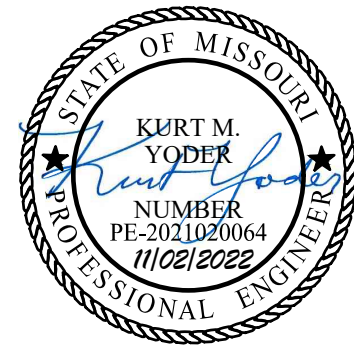
- 100 ASPHALT PAVEMENT
101 CONCRETE PAVEMENT
102 CONCRETE SIDEWALK SECTION
103 CONCRETE CURB & GUTTER
106 SIDEWALK RAMP
107 CONCRETE STAIRS & HANDRAIL
401 CONCRETE COLLAR THROUGH WALL
402 FREESTANDING BLOCK WALL VEHICLE BARRIER WITH FENCE

SITE LEGEND

- EXISTING PARKING STALL COUNT
PROPOSED PARKING STALL COUNT
PROPOSED BUILDING
EXISTING BUILDING
STANDARD CURB & GUTTER
DRY CURB & GUTTER
ZERO HEIGHT CURB
TRANSITION CURB
ASPHALT PAVEMENT
RETAINING WALL
CONCRETE PAVEMENT



GRAPHIC SCALE
20 0 20



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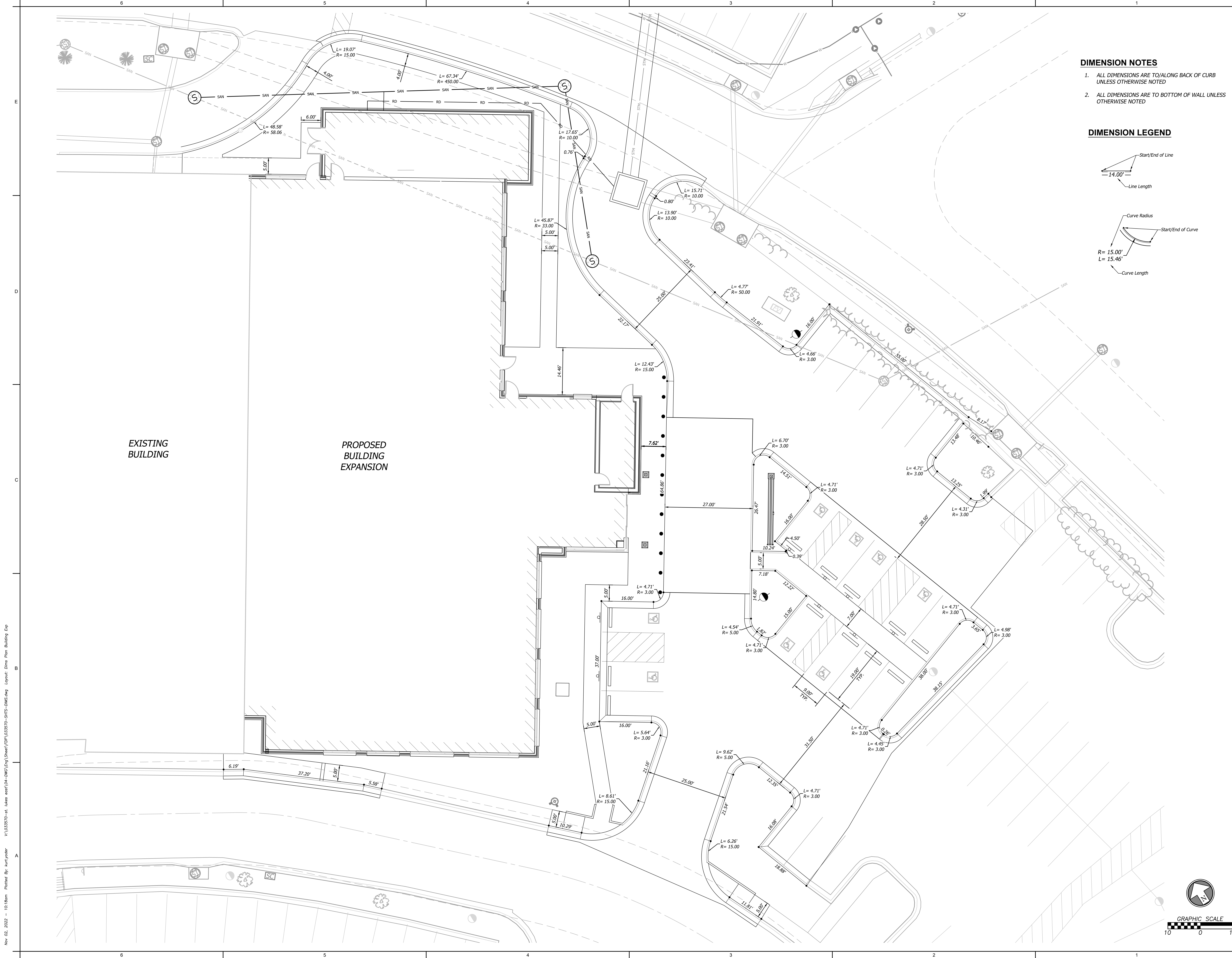
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SITE PLAN - PARKING
EXPANSION

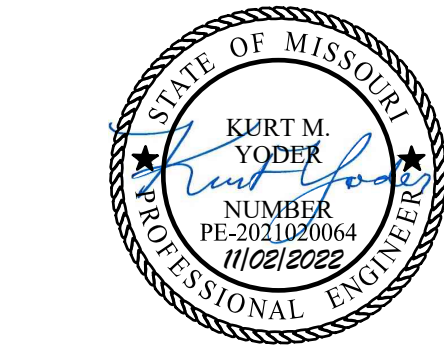
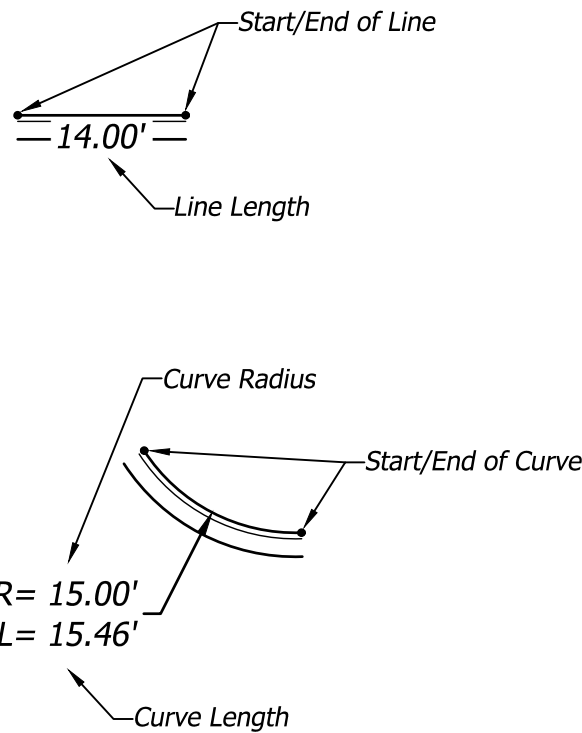
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DIMENSION NOTES

1. ALL DIMENSIONS ARE TO/ALONG BACK OF CURB UNLESS OTHERWISE NOTED
2. ALL DIMENSIONS ARE TO BOTTOM OF WALL UNLESS OTHERWISE NOTED

DIMENSION LEGEND



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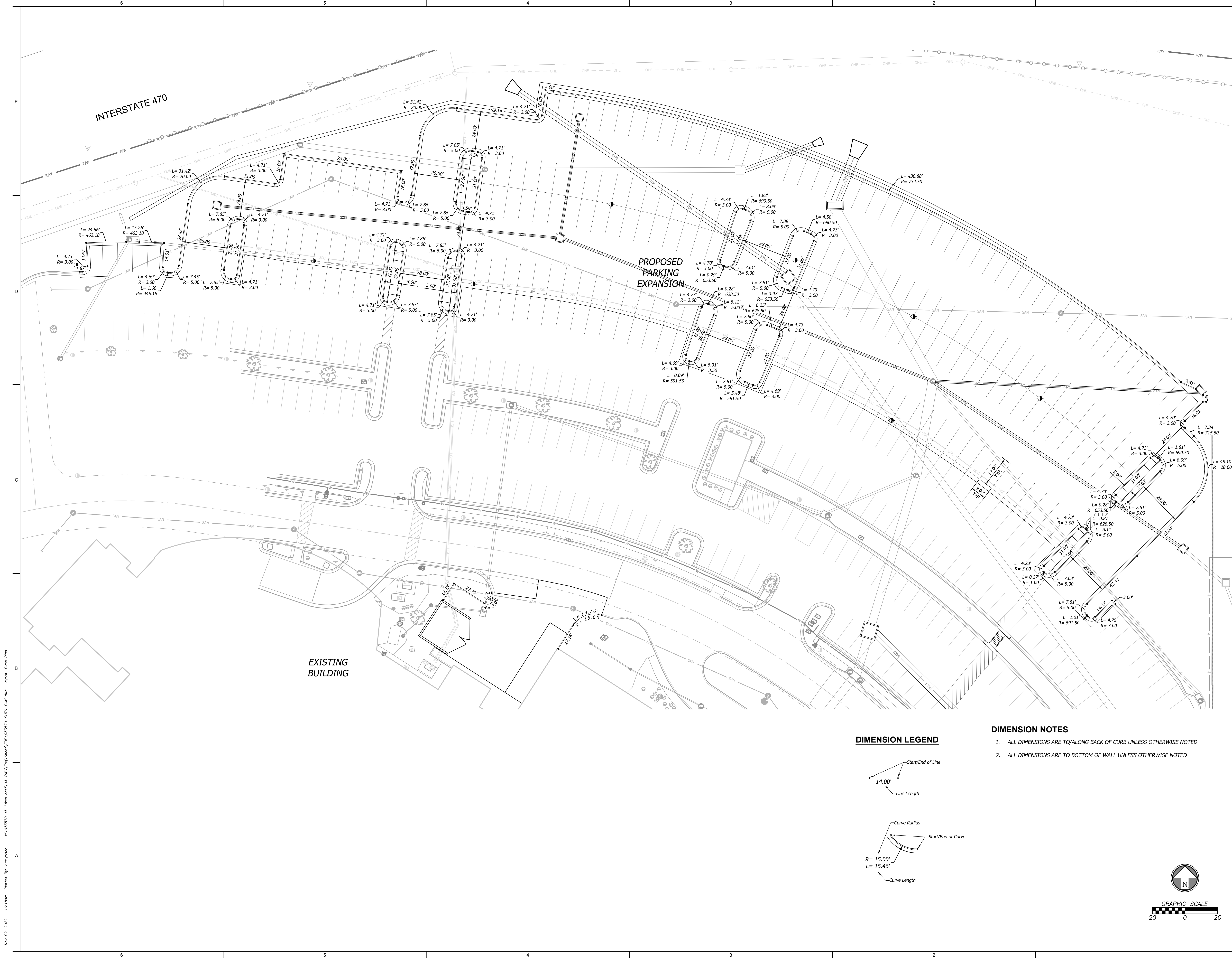
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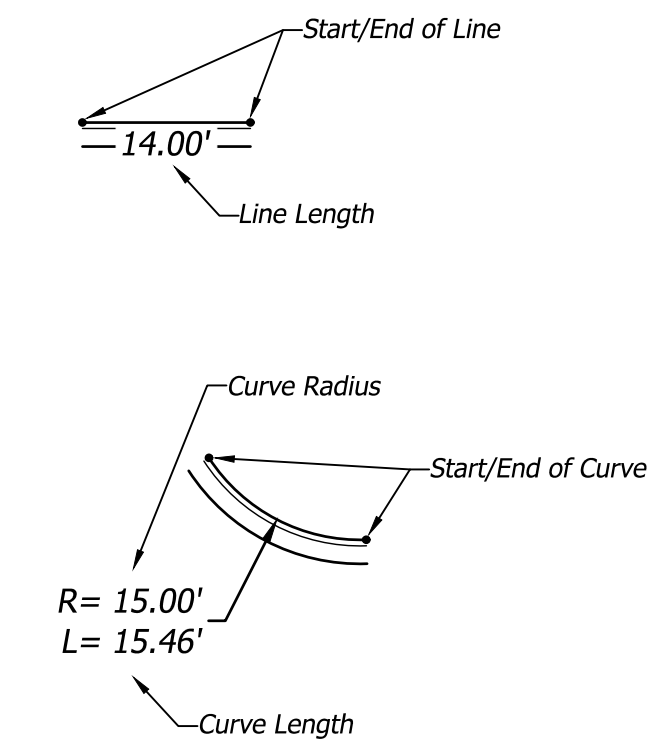
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DIMENSION LEGEND



DIMENSION NOTES

1. ALL DIMENSIONS ARE TO/ALONG BACK OF CURB UNLESS OTHERWISE NOTED
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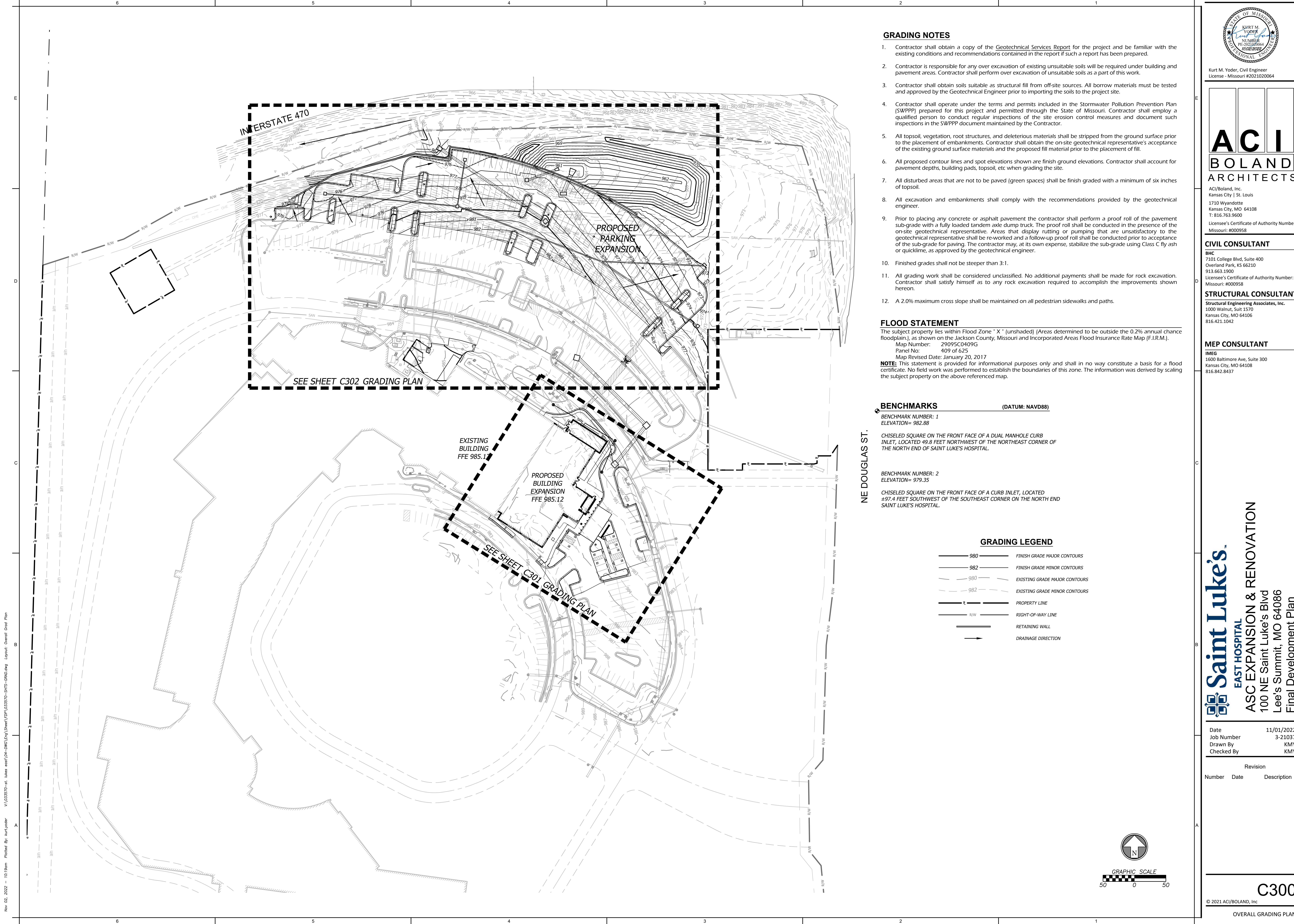
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DIMENSION PLAN - PARKING EXPANSION

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GRADING NOTES

- Contractor shall obtain a copy of the Geotechnical Services Report for the project and be familiar with the existing conditions and recommendations contained in the report if such a report has been prepared.
- Contractor is responsible for any over excavation of existing unsuitable soils will be required under building and pavement areas. Contractor shall perform over excavation of unsuitable soils as a part of this work.
- Contractor shall obtain soils suitable as structural fill from off-site sources. All borrow materials must be tested and approved by the Geotechnical Engineer prior to importing the soils to the project site.
- Contractor shall operate under the terms and permits included in the Stormwater Pollution Prevention Plan (SWPPP) prepared for this project and permitted through the State of Missouri. Contractor shall employ a qualified person to conduct regular inspections of the site erosion control measures and document such inspections in the SWPPP document maintained by the Contractor.
- All topsoil, vegetation, root structures, and deleterious materials shall be stripped from the ground surface prior to the placement of embankments. Contractor shall obtain the on-site geotechnical representative's acceptance of the existing ground surface materials and the proposed fill material prior to the placement of fill.
- All proposed contour lines and spot elevations shown are finish ground elevations. Contractor shall account for pavement depths, building pads, topsoil, etc when grading the site.
- All disturbed areas that are not to be paved (green spaces) shall be finish graded with a minimum of six inches of topsoil.
- All excavation and embankments shall comply with the recommendations provided by the geotechnical engineer.
- Prior to placing any concrete or asphalt pavement the contractor shall perform a proof roll of the pavement sub-grade with a fully loaded tandem axle dump truck. The proof roll shall be conducted in the presence of the on-site geotechnical representative. Areas that display rutting or pumping that are unsatisfactory to the geotechnical representative shall be re-worked and a follow-up proof roll shall be conducted prior to acceptance of the sub-grade for paving. The contractor may, at its own expense, stabilize the sub-grade using Class C fly ash or quicklime, as approved by the geotechnical engineer.
- Finished grades shall not be steeper than 3:1.
- All grading work shall be considered unclassified. No additional payments shall be made for rock excavation. Contractor shall satisfy himself as to any rock excavation required to accomplish the improvements shown hereon.
- A 2.0% maximum cross slope shall be maintained on all pedestrian sidewalks and paths.

FLOOD STATEMENT

The subject property lies within Flood Zone "X" (unshaded) [Areas determined to be outside the 0.2% annual chance floodplain], as shown on the Jackson County, Missouri and Incorporated Areas Flood Insurance Rate Map (F.I.R.M.).
Map Number: 29095C0409G
Panel No: 409 of 625
Map Revised Date: January 20, 2017
NOTE: This statement is provided for informational purposes only and shall in no way constitute a basis for a flood certificate. No field work was performed to establish the boundaries of this zone. The information was derived by scaling the subject property on the above referenced map.

BENCHMARKS

(DATUM: NAVD88)

BENCHMARK NUMBER: 1
ELEVATION= 982.88

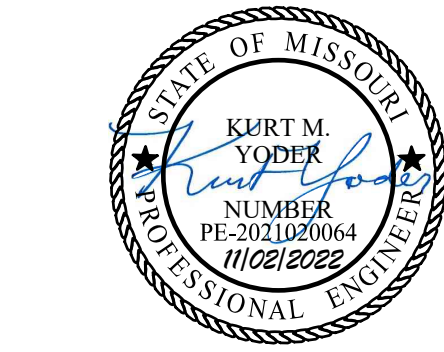
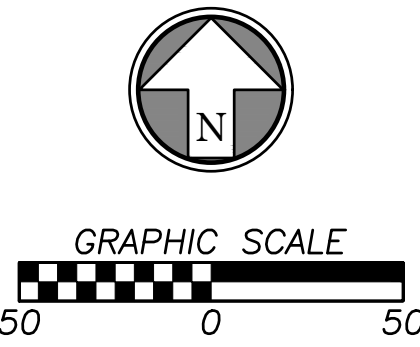
CHISELED SQUARE ON THE FRONT FACE OF A DUAL MANHOLE CURB INLET, LOCATED 49.8 FEET NORTHWEST OF THE NORTHEAST CORNER OF THE NORTH END OF SAINT LUKE'S HOSPITAL.

BENCHMARK NUMBER: 2
ELEVATION= 979.35

CHISELED SQUARE ON THE FRONT FACE OF A CURB INLET, LOCATED ±97.4 FEET SOUTHWEST OF THE SOUTHEAST CORNER ON THE NORTH END SAINT LUKE'S HOSPITAL.

GRADING LEGEND

- 980 FINISH GRADE MAJOR CONTOURS
- 982 FINISH GRADE MINOR CONTOURS
- 980 EXISTING GRADE MAJOR CONTOURS
- 982 EXISTING GRADE MINOR CONTOURS
- P PROPERTY LINE
- R/W RIGHT-OF-WAY LINE
- RETAINING WALL
- DRAINAGE DIRECTION



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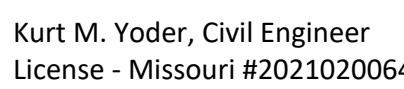
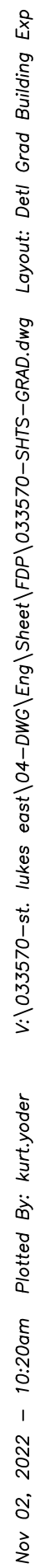
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OVERALL GRADING PLAN



0000.00 FG	FINISHED GRADE ELEVATION
0000.00 TC	TOP OF CURB ELEVATION
0000.00 TP	TOP OF PAVEMENT ELEVATION
0000.00 TW	FG @ TOP OF RETAINING WALL
0000.00 BW	FG @ BOTTOM OF RETAINING WALL
0000.00 ME	MATCH EXISTING GRADE
0000.00 TE	TOP ELEVATION OF STRUCTURE
0000.00 XX HIGH POINT	HIGH POINT AT SPECIFIC CALLOUT
0000.00 XX LOW POINT	LOW POINT AT SPECIFIC CALLOUT
<u>1.00%</u>	SLOPE INDICATOR

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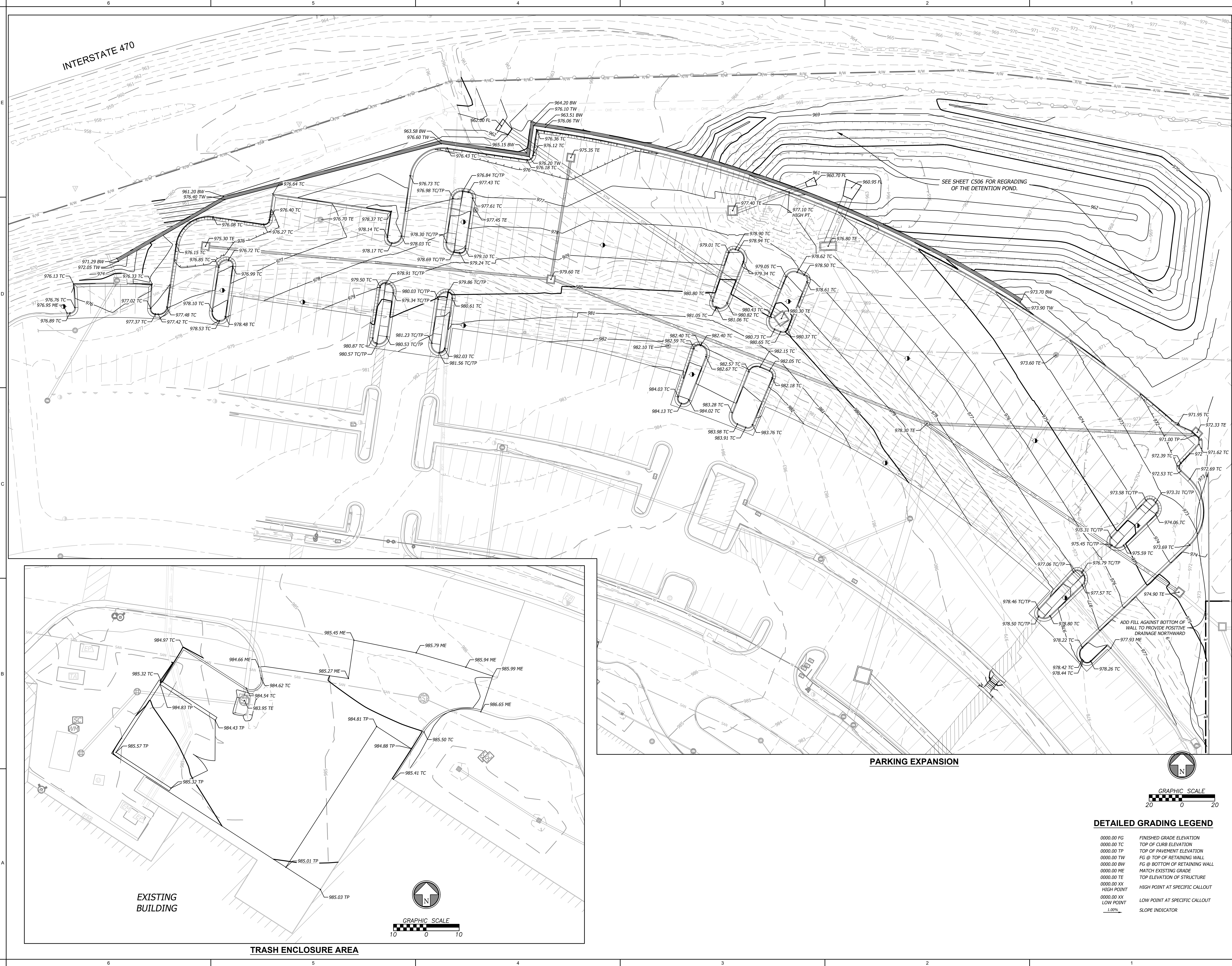
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DETAILED GRADING
PLAN - BUILDING
EXPANSION

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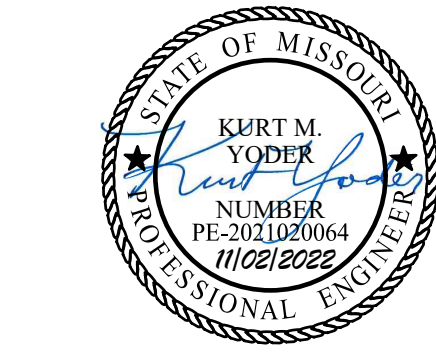
DETAILED GRADING
PLAN - PARKING
EXPANSION

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EROSION AND SEDIMENT CONTROL GENERAL NOTES

1. Prior to Land Disturbance activities, the contractor shall:
- Delineate the outer limits of any natural stream corridor designated with construction fencing.
 - Install perimeter controls and request the inspection of the pre-construction erosion and sediment control measures designated on the approved erosion and sediment control plan. Land disturbance work shall not proceed until there is a satisfactory inspection.
 - Identify the limits of construction on the ground with easily recognizable indications such as construction staking, construction fencing, and placement of physical barriers or other means acceptable to the City inspector and in conformance with the erosion and sediment control plan.
2. The contractor shall comply with all requirements of the Storm Water Pollution Prevention Plan, including but not limited to:
- The contractor shall seed, mulch, or otherwise stabilize any disturbed area where the land disturbance activity has ceased for more than 14 days.
 - The contractor shall perform inspections of erosion and sediment control measures at the following minimum intervals:
 - o During active construction phases - at least once per week
 - o During periods of inactivity - at least once per 14 days
 - o After each rainfall event of 1/2 inch or more - within 24 hours of the rain event
 - The contractor shall maintain an inspection log including the inspector's name, date of inspection, observations as to the effectiveness of the erosion and sediment control measures, actions necessary to correct deficiencies, when the deficiencies were corrected, and the signature of the person performing the inspection. The inspection log shall be available for review by the regulatory authority.
 - The contractor shall have the erosion and sediment control plan routinely updated to show all changes and amendments to the plan. A copy of the erosion and sediment control plan shall be kept on site and made available for review by the regulatory authority.
3. Unless otherwise noted in the plans, all seeding must conform to Division II-Construction and Materials Specification-Section 2150 published by the Kansas City Metropolitan Chapter of the American Public Works Association dated May 21, 2008. Permanent seeding shall be installed after completion of final grading except when seeding will occur outside of the acceptable seeding season as specified in Section 2150. When temporary seeding is installed, permanent seeding shall be installed at the next seeding season. Temporary seeding shall not be used as a stabilization measure for a period exceeding 12 months. The Permit will not be closed until permanent seeding has been established to a minimum of 70% density over the entire disturbed area.
4. The contractor shall maintain installed erosion and sediment control devices in a manner that preserves their effectiveness for preventing sediment from leaving the site or entering a sensitive area such as a natural stream corridor, areas of the site intended to be left undisturbed, a storm sewer, or an on-site drainage channel.
5. The contractor is responsible for providing erosion and sediment control for the duration of a project. If the City determines that the BMPs in place do not provide adequate erosion and sediment control at any time during the project, the contractor shall install additional or alternate measures that provide effective control.
6. Concrete wash or rinse water from concrete mixing equipment, tools and/or ready-mix trucks, tools, etc. may not be discharged into or be allowed to run directly into any existing water body or storm inlet. One or more locations for concrete wash out will be designated on site, such that discharges during concrete washout will be contained in a small area where waste concrete can solidify in place.
7. Chemicals or materials capable of causing pollution may only be stored onsite in their original container. Materials stored outside must be in closed and sealed water-proof containers and located outside of drainage ways or areas subject to flooding. Locks and other means to prevent or reduce vandalism shall be used. Spills will be reported as required by law and immediate actions taken to contain them.
8. Silt fences and erosion control BMPs which are shown along the back of curb must be installed within two weeks of curb backfill and prior to placement of base asphalt. Exact locations of these erosion control methods may be field adjusted to minimize conflicts with utility construction; however, anticipated disturbance by utility construction shall not delay installation.
9. Interior Silt Fence as necessary during construction. Portions may be limited as vegetation is established and hardscape is installed. Entire length may be installed at the contractor's option to aid in stabilizing slopes.
10. Private Erosion & Sediment Control inspections are required in accordance with NPDES schedule and requirements. After inspections, provide the City of Lee's Summit with reports and documentation.



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OVERALL EROSION CONTROL PLAN

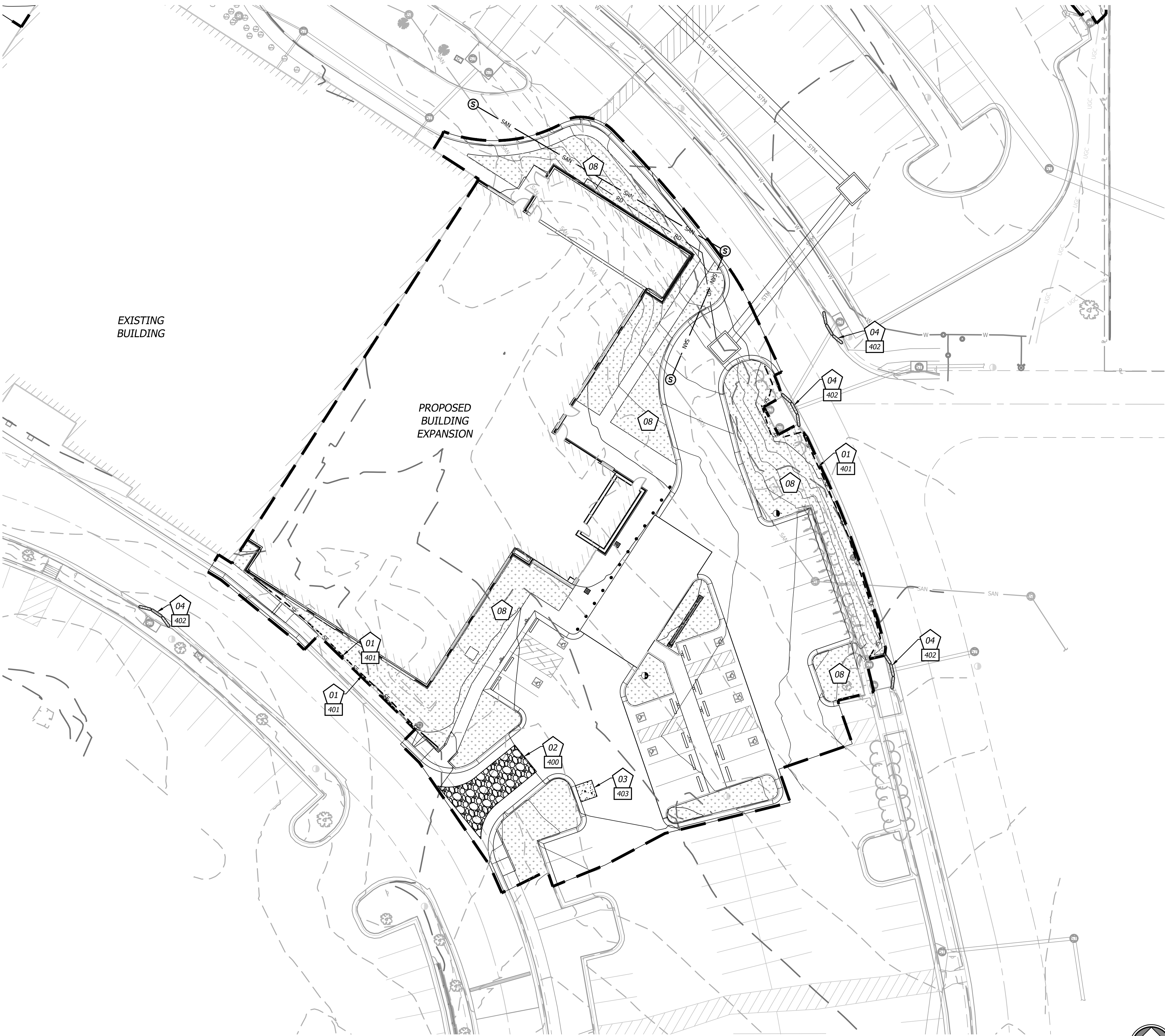
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6 5 4 3 2 1

EROSION AND SEDIMENT CONTROL GENERAL NOTES

See Sheet C303 for Erosion Control Notes.



EROSION & SEDIMENT CONTROL STAGING CHART					
Phase	Project Stage	BMP Plan Ref. No.	BMP Description	Remove After Stage:	Notes:
Phase I (PRE-CON)	A - Place BMP's Prior to Land Disturbance	01	Perimeter Silt Fence	E	Place as shown on plan
		02	Construction Entrance & Staging Area	D	Place as shown on plan
		03	Concrete Wash-Out	D	Place as shown on plan
		04	Existing Inlet Protection	E	Place as shown on plan
Phase II (MID-CON)	B - After Stripping, Grubbing, & Mass Grading	05	Interior Silt Fence	E	Place as shown on plan
	C - After Utility Storm Sewer Construction	06	Storm Inlet Protection	D	Place as shown on plan
Phase III (POST-CON)	D - After Construction of Building and Parking Lot	07	Steep Slope Protection	E	Place as shown on plan
	E - Final Grading, Paving & Landscaping	08	Final Seeding, Sod, and Landscaping	N/A	Silt fencing & inlet protect may be removed once seed & sodded areas are established on 80% of site.

EROSION CONTROL LEGEND

— DISTURBED AREA (3.97 AC)

FINAL SEEDING (SOD &/OR LANDSCAPING)

INLET PROTECTION FILTER BAGS

— SF — SILT/SEDIMENT FENCE

GRAPHIC SCALE

20 0 20

DETAILS

• SEE EROSION CONTROL DETAIL SHEET FOR THE FOLLOWING

400 TEMPORARY CONSTRUCTION ENTRANCE

401 FILTER FABRIC SILT FENCE

402 STORM INLET PROTECTION

403 CONCRETE WASH-OUT

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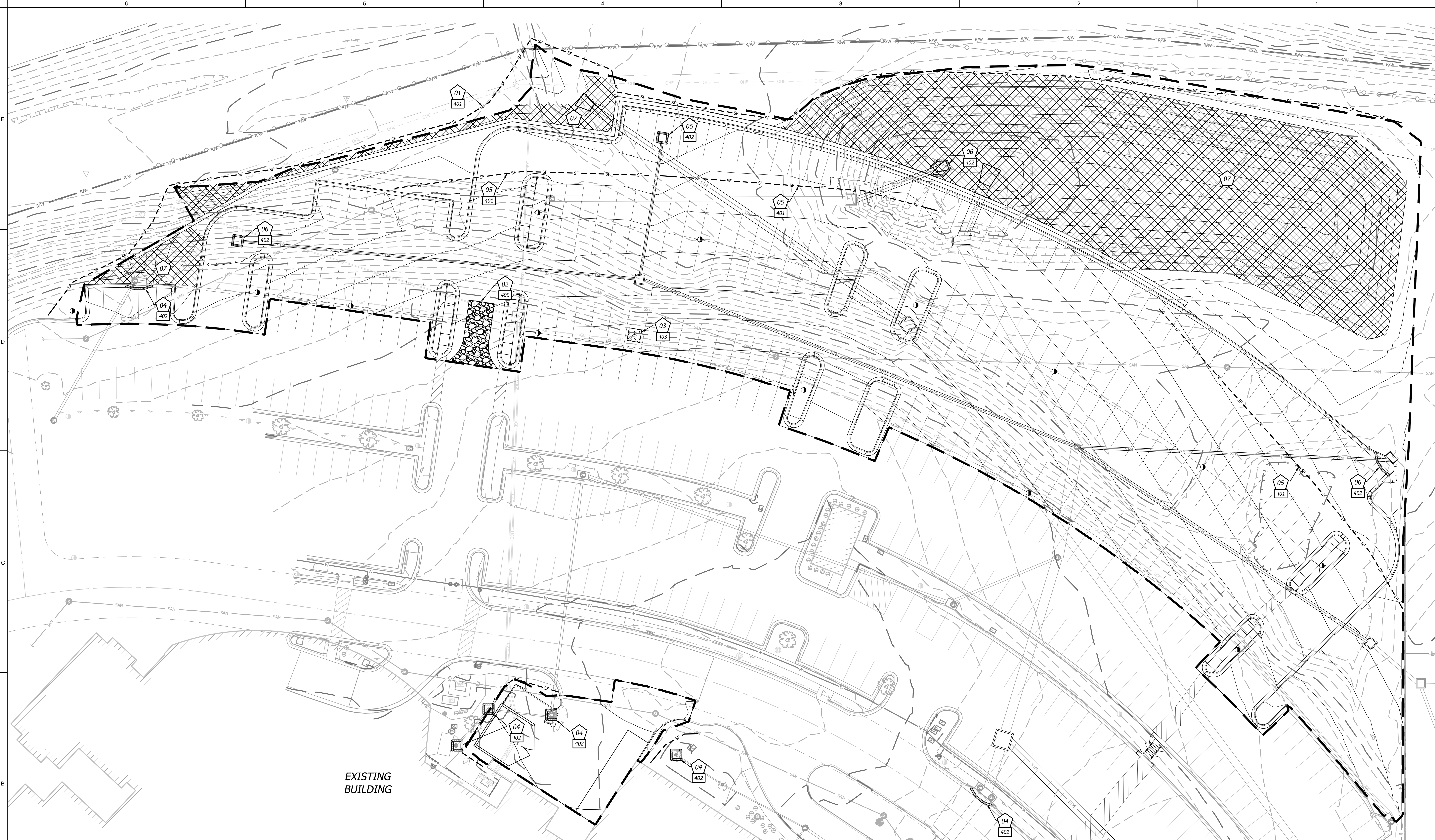
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Date	11/01/2022
Job Number	3-21037
Drawn By	KMY
Checked By	KMY

Revision		
Number	Date	Description

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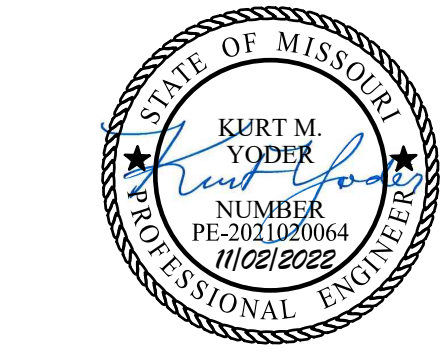
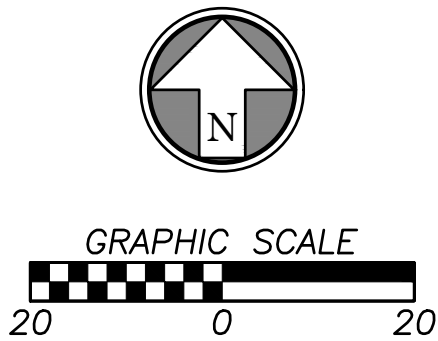


EROSION & SEDIMENT CONTROL STAGING CHART					
Phase	Project Stage	BMP Plan Ref. No.	BMP Description	Remove After Stage:	Notes:
Phase I (PRE-CON)	A - Place BMP's Prior to Land Disturbance	01	Perimeter Silt Fence	E	Place as shown on plan
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		03	Concrete Wash-Out	D	Place as shown on plan
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Phase II (MID-CON)	B - After Stripping, Grubbing, & Mass Grading	05	Interior Silt Fence	E	Place as shown on plan
	C - After Utility Storm Sewer Construction	06	Storm Inlet Protection	D	Place as shown on plan
Phase III (POST-CON)	D - After Construction of Building and Parking Lot	07	Steep Slope Protection	E	Place as shown on plan
	E - Final Grading, Paving & Landscaping	08	Final Seeding, Sod, and Landscaping	N/A	Silt fencing & inlet protect may be removed once seed & sodded areas are established on 80% of site.

000 DETAILS
• SEE EROSION CONTROL DETAIL SHEET FOR THE FOLLOWING

400 TEMPORARY CONSTRUCTION ENTRANCE
401 FILTER FABRIC SILT FENCE
402 STORM INLET PROTECTION
403 CONCRETE WASH-OUT

- EROSION CONTROL LEGEND**
- DISTURBED AREA (3.97 AC)
 - SILT/SEDIMENT FENCE
 - INLET PROTECTION FILTER BAGS
 - CONSTRUCTION ENTRANCE
 - CONCRETE CLEANOUT
 - STEEP SLOPE PROTECTION



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EROSION CONTROL PLAN
- PARKING EXPANSION

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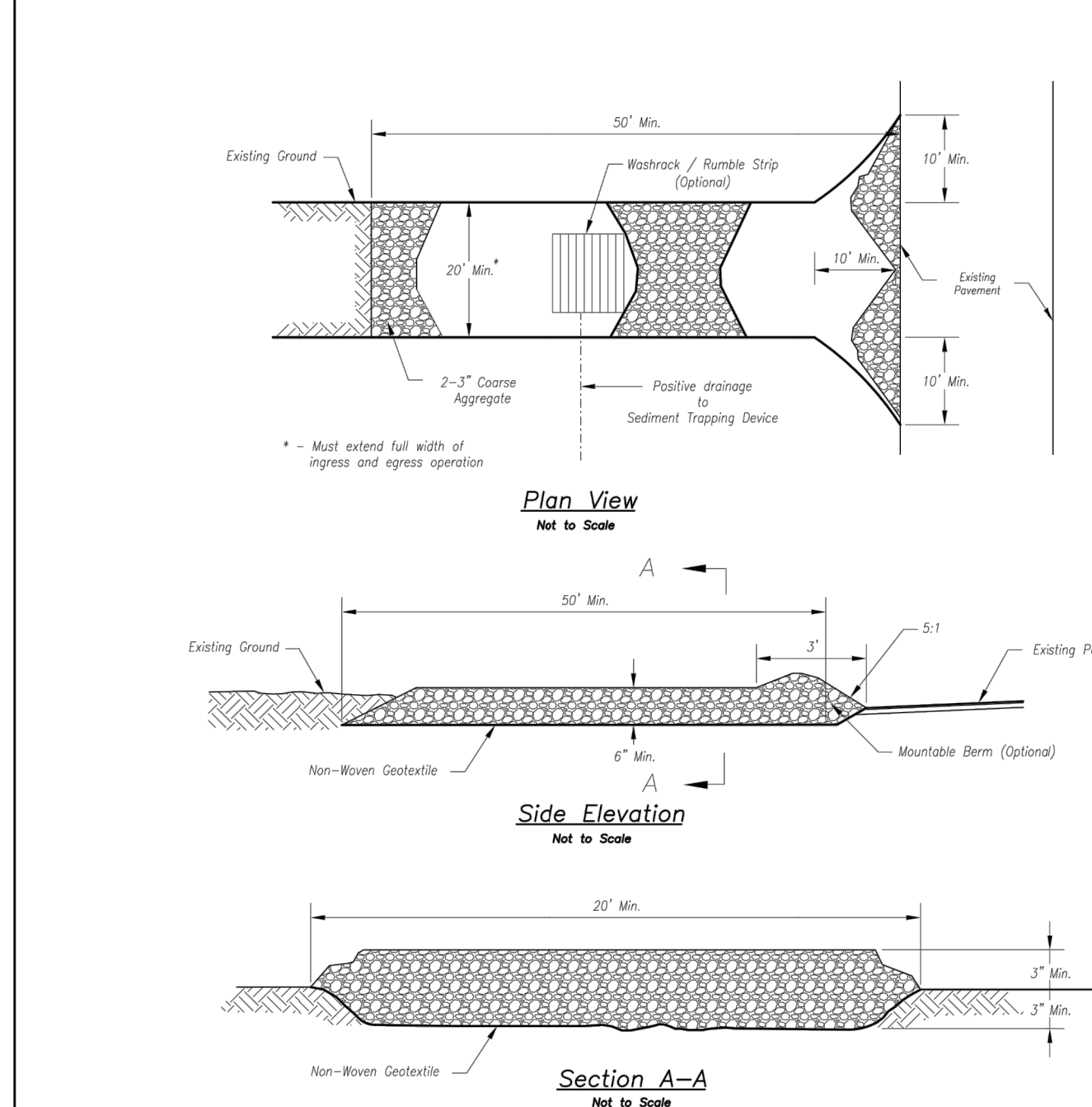
E

D

C


B

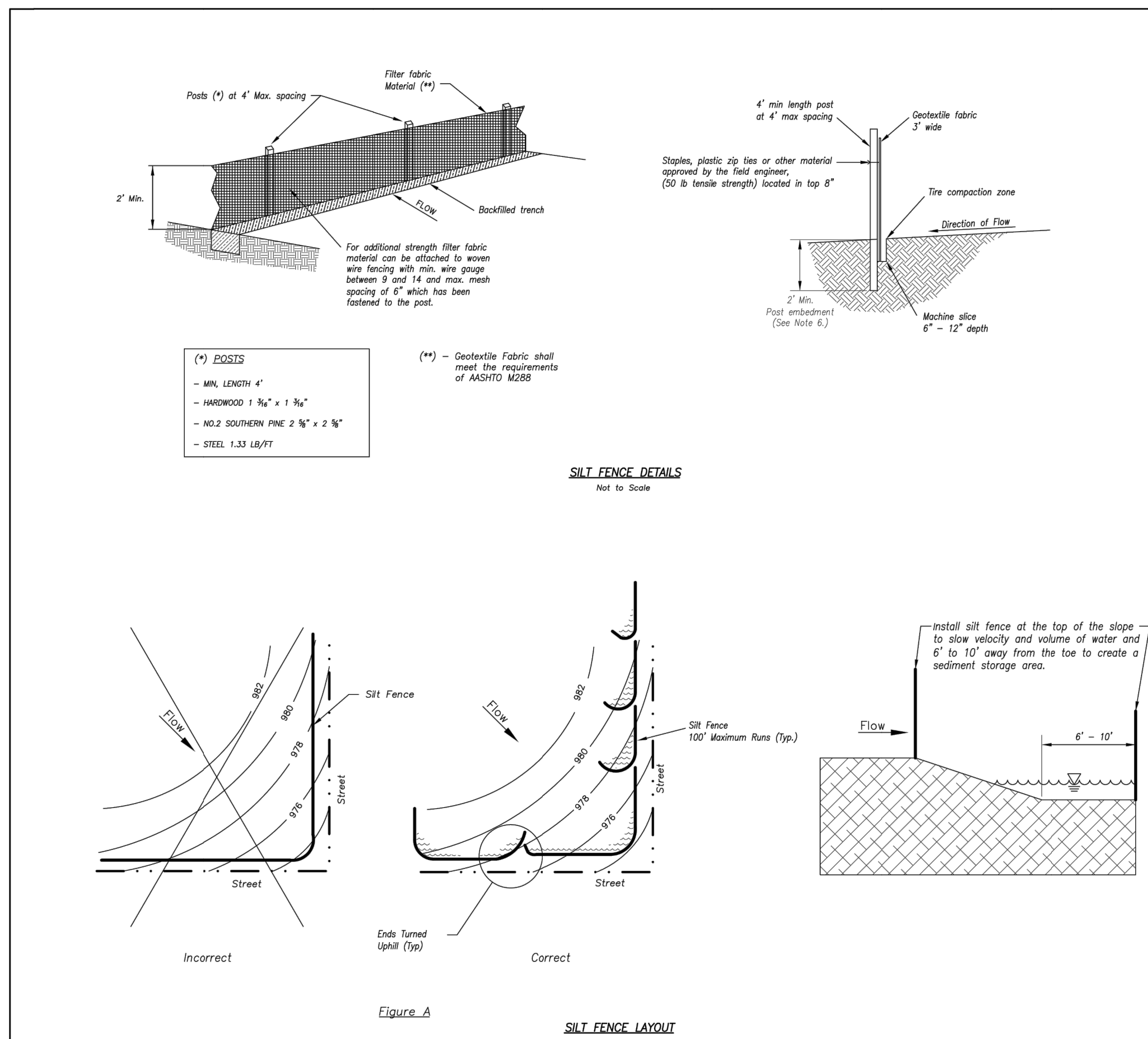
A




Construction Entrance modified from 2015 Overland Park Standard Details for Erosion and Sediment Control; Concrete Washout modified from 2009 City of Great Bend Standard Drawings.

CONCRETE WASHOUT

AMERICAN PUBLIC WORKS ASSOCIATION	
	KANSAS CITY METRO CHAPTER
CONSTRUCTION ENTRANCE AND CONCRETE WASHOUT	STANDARD DRAWING NUMBER ESC-01 ADOPTED 10/24/2016

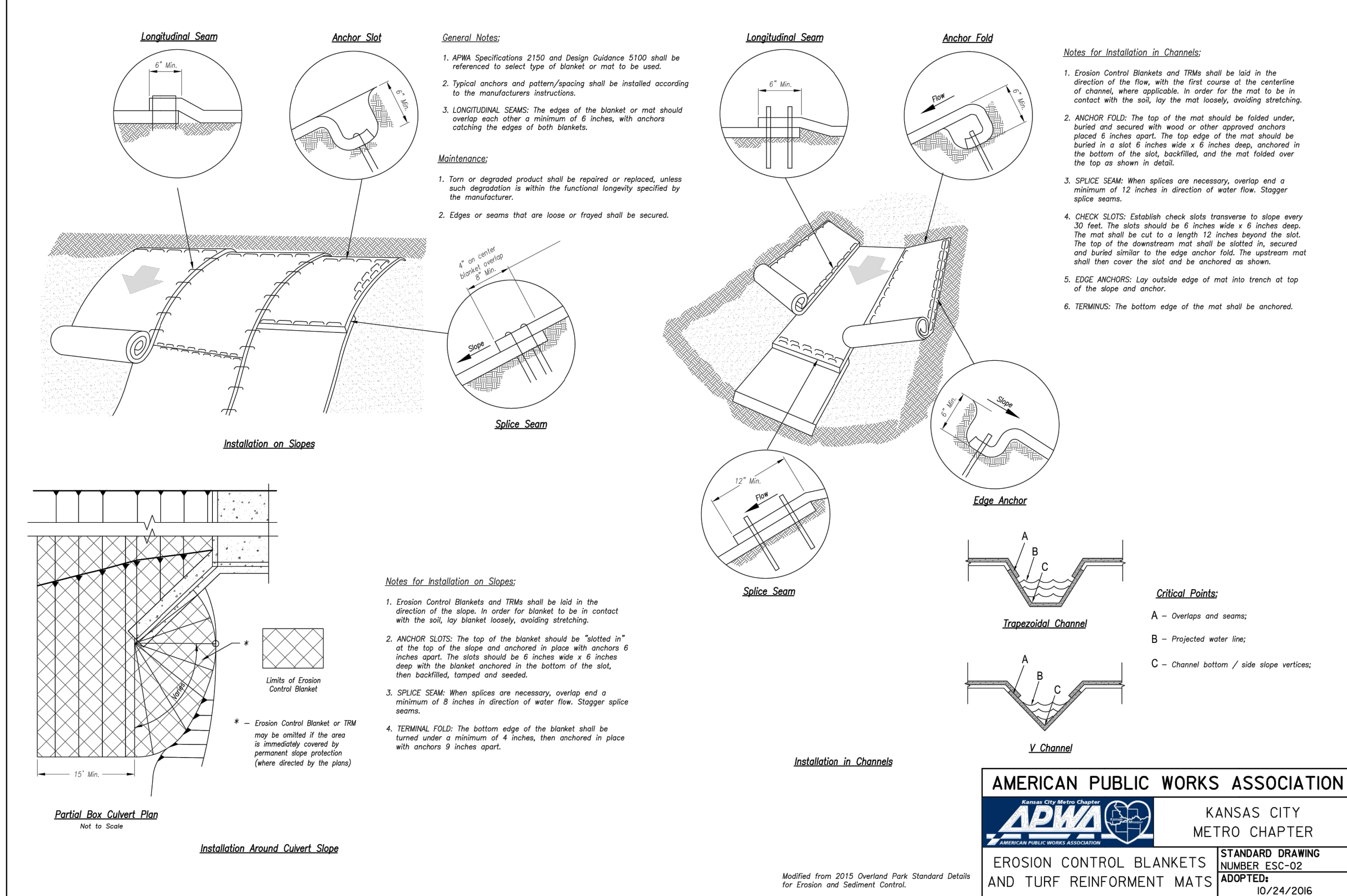


Modified from 2015 Overland Park Standard Details for Erosion and Sediment Control.

AMERICAN PUBLIC WORKS ASSOCIATION	
	KANSAS CITY METRO CHAPTER
SILT FENCE	STANDARD DRAWING NUMBER ESC-03 ADOPTED 10/24/2016

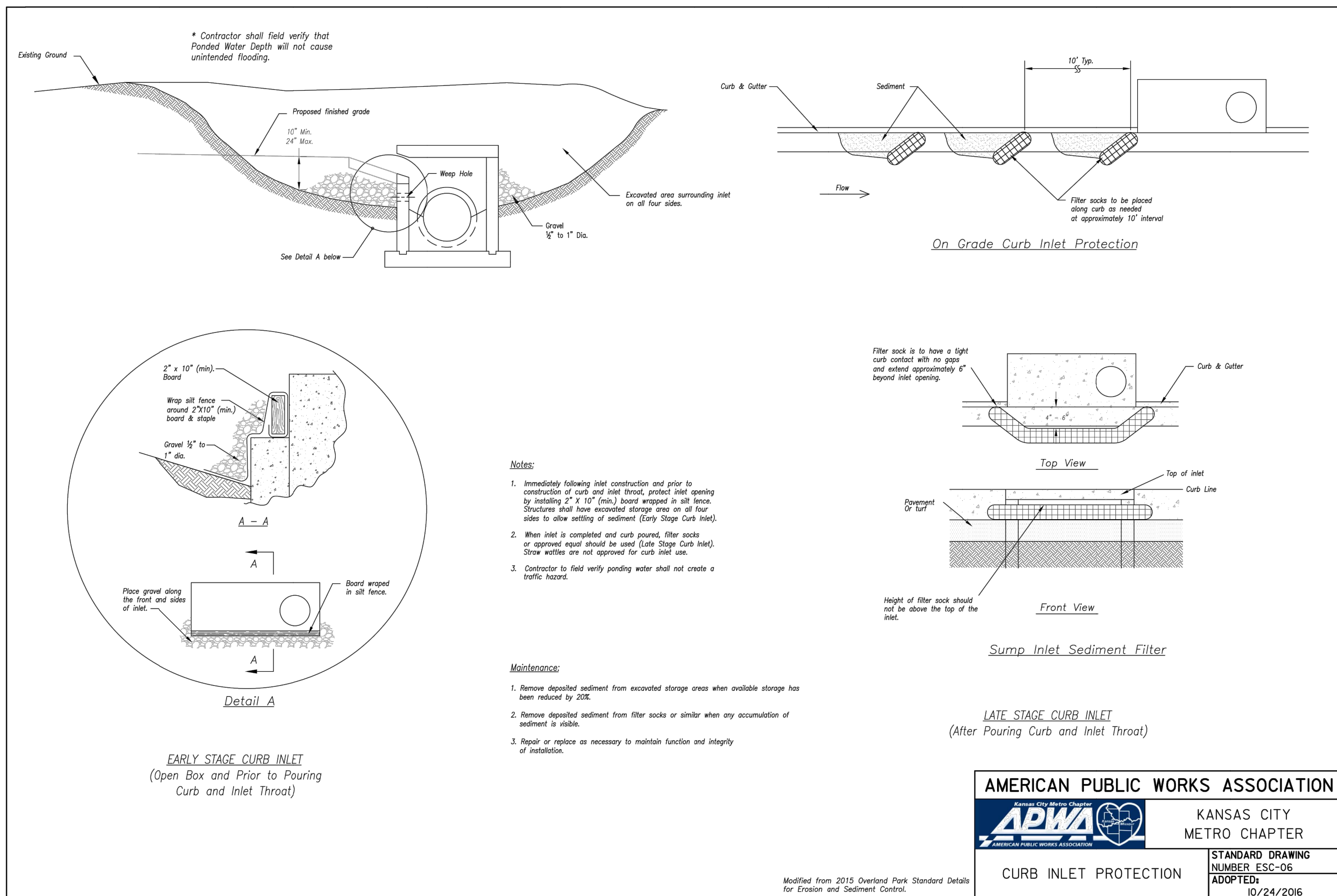
Silt Fence

Not to Scale



Steep Slope Protection

Not to Scale



Inlet Protection

Not to Scale



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EROSION CONTROL
DETAILS



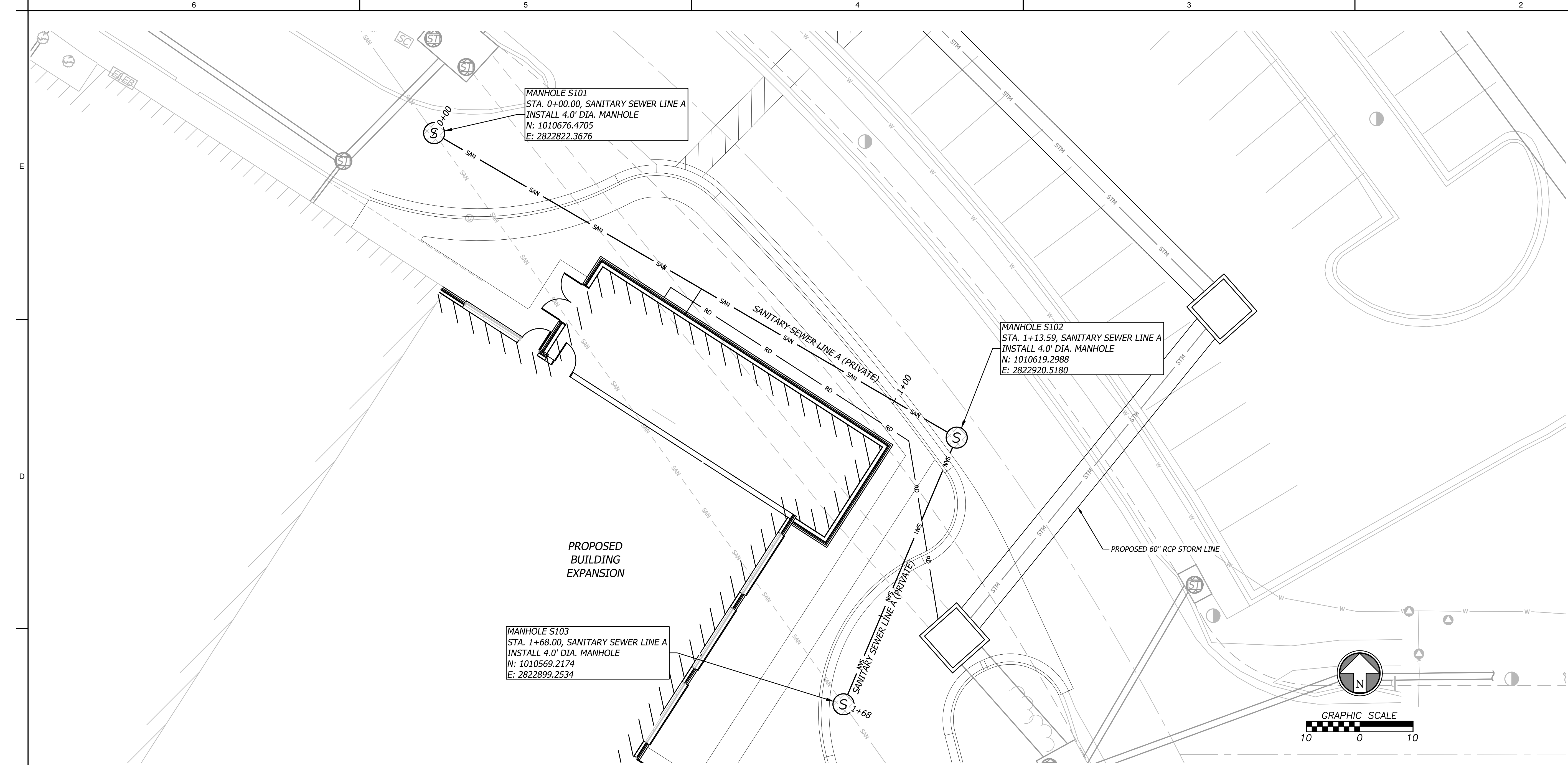
06 INSTALL 6" PVC OUT OF BUILDING AND RISER DOWN INTO PROPOSED SANITARY MAIN.
FL @ MAIN = 971.12
FL OUT OF BUILDING = 981.00

1. CONTRACTOR SHALL REFER TO ALL SPECIFICATIONS, GUIDELINES, AND INSTALLATION DRAWINGS FROM CITY OF LEE'S SUMMIT FOR THE INSTALLATION OF ALL SANITARY MAIN LINES.
2. THE INFORMATION SHOWN ON THESE PLANS CONCERNING THE TYPE AND LOCATION OF UNDERGROUND UTILITIES IS GUARANTEED TO BE CORRECT. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES FOR FIELD LOCATION OF ALL UNDERGROUND UTILITY LINES PRIOR TO ANY EXCAVATION AND FOR MAKING HIS OWN VERIFICATION AS TO TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE TO ANY UTILITIES.
3. CONTRACTOR TO ENSURE 6" MINIMUM SEPARATION BETWEEN UTILITIES AT CROSSINGS. CONTRACTOR TO CALL CIVIL IF ANY CONFLICTS BETWEEN UTILITIES ARE FOUND.



OVERALL UTILITY PLAN

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SANITARY SEWER MAIN NOTES

- Construction of the sanitary sewer main shall follow the standards set forth in the City of Lee's Summit's Standard Specifications.
- All sewer main lines shall be Polyvinyl Chloride pipe (PVC) SDR-26.
- Sewer lateral shall be 6" PVC, SDR-26. Laterals shall be located at points shown on the plans, or designated by the Engineer, and shall be constructed to the easement line or as noted on the plans.
- Only those fittings specifically made for PVC pipe shall be used. Material specifications for fittings are outlined in the City of Lee's Summit's Standard Specifications, section 3500.
- All sanitary sewers with slopes greater than 20% shall have concrete collars.
- For minimum clearance of water line over and adjacent to sewer line: 10' horizontal separation, 18' vertical separation. If this cannot be maintained, sanitary sewer main material shall be ductile iron for at least 10 ft on each side of the crossing.
- All testing shall be conducted by the contractor in the presence of the city inspector.
- Lengths of pipe shown are center-of-structure to center-of-structure. Northings and Eastings shown for manholes are to center-of-structure.
- The contractor shall submit shop drawings on all precast structures, pipes, and any materials to be used on this project for approval by the design engineer.
- The entire proposed sanitary sewer to be constructed by these plans shall be successfully tested for watertightness as outlined in section 3500 of the current City of Lee's Summit's Standard Specifications.

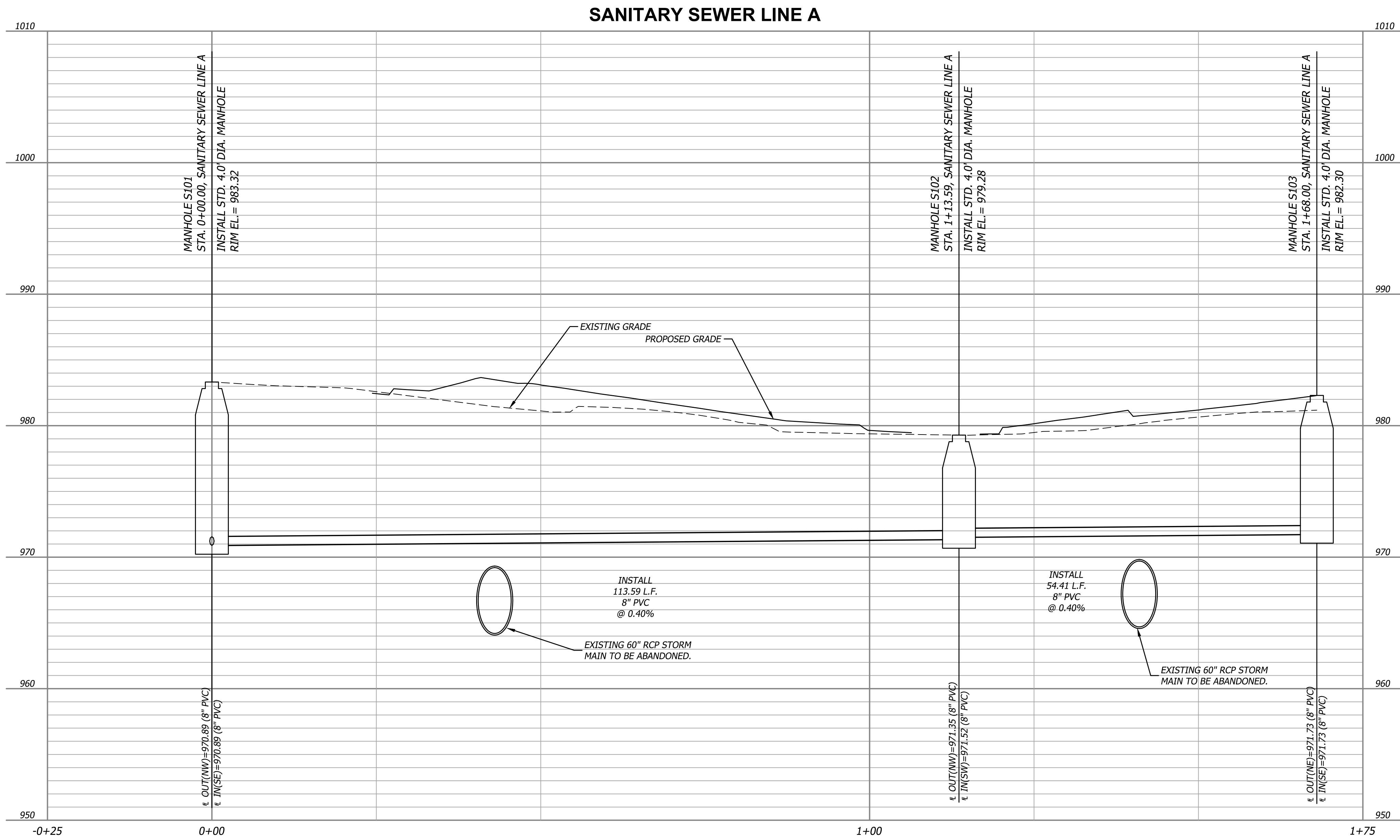
BENCHMARKS (DATUM: NAVD88)

BENCHMARK NUMBER: 1
ELEVATION= 982.88

CHISELED SQUARE ON THE FRONT FACE OF A DUAL MANHOLE CURB
INLET, LOCATED 49.8 FEET NORTHWEST OF THE NORTHEAST CORNER OF
THE NORTH END OF SAINT LUKE'S HOSPITAL.

BENCHMARK NUMBER: 2
ELEVATION= 979.35

CHISELED SQUARE ON THE FRONT FACE OF A CURB INLET, LOCATED
±97.4 FEET SOUTHWEST OF THE SOUTHEAST CORNER ON THE NORTH END
SAINT LUKE'S HOSPITAL.



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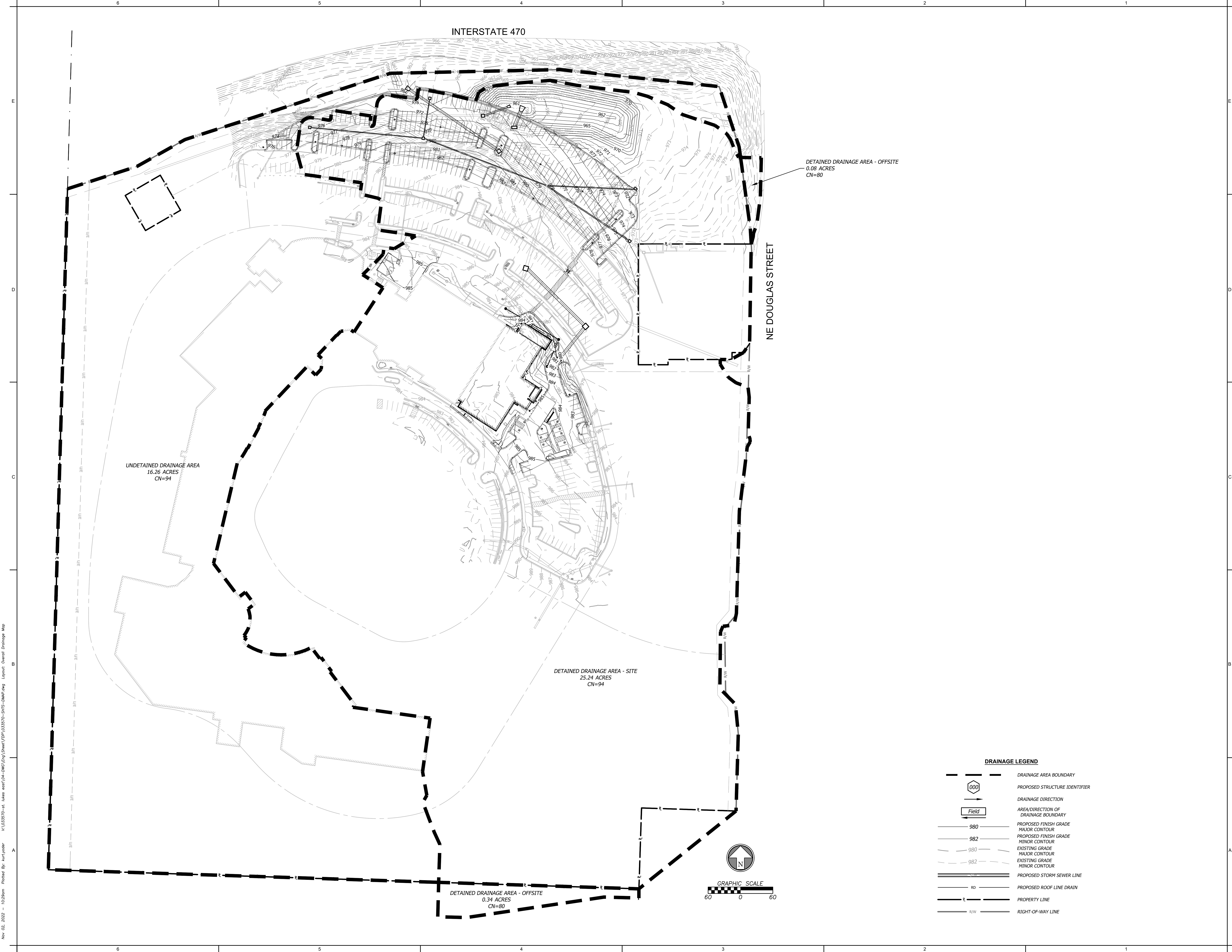
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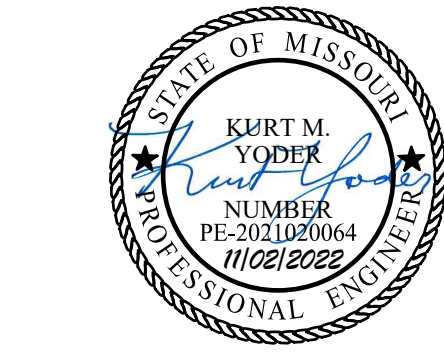
C401

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SANITARY PLAN &
PROFILE

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DRAINAGE LEGEND	
	DRAINAGE AREA BOUNDARY
	PROPOSED STRUCTURE IDENTIFIER
	DRAINAGE DIRECTION
	AREA/DIRECTION OF DRAINAGE BOUNDARY
	PROPOSED FINISH GRADE MAJOR CONTOUR
	PROPOSED FINISH GRADE MINOR CONTOUR
	EXISTING GRADE MAJOR CONTOUR
	EXISTING GRADE MINOR CONTOUR
	PROPOSED STORM SEWER LINE
	PROPOSED ROOF LINE DRAIN
	PROPERTY LINE
	RIGHT-OF-WAY LINE



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OVERALL DRAINAGE
MAP

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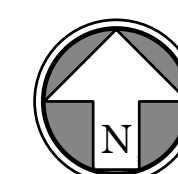
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EXPANSION DRAINAGE
MAP

1. Pipe lengths shown are measured from center of structure or to the end of end section. All pipes shall be field tapered to the inside wall face of the structure.
2. Utility lines and structures in fill areas below pipe grade shall not be constructed until all consolidation of the fill is complete and so approved by the on-site Geotechnical engineer.
3. All pipe shall be placed in trench conditions. Place a minimum of 2 feet of fill over proposed pipe before trenching and pipe installation. Proposed fill shall be placed in accordance with project requirements.
4. The dimensions for all structures are from inside face of structure to inside face of structure.
5. All curb inlets and other structures set at low points are to be set level. All other curb inlets are to be set with the grade of the top of curb or pavement.
6. Precast structures may be used at contractor's option. All storm structures shall have a smooth uniform poured concrete invert from invert to invert out.
7. The lids of all precast structures shall be grouted to the top of the walls.
8. Northing, eastings, and alignment stationing shown are center of structure or to end of end section.
9. The first dimension shown is the "L" dimension and the second is the "W" dimension on rectangular structures. Set details.
10. All HDPE pipe shall be ADS N-12, or approved equal, meeting AASHTO M294, type S or ASTM F2306. The pipe shall have a smooth interior and annular exterior corrugations. Pipe joints shall be jointed using a gasket joint. The gasket shall be ADS N-12 or AASHTO M294 or ASTM F2306. The joint shall be watertight according to the requirements of ASTM D3212 and gaskets shall meet the requirements of ASTM F477. Gaskets shall be installed by the pipe manufacturer and covered with a removable wrap to ensure the gasket is free from debris. A joint lubricant supplied by the manufacturer shall be used on the gasket and the pipe assembly.
11. Fittings for plastic pipe shall conform to AASHTO M252, AASHTO M294, or ASTM F2306. All wyes shall be dual wall wyes consistent with the ADS N-12 pipe single fitting connections.
12. All RCP pipe shall be Class III per ASTM C-76, with "o-ring" or single offset, rubber gasketed joint.

DRAINAGE AREA BOUNDARY
 PROPOSED STRUCTURE IDENTIFIER
 DRAINAGE DIRECTION
 AREA/DIRECTION OF DRAINAGE BOUNDARY
 PROPOSED FINISH GRADE MAJOR CONTOUR
 PROPOSED FINISH GRADE MINOR CONTOUR
 EXISTING GRADE MAJOR CONTOUR
 EXISTING GRADE MINOR CONTOUR
 PROPOSED STORM SEWER LINE
 RD PROPOSED ROOF LINE DRAIN
 R PROPERTY LINE
 R/W RIGHT-OF-WAY LINE



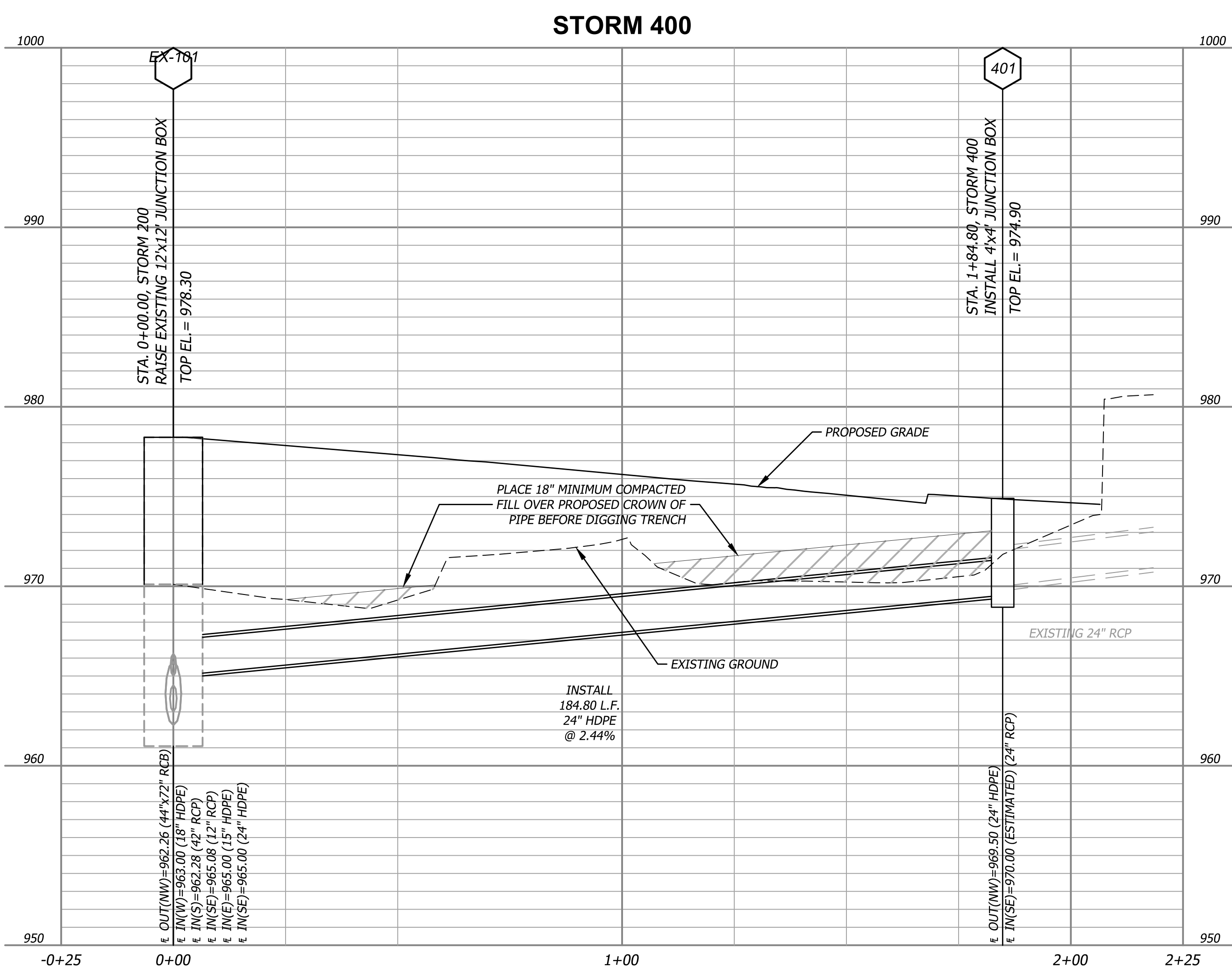
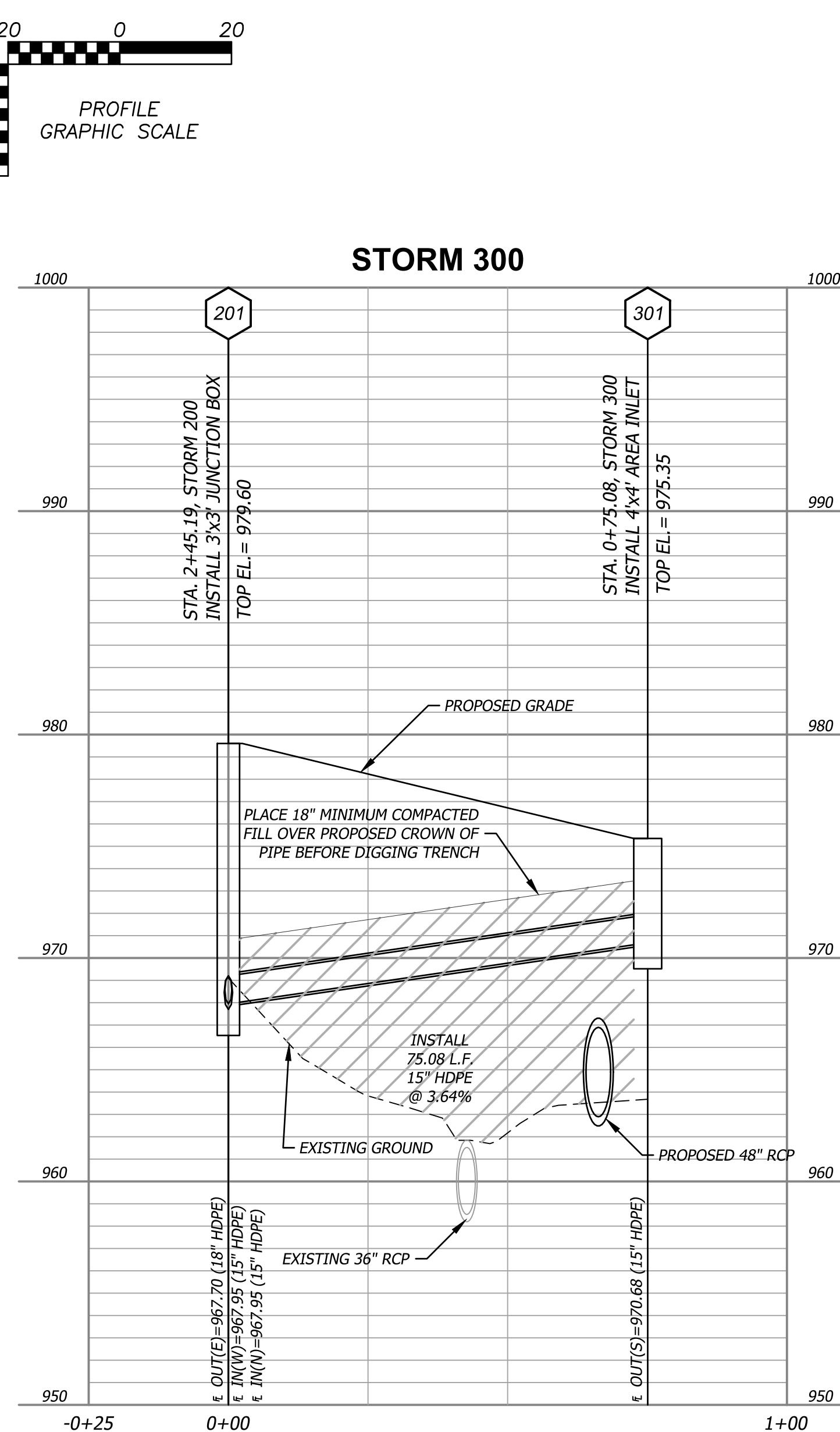
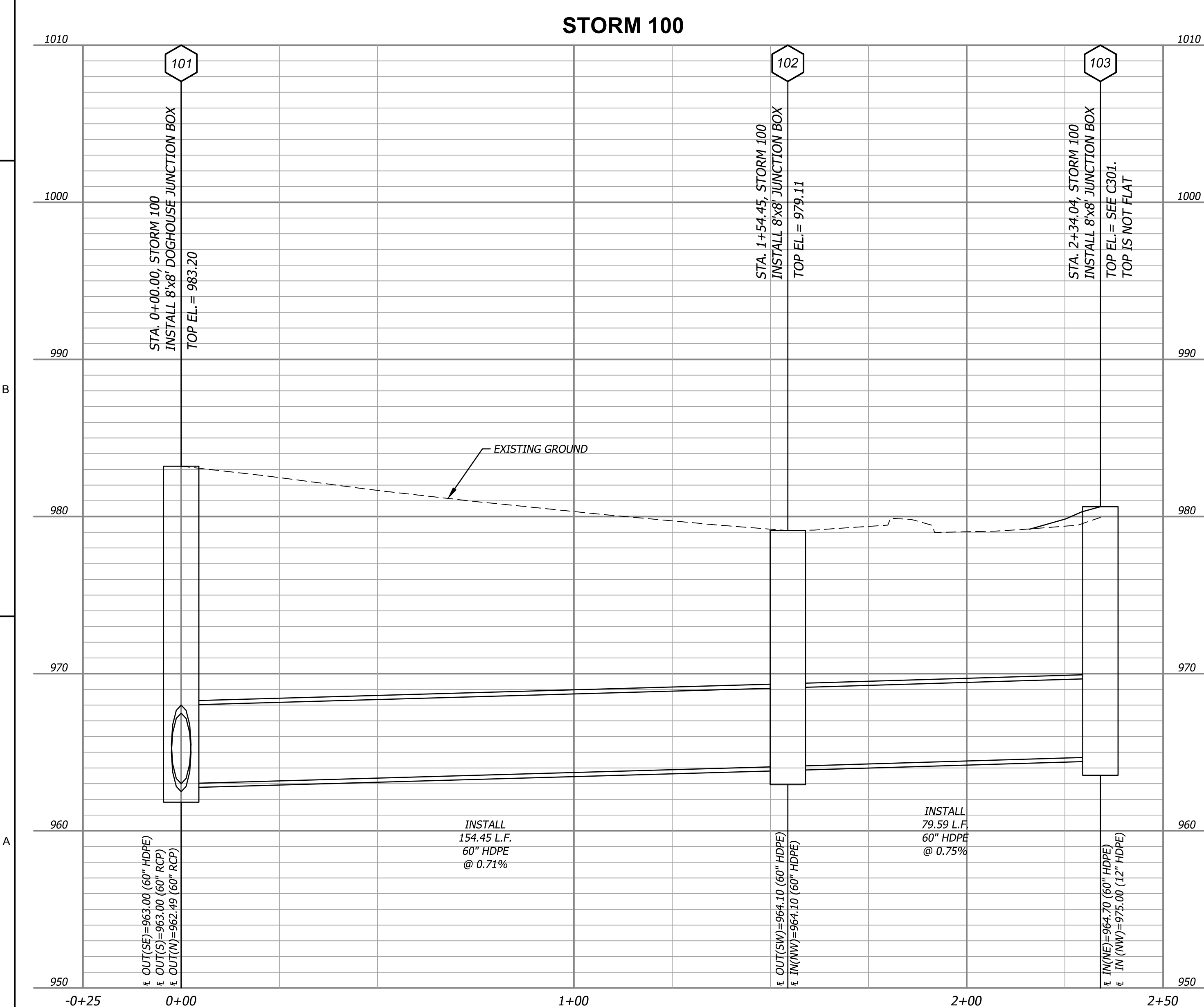
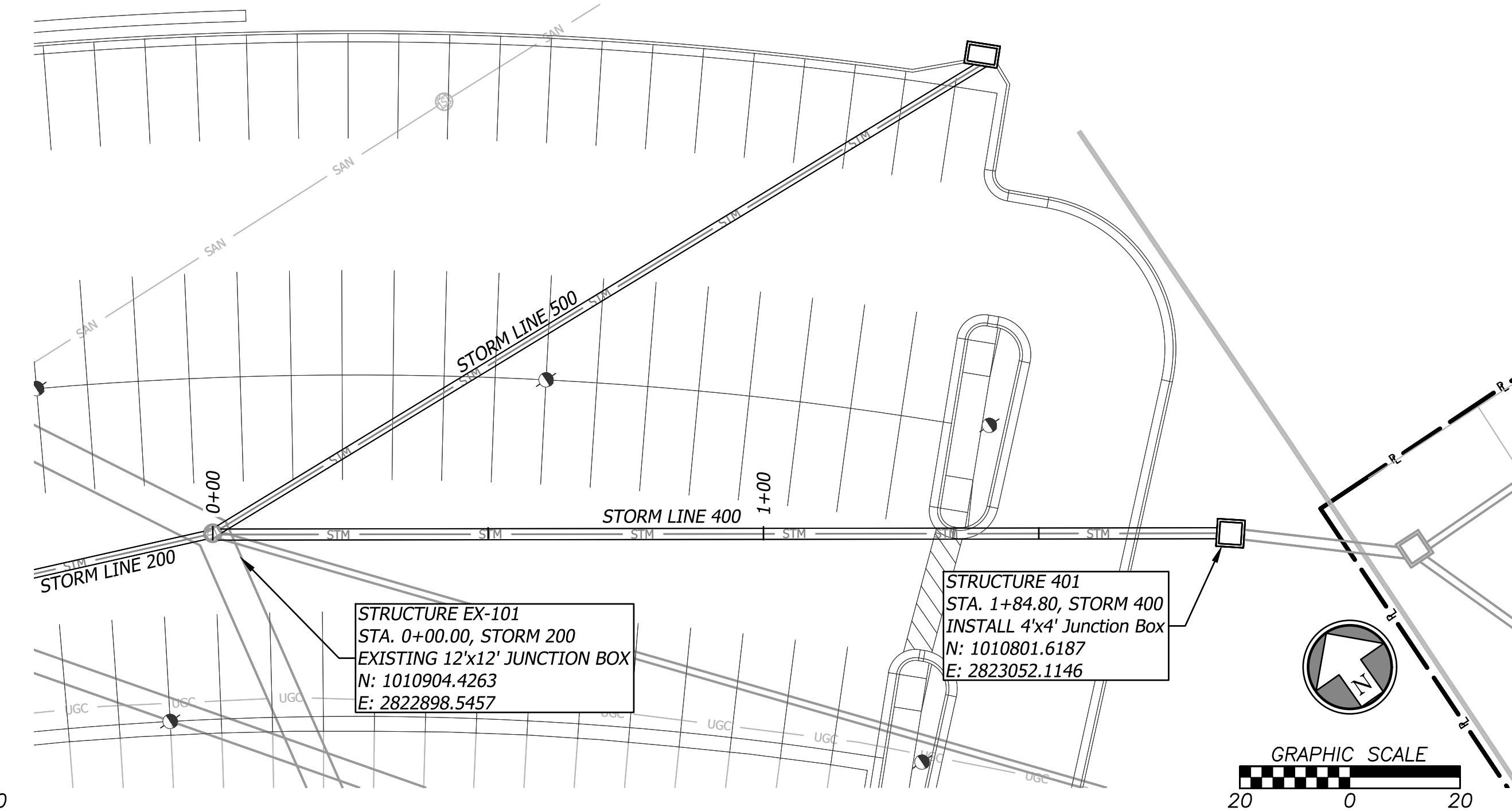
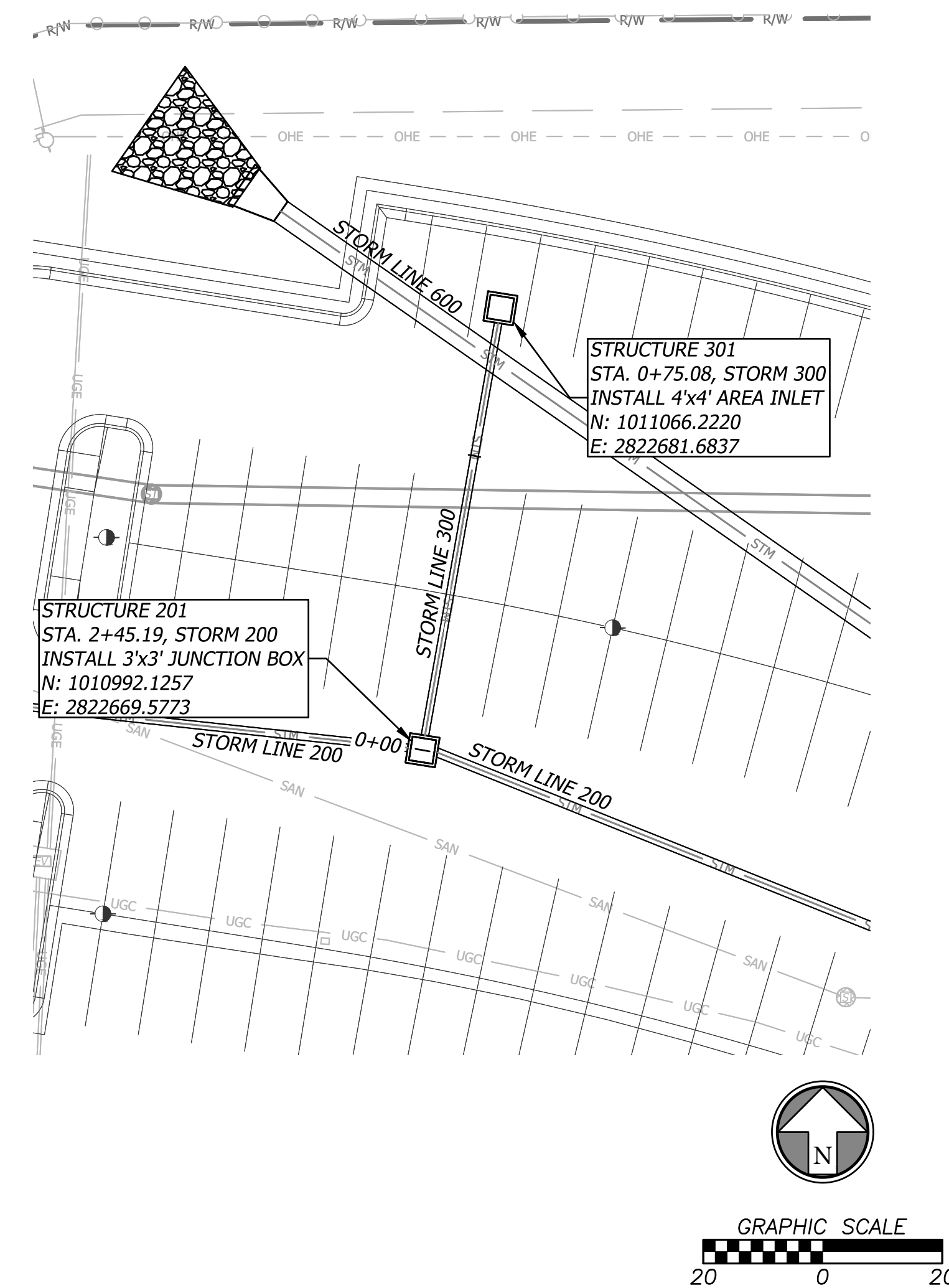
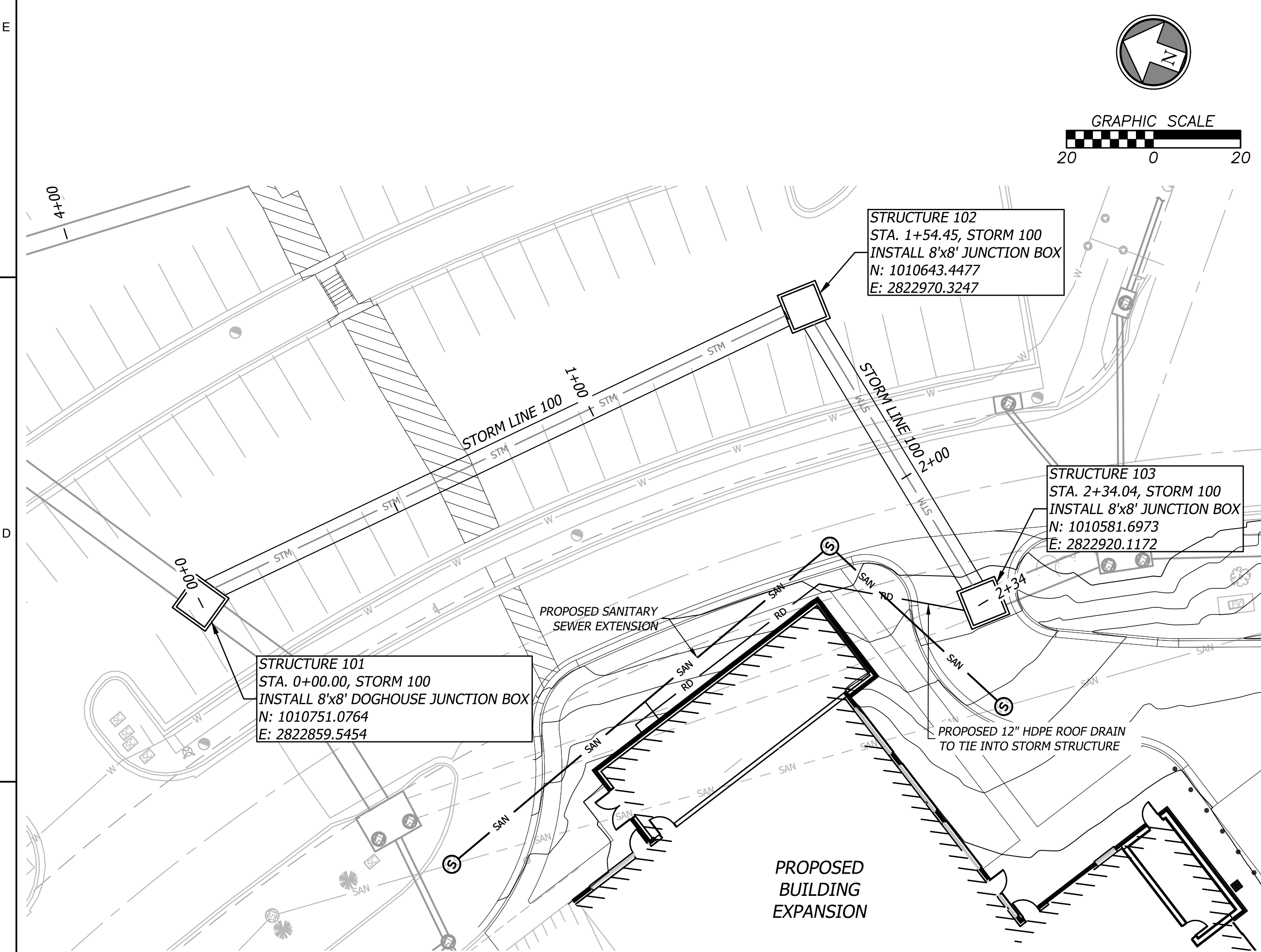
GRAPHIC SCALE



30 0

INTERSTATE 470

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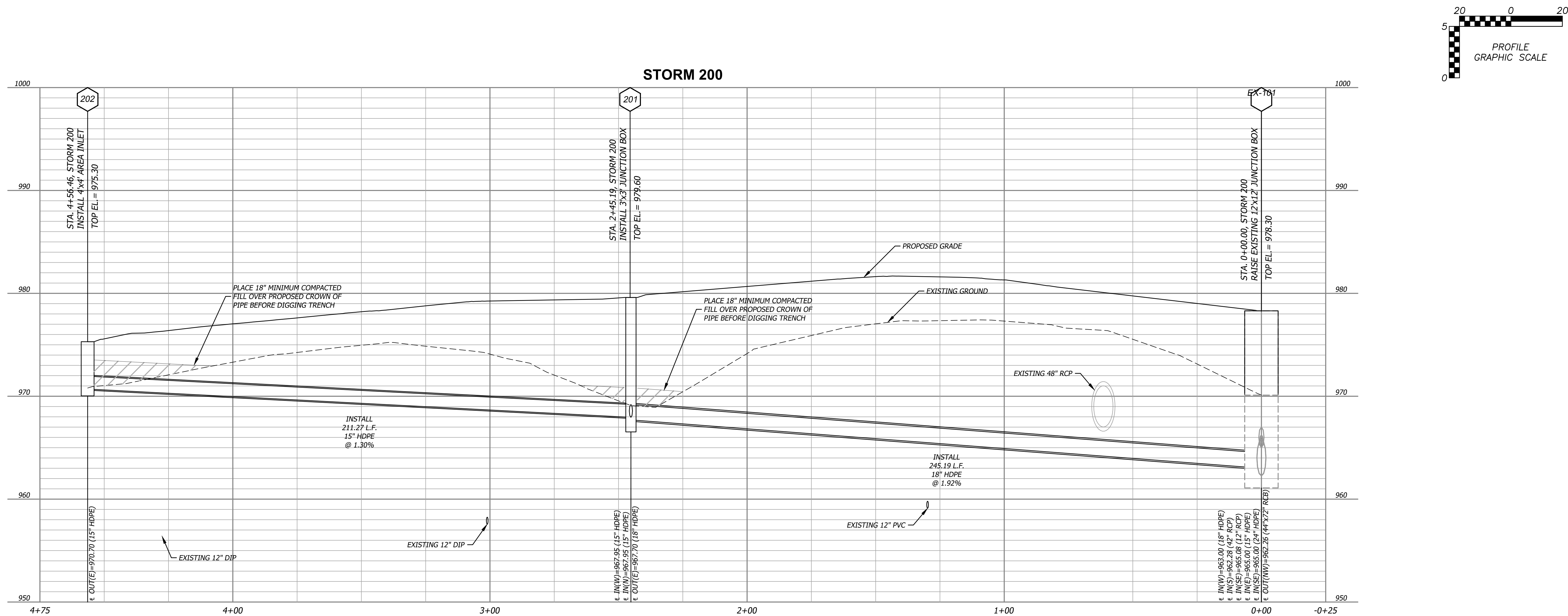
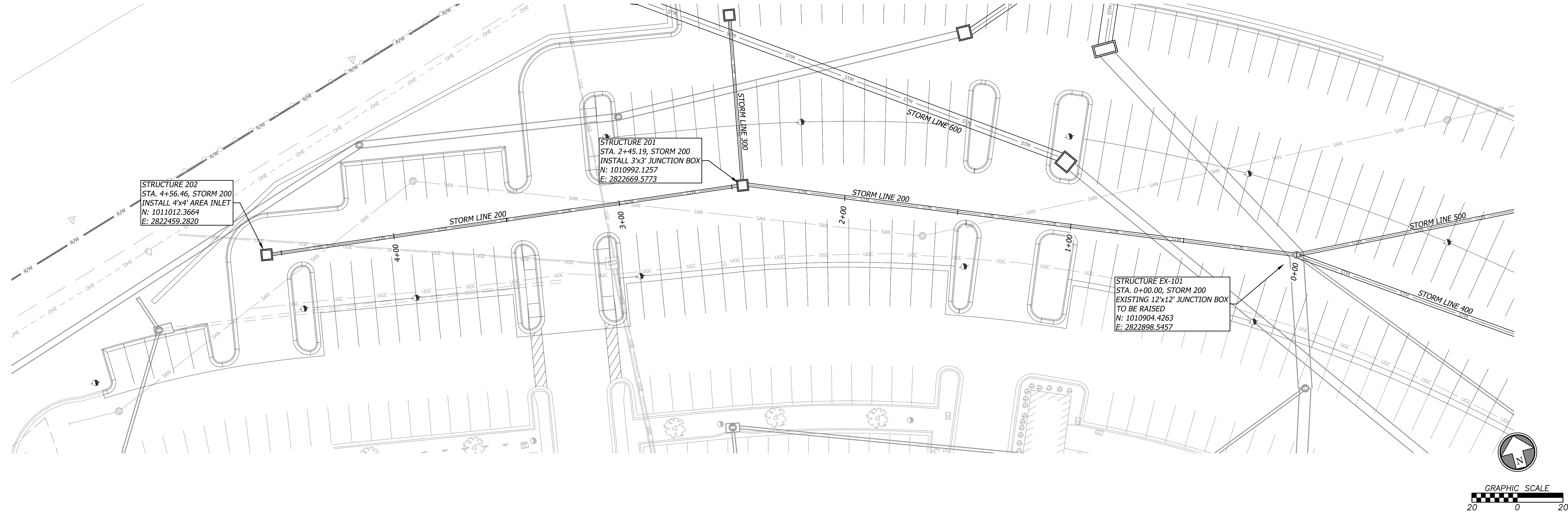
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STORM PLAN & PROFILE

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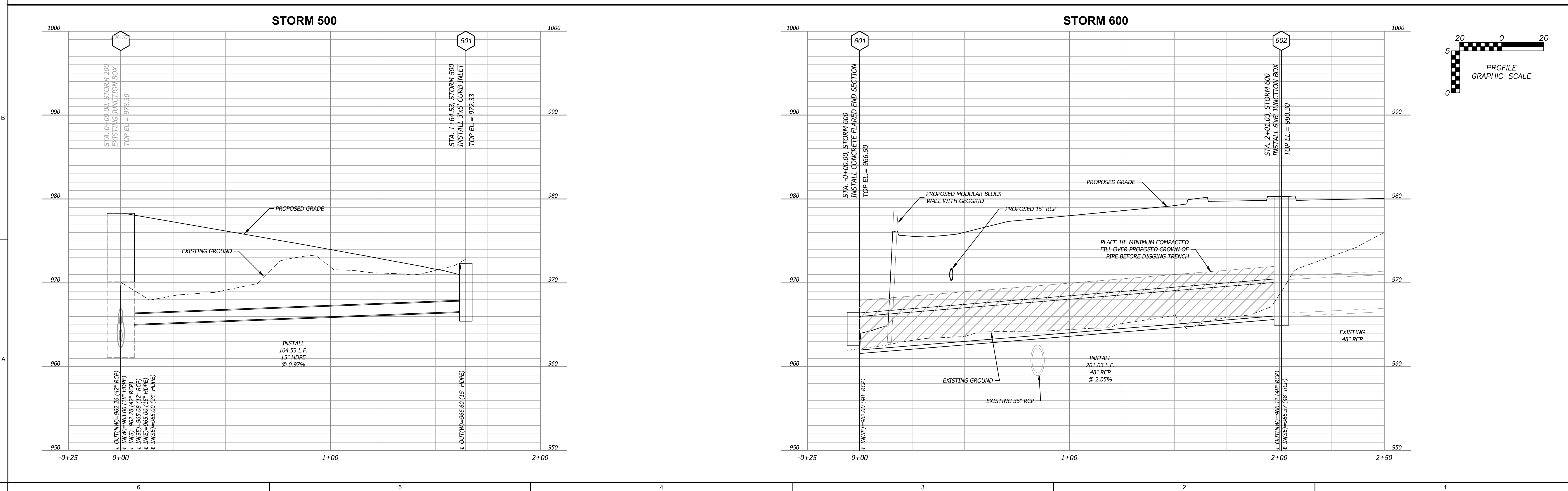
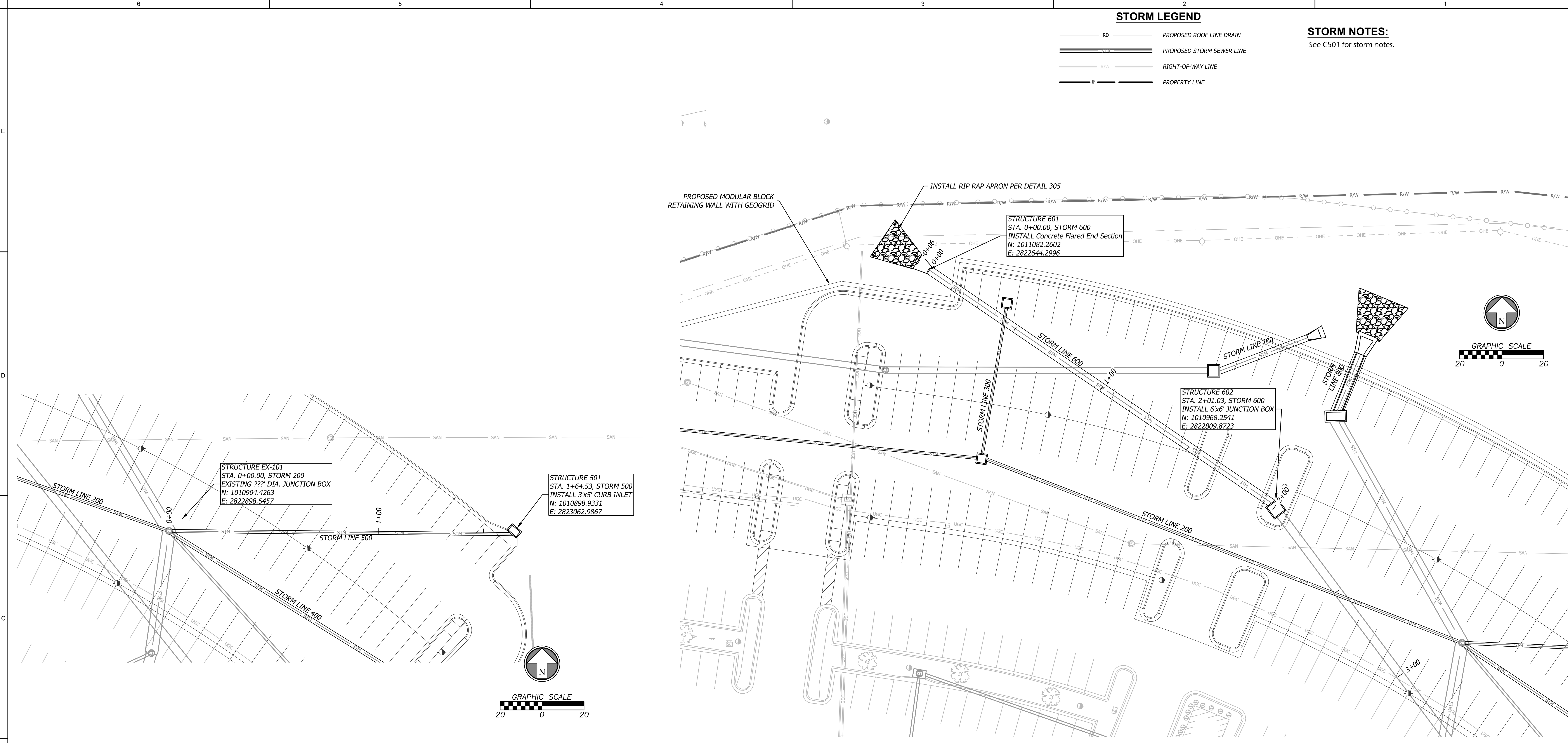
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Revision		

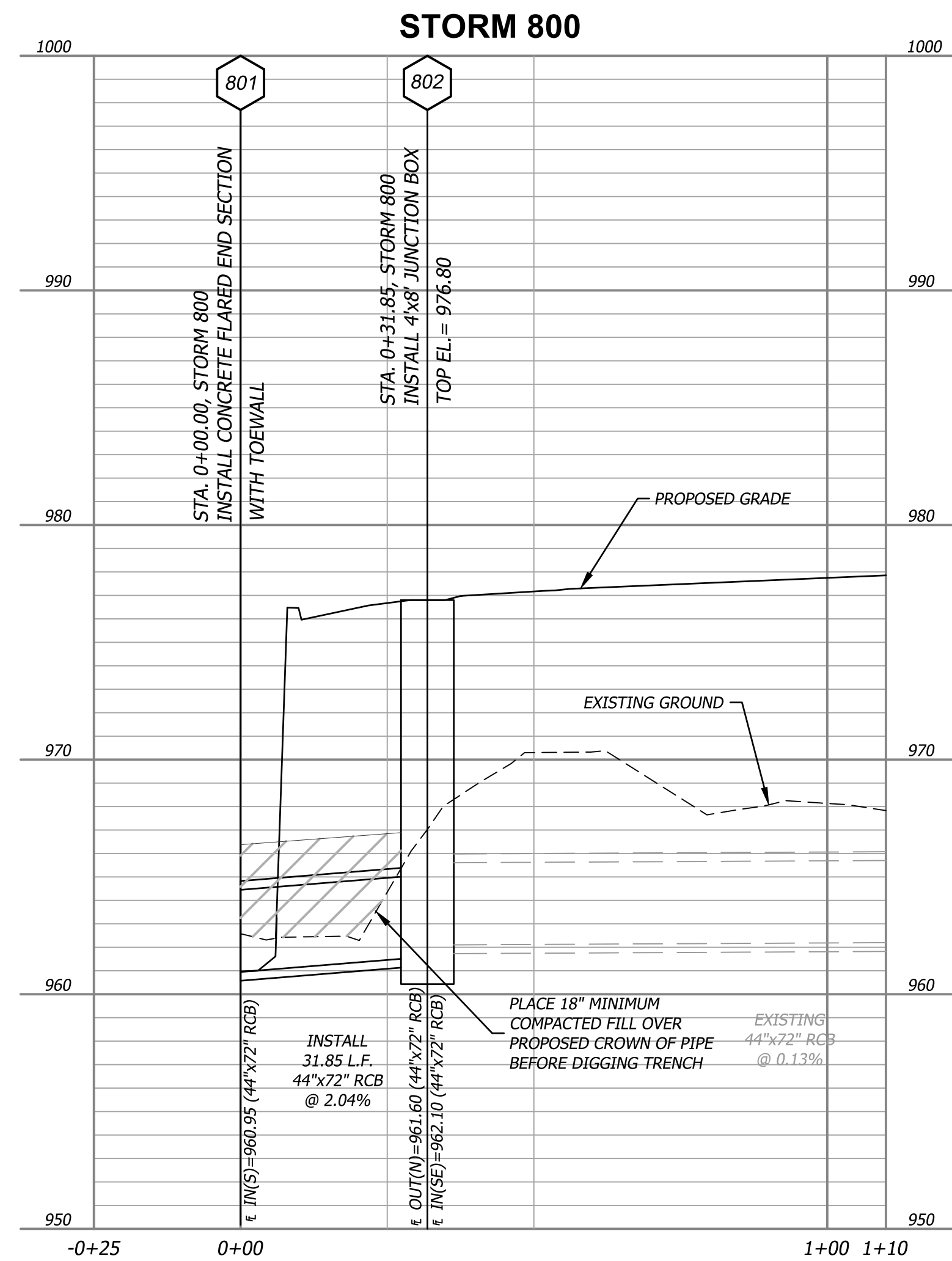
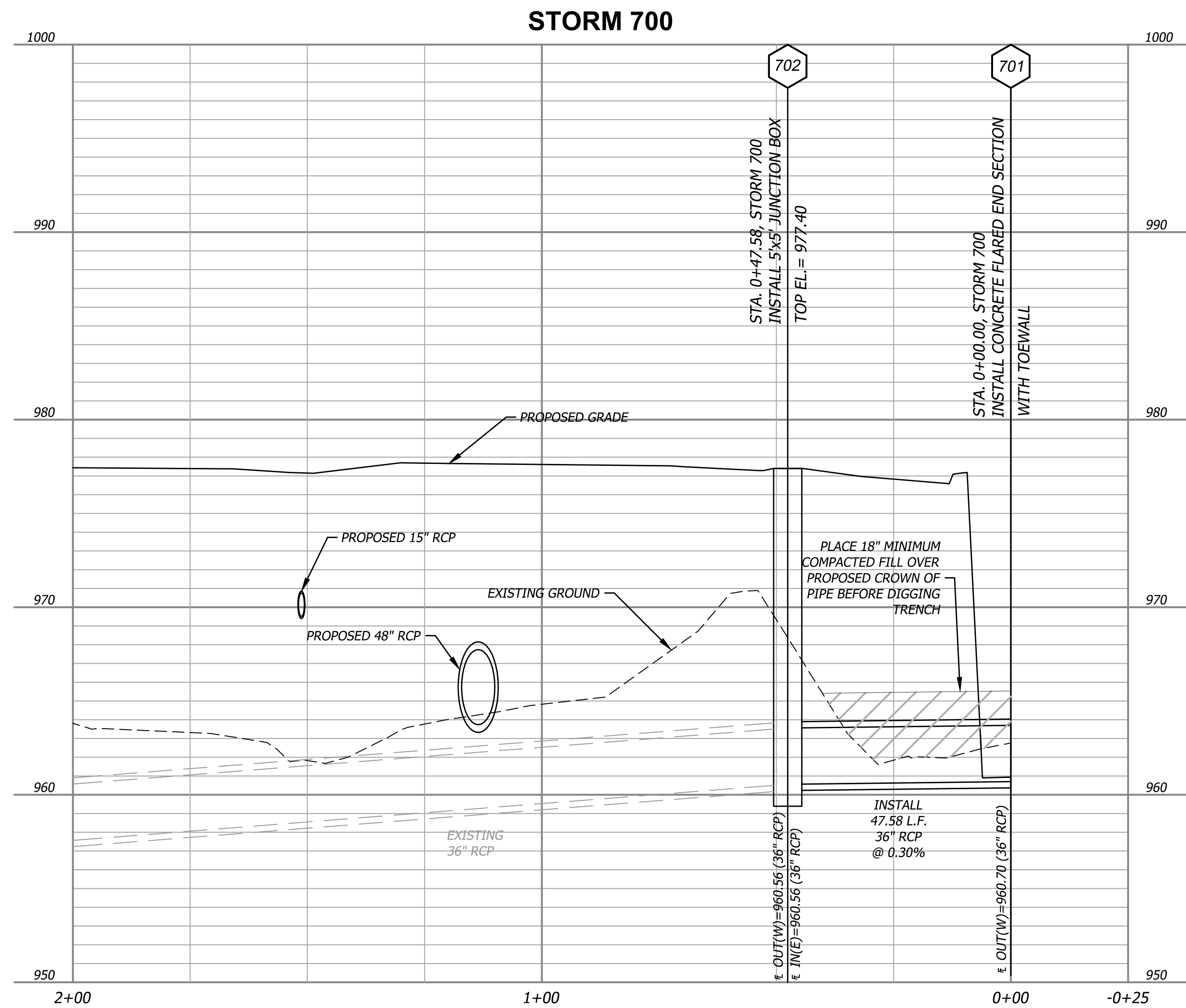
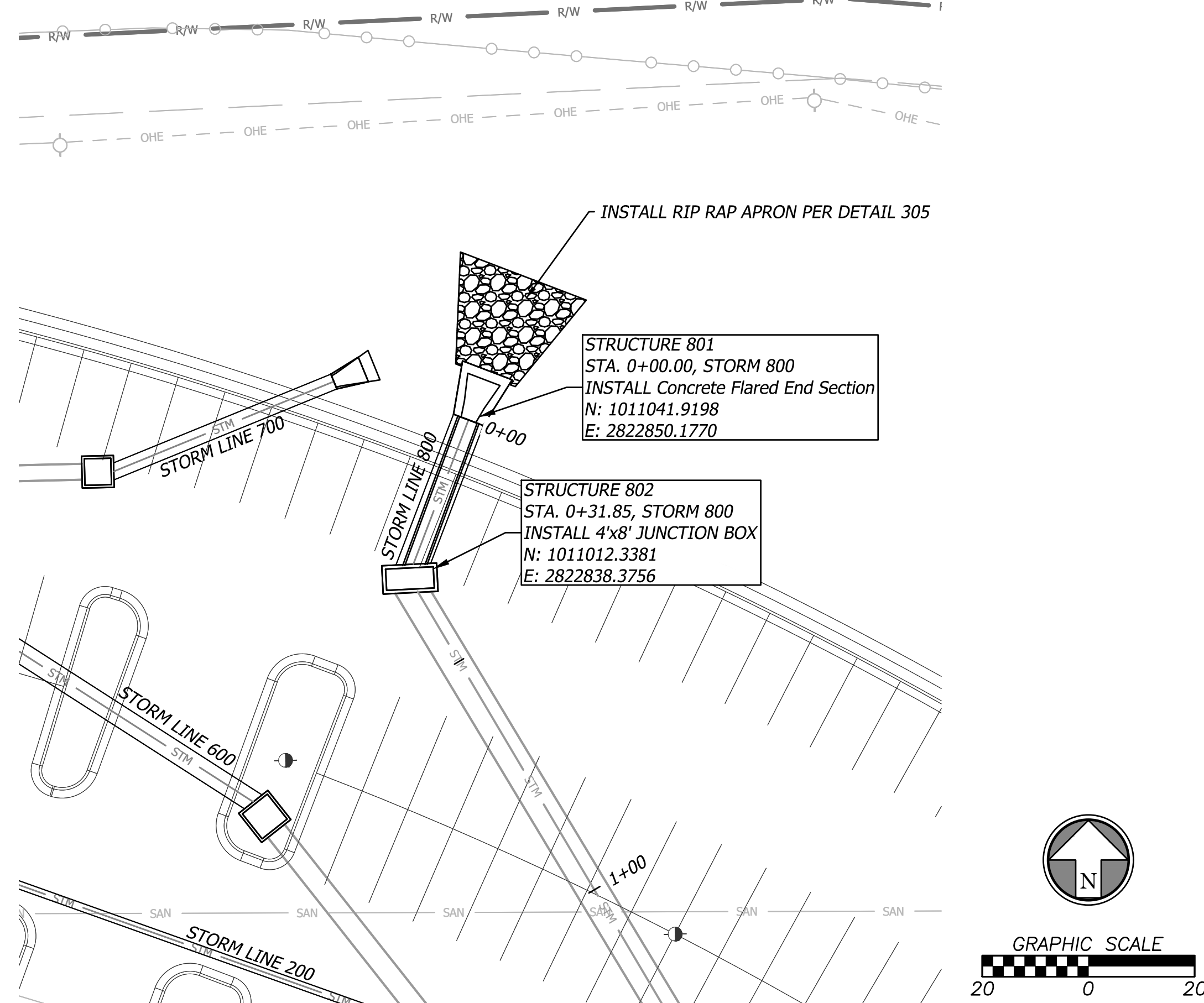
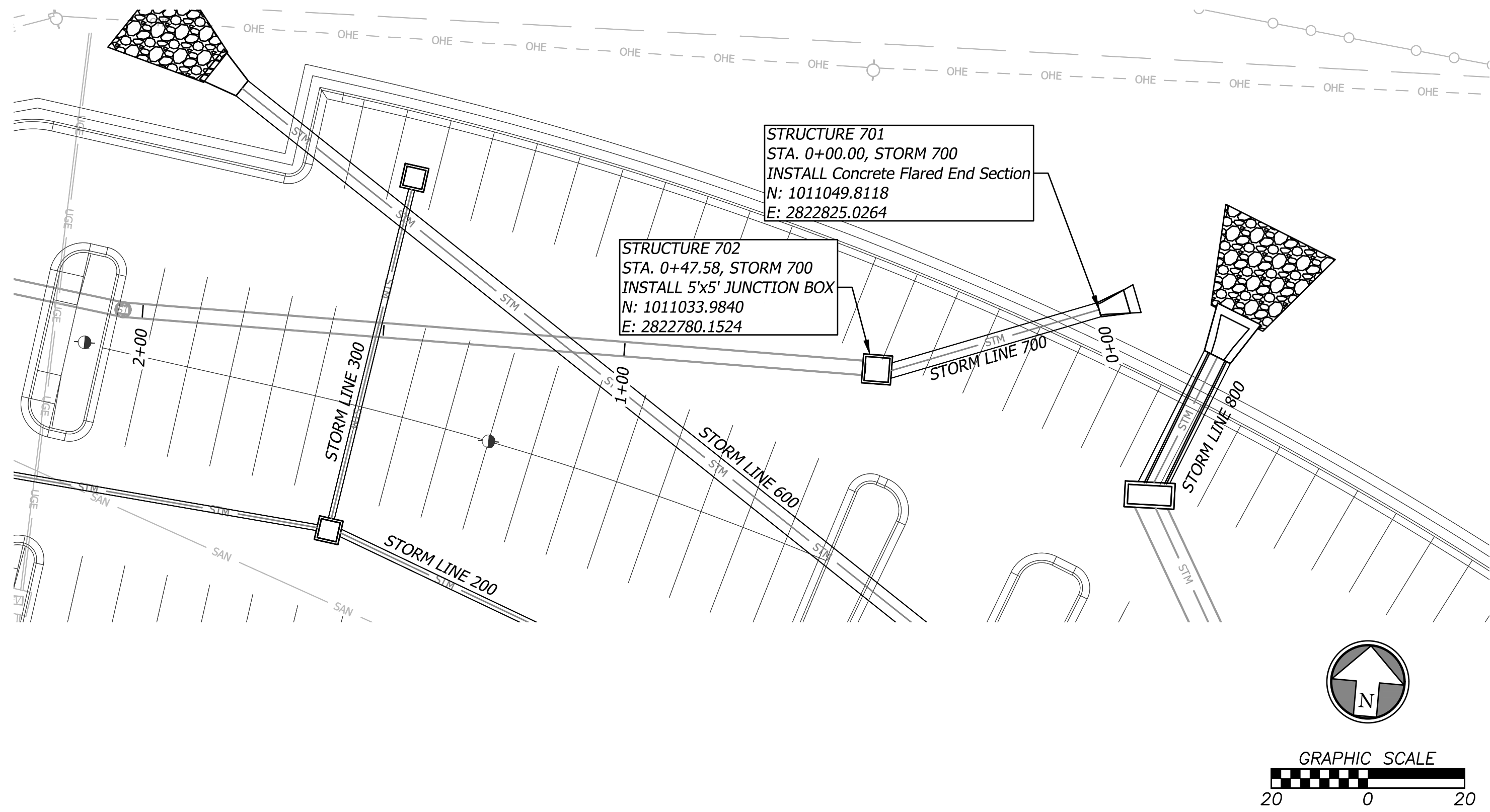
Date: 11/01/2022
Job Number: 3-21037
Drawn By: KMY
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C504

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STORM PLAN & PROFILE

V:\033570-st. Luke east\04-DWG\Eng\Sheet\PSD\033570-SHFS-RPE.dwg Layout: ST 700 - 800 Plan & Profile
Nov 02, 2022 - 10:32am Plotted By: kurt.yoder



STORM LEGEND

RD PROPOSED ROOF LINE DRAIN
PROPOSED STORM SEWER LINE
R/W RIGHT-OF-WAY LINE
P PROPERTY LINE

STORM NOTES:

See C501 for storm notes.



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100 NE Saint Luke's Blvd
Lee's Summit, MO 64086
Final Development Plan

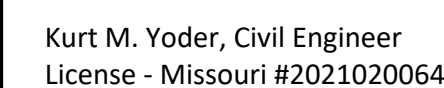
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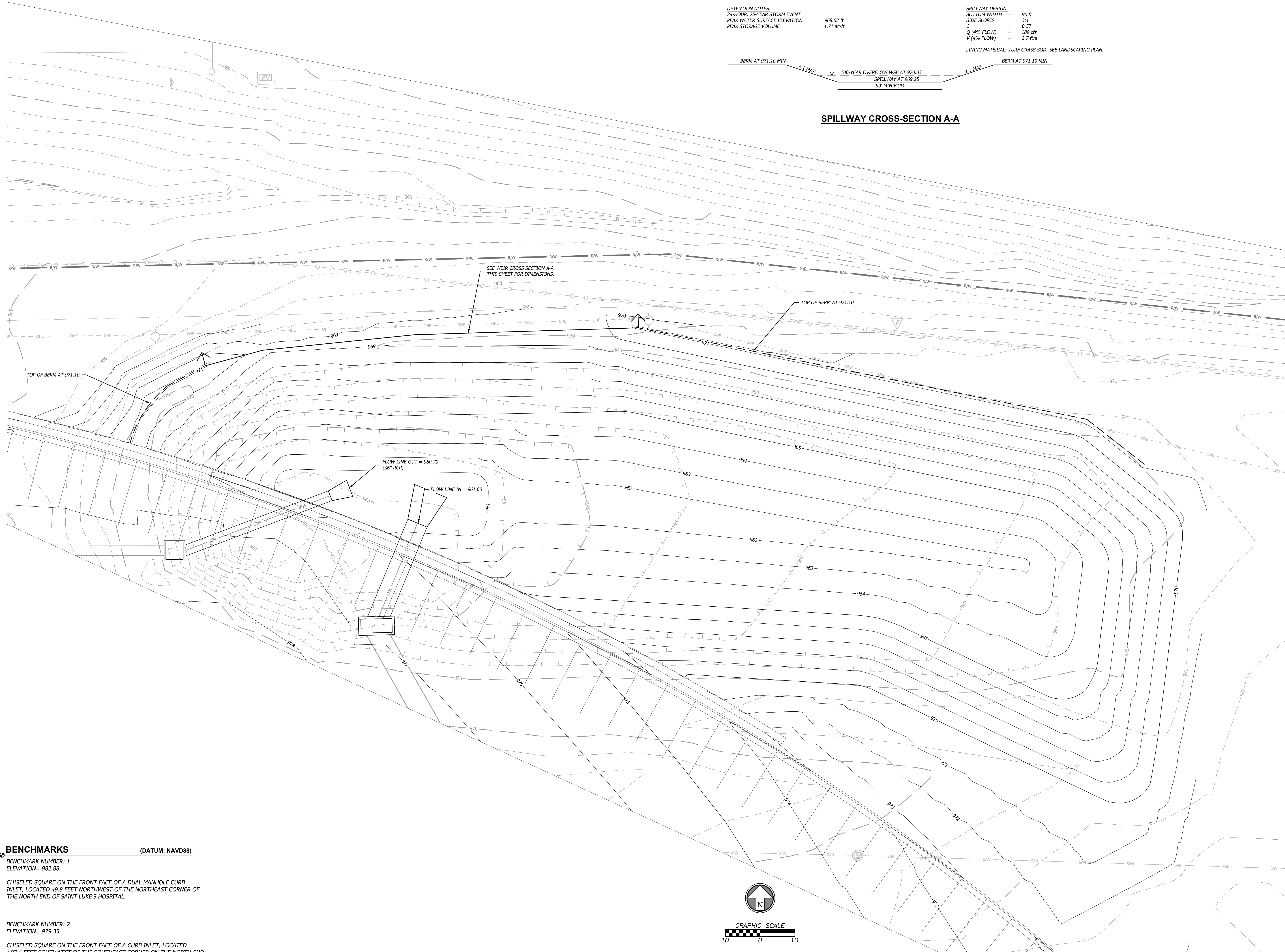
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Checked By	KMY

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Number	Date	Description

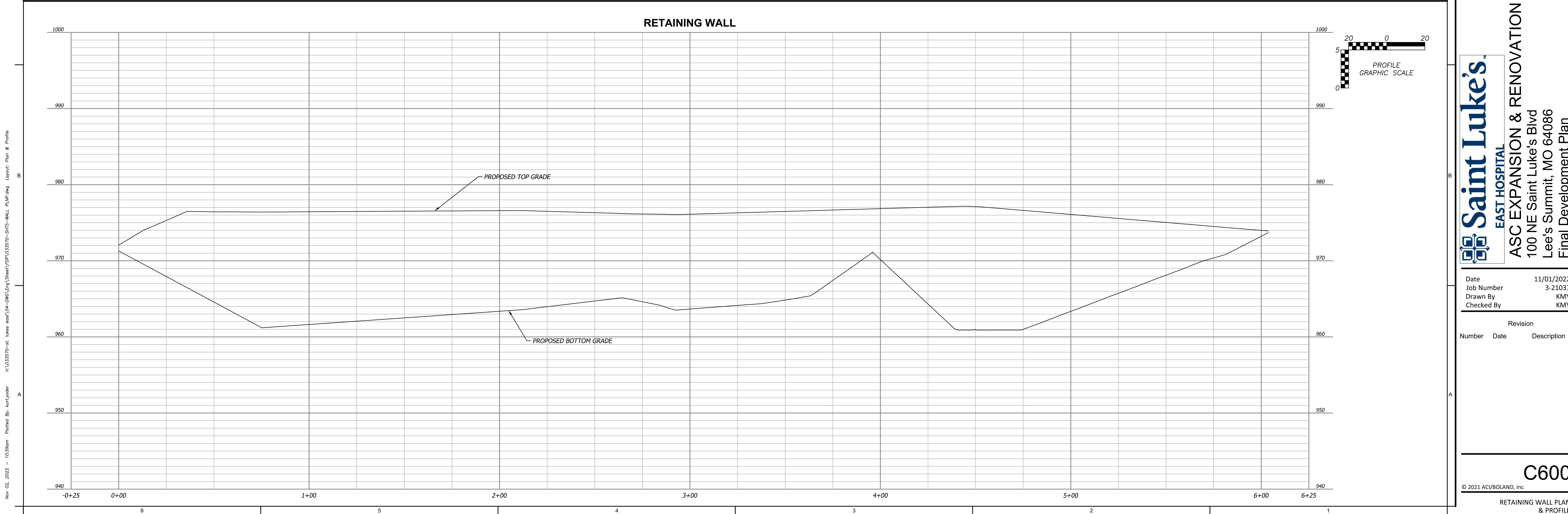
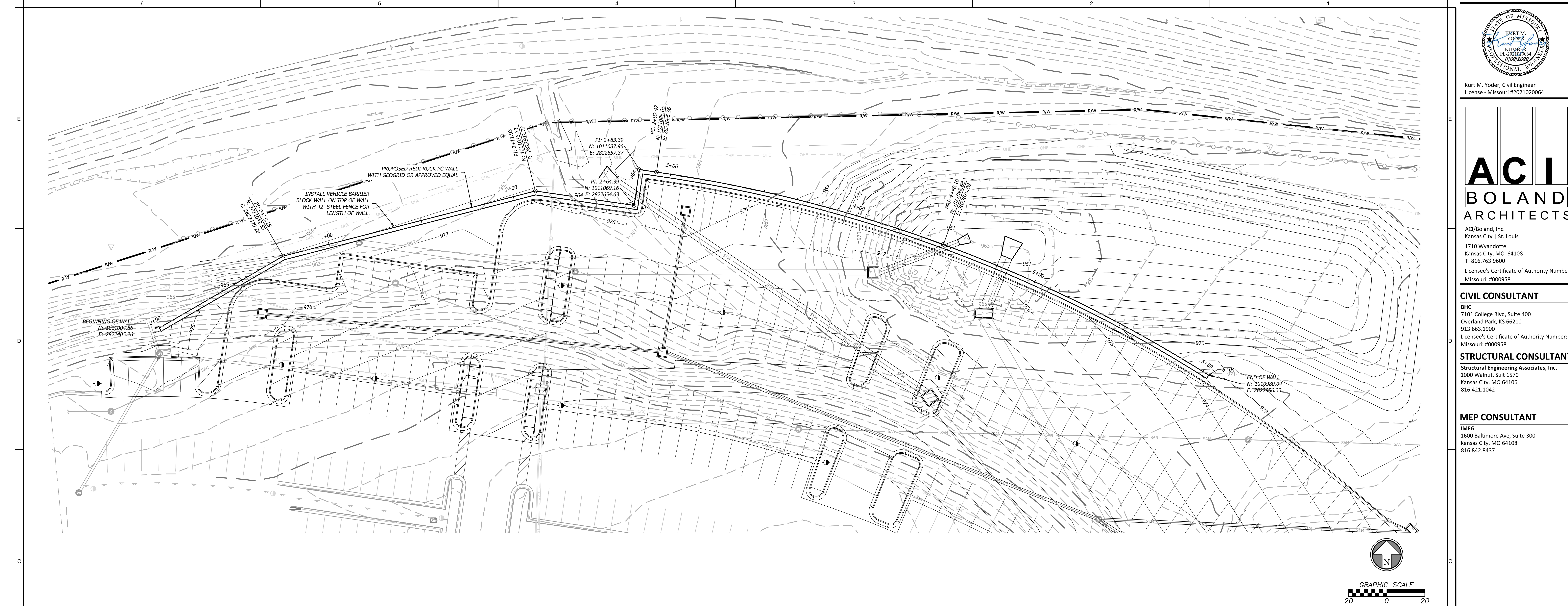
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DETENTION BASIN PLAN



Nov 02, 2022 - 10:58am Plotted By: kurt.yoder V:\033570-st. luke east\04-dwg\Eng\Sheet\DWG\033570-SHS-WALL-RW-MP.dwg Layout: Plan & Profile





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Date: 11/01/2022
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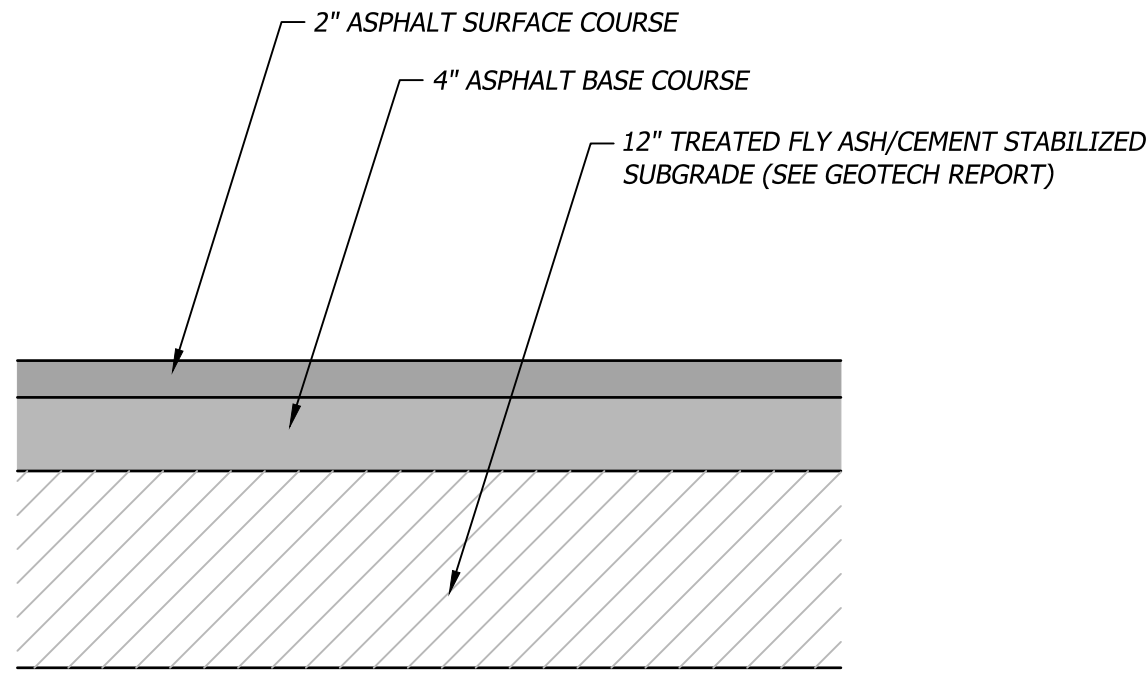
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RETAINING WALL PLAN & PROFILE

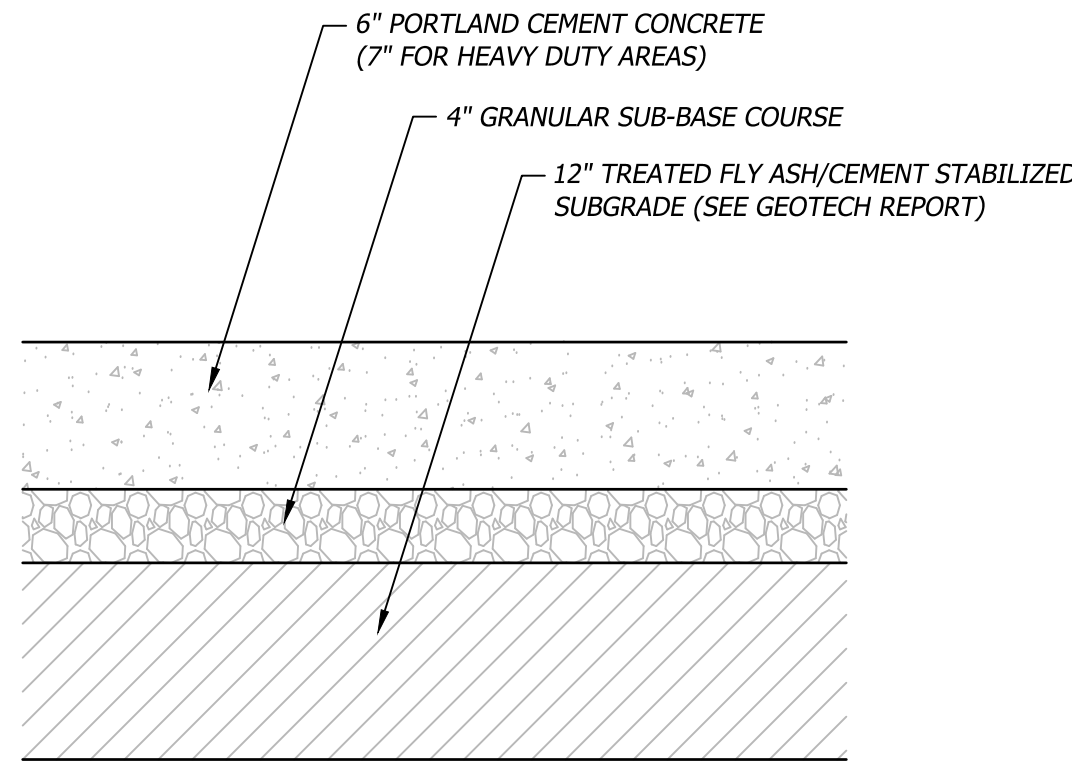
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- NOTES:**
- SHOP DRAWINGS FOR ASPHALT SHALL BE SUBMITTED PRIOR TO BATCHING. DENSITY TESTING FOR ASPHALT SHALL BE AT A MINIMUM OF 3 PER LIFT PER DAY DURING THE ASPHALT LAYING OPERATION. FINAL THICKNESS OF ASPHALT SHALL BE MEASURED AT 3 RANDOM LOCATIONS WITHIN THE SITE BY CORING THE PAVEMENT. THE AVERAGE OF THESE 3 CORES MUST BE GREATER THAN THE MINIMUM THICKNESS SPECIFIED IN THE PLANS.
 - ASPHALT PAVEMENT CONSTRUCTION SHALL ONLY COMMENCE WHEN AMBIENT TEMPERATURE IS 34 DEGREES FAHRENHEIT AND RISING.
 - THICKNESS SHOWN IS MINIMUM.



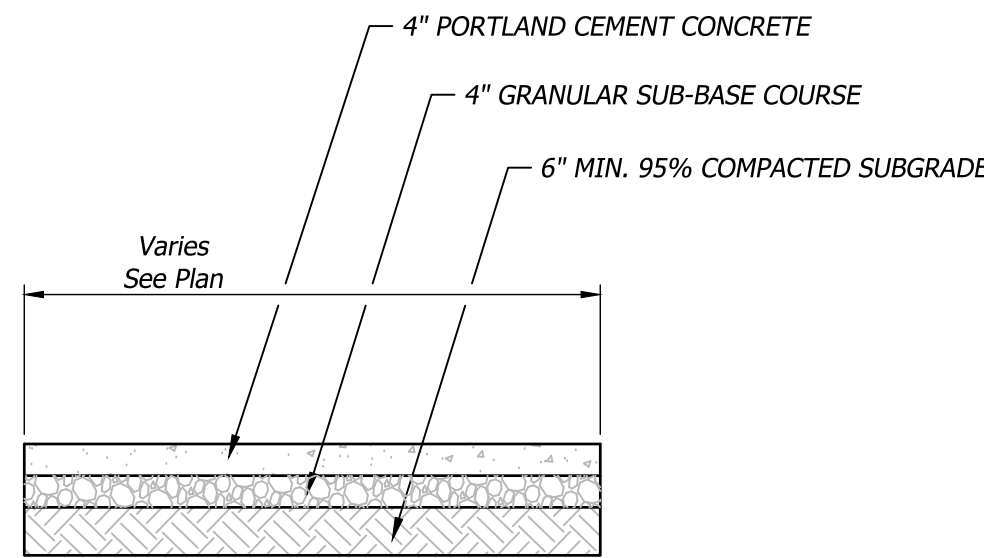
100
Not to Scale
Asphalt Pavement

- NOTES:**
- ALL EXTERIOR CONCRETE SHALL HAVE A BROOM FINISH.
 - 4000 PSI AT 28 DAYS, 4-INCH MAXIMUM SLUMP, AND 5%-7% AIR ENTRAINMENT MIX.
 - CONCRETE PAVEMENT CONSTRUCTION SHALL ONLY COMMENCE WHEN AMBIENT TEMPERATURE IS 34 DEGREES FAHRENHEIT AND RISING. COLD WEATHER PROCEDURES MAY BE UTILIZED FOR CONCRETE INSTALLATIONS WHEN TEMPERATURES ARE NOT SUITABLE FOR CONVENTIONAL PLACEMENT.
 - CONTRACTOR TO SUBMIT CONCRETE MIX DESIGN TO ENGINEER PRIOR TO PLACEMENT.
 - REFER TO JOINTING DETAILS FOR DETAILS OF CONCRETE JOINTS.

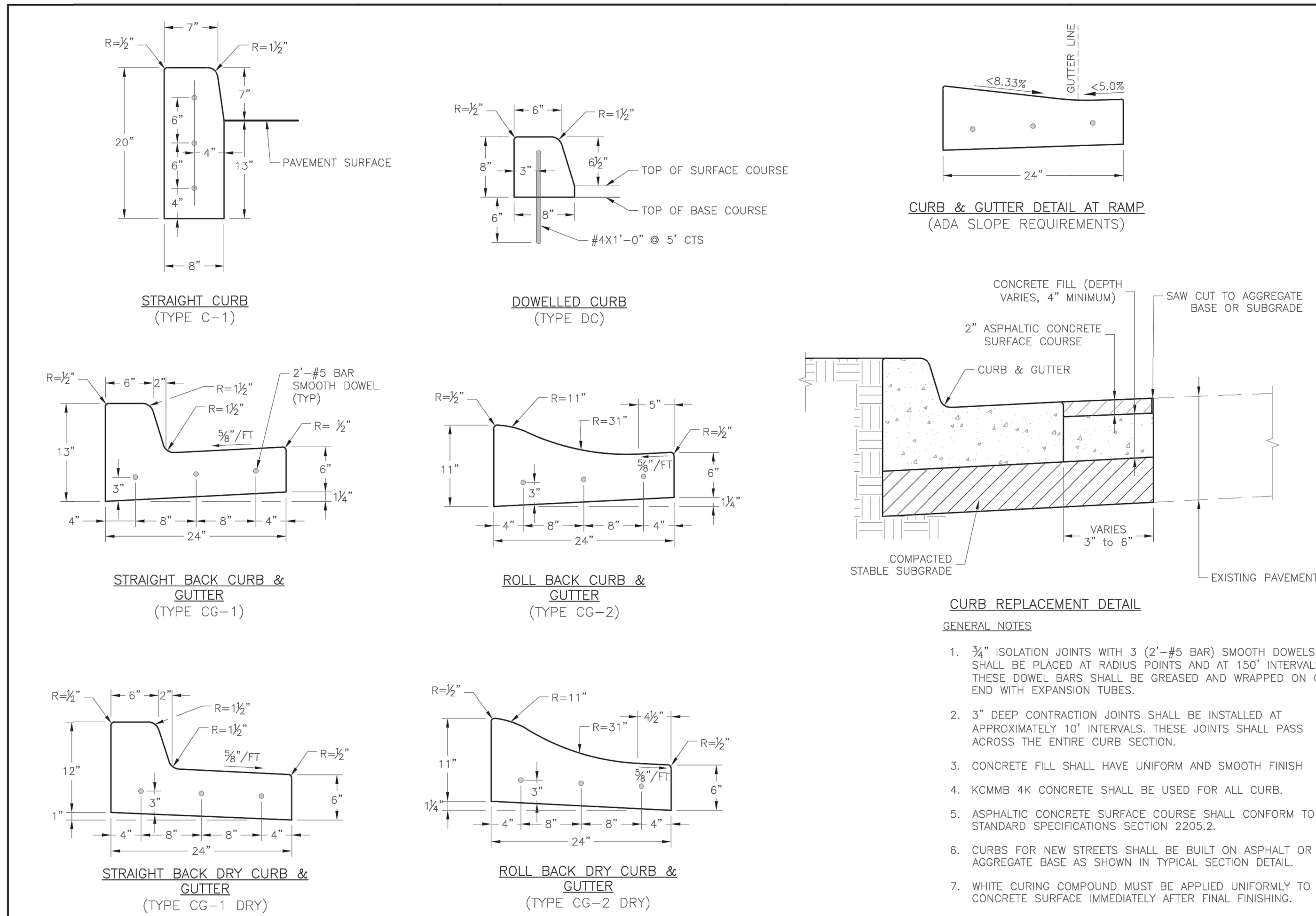


101
Not to Scale
Concrete Pavement

- NOTES:**
- CONTROL JOINT SPACING SHALL MATCH WIDTH OF SIDEWALK.
 - ISOLATION JOINTS SHALL BE PLACED @ 250' CENTERS OR WHERE WALKS ABOUT CURBS, BUILDINGS, ETC....
 - ALL EXTERIOR CONCRETE SHALL HAVE A BROOM FINISH.



102
Not to Scale
Concrete Sidewalk



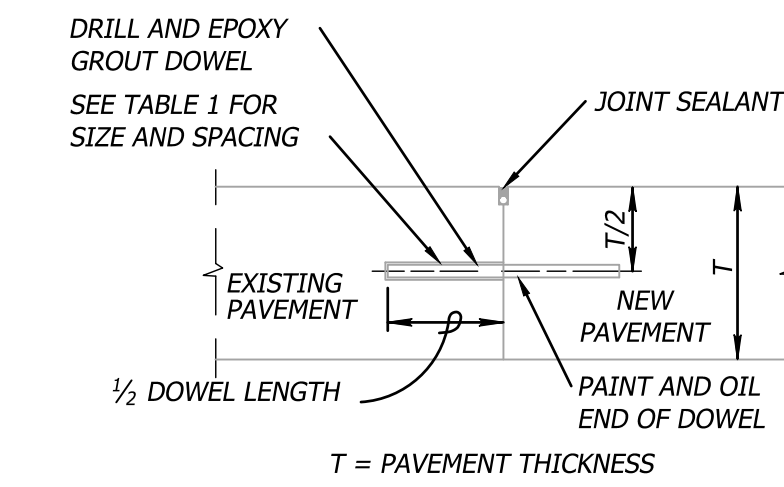
LEE'S SUMMIT
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STANDARD DETAILS
CITY OF LEE'S SUMMIT, MO
LEE'S SUMMIT, JACKSON COUNTY, MO
CURB & GUTTER DETAIL

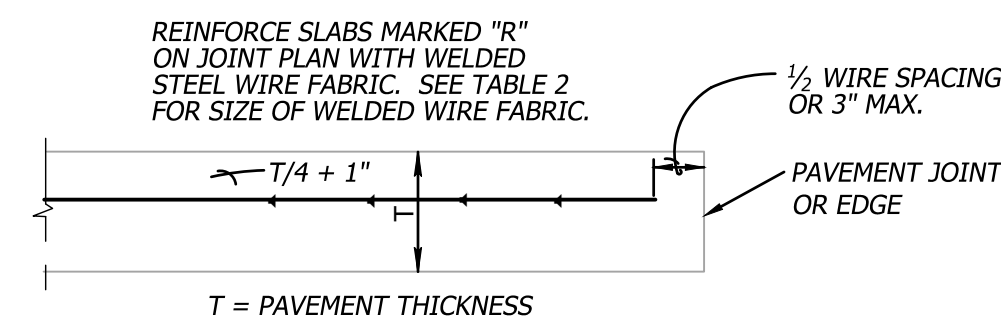
GEN-4

JOINTING AND DOWEL NOTES

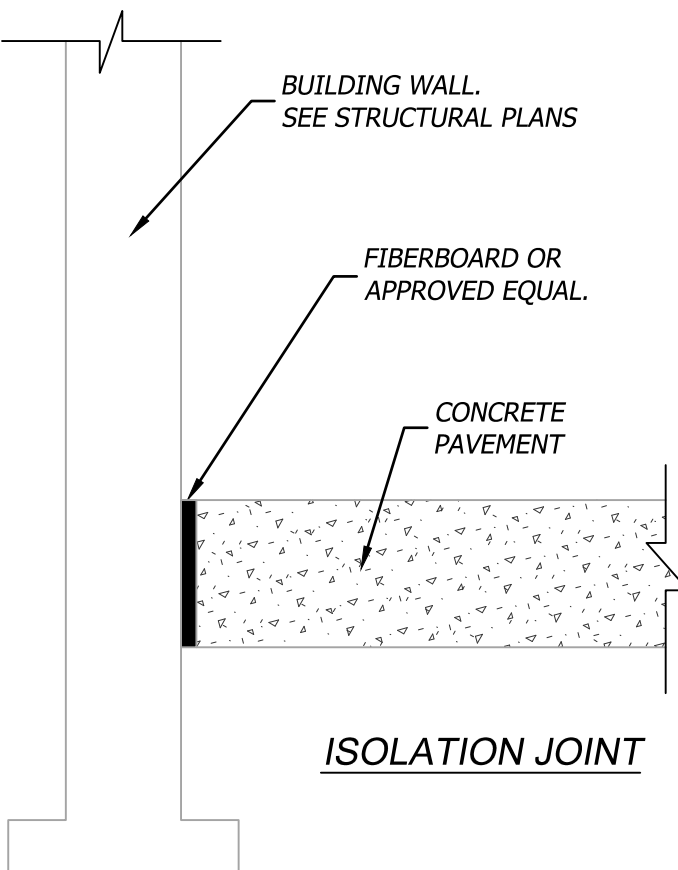
- WIDTH TO LENGTH RATIO OF SLABS NOT TO EXCEED 1.25 TIMES.
- LENGTH OF ANY PANEL TO NOT EXCEED 12.5 FEET IN PAVEMENT AREAS AND 10 FEET IN SIDEWALK AREAS.
- SLABS WHICH DO NOT FOLLOW THE WIDTH TO LENGTH RATIO ABOVE OR ARE NOT RECTANGULAR SHALL BE REINFORCED WITH STEEL WELDED WIRE FABRIC OF THE SIZES SHOWN IN TABLE 2. OTHER WWF SIZES MAY BE USED PROVIDED THE STEEL AREA (SQ INCHES/FOOT) IN THE LONGITUDINAL AND TRANSVERSE DIRECTIONS IS EQUAL TO OR EXCEEDS THAT SHOWN IN TABLE 2.
- EPOXY COATED DOWEL BARS SHALL BE DRILLED BY USE OF A MECHANICAL RIG. DRILLING BY HAND OR PUSHING DOWEL BARS INTO GREEN CONCRETE IS NOT ACCEPTABLE.
- DRILLING, CLEANING, AND GROUTING SHALL BE PERFORMED PER THE EPOXY MANUFACTURER'S REQUIREMENTS FOR THIS SPECIFIC APPLICATION.
- ASSURE SAW JOINTS ARE CLEAN AND DRY PRIOR TO THE APPLICATION OF THE JOINT SEALANT.
- FOR EPOXY GROUT, THE HOLE DIAMETER SHALL BE NOT MORE THAN $\frac{1}{8}$ " LARGER THAN DOWEL DIAMETER OR AS DIRECTED BY THE EPOXY MANUFACTURER.
- INSTALL CLOSED CELL BACKER RODS AFTER JOINTS HAVE BEEN CLEANED AND DRIED IN ACCORDANCE WITH SEALANT MANUFACTURER'S REQUIREMENTS.
- INSTALL BACKER ROD AT CONSISTENT AND UNIFORM DEPTH.
- JOINT SEALANT APPLICATION SHALL BE IN STRICT COMPLIANCE WITH SEALANT MANUFACTURER'S REQUIREMENTS.
- ALL JOINTS ALONG THE ACCESSIBLE ROUTE SHALL NOT EXCEED $\frac{1}{4}$ " IN WIDTH.
- CONTRACTOR TO INSTALL BULKHEAD AND DOWEL EXPANSION JOINTS AT DAY'S END POUR.



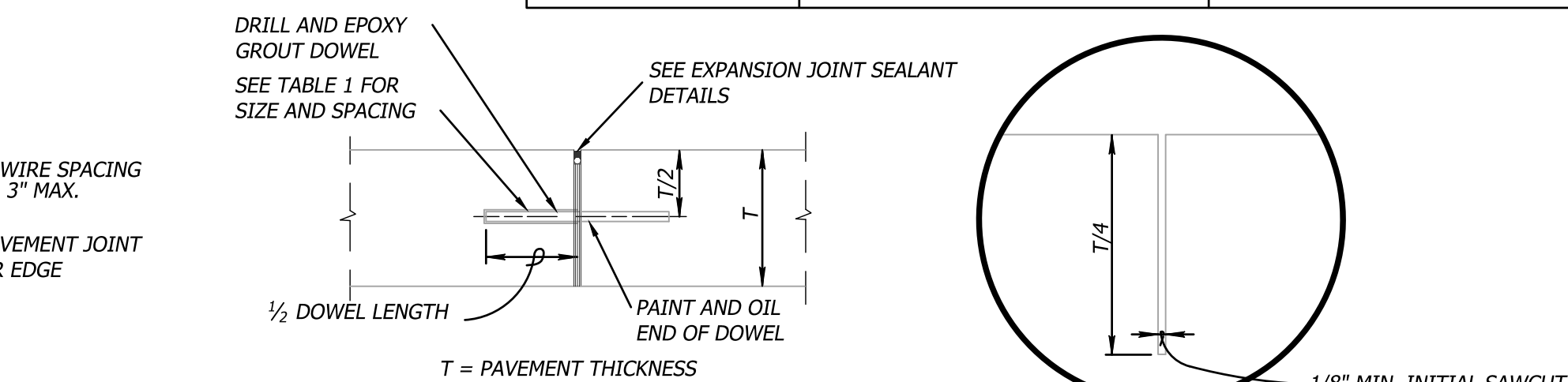
**DOWELED JOINT BETWEEN
NEW & EXISTING PAVEMENT (CONSTRUCTION JOINT)**



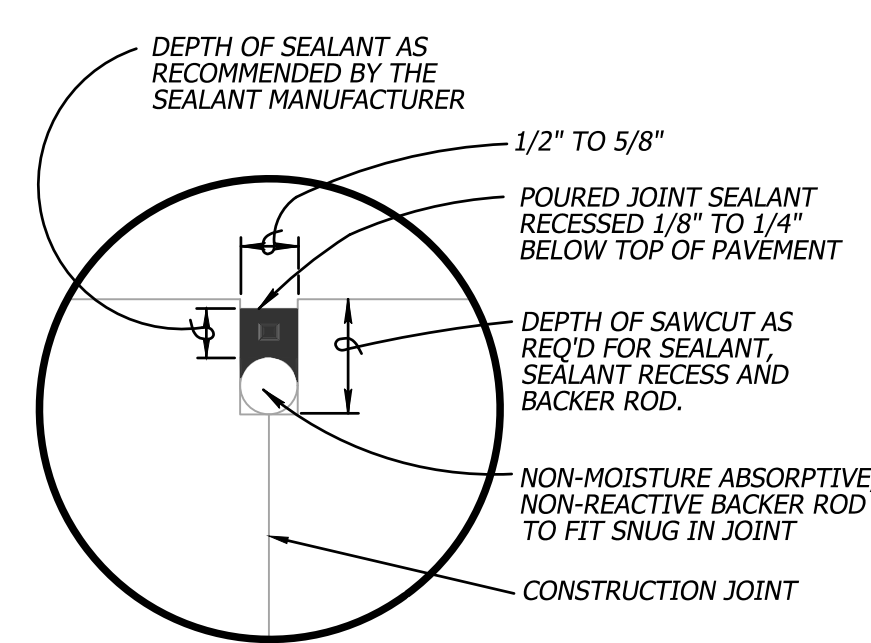
SLAB REINFORCING DETAIL



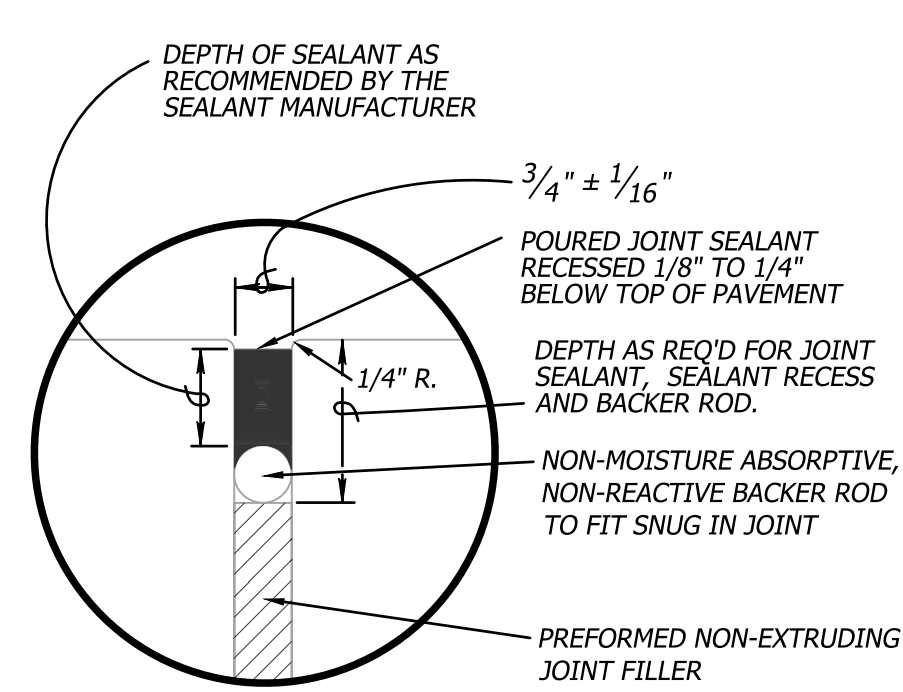
ISOLATION JOINT



DOWELED EXPANSION JOINT



**COMPLETED CONSTRUCTION
JOINT SEALANT DETAIL**



**COMPLETED EXPANSION
JOINT SEALANT DETAIL**

TABLE 1			
PAVEMENT THICKNESS	MAXIMUM DOWEL SPACING	MINIMUM DOWEL LENGTH	MINIMUM DOWEL DIAMETER
LESS THAN 8"	12"	16"	3/4"
8" TO 11"	12"	16"	1"
12" TO 15"	15"	20"	1-1/4"

TABLE 2		
PAVEMENT THICKNESS	MINIMUM REQUIRED AREA OF STEEL (SQ. IN. / FT)	WELDED WIRE FABRIC
6"	0.036	6 x 6 - W2.0 x W2.0
7"	0.042	6 x 6 - W2.9 x W2.9



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Date 11/01/2022
Job Number 3-21037
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Checked By KMY

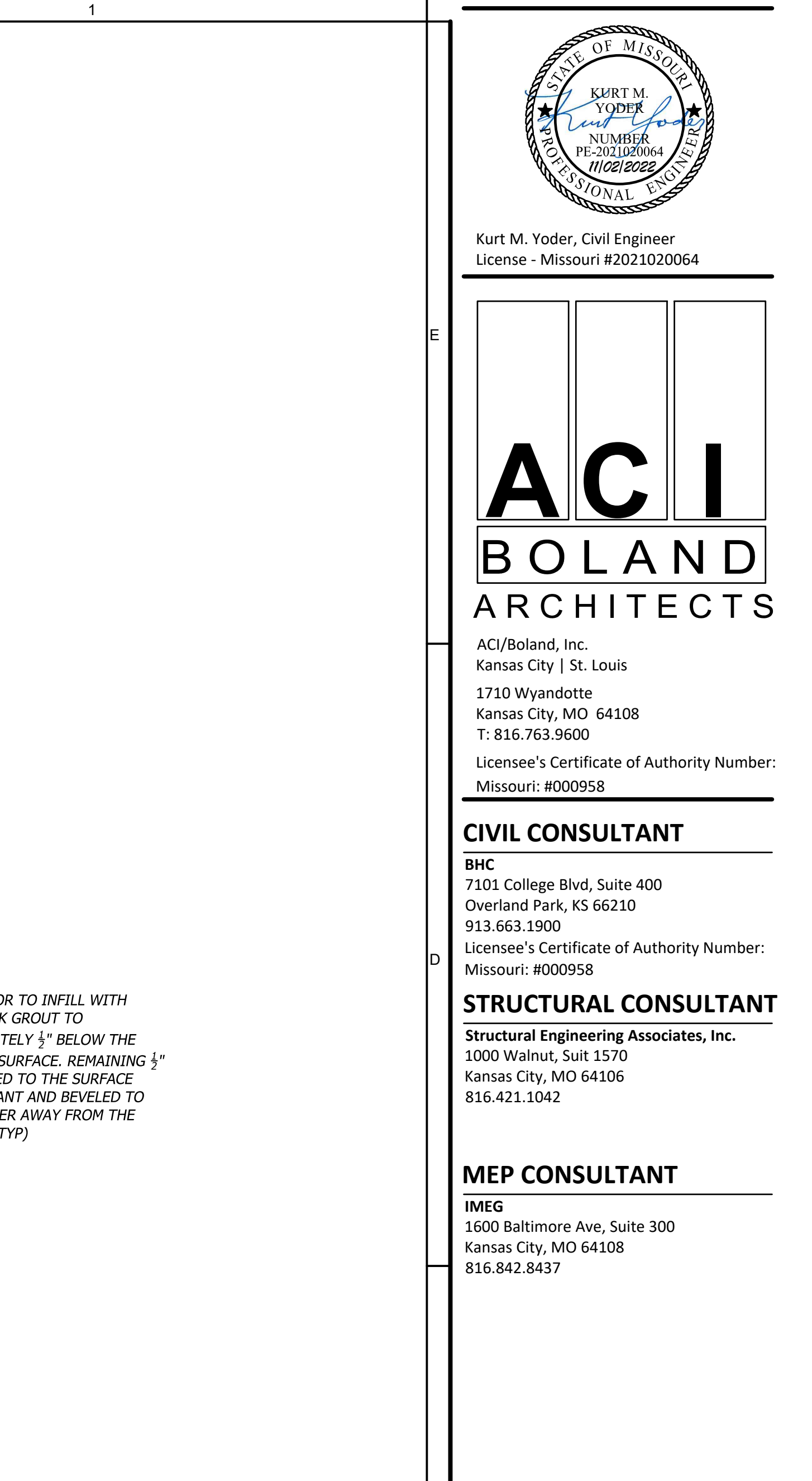
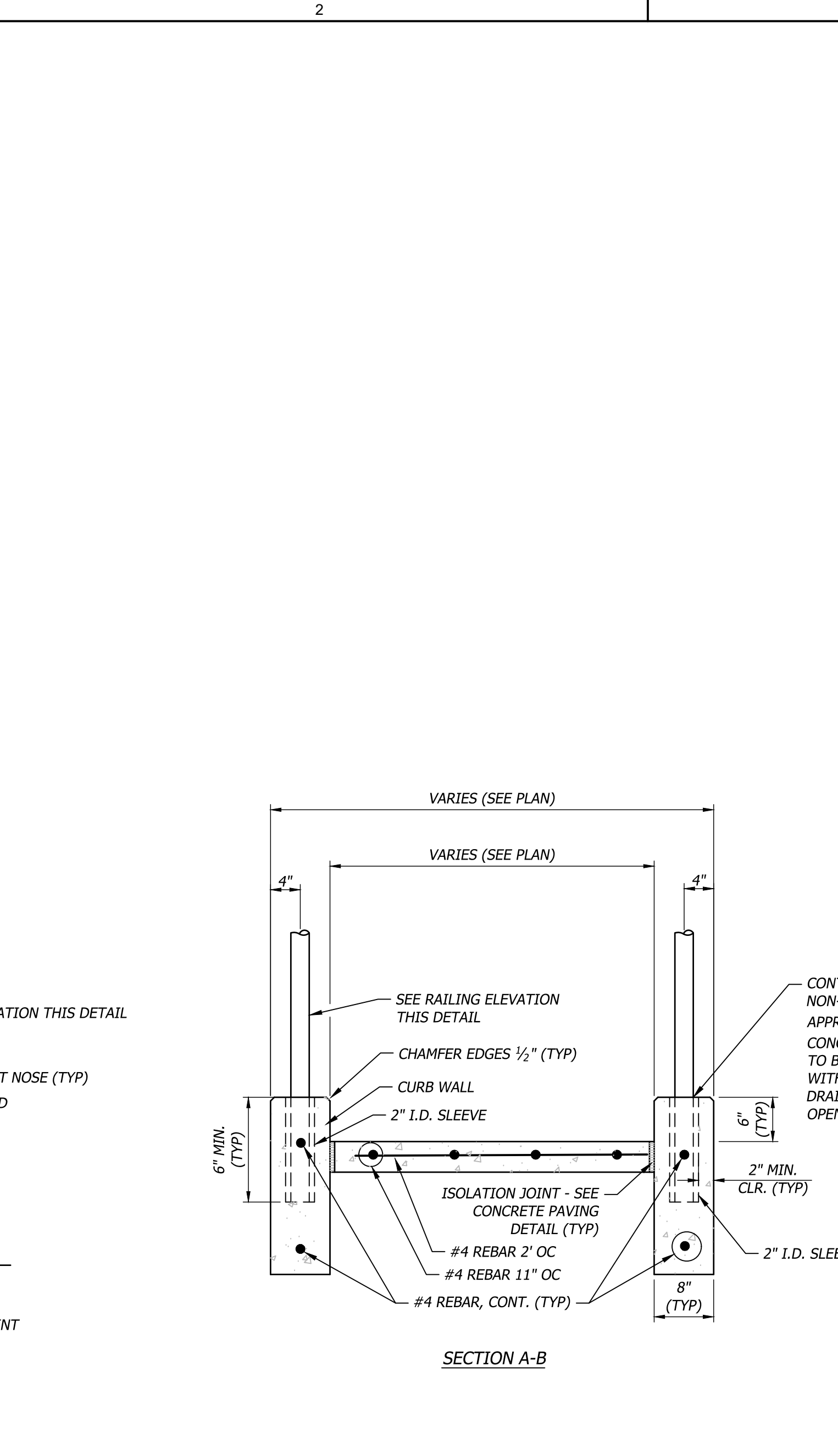
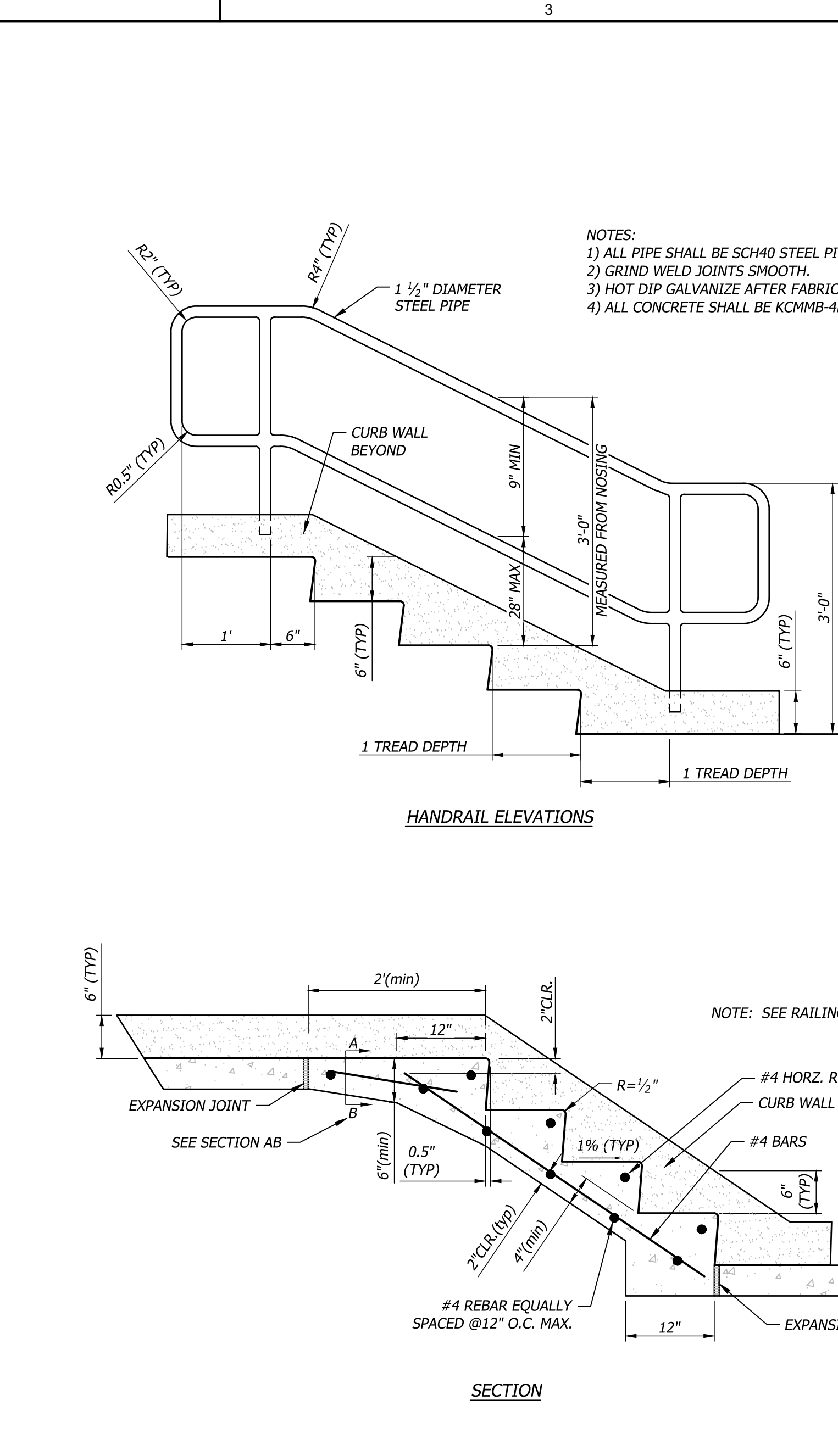
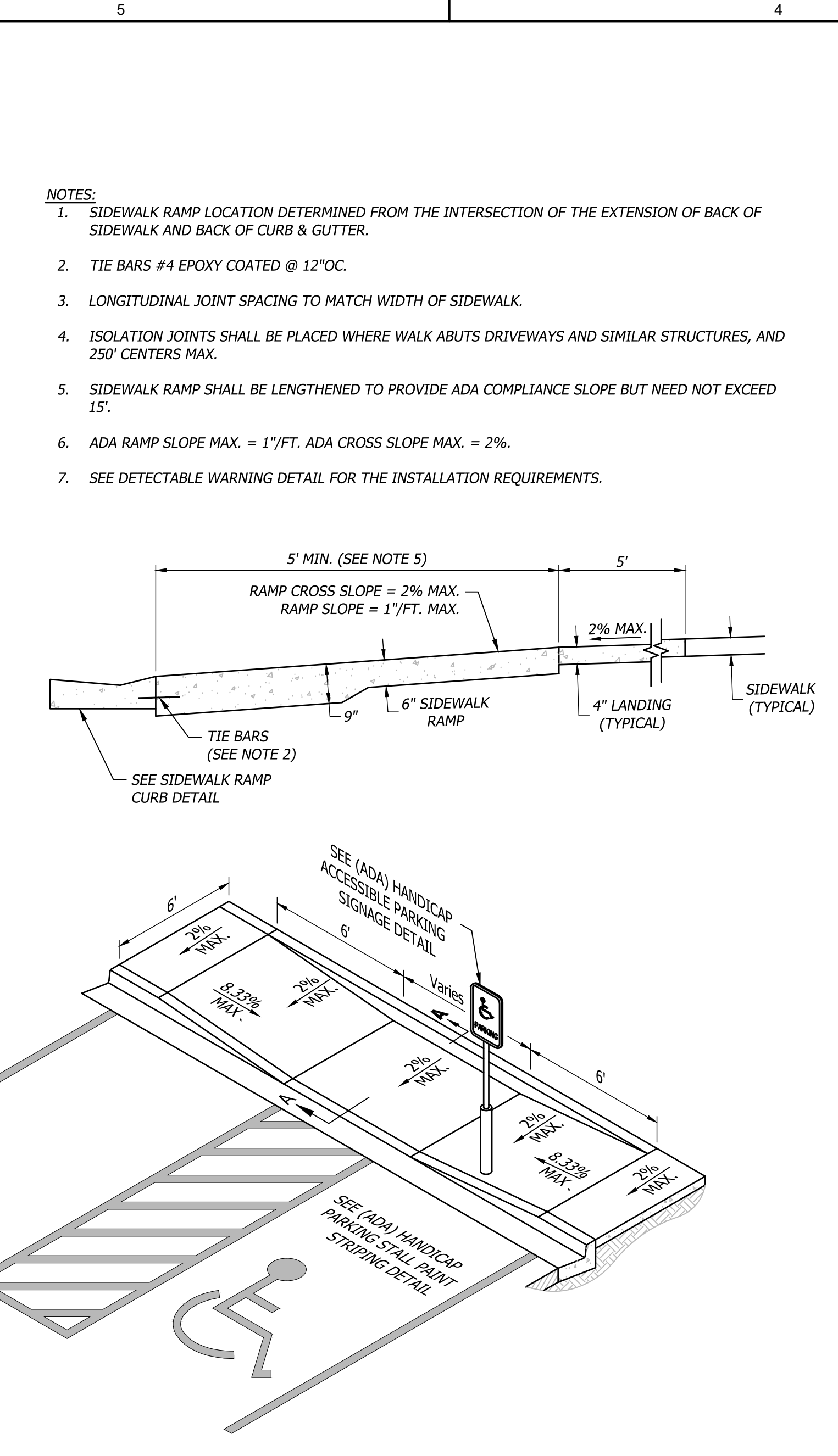
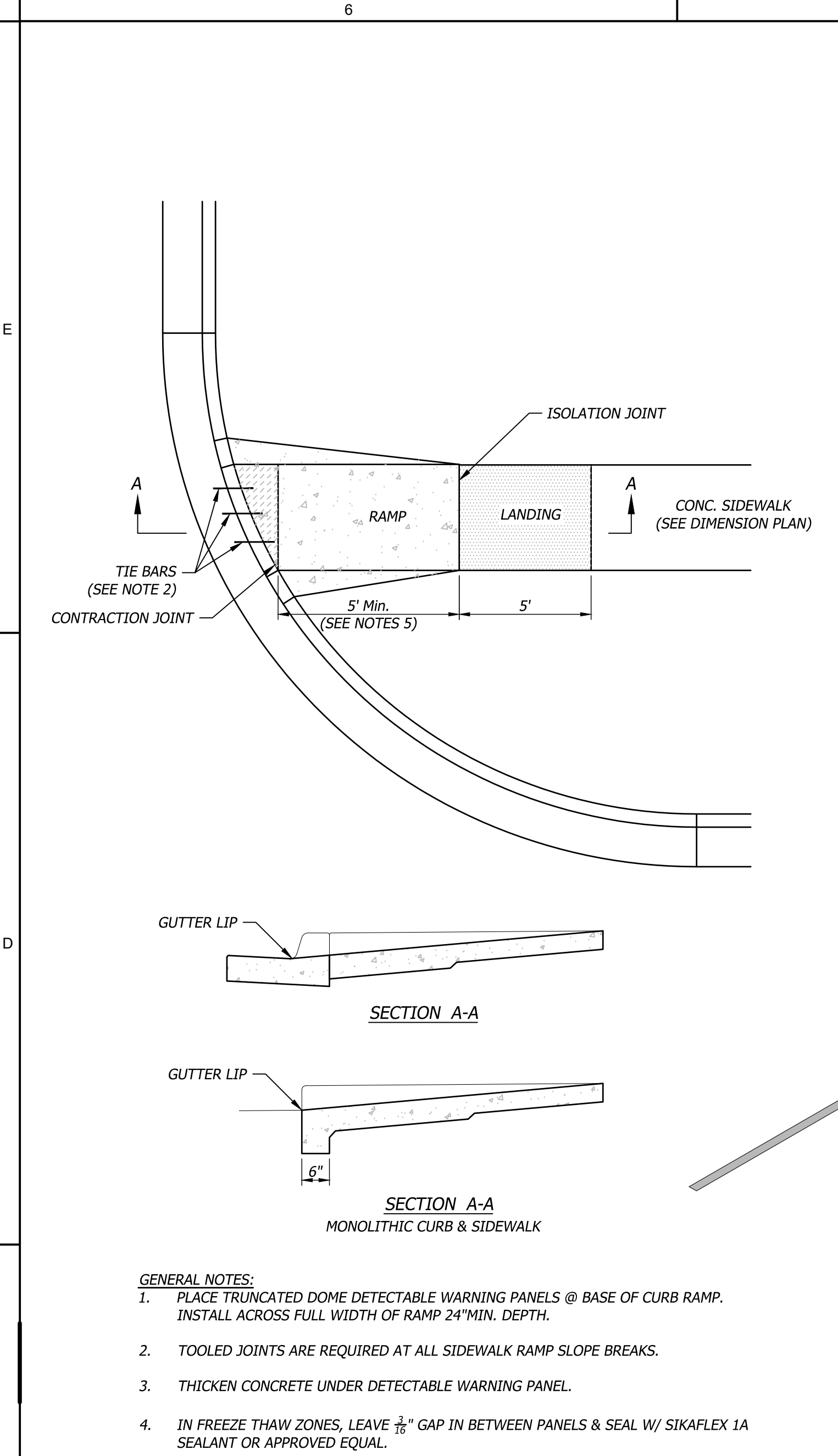
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Number Date Description

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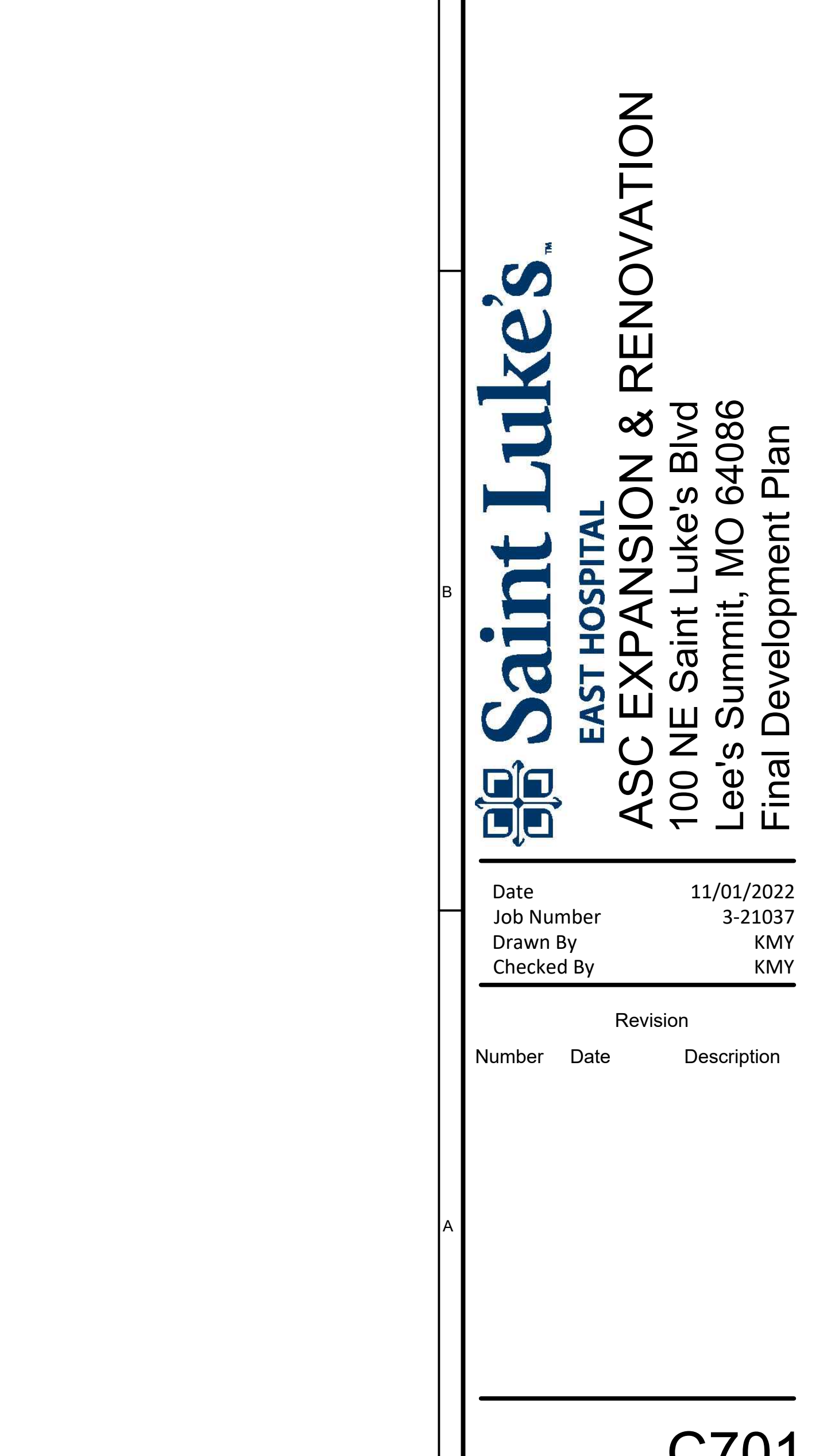
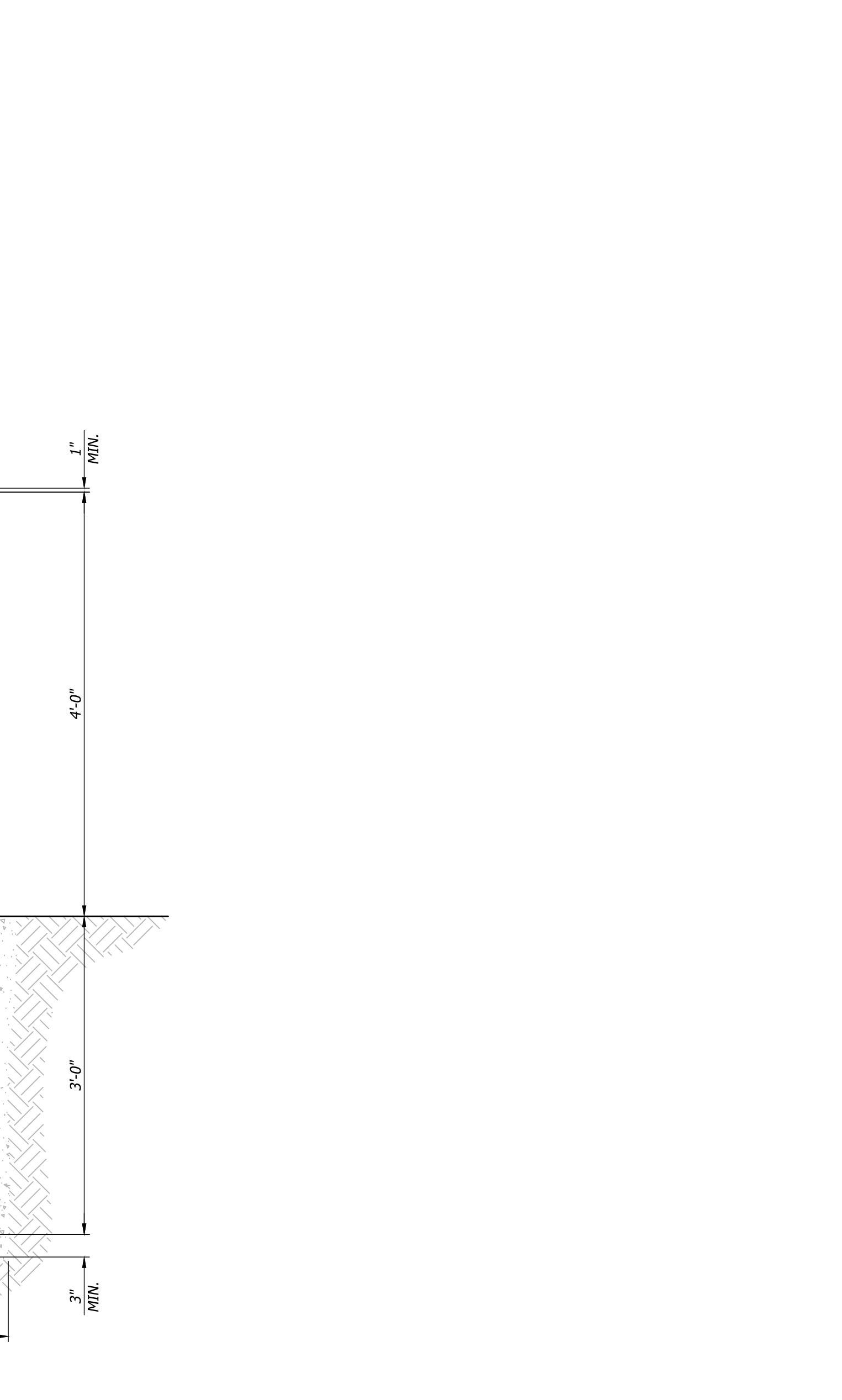
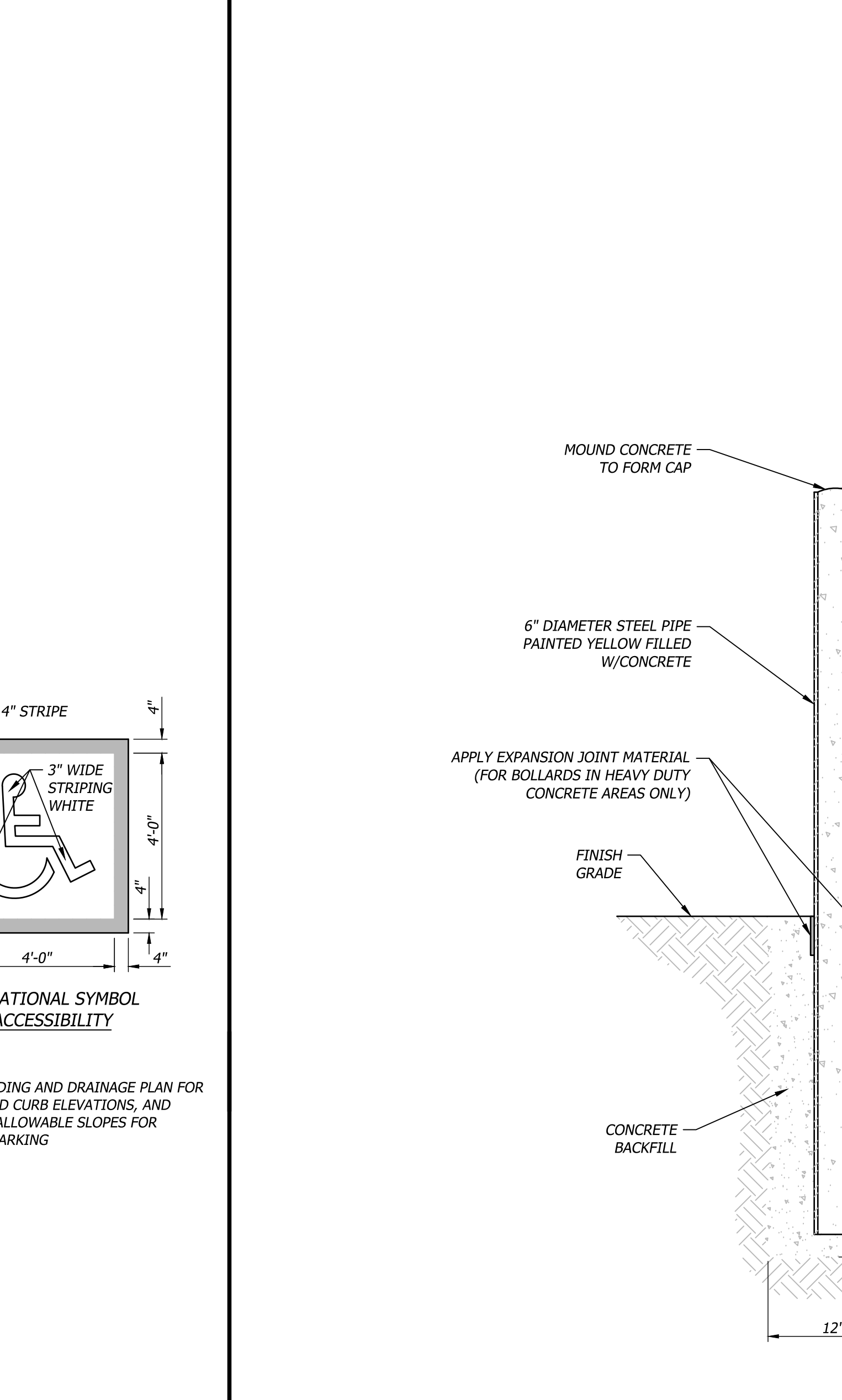
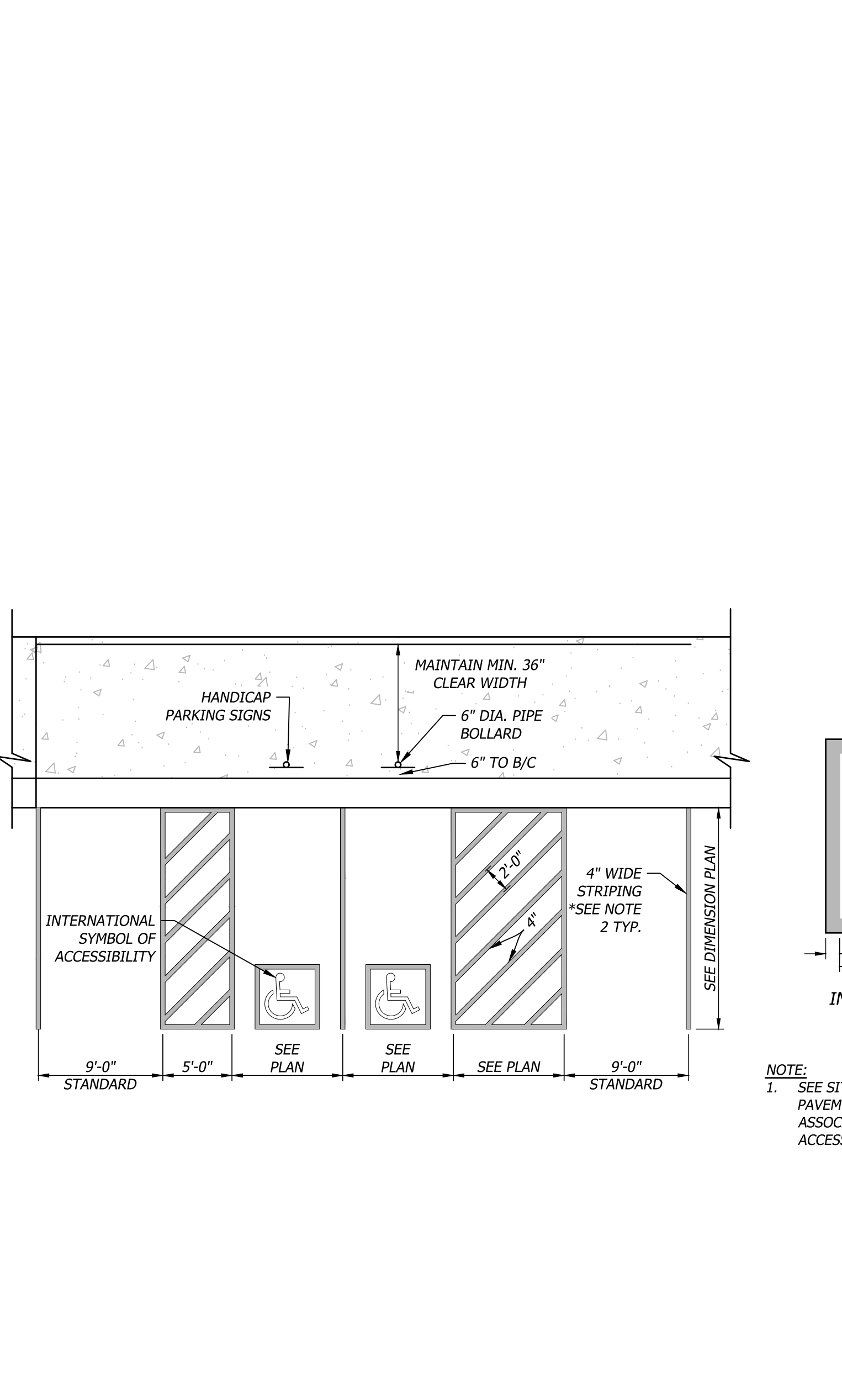
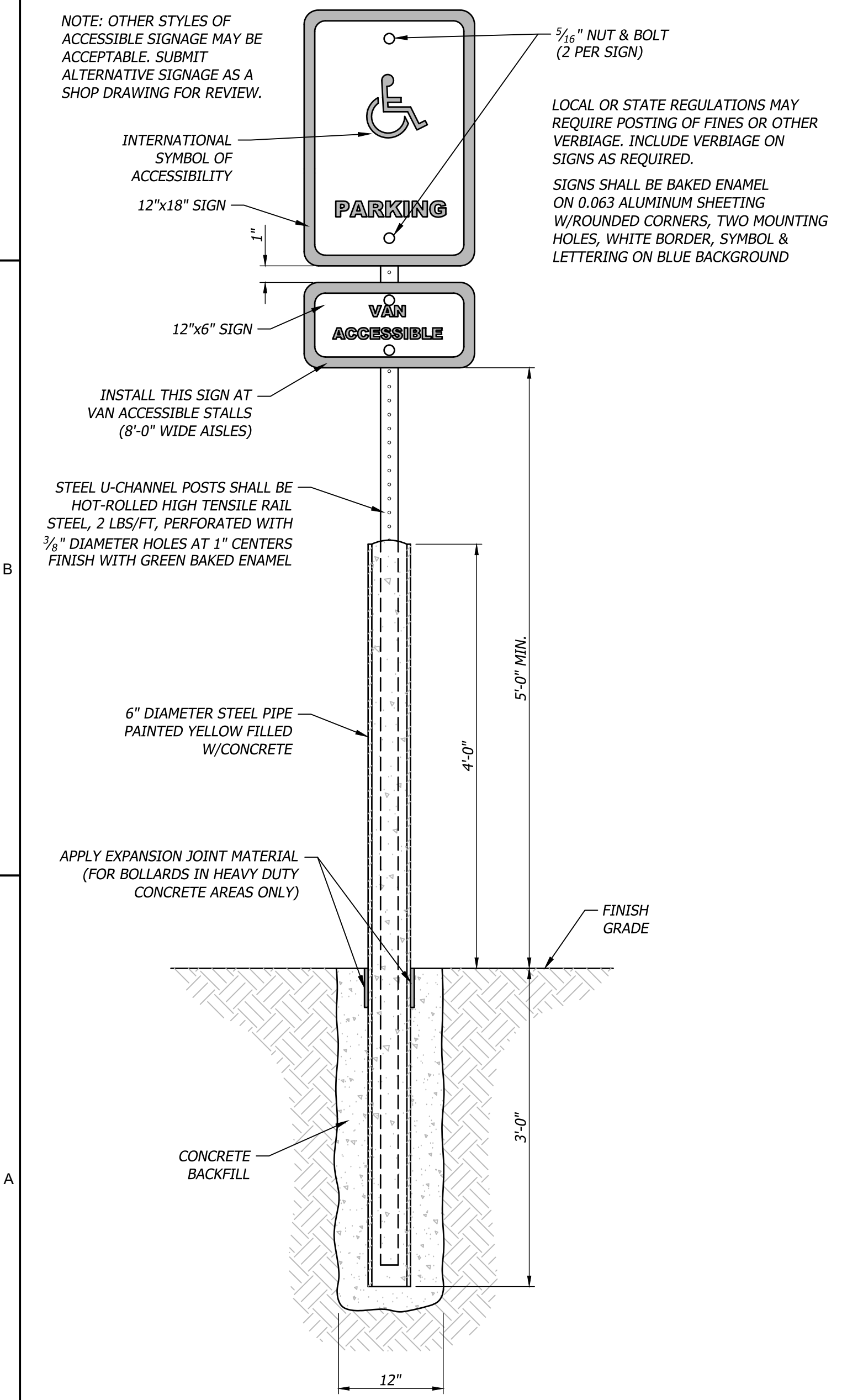
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106 Not to Scale **Sidewalk Ramp**

107 Not to Scale **Concrete Stair & Handrail**



108 Not to Scale **ADA Handicap Parking Signage**

109 Not to Scale **ADA Handicap Parking Striping**

110 Not to Scale **Steel/Concrete Bollard**

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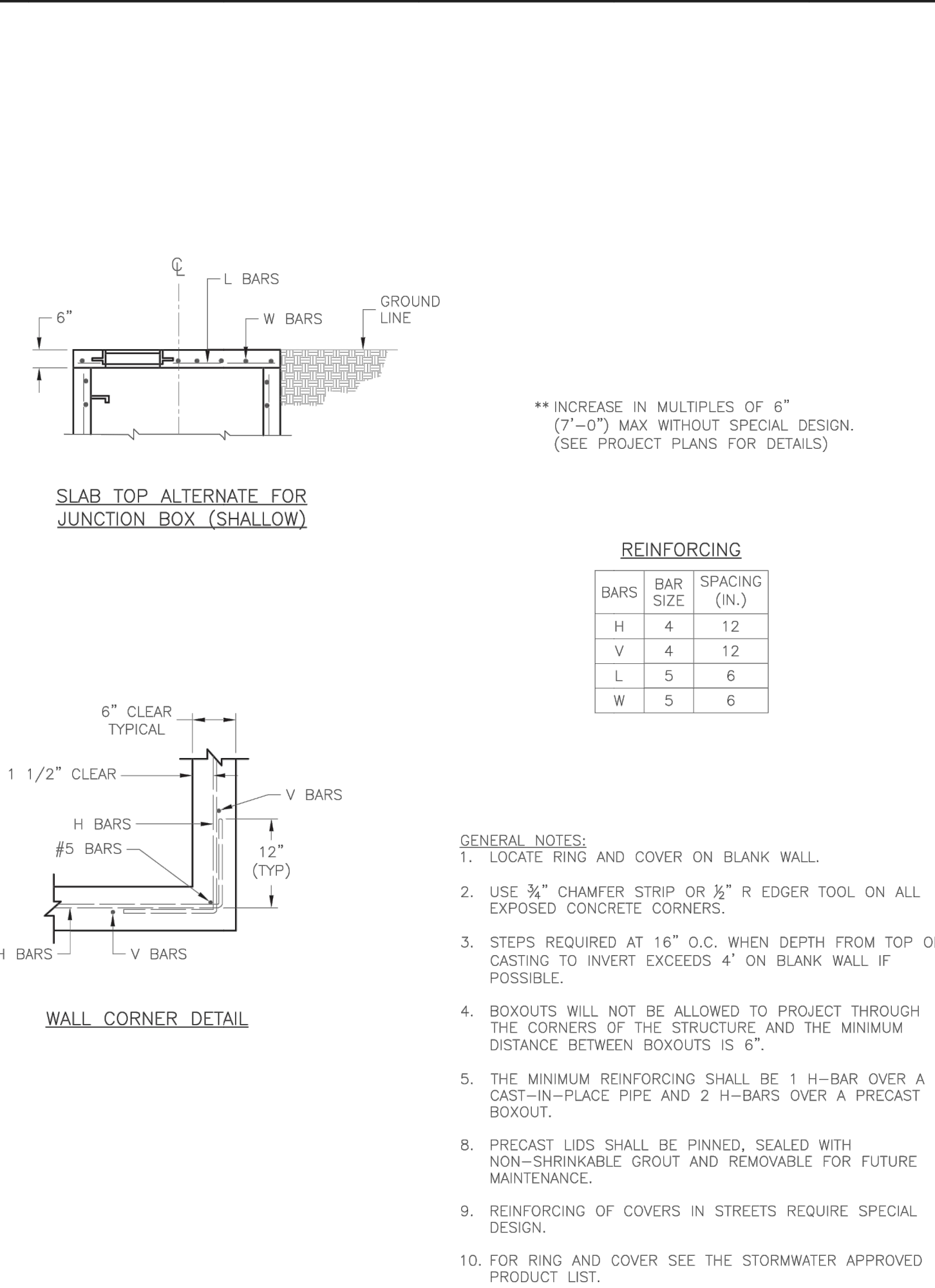
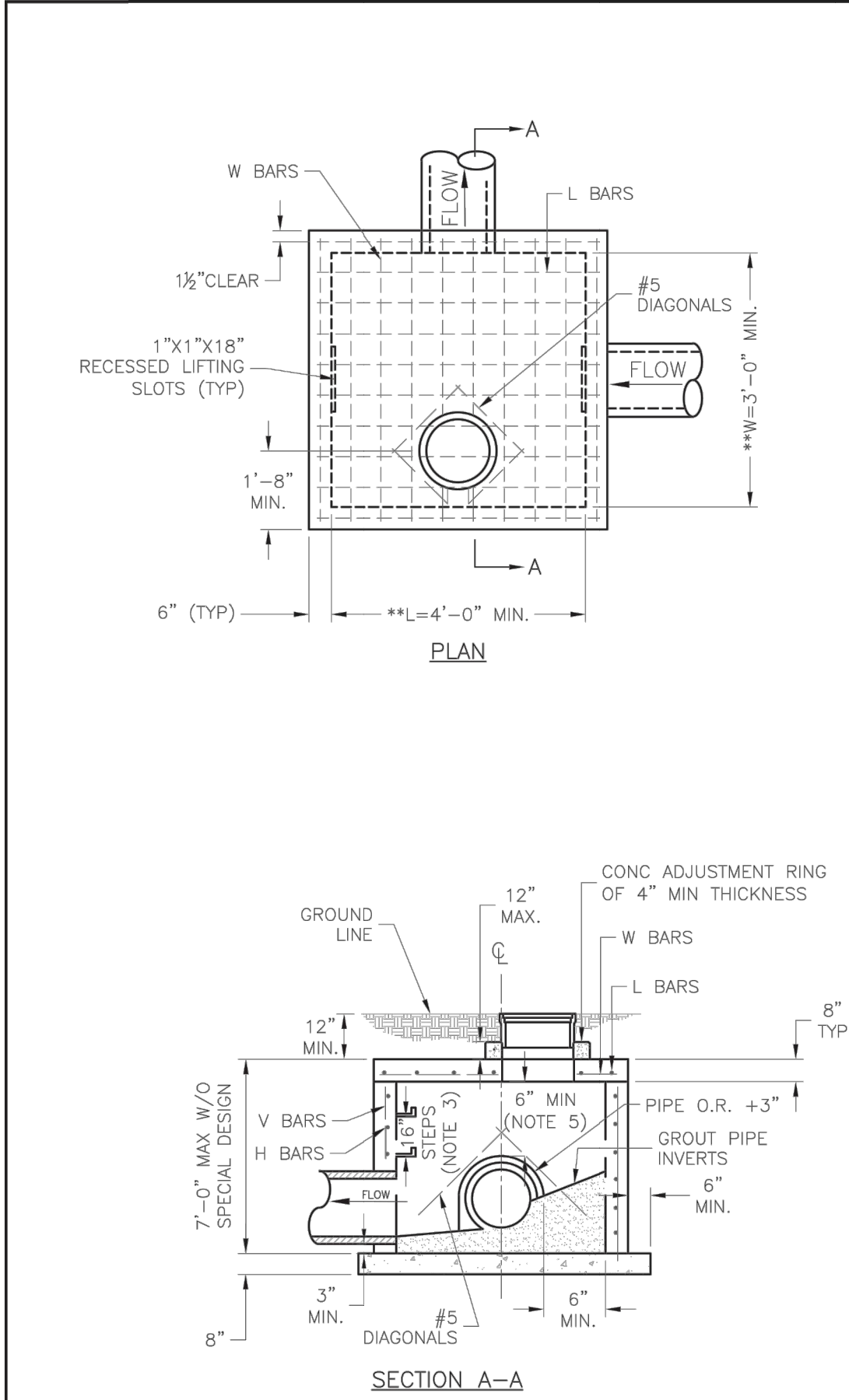
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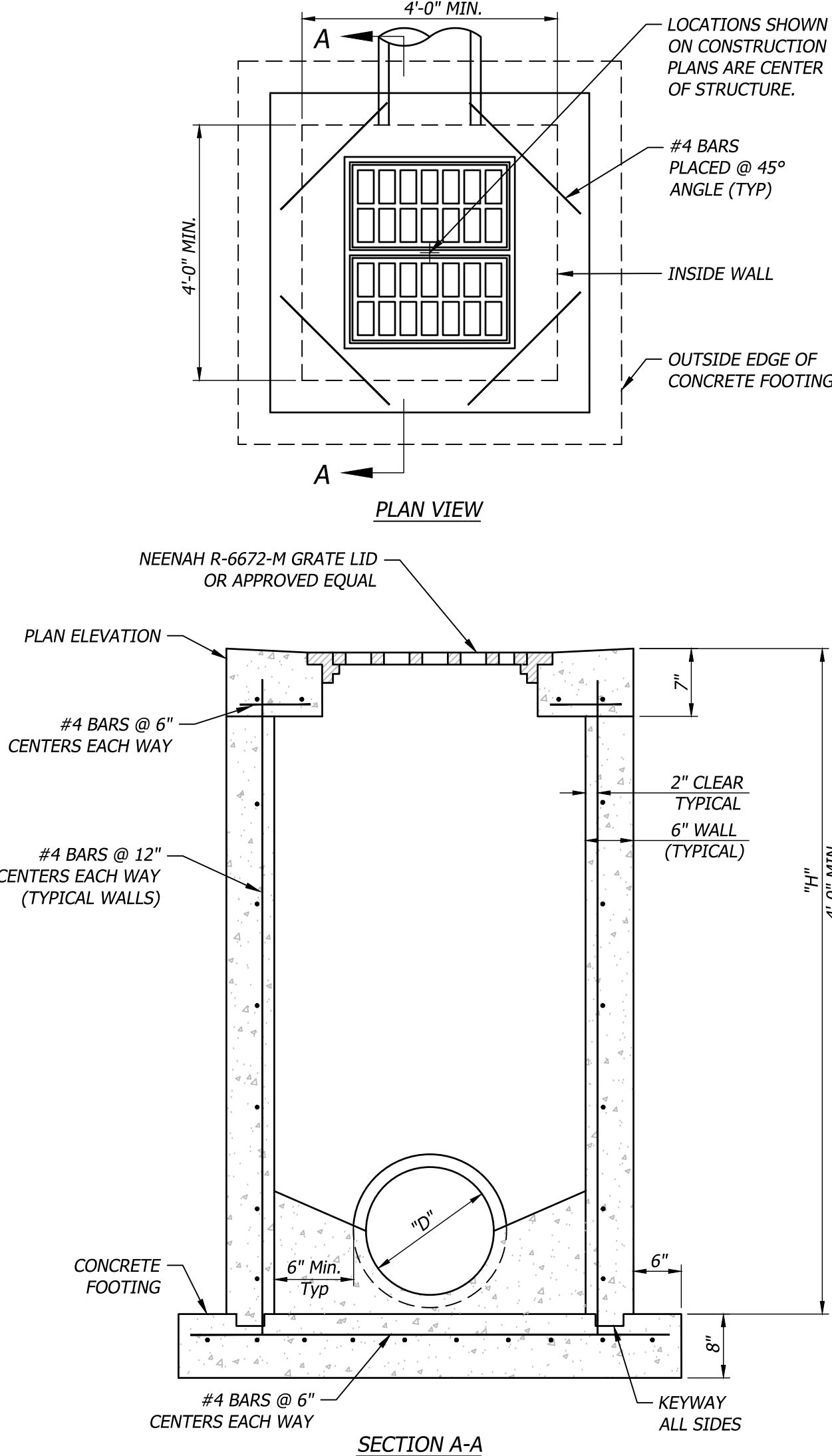
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CITY OF LEE'S SUMMIT, MO	
LEE'S SUMMIT, JACKSON COUNTY, MO	
JUNCTION BOX DETAIL	
Drawn By: MAF	
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Date: 05/2021	
File No.	
STM-3	

STANDARD DETAILS	
CITY OF LEE'S SUMMIT, MO	
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Date: 05/2021	
File No.	
STM-3	

201 Junction Box

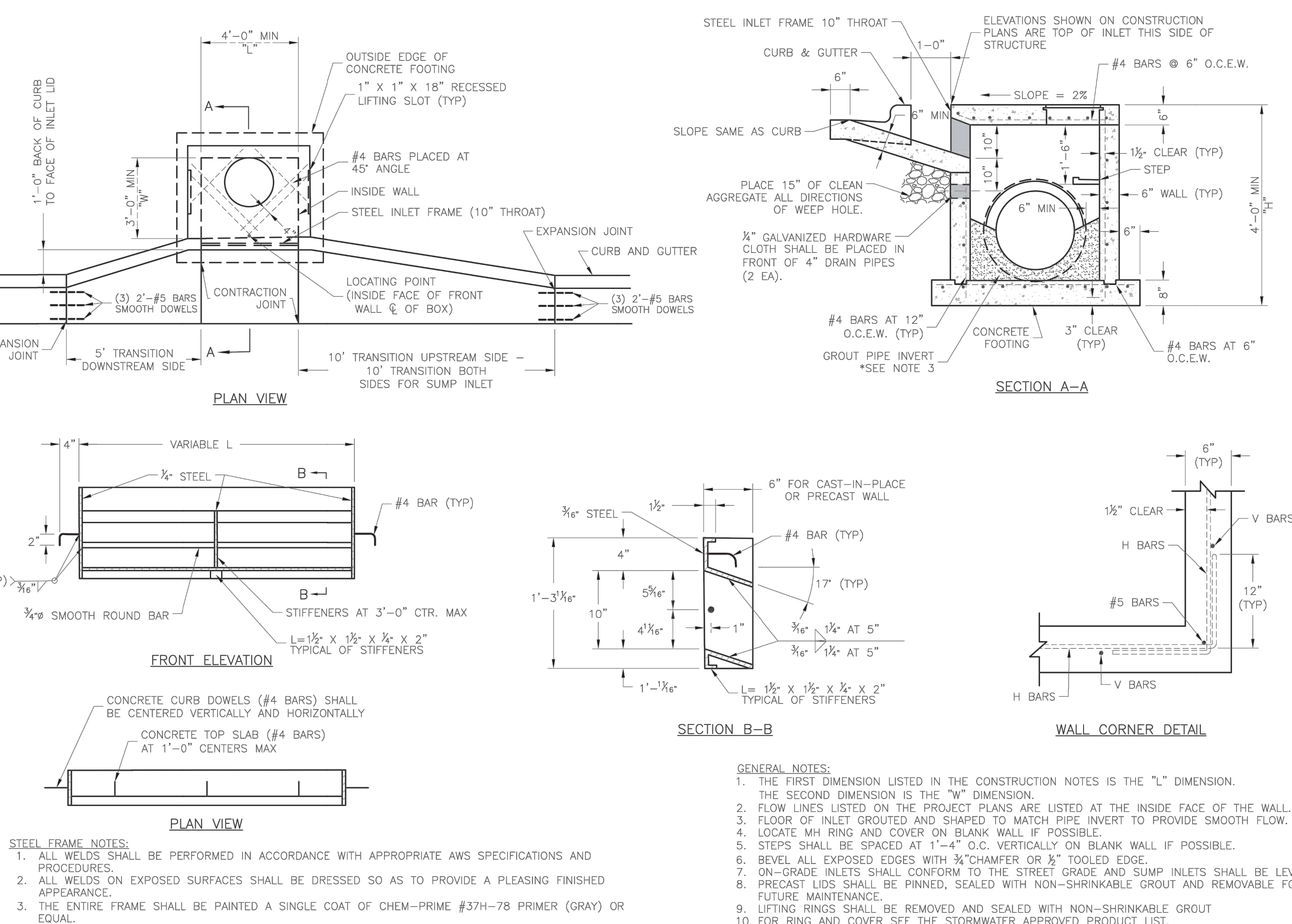
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- NOTES
- ALL CONCRETE SHALL BE 4000 PSI.
 - THE FIRST DIMENSION LISTED IN THE CONSTRUCTION NOTES IS THE "L" DIMENSION. THE SECOND DIMENSION IS THE "W" DIMENSION.
 - FLOOR OF INLET SHALL BE SHAPED WITH NON-REINFORCED CONCRETE INVERT TO PROVIDE SMOOTH FLOW.
 - EXPANSION JOINTS SHALL BE EITHER HOT OR COLD POURED JOINT SEALING COMPOUND, OR PREMOLED EXPANSION JOINT FILLER.
 - STEEL INLET FRAME SPACERS SHALL BE PLACED AT EQUAL SPACINGS NOT TO EXCEED 4'-0".
 - BEVEL ALL EXPOSED EDGES WITH TRIANGULAR MOLDING.
 - ALL DIMENSIONS RELATIVE TO REINFORCING STEEL ARE TO CENTERLINE OF BARS. 2" CLEARANCE SHALL BE PROVIDED THROUGHOUT UNLESS NOTED OTHERWISE. TOLERANCE OF $\pm 1/8"$ SHALL BE PERMITTED.
 - ALL LAP SPLICES NOT SHOWN SHALL BE A MINIMUM OF 40 BAR DIAMETERS IN LENGTH.
 - ALL DOWELS SHALL BE ACCURATELY PLACED AND SECURELY TIED IN PLACE PRIOR TO PLACEMENT OF BOTTOM SLAB CONCRETE. STICKING OF DOWELS INTO FRESH OR PARTIALLY HARDENED CONCRETE WILL NOT BE ACCEPTABLE.
 - ALL REINFORCING STEEL SHALL BE SUPPORTED ON FABRICATED STEEL BAR SUPPORTS @ 3'-0" MAXIMUM SPACING.
 - DO NOT SCALE THESE DRAWINGS FOR DIMENSIONS OR CLEARANCES. ANY QUESTIONS REGARDING DIMENSIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION.
 - THE BOTTOM SLAB SHALL BE AT LEAST 24 HOURS OLD BEFORE PLACING SIDEWALL CONCRETE. ALL SIDEWALL FORMS SHALL REMAIN IN PLACE A MINIMUM OF 24 HOURS AFTER SIDEWALLS ARE POURED BEFORE REMOVAL, AND AFTER REMOVAL SHALL BE IMMEDIATELY TREATED WITH MEMBRANE CURING COMPOUND.
 - RCP CONNECTIONS TO PRECAST STRUCTURES SHALL HAVE A MINIMUM OF 6" OF CONCRETE AROUND THE ENTIRE PIPE WITHIN 2' OF THE STRUCTURE.
 - THE CONCRETE THICKNESS AND REINFORCEMENT SHOWN IS FOR BOXES WITH (11"x11") AND (11"x14") LESS THAN OR EQUAL TO 10. FOR BOXES WITH EITHER OF THESE CALCULATIONS GREATER THAN 20, A SPECIAL DESIGN IS REQUIRED.



202 Area Inlet

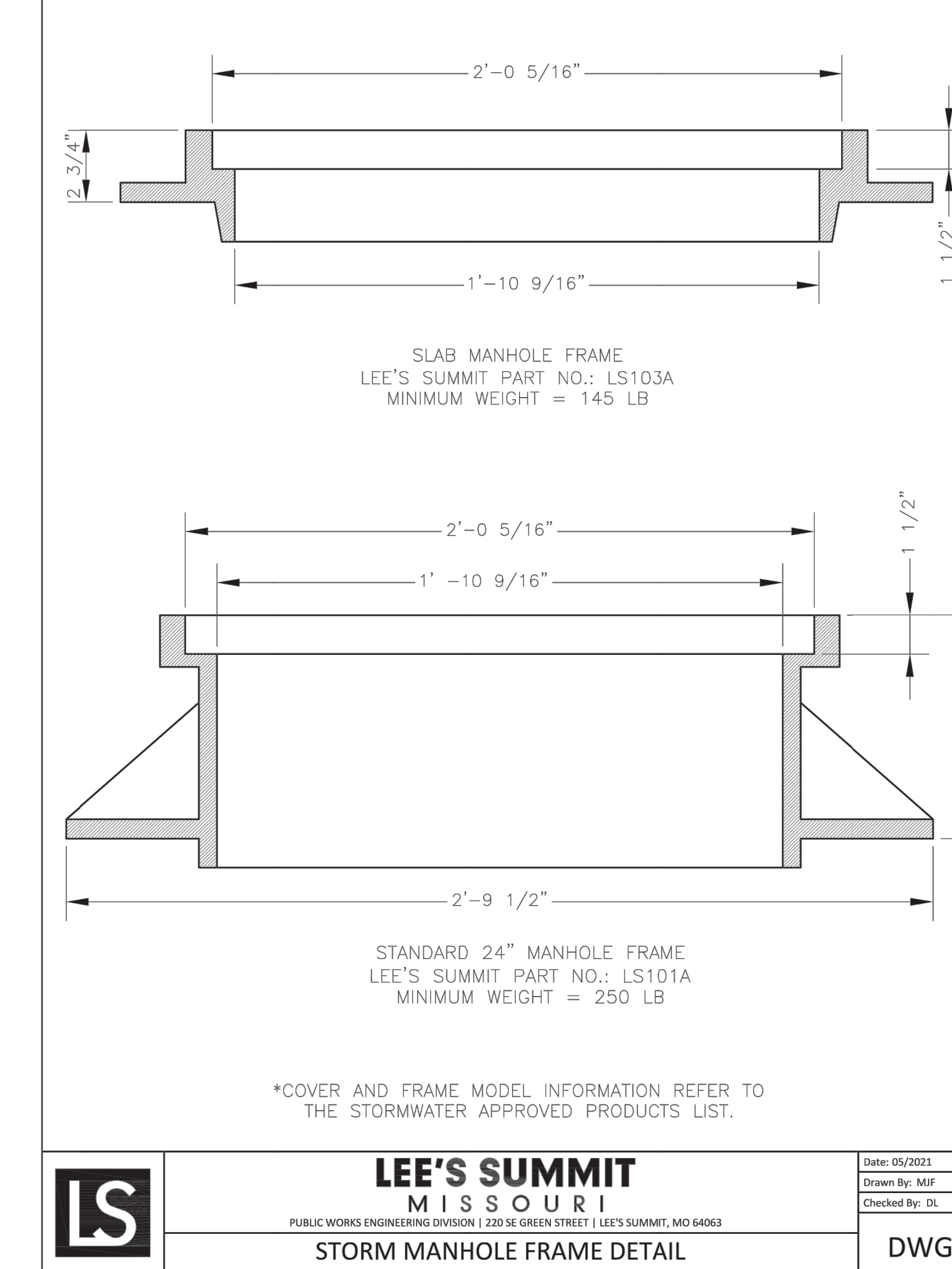
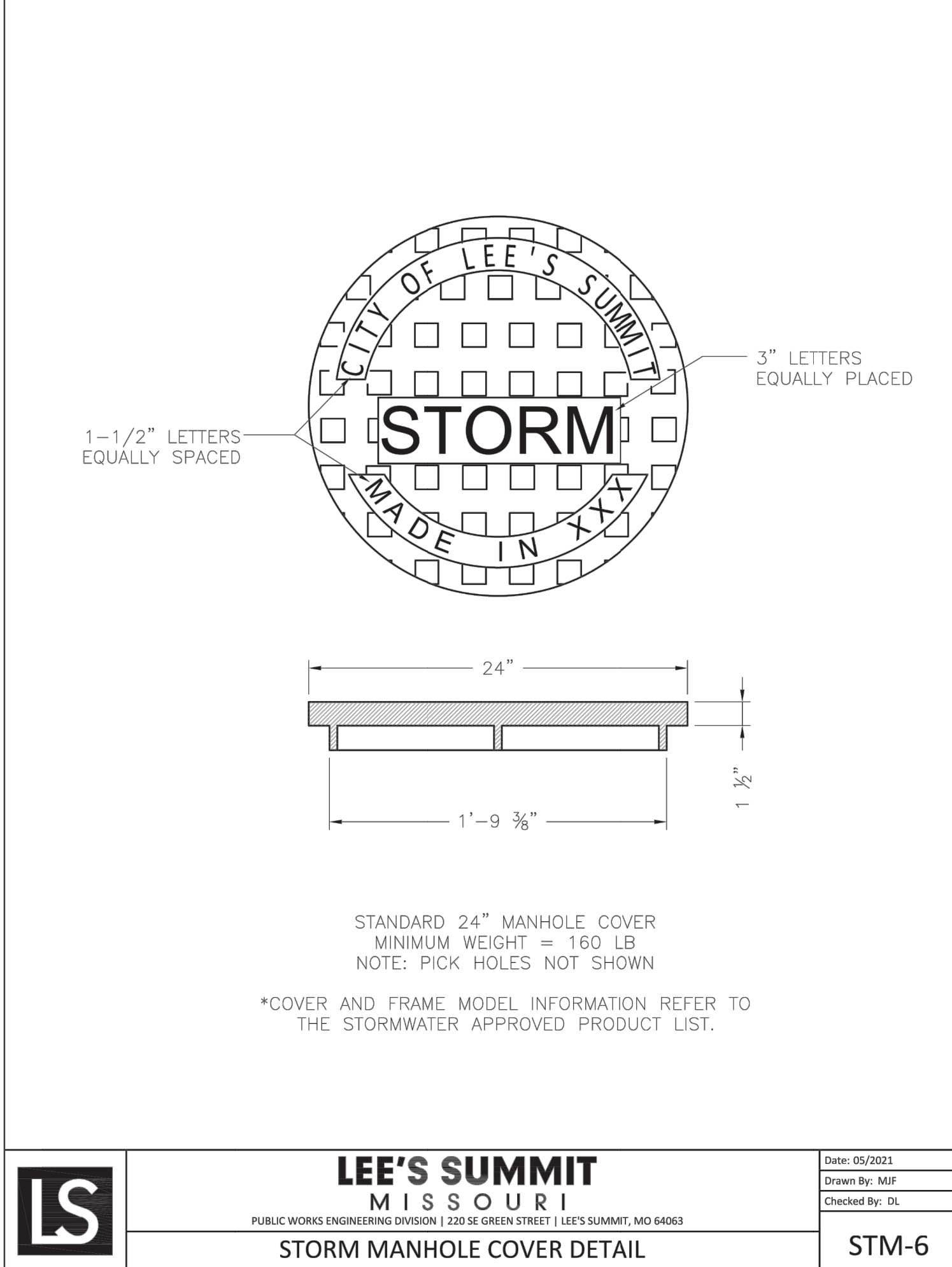
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CITY OF LEE'S SUMMIT, MO	
LEE'S SUMMIT, JACKSON COUNTY, MO	
CURB INLET DETAIL	
Drawn By: MAF	
Checked By: DL	
Date: 05/2021	
File No.	
STM-1	

203 Pipe Bedding

Not to Scale



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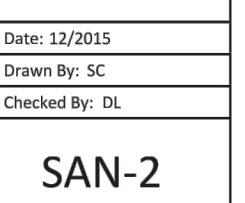
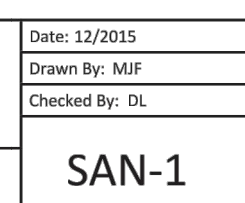
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Lee's Summit, MO 64086
Final Development Plan

Date: 11/01/2022
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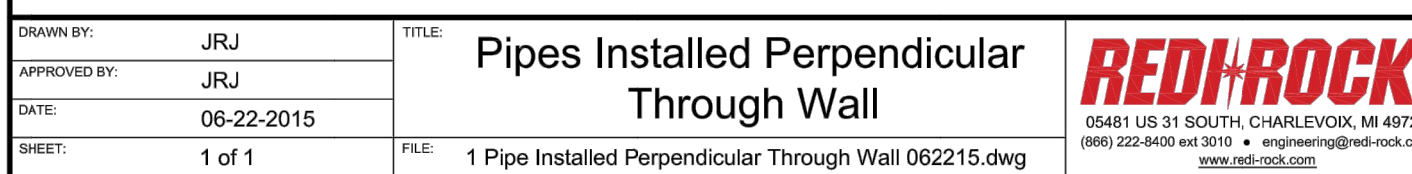
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C703

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CIVIL DETAILS 3

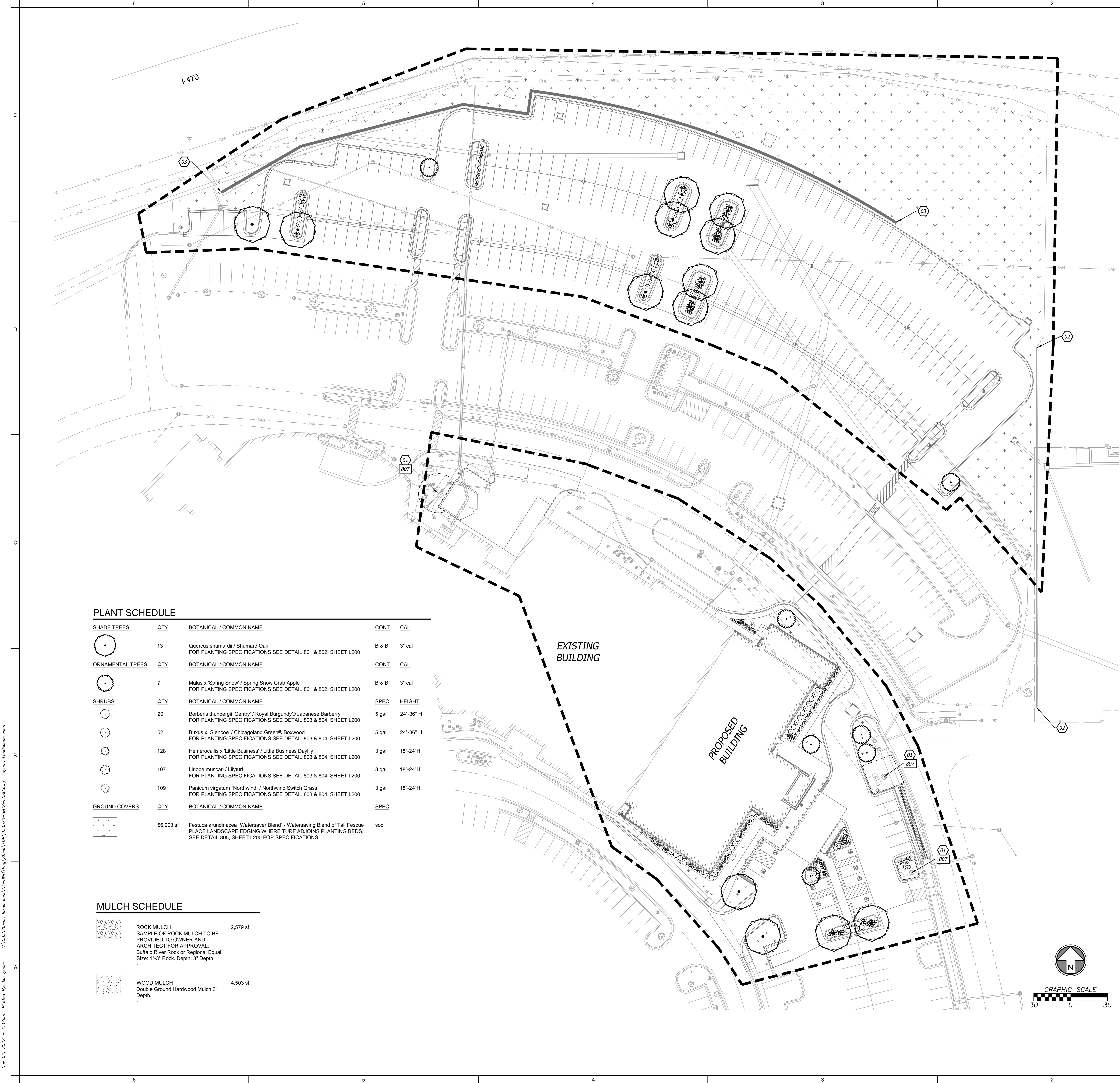


302 Sanitary Manhole
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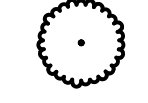

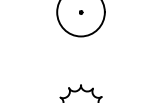
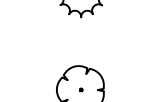


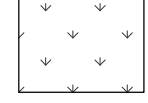


402 Freestanding Block Wall/Vehicle Barrier
Not to Scale

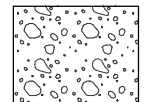
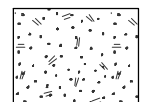
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PLANT SCHEDULE

SHADE TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL
	13	Quercus shumardii / Shumard Oak FOR PLANTING SPECIFICATIONS SEE DETAIL 801 & 802, SHEET L200	B & B	3" cal
ORNAMENTAL TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL
	7	Malus x 'Spring Snow' / Spring Snow Crab Apple FOR PLANTING SPECIFICATIONS SEE DETAIL 801 & 802, SHEET L200	B & B	3" cal
SHRUBS	QTY	BOTANICAL / COMMON NAME	SPEC	HEIGHT
	20	Berberis thunbergii 'Gentry' / Royal Burgundy® Japanese Barberry FOR PLANTING SPECIFICATIONS SEE DETAIL 803 & 804, SHEET L200	5 gal	24"-36" H
	52	Buxus x 'Glencoe' / Chicagoland Green® Boxwood FOR PLANTING SPECIFICATIONS SEE DETAIL 803 & 804, SHEET L200	5 gal	24"-36" H
	128	Hemerocallis x 'Little Business' / Little Business Daylily FOR PLANTING SPECIFICATIONS SEE DETAIL 803 & 804, SHEET L200	3 gal	18"-24" H
	107	Liriope muscari / Lilyturf FOR PLANTING SPECIFICATIONS SEE DETAIL 803 & 804, SHEET L200	3 gal	18"-24" H
	109	Panicum virgatum 'Northwind' / Northwind Switch Grass FOR PLANTING SPECIFICATIONS SEE DETAIL 803 & 804, SHEET L200	3 gal	18"-24" H
GROUND COVERS	QTY	BOTANICAL / COMMON NAME	SPEC	
	56,903 sf	Festuca arundinacea 'Watersaver Blend' / Watersaving Blend of Tall Fescue PLACE LANDSCAPE EDGING WHERE TURF ADJOINS PLANTING BEDS, SEE DETAIL 805, SHEET L200 FOR SPECIFICATIONS	sod	

MULCH SCHEDULE

	ROCK MULCH SAMPLE OF ROCK MULCH TO BE PROVIDED TO OWNER AND ARCHITECT FOR APPROVAL Buffalo River Rock or Regional Equal. Size: 1"-3" Rock, Depth: 3" Depth	2,579 sf
	WOOD MULCH Double Ground Hardwood Mulch 3" Depth.	4,503 sf

GENERAL LANDSCAPE NOTES

- The Contractor shall verify and coordinate all final grades with the Landscape Architect and or design team prior to completion.
- Location and placement of all plant material shall be coordinated with the Landscape Architect prior to installation.
- Location of all utilities are approximate, the Contractor shall field verify locations prior to commencement of construction operations.
- Refer to Civil Drawings for all grading and berming, erosion control, storm drainage, utilities and site layout.
- The Contractor shall arrange and conduct a pre-construction meeting onsite with Landscape Architect prior to work.
- Plant quantities are for information only, drawing shall prevail if conflict occurs. Contractor is responsible for calculating own quantities and bid accordingly.
- The Contractor is to notify Landscape Architect after staking is complete and before plant pits are excavated.
- Tree locations in areas adjacent to drives, walks, walls and light fixtures may be field adjusted as approved by Landscape Architect.
- The Contractor shall report subsurface soil or drainage problems to the Landscape Architect.
- The plan is subject to changes based on plant size and material availability. All changes or substitutions must be approved by the City of Lee's Summit, Missouri and the Landscape Architect.
- Aluminum landscape edging to be used on all landscape beds adjoining turf areas as noted on landscape plans.
- Landscape Contractor shall be responsible for watering all plant material until the time that a permanent water source is ready.
- The Contractor shall show proof of procurement, sources, quantities, and varieties for all shrubs, perennials, ornamental grasses, and annuals within 21 days following the award of the contract.
- Contractor shall provide full maintenance for newly landscaped areas for a period of 30 days after the date of final acceptance. At the end of the maintenance period, a healthy, well-rooted, even-colored, viable turf and landscaped area must be established. The landscaped areas shall be free of weeds, open joints, bare areas, and surface irregularities.
- Landscape Contractor shall provide rock mulch sample to owner for approval.

GENERAL IRRIGATION NOTES

- Irrigation plan to be provided during permitting phase of development
- Irrigation plan to not interfere with any proposed improvements shown.
 - Irrigation system design to be based on available psi. Minimum operating pressure for spray heads shall be 30 psi and minimum operating pressure for drip zones shall be 40 psi.
 - The contractor shall be responsible for providing uninterrupted, 110 v electrical service to the controller and for all hook-ups. All exposed low voltage wire shall be enclosed in a conduit.
 - Place valve boxes 12" minimum from and parallel to curbs and walks, grouped valves to be equally spaced.
 - Install all mainlines to 1% minimum slope to drain valves located at low points of main system.
 - Irrigation controller and rain sensor shall be located in owner approved locations.

LANDSCAPE PLAN KEYNOTES

- 01 EXISTING TREE, DO NOT DISTURB, PROTECT IN PLACE.
02 EXISTING RETAINING WALL, DO NOT DISTURB, PROTECT IN PLACE.
03 PROPOSED RETAINING WALL. SEE CIVIL.

DETAIL KEYNOTES

SEE SHEET L200 FOR DETAIL SPECIFICATIONS

807 TREE PROTECTION DETAIL.

SITE DATA

Site Area	Quantity	Required	Existing	Provided	Total
Open Yard Area	86,236				
1 tree /5,000 SF of total lot area		17.25	1	19	20
2 shrubs per 5,000 sqft of total lot area		34.49	n/a	35	35
Groundcover on all open areas not covered with other materials		Y	n/a	Y	Y
Island/Interior Landscape					
total LA are 5% of parking area	86,236	4311.8		64,393	64,393
Parking area shrubs		Y		371	371
Parking spaces >10	246		48	246	294

LEGEND

- PROPOSED STORM SEWER LINE
PROPOSED ROOF LINE DRAIN
PROPERTY LINE
RIGHT-OF-WAY LINE
LIMITS OF DISTURBANCE
TREE PROTECTION



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Job Number 3-21037
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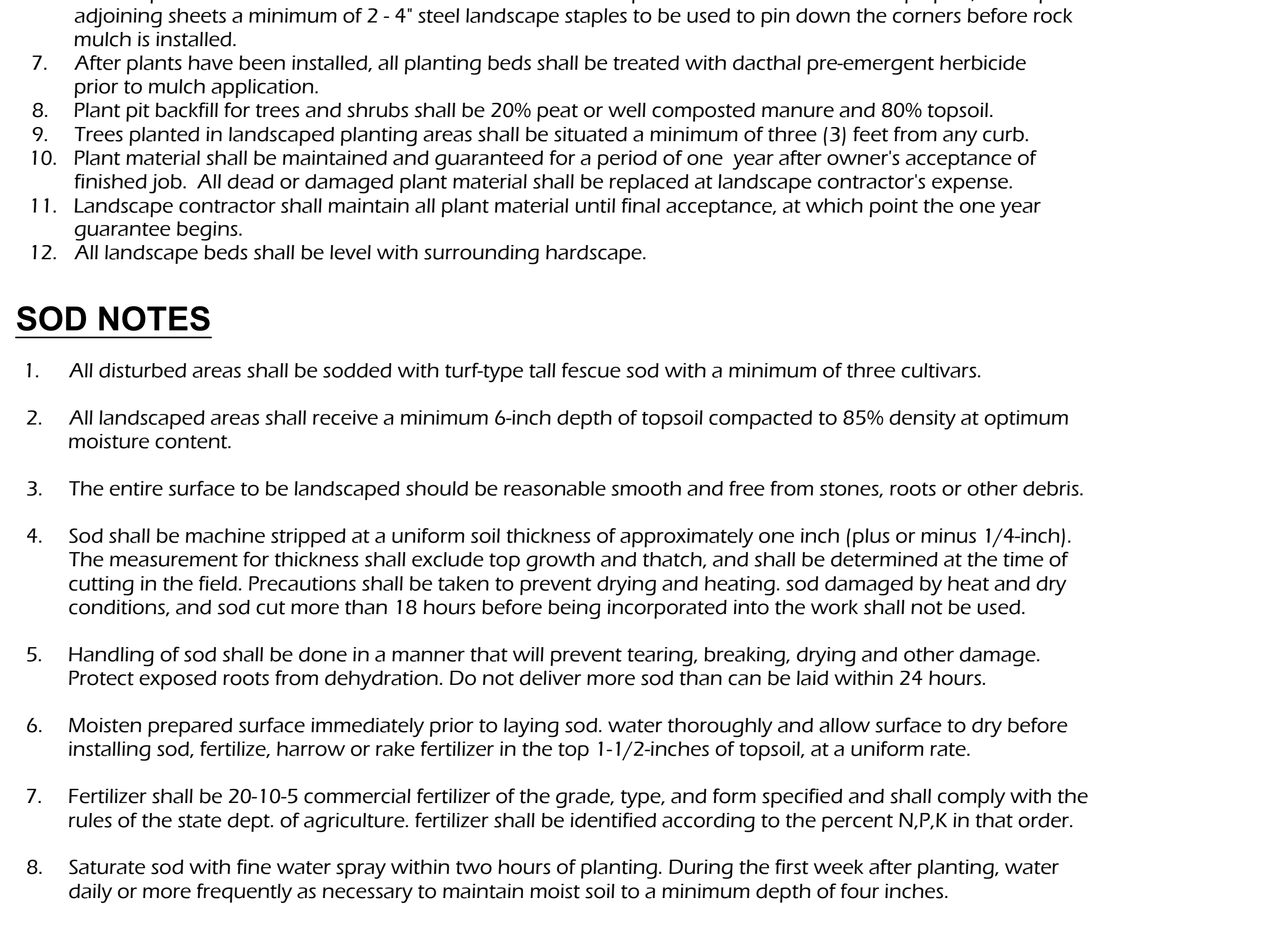
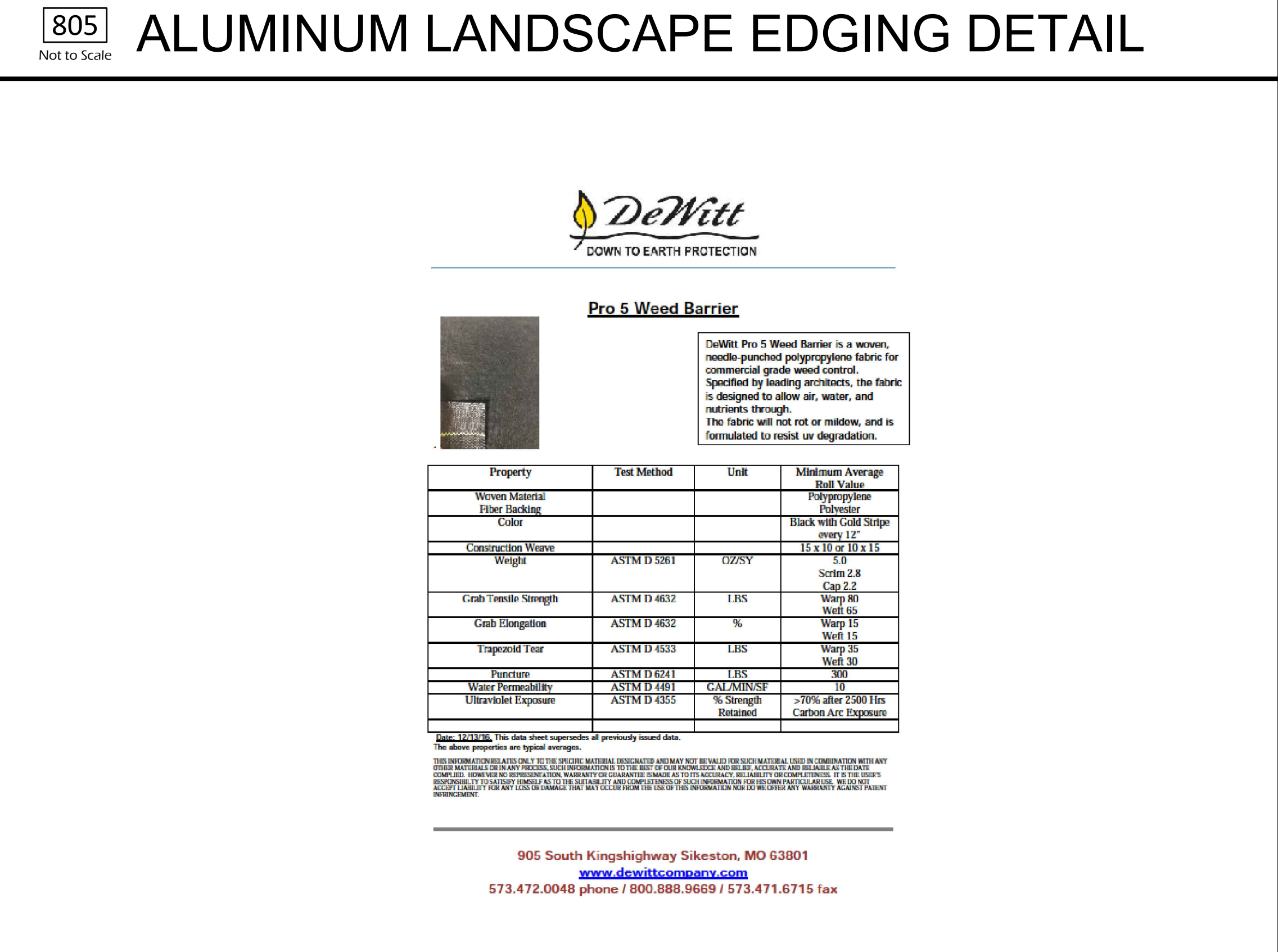
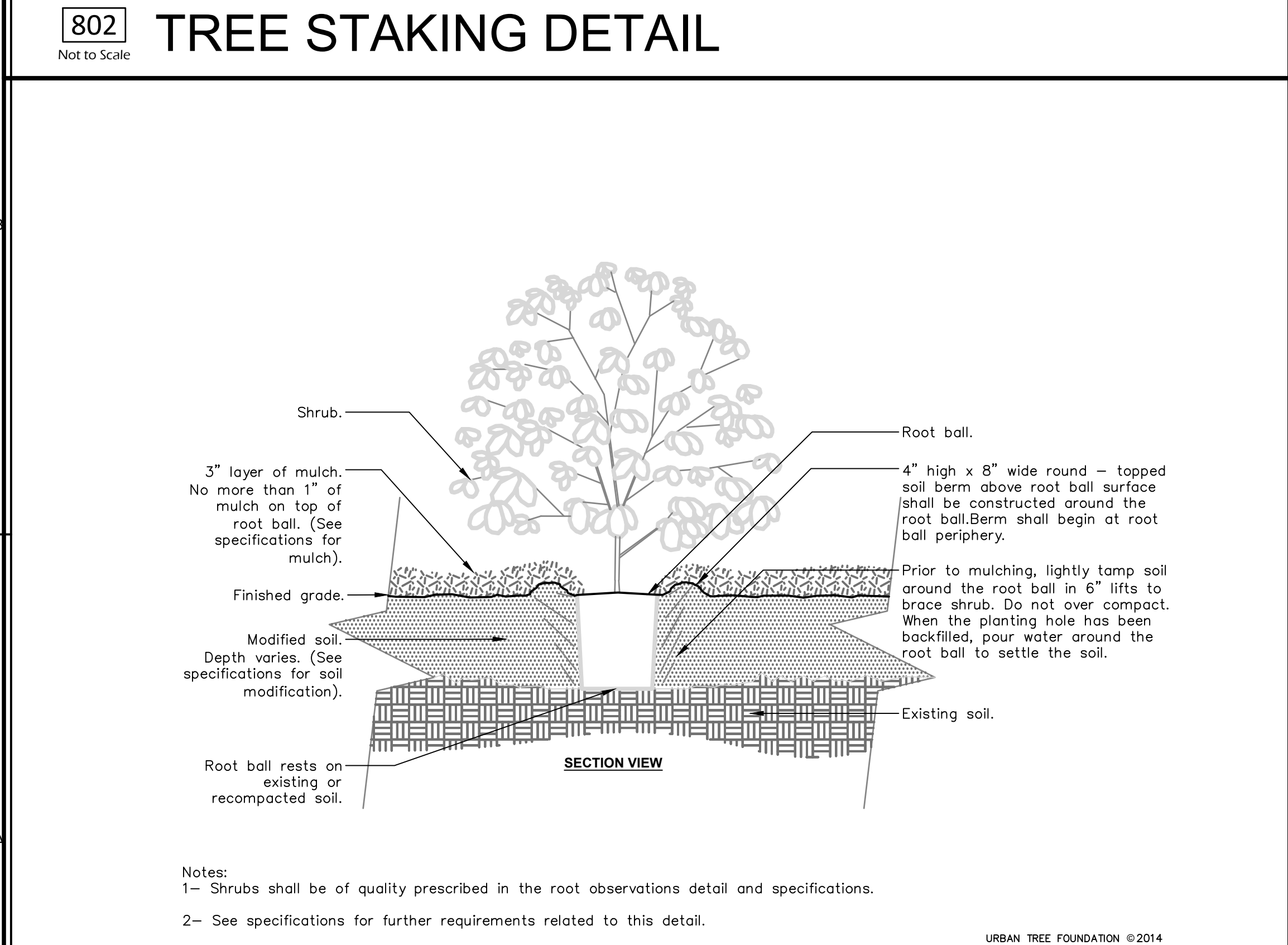
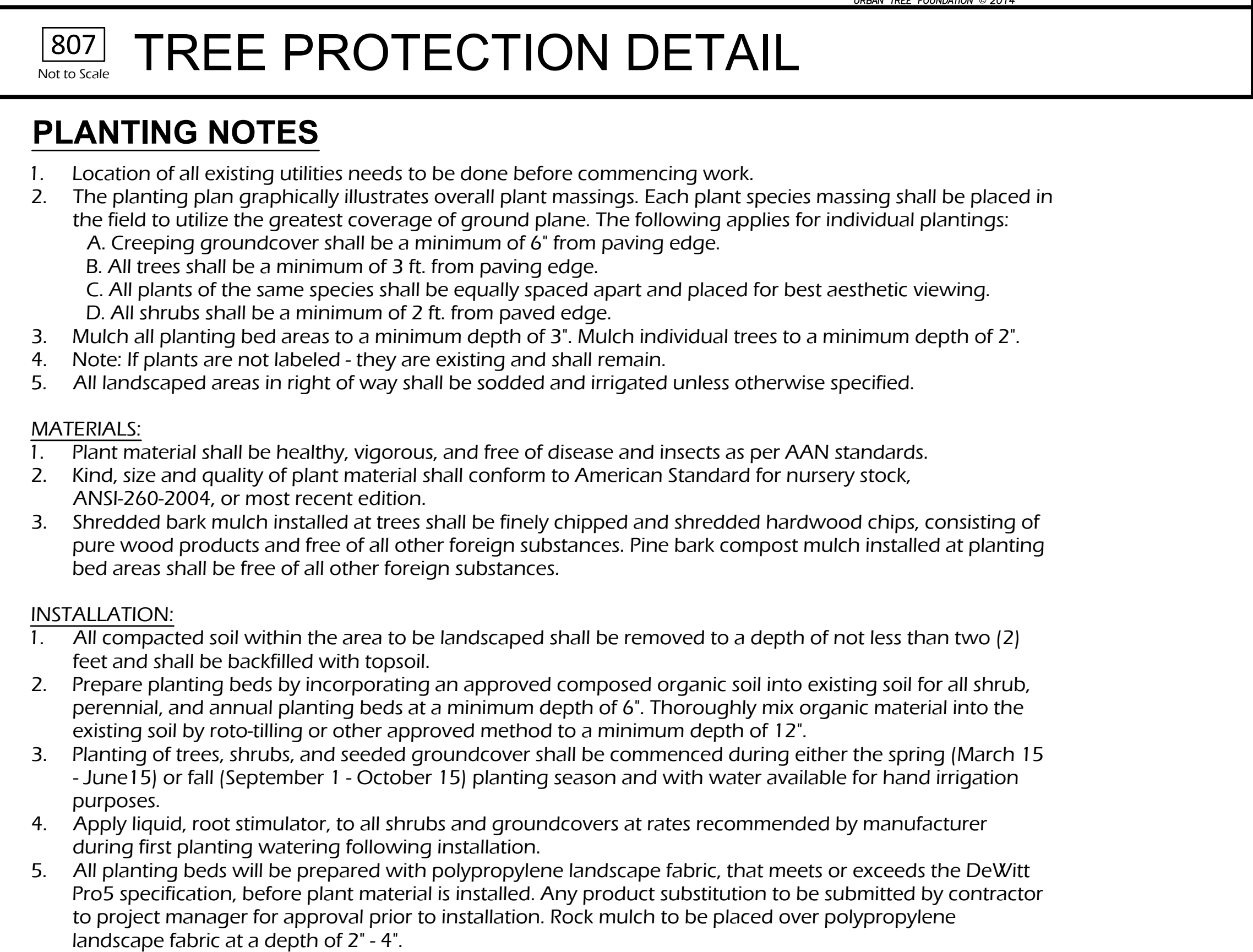
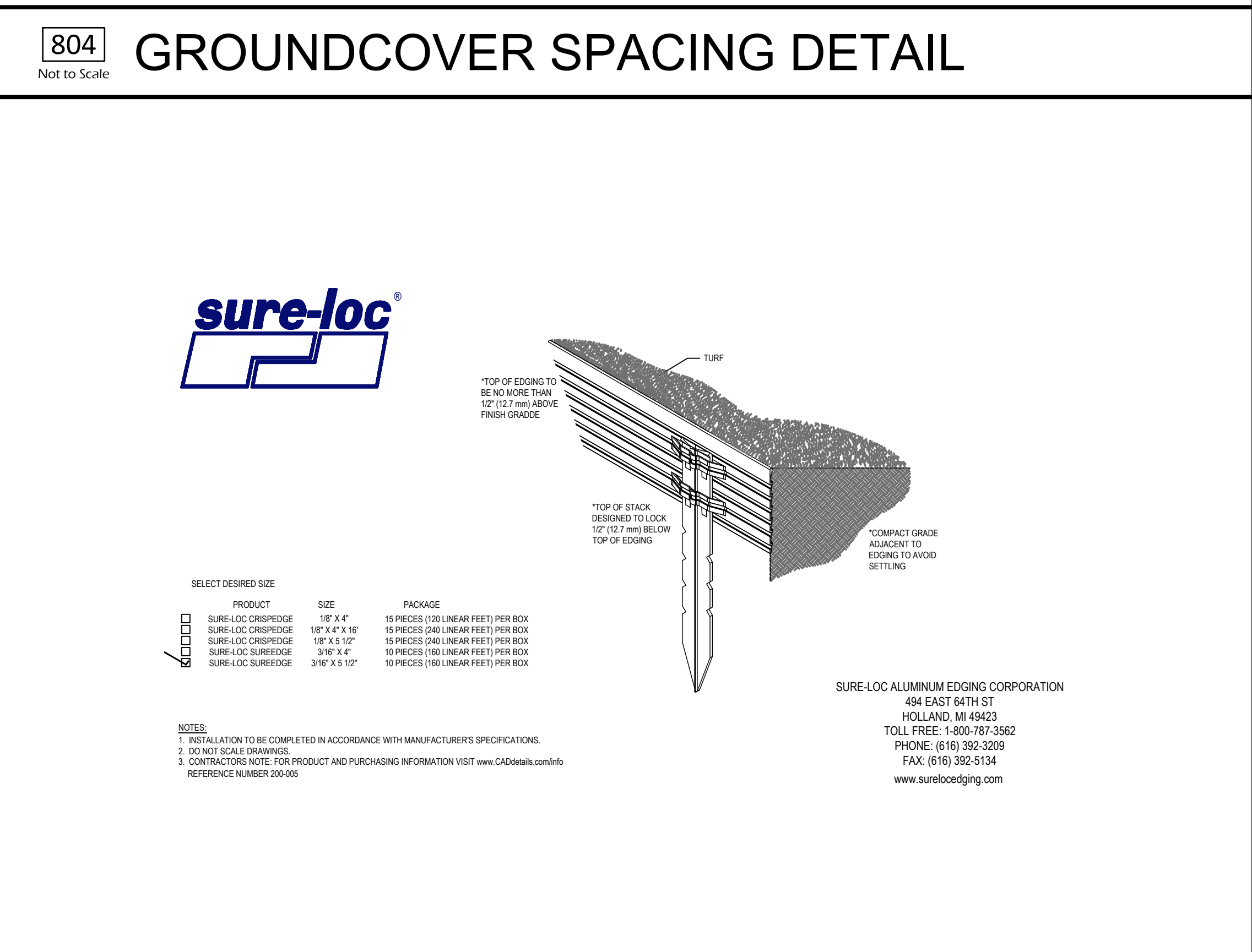
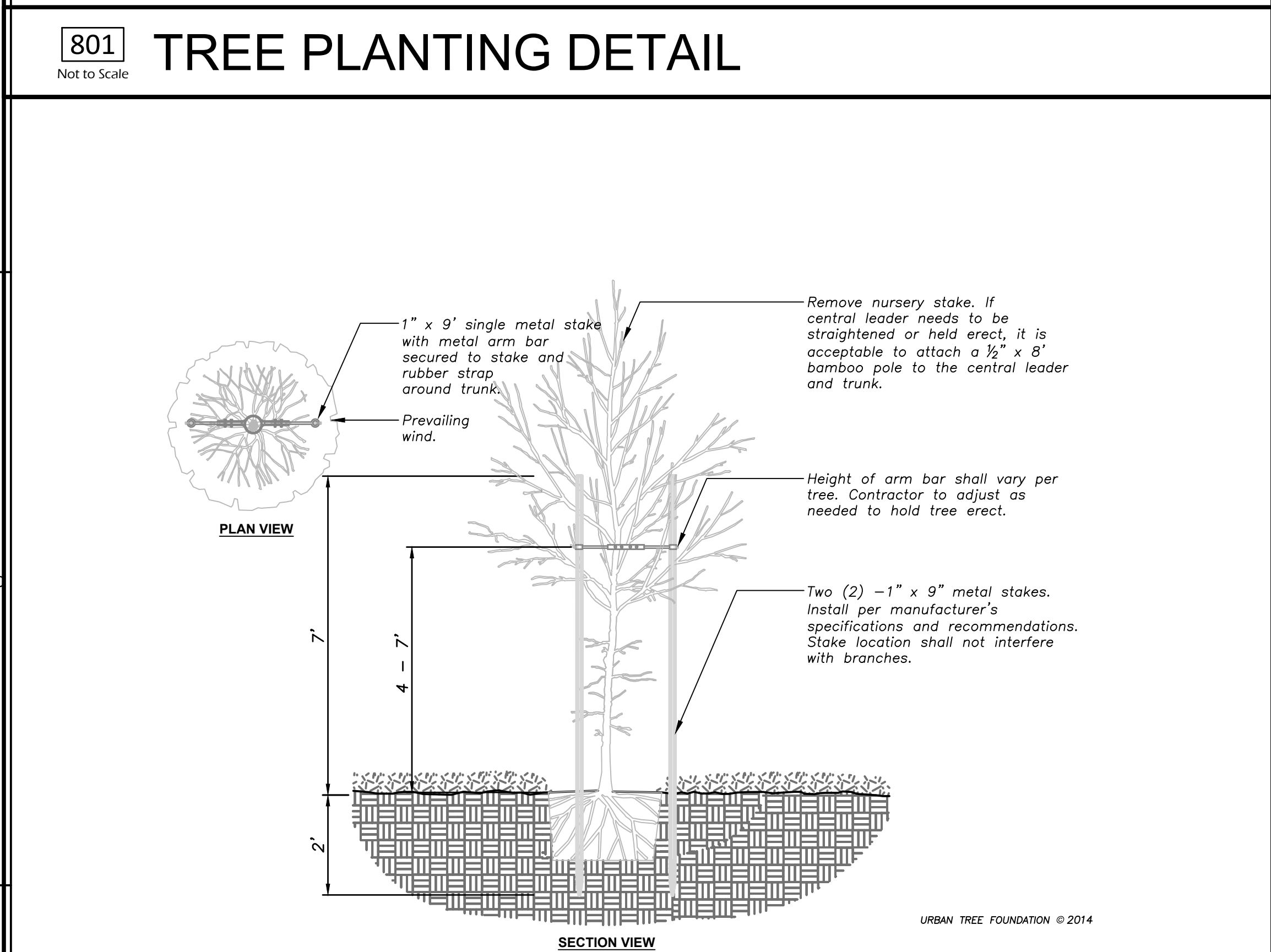
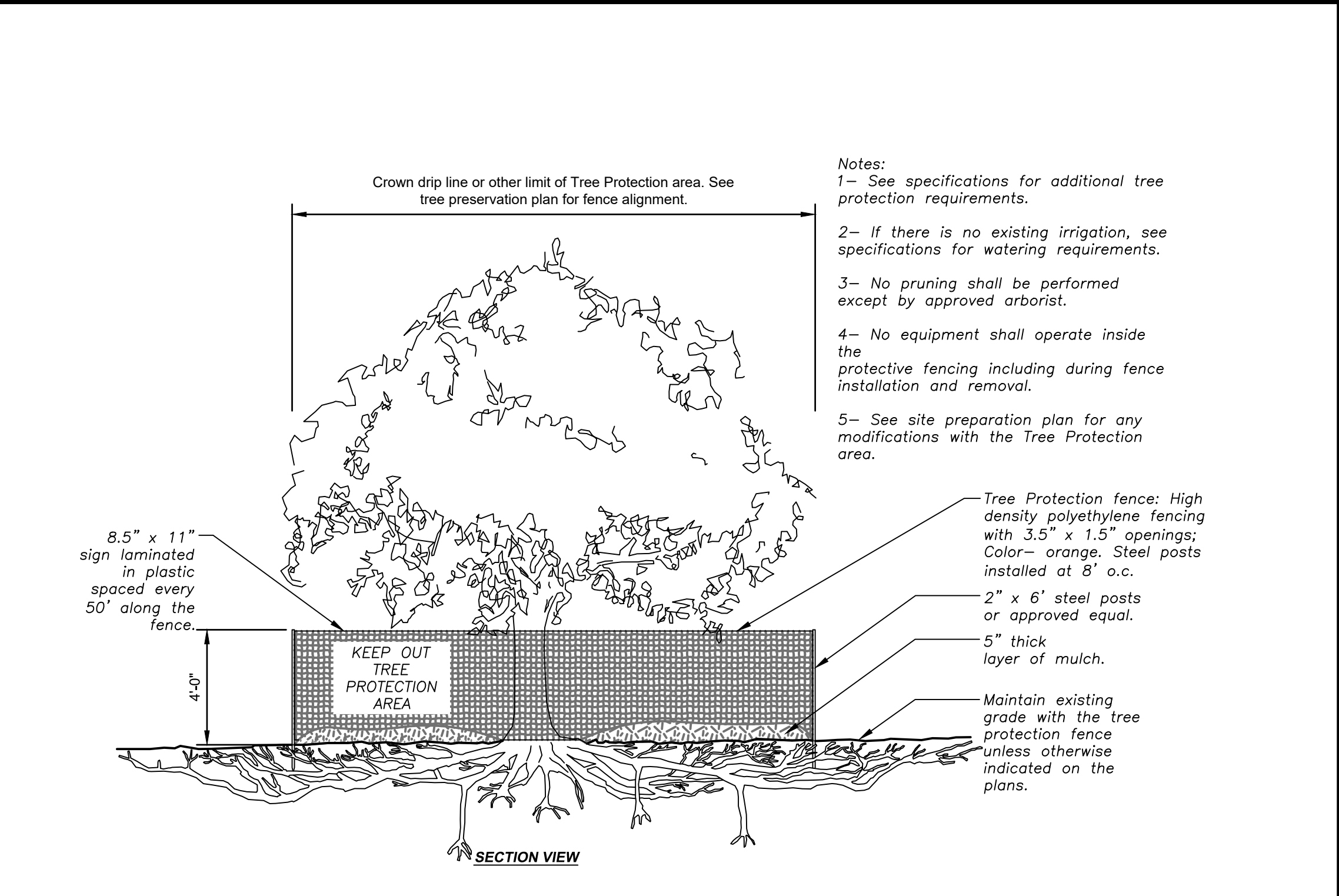
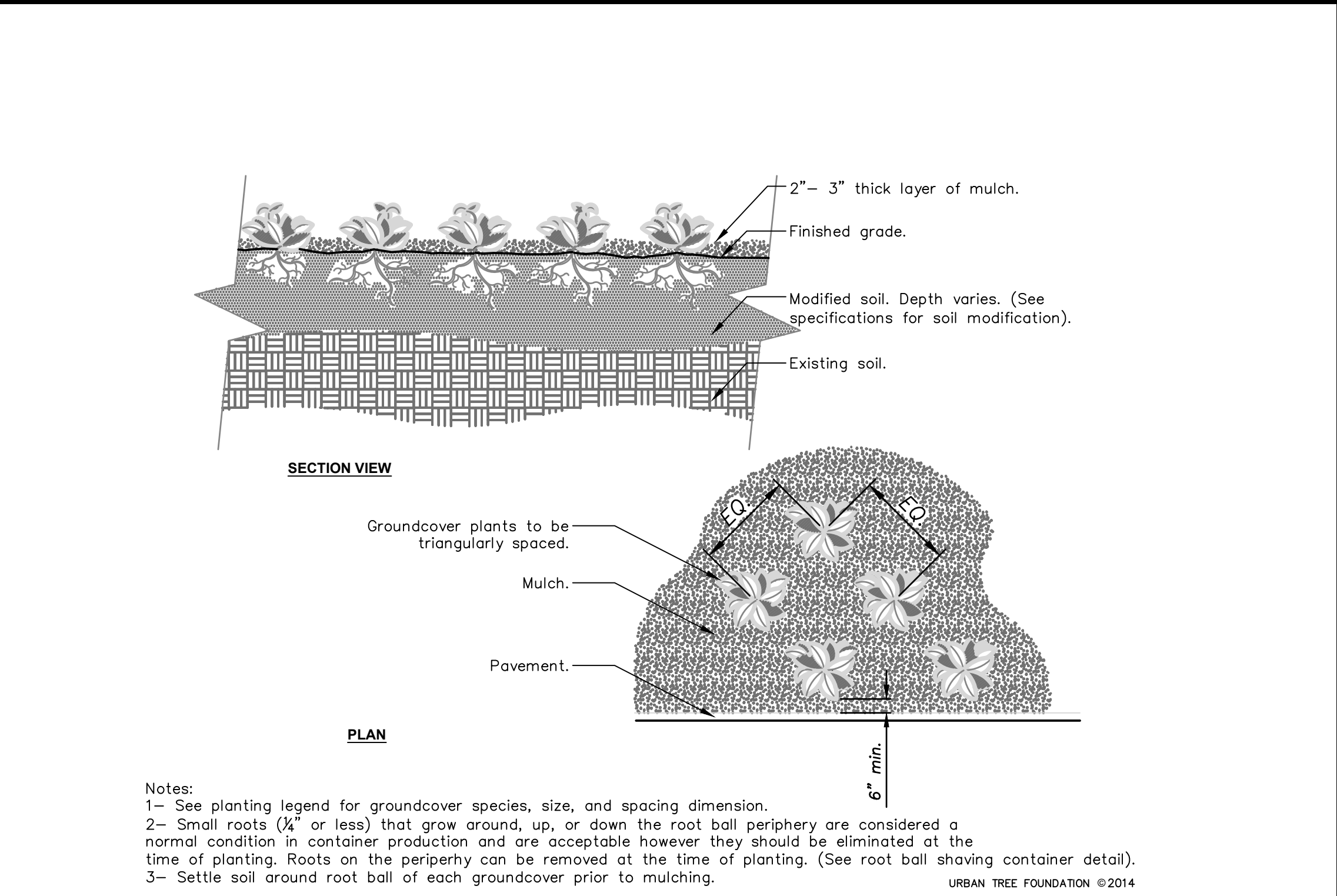
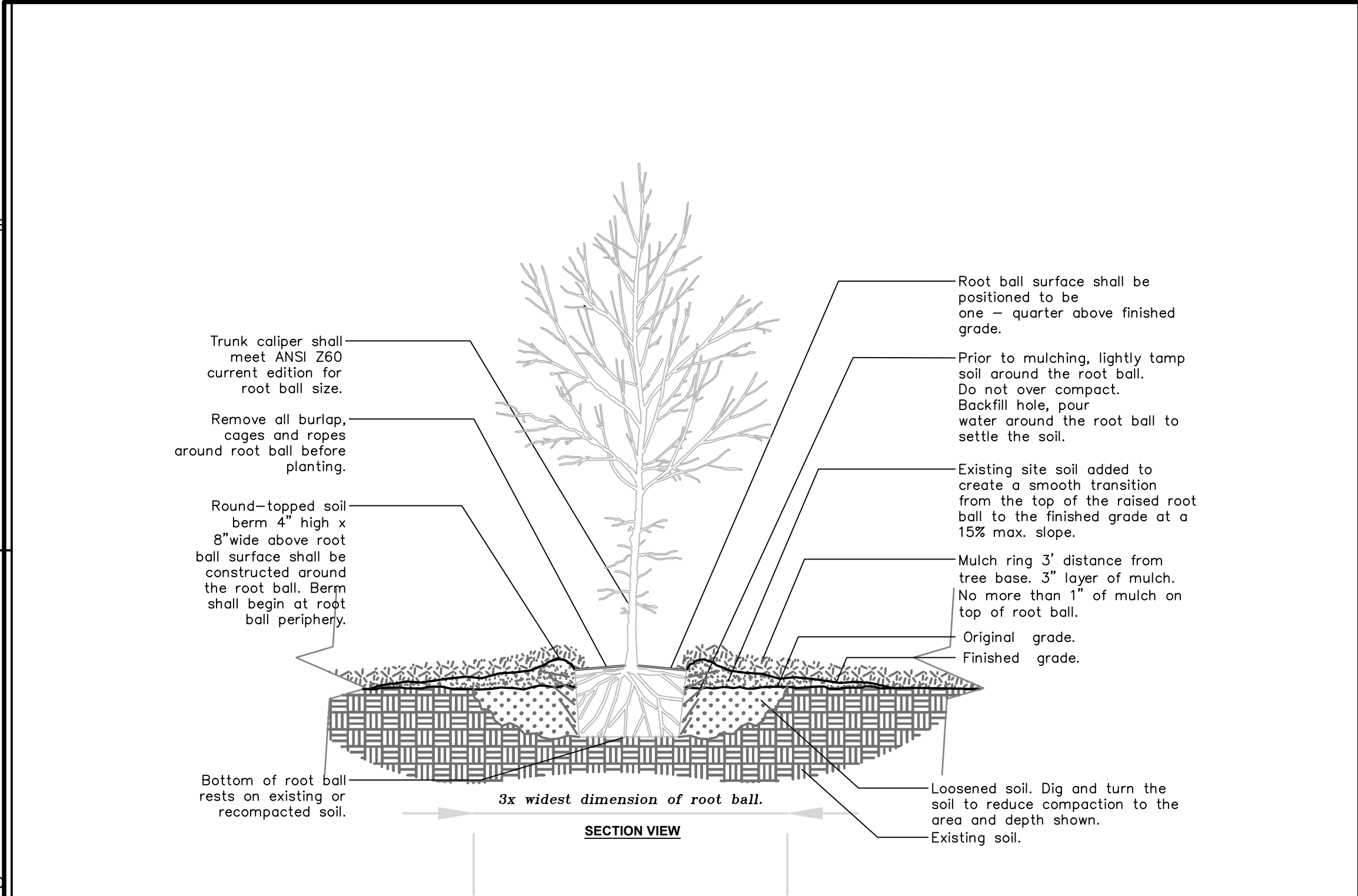
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LANDSCAPE PLAN

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803 SHRUB PLANTING DETAIL

806 WEED BARRIER DETAIL

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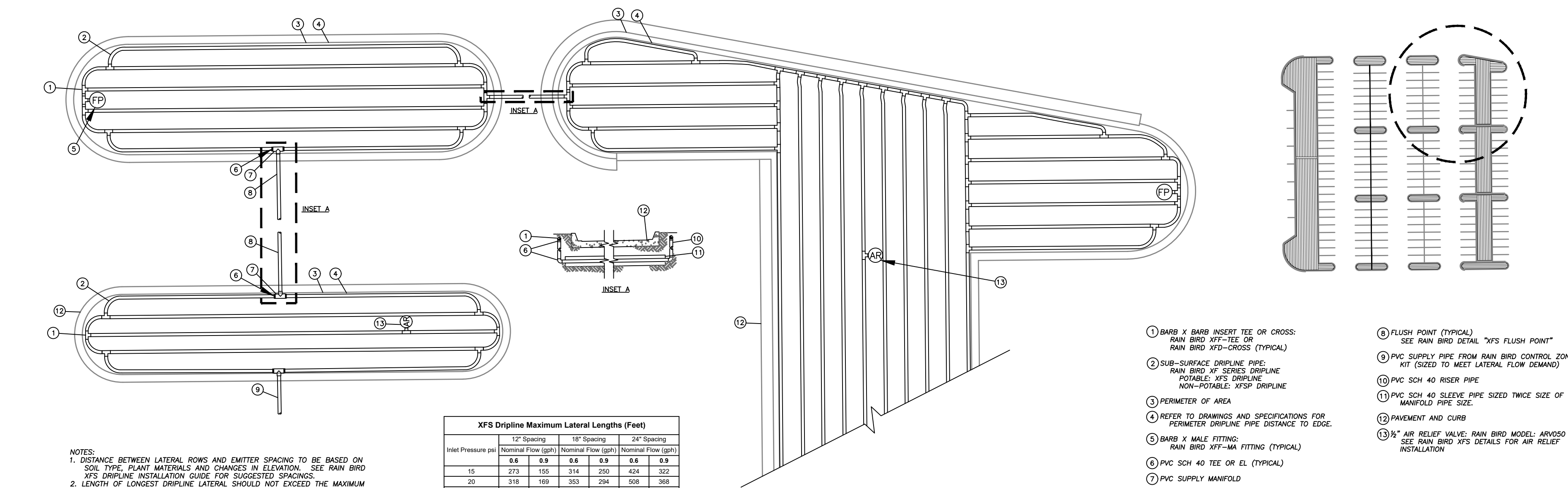
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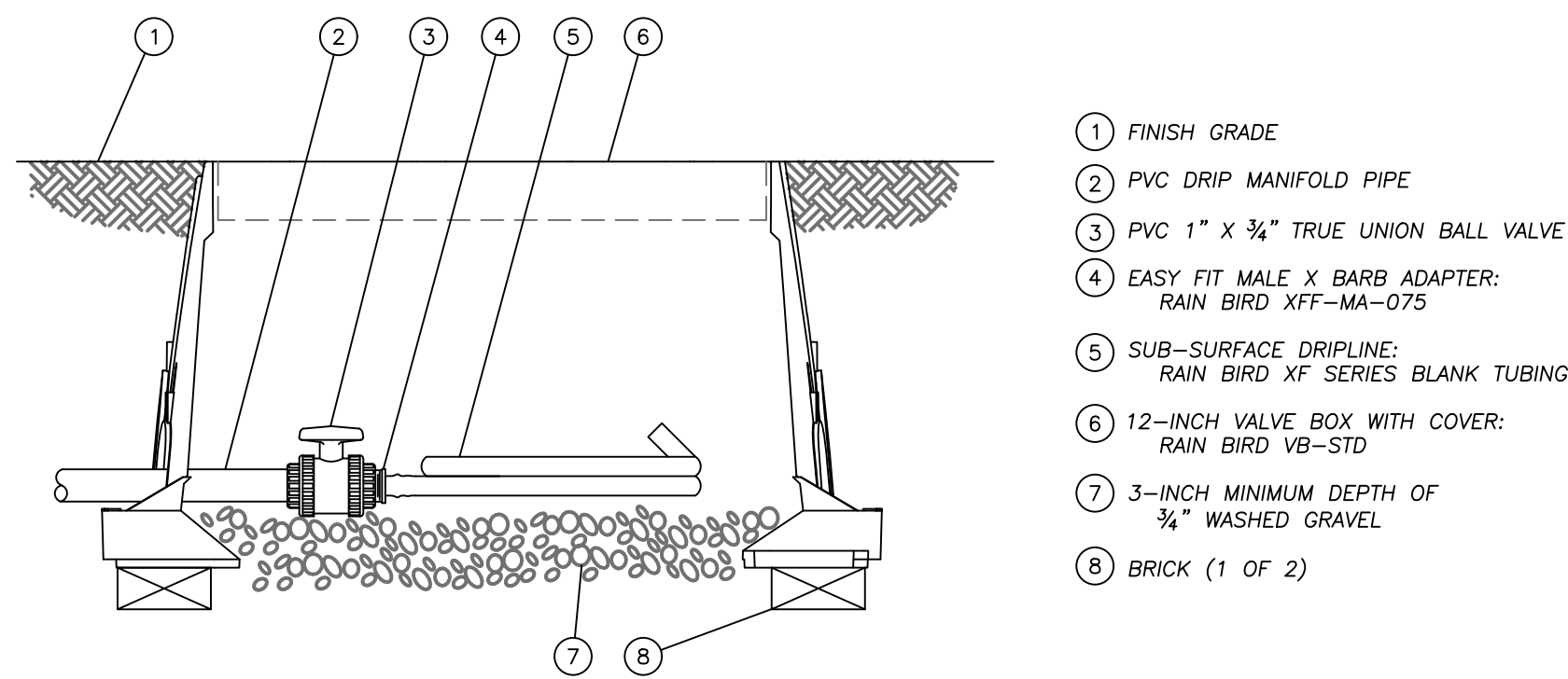
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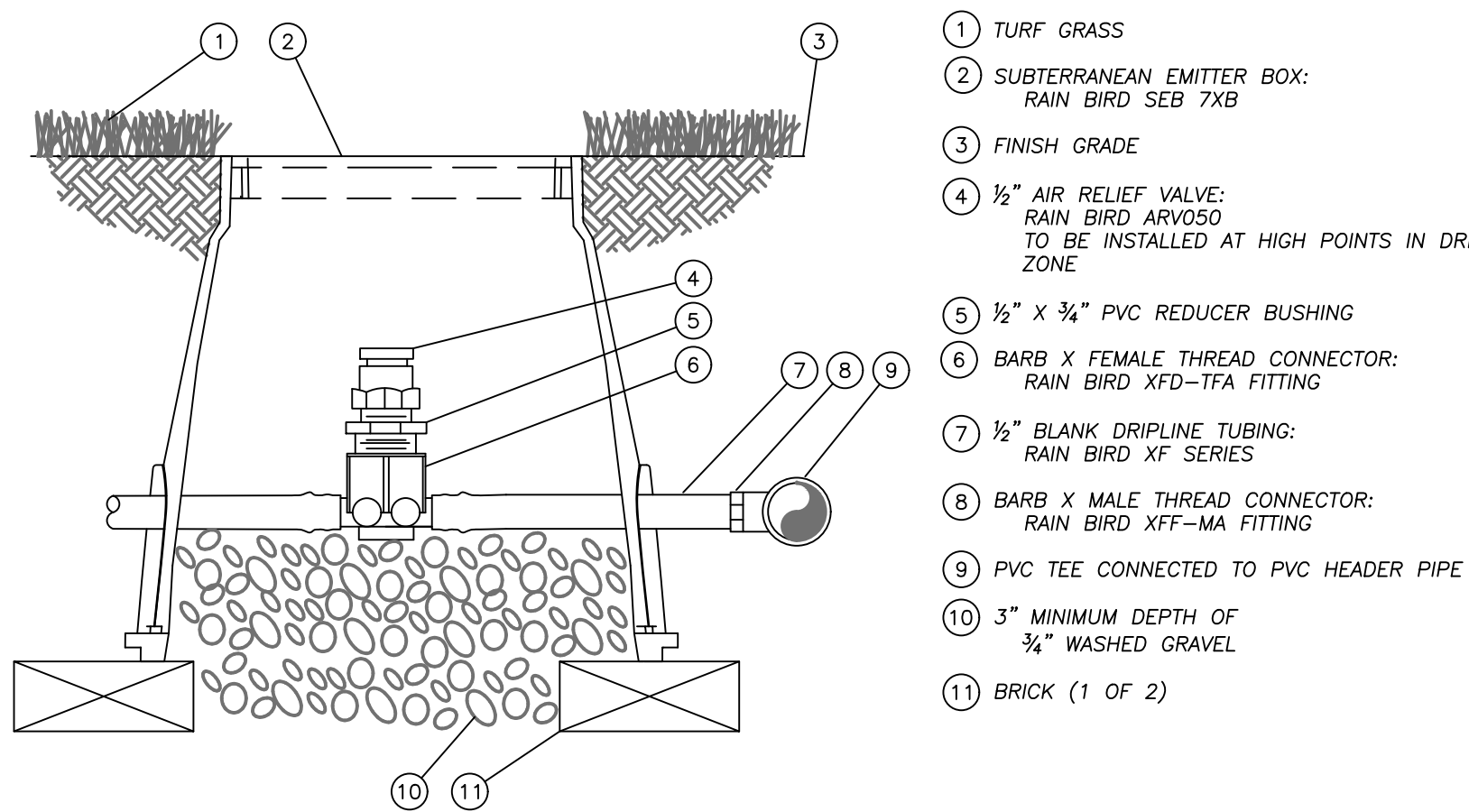
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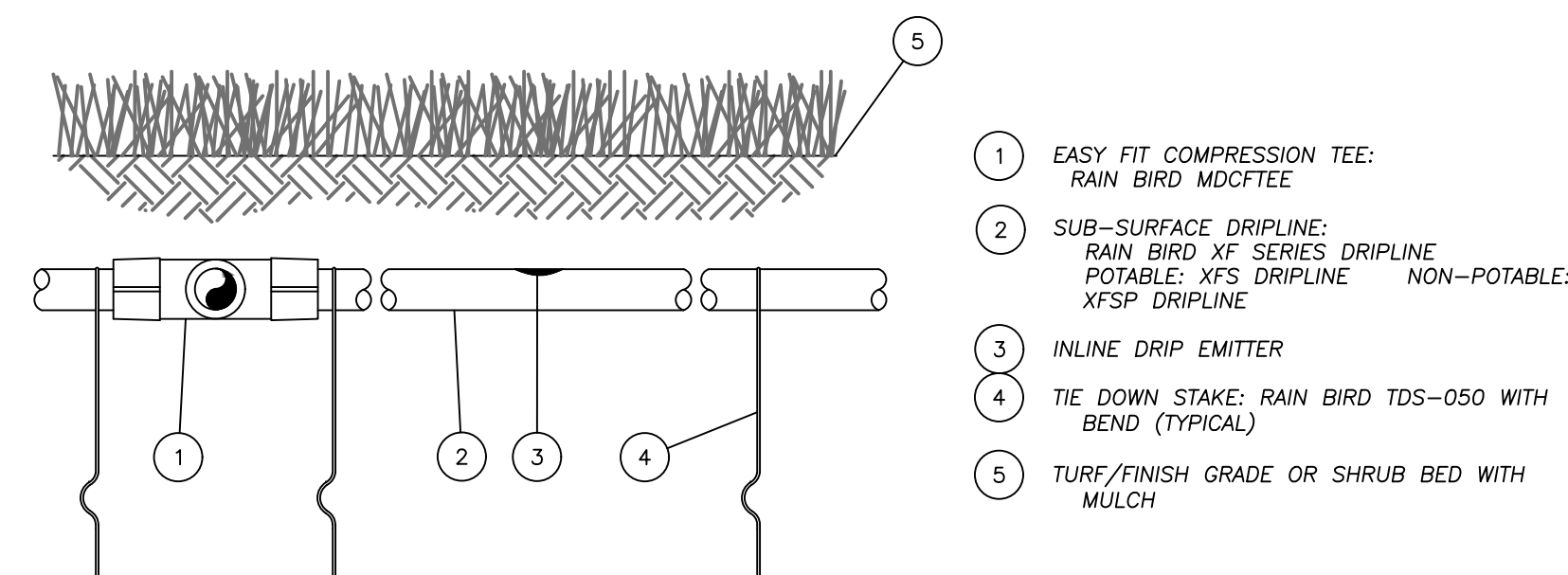
907 TYPICAL ISLAND DRIPLINE LAYOUT DETAIL



908 DRIPLINE FLUSH POINT W/BALL VALVE DETAIL



908 DRIPLINE AIR RELIEF VALVE DETAIL



909 XFS SUB-SURFACE DRIPLINE BURIAL DETAIL



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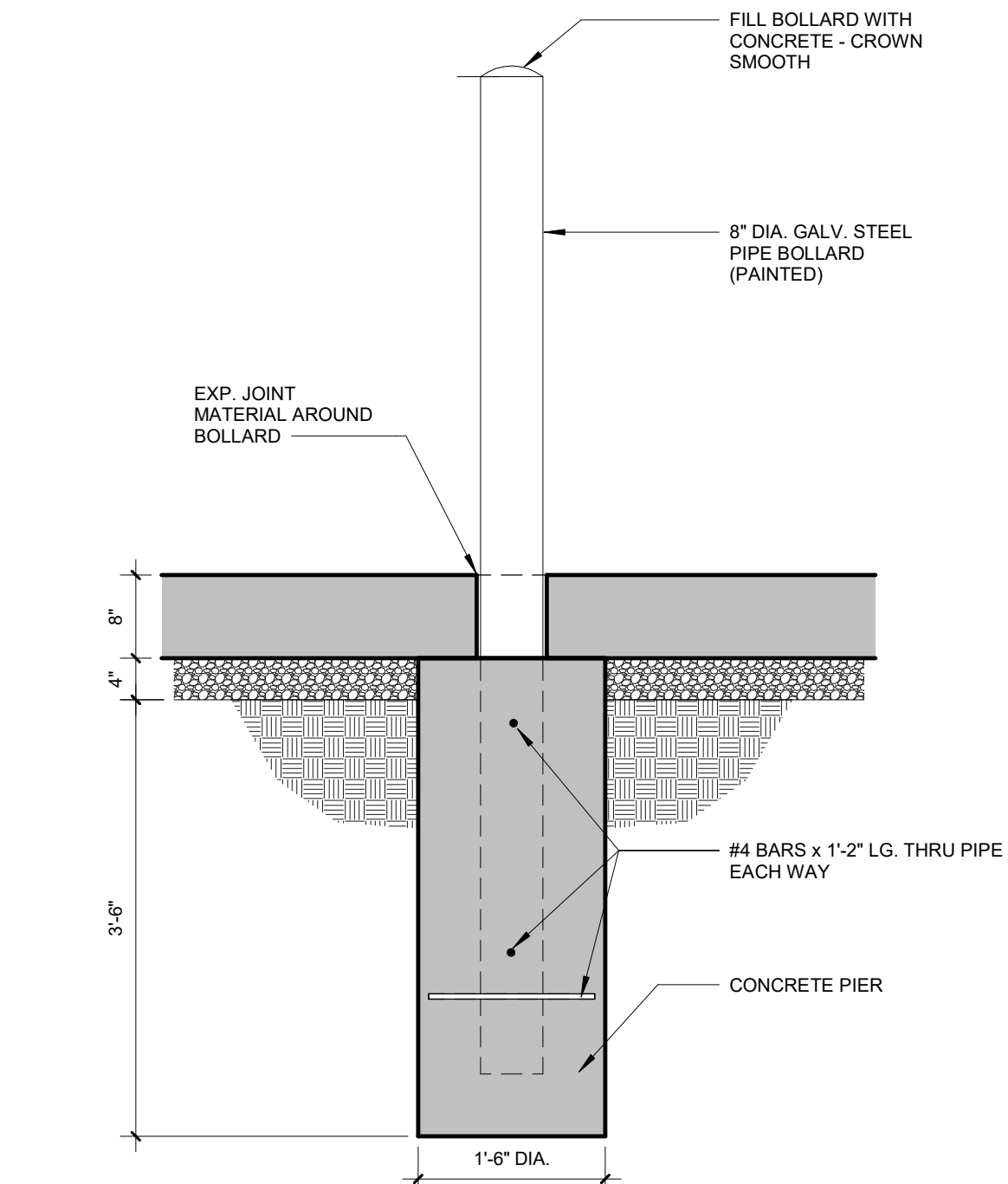
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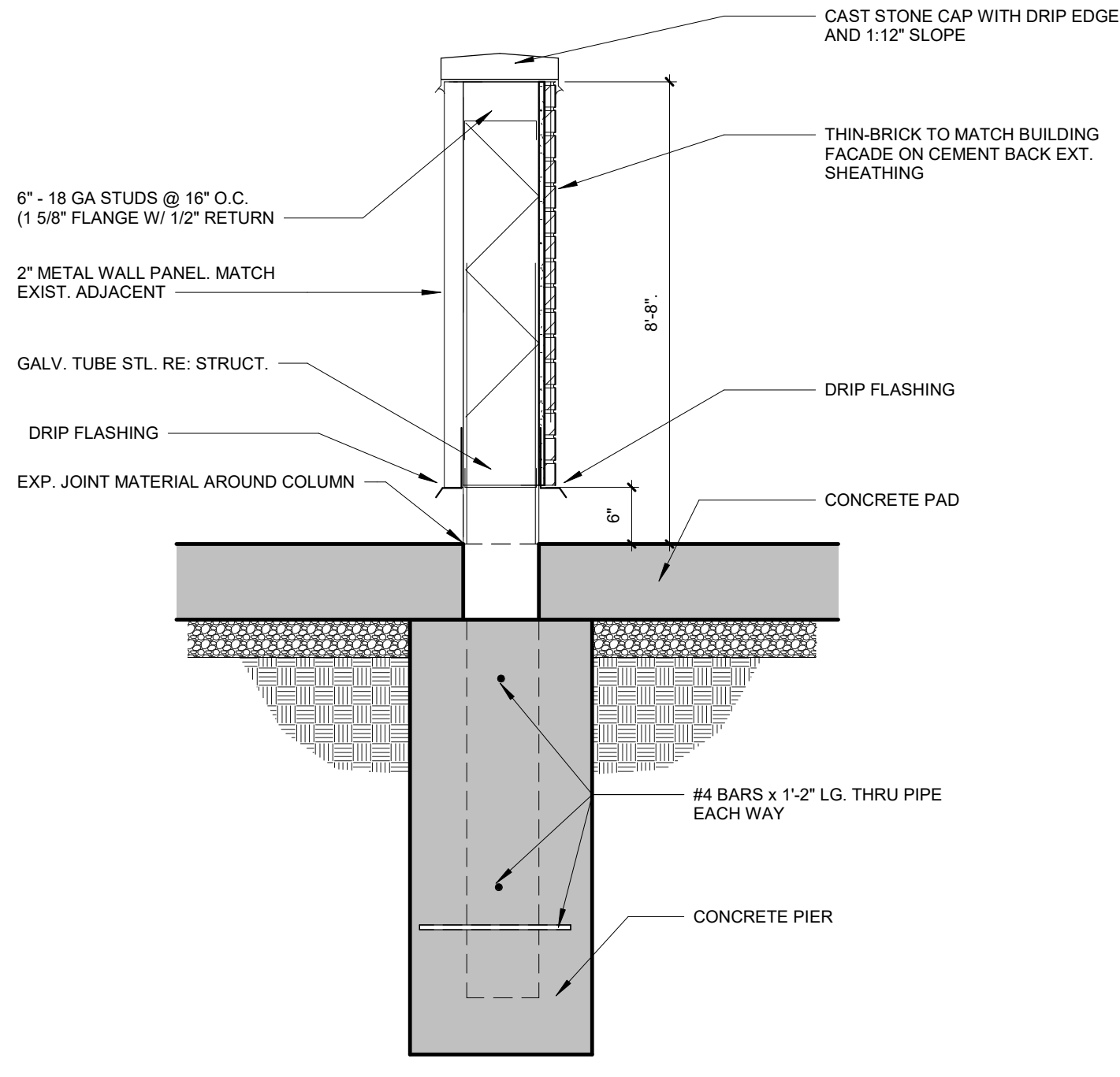
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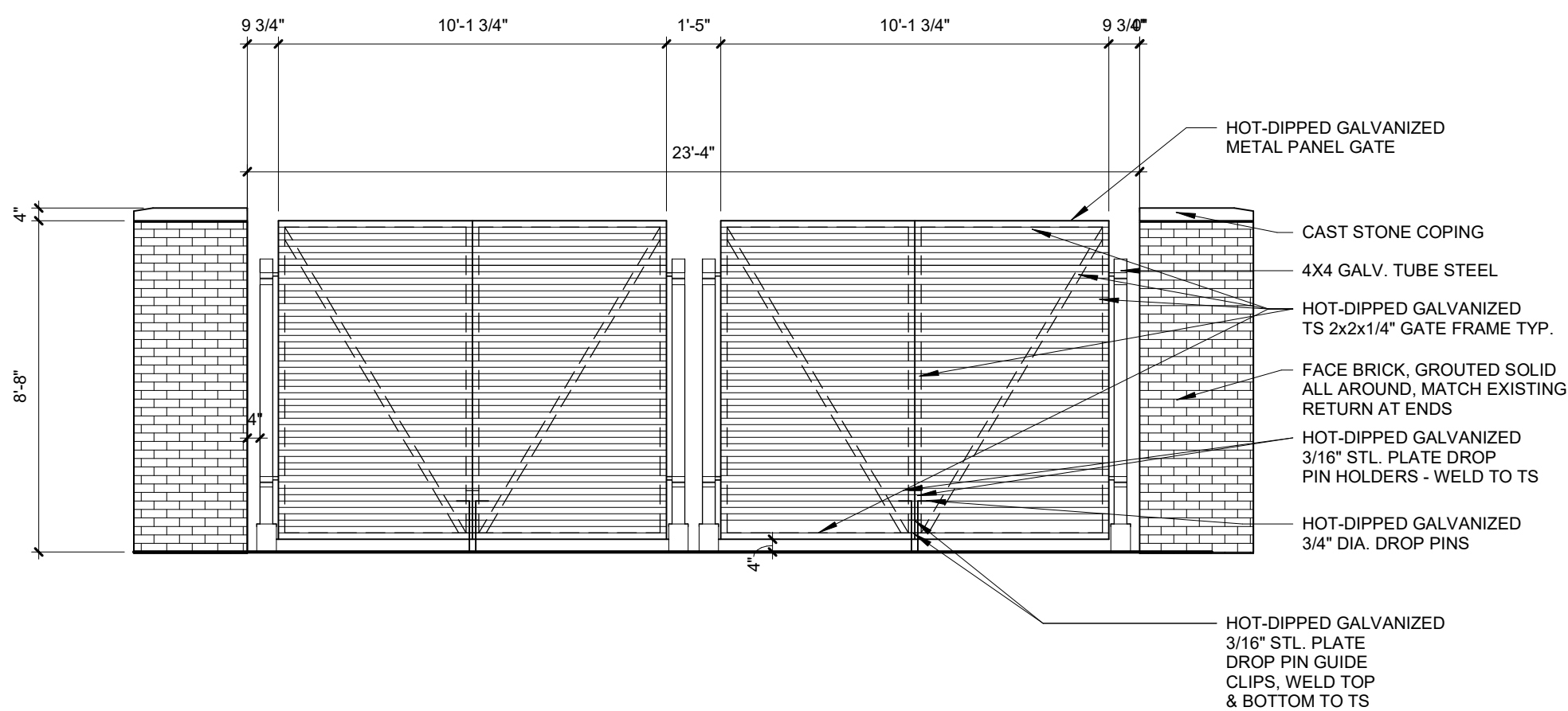
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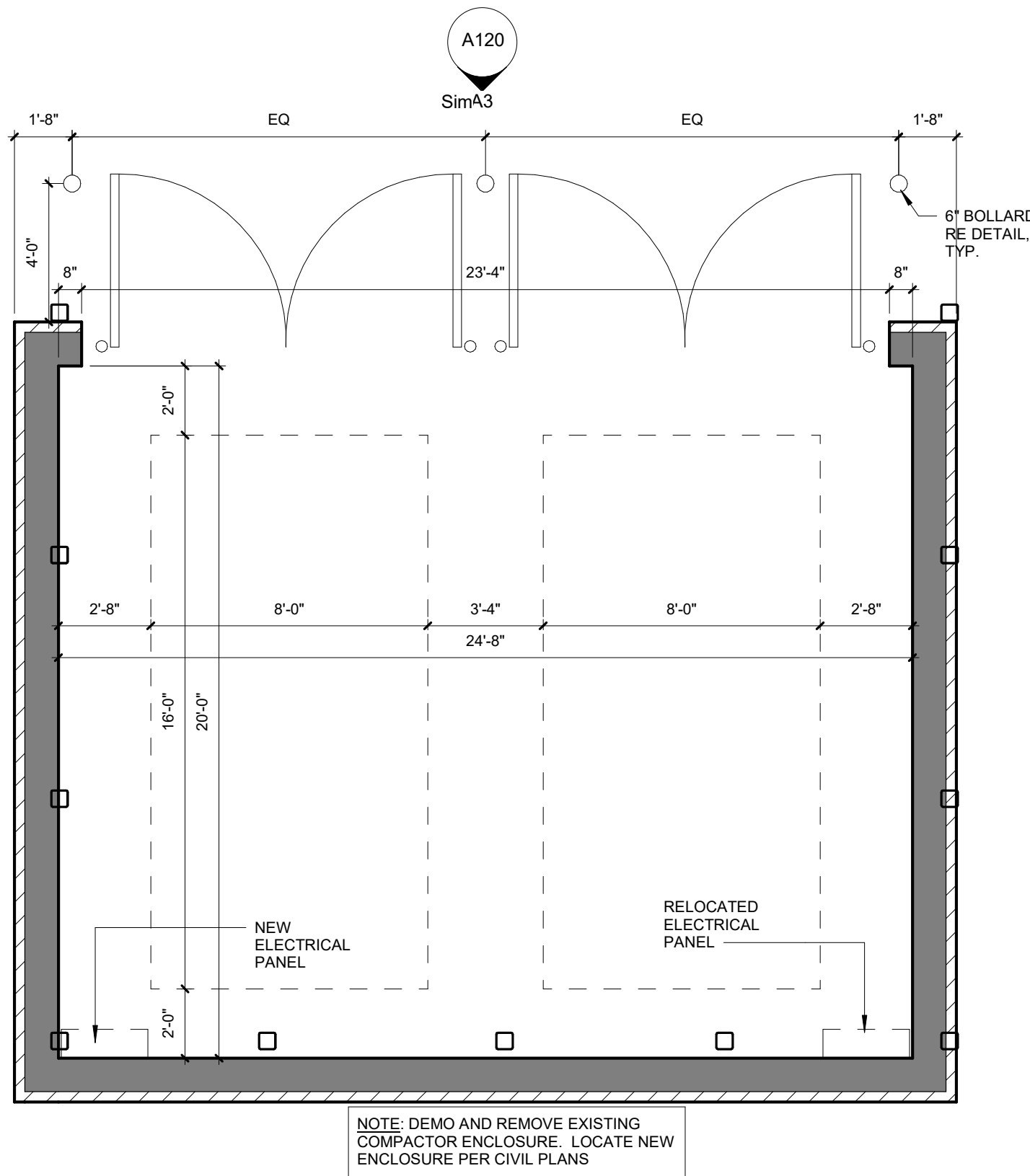
A6 PIPE BOLLARD DETAIL
3/4" = 1'-0"



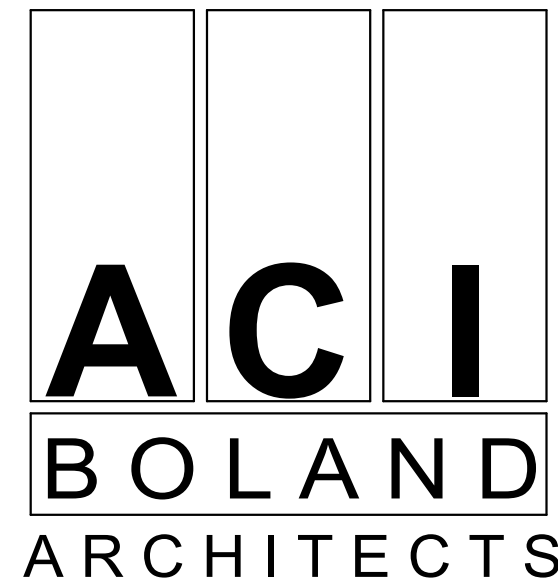
A5 TRASH SCREEN
3/4" = 1'-0"



A3 TRASH ENCLOSURE ELEVATION
1/4" = 1'-0"



A1 01 - TRASH ENCLOSURE PLAN
1/4" = 1'-0"



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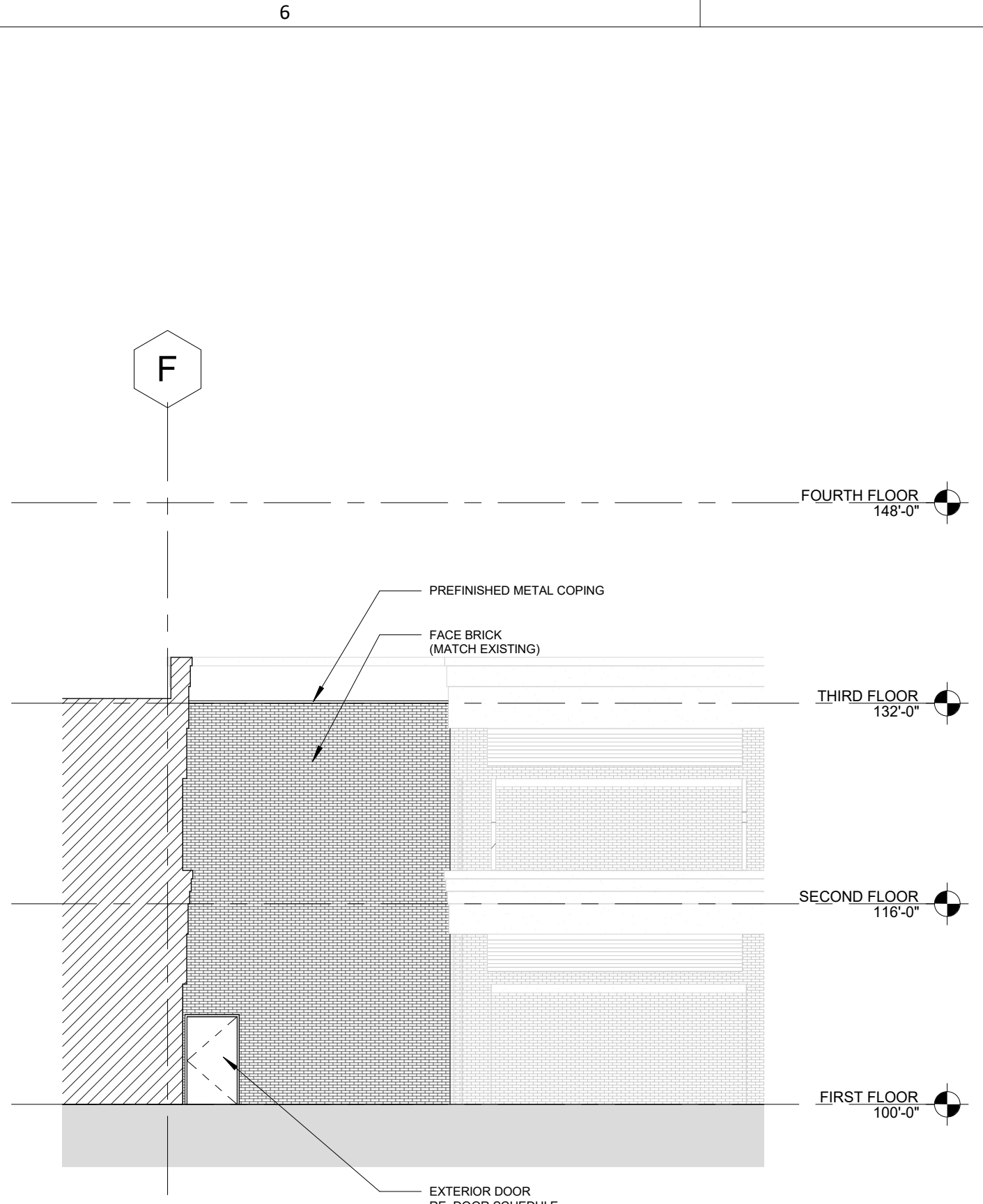
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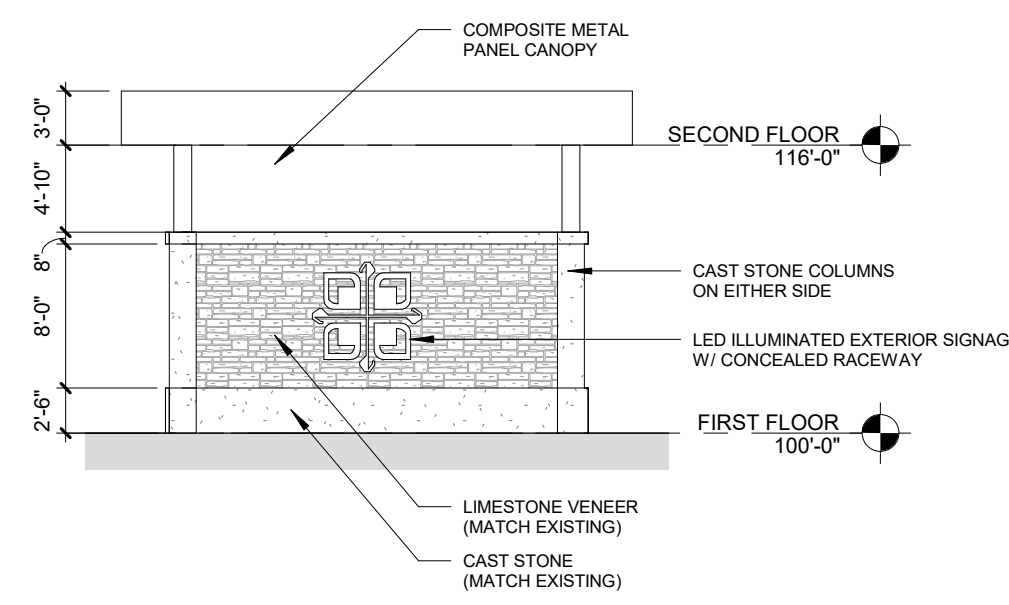
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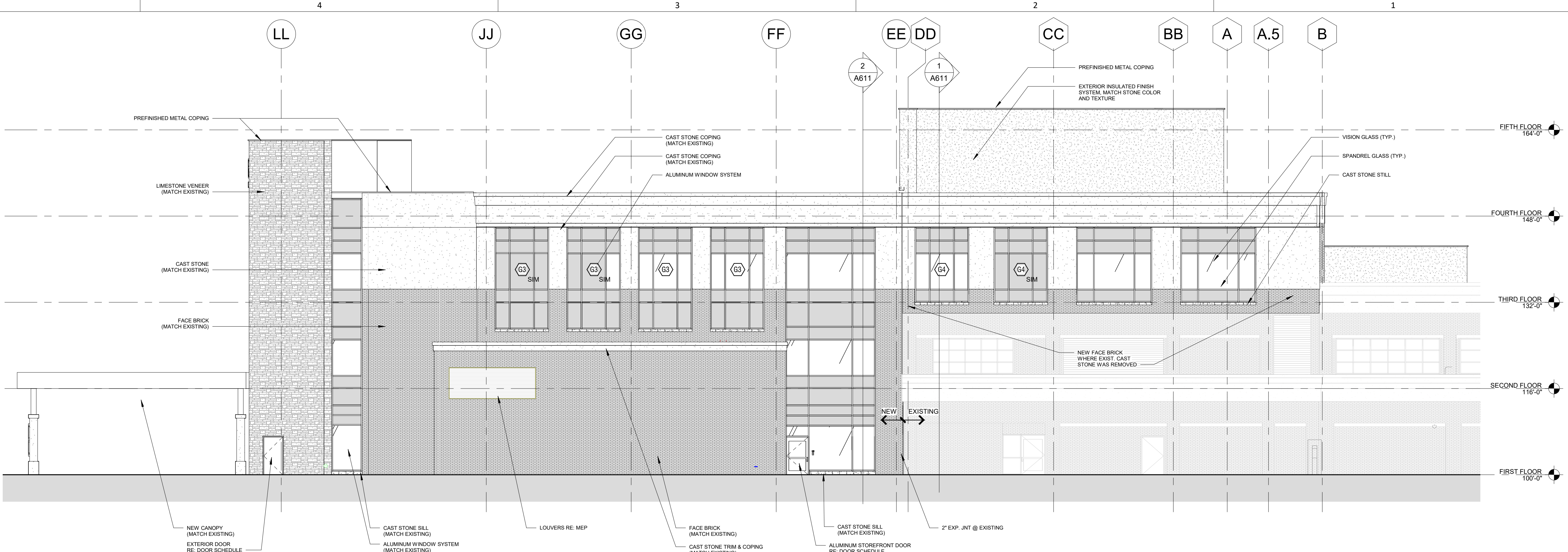
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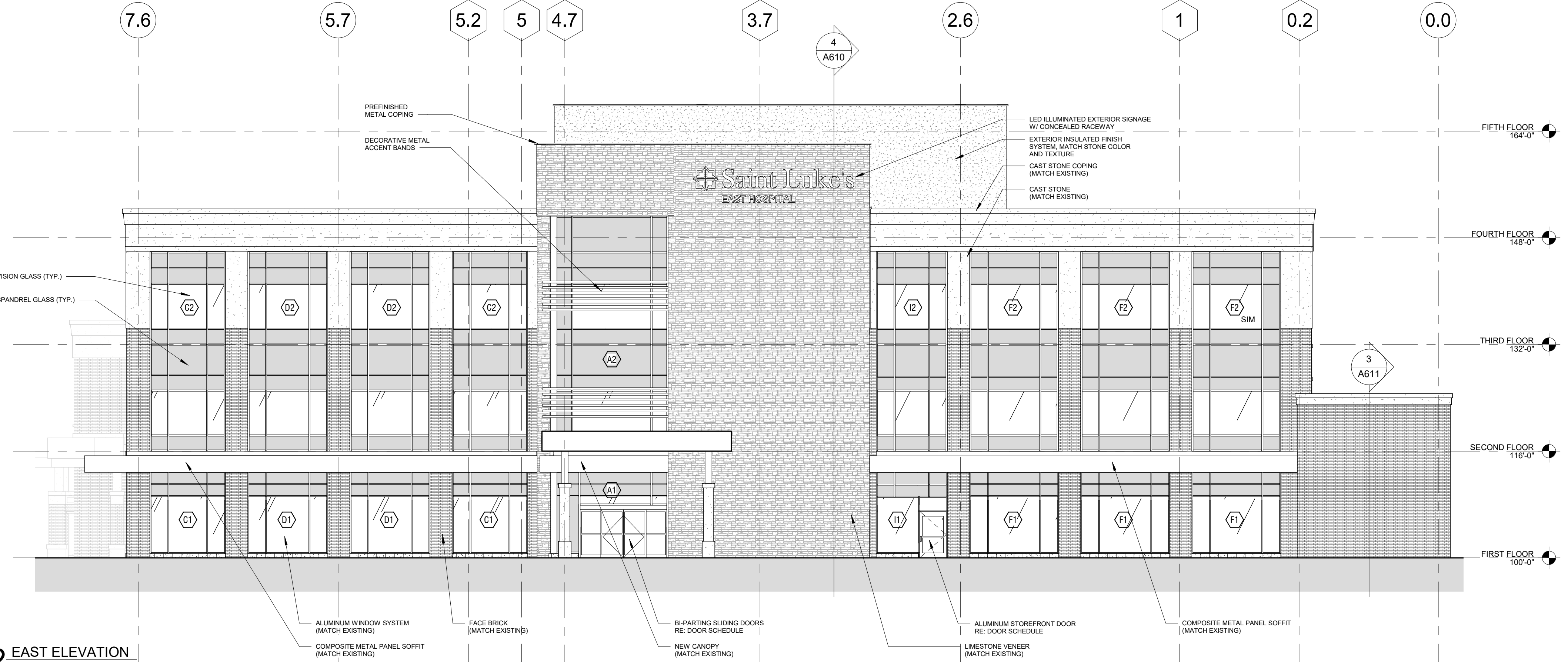
5 ELEVATION @ NEW EGRESS STAIR
3/32" = 1'-0"



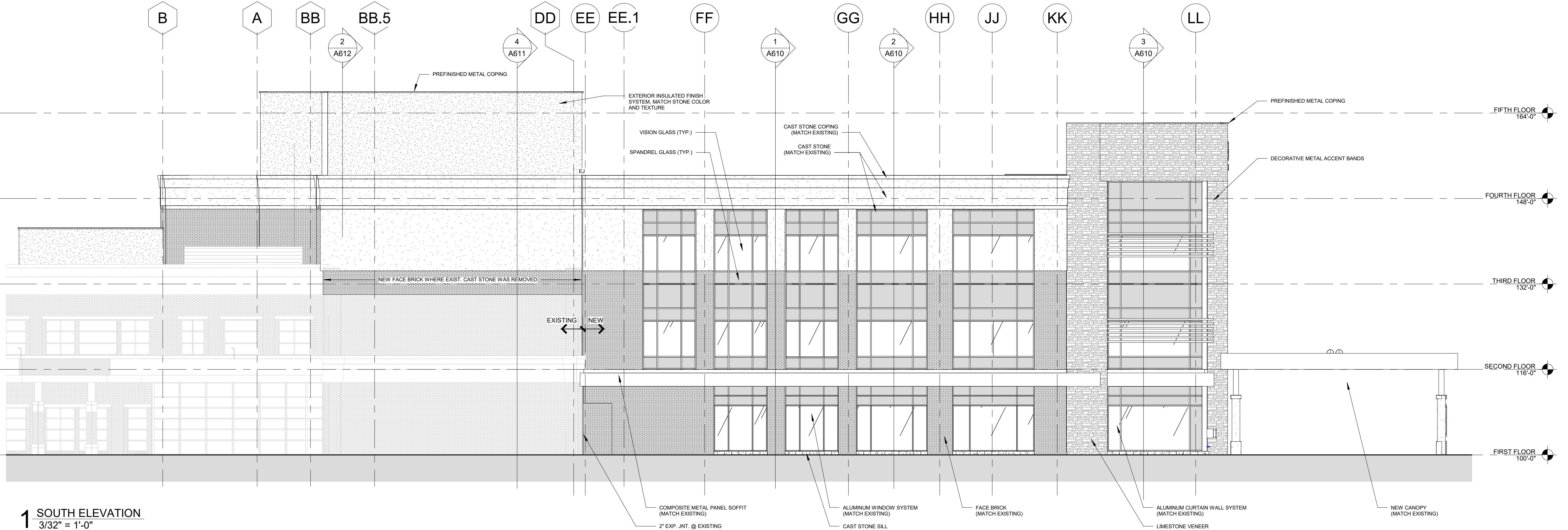
4 EAST CANOPY ELEVATION
3/32" = 1'-0"



3 NORTH ELEVATION
3/32" = 1'-0"



2 EAST ELEVATION
3/32" = 1'-0"



1 SOUTH ELEVATION
3/32" = 1'-0"

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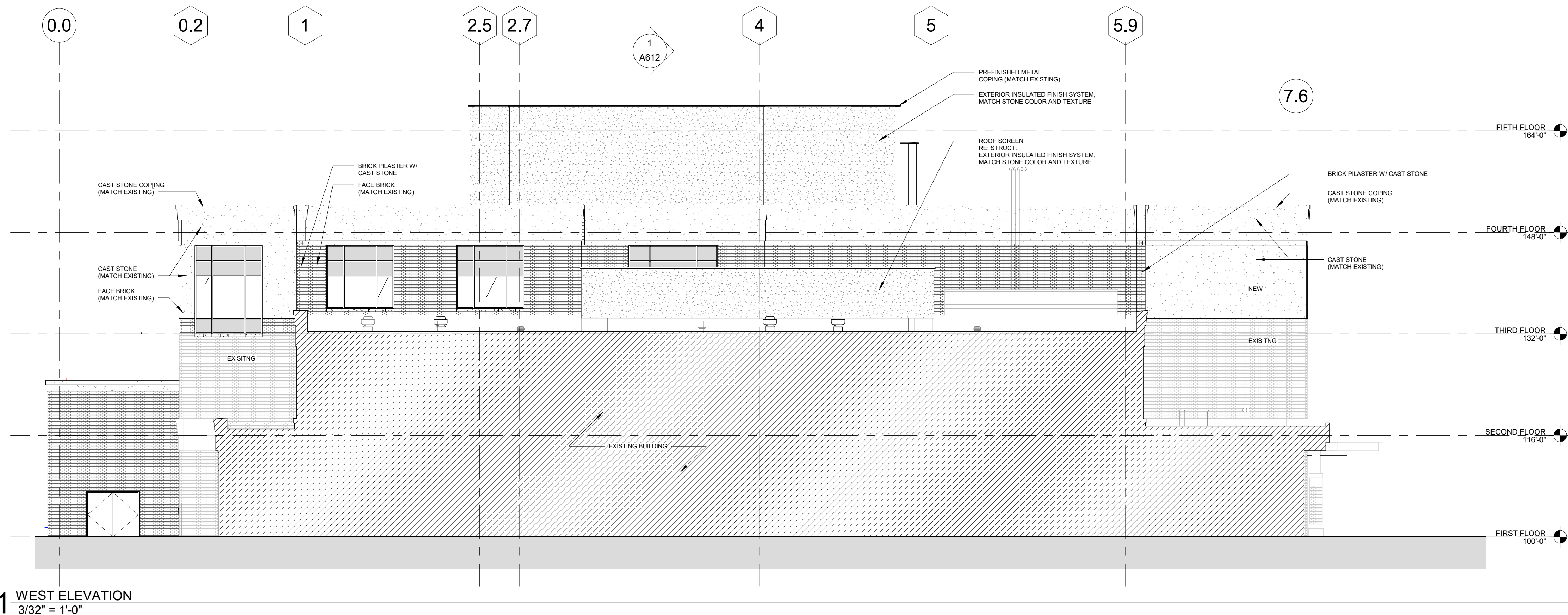
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Number Date Description

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