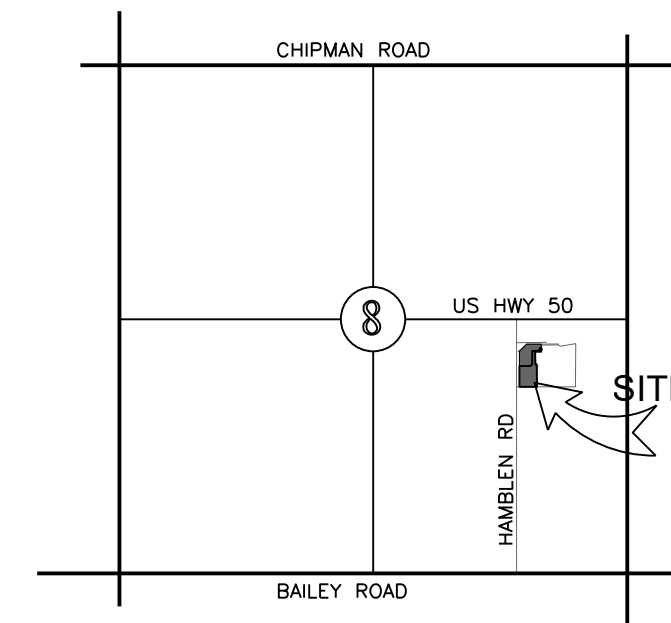
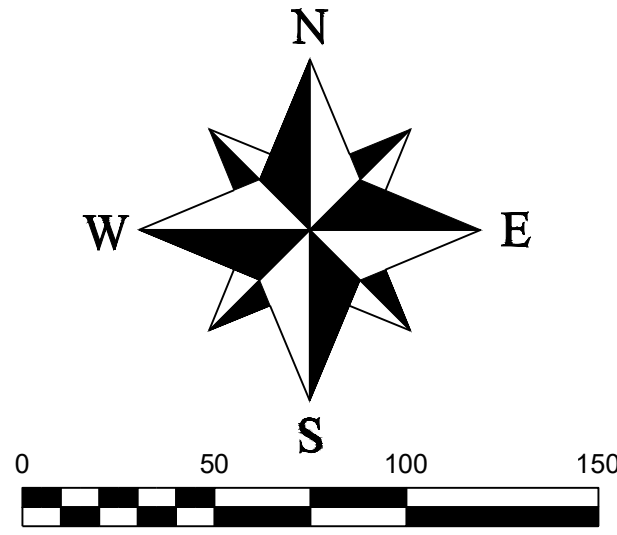


MINOR PLAT

Hamblen Plaza, Lots 2A & 3A
 a Replat of Lots 2 & 3, Hamblen Plaza, Lots 1 thru 3
 Part of the Northeast 1/4 of the Southeast 1/4
 Section 8, Township 47 North, Range 31 West
 Lee's Summit, Jackson County, Missouri



LOCATION MAP
SECTION 3-T47N-R32W

LEGEND

- These standard symbols will be found in the drawing.
- Set 1/2" Rebar & Cap (LS-200508319D)
 - ⊙ Found Survey Monument (As Noted)
 - ① State Plane Coordinates
 - x — x — x — Existing Fence Line - Chain Link
 - w — Existing Water Line
 - ss — Existing Sanitary Sewer Main
 - STORM — Existing Storm Sewer
 - c — Existing Gas Line
 - tel — Existing Underground Telephone
 - Existing Underground Electric

REVISIONS	DATE

PROPERTY DESCRIPTION

All of Lots 2 and 3, Hamblen Plaza, Lots 1 thru 3, a subdivision as recorded in the Office of the Recorder, Jackson County, Missouri

DEDICATION:
 THE UNDERSIGNED PROPRIETOR OF THE ABOVE DESCRIBED TRACT OF LAND HAS CAUSED THE SAME TO BE SUBDIVIDED IN THE MANNER SHOWN ON THE ACCOMPANYING MINOR PLAT, WHICH PLAT AND SUBDIVISION SHALL HEREAFTER BE KNOWN AS:

"Hamblen Plaza, Lots 2A and 3A"

EASEMENTS:
 AN EASEMENT OR LICENSE IS HEREBY GRANTED TO THE CITY OF LEE'S SUMMIT, MISSOURI, TO LOCATE, CONSTRUCT AND MAINTAIN, OR TO AUTHORIZE THE LOCATION, CONSTRUCTION AND MAINTENANCE OF POLES, WIRES, ANCHORS, CONDUITS, AND/OR STRUCTURES FOR WATER, GAS, SANITARY SEWER, STORM SEWER, SURFACE DRAINAGE CHANNEL, ELECTRICITY, TELEPHONE, CABLE TV, OR ANY OTHER NECESSARY PUBLIC UTILITY OR SERVICES, ANY OR ALL OF THEM, UPON, OVER, OR UNDER THOSE AREAS OUTLINED AND DESIGNATED UPON THIS PLAT AS "UTILITY EASEMENTS" (U.E.), "DRAINAGE EASEMENT" (D.E.) OR WITHIN ANY STREET OR THOROUGHFARE DEDICATED TO THE PUBLIC USE ON THIS PLAT. GRANTOR, ON BEHALF OF HIMSELF, HIS HEIRS, HIS ASSIGNS AND SUCCESSORS IN INTEREST, HEREBY WAIVES, TO THE FULLEST EXTENT ALLOWED BY LAW, INCLUDING, WITHOUT LIMITATIONS, SECTION 527.188, RSMo (2006), ANY RIGHT TO REQUEST RESTORATION OF RIGHTS PREVIOUSLY TRANSFERRED AND VACATION OF THE EASEMENTS HEREIN GRANTED.

BUILDING LINES:
 BUILDING LINES OR SETBACK LINES ARE HEREBY ESTABLISHED AS SHOWN ON THE ACCOMPANYING PLAT AND NO BUILDING OR PORTION THEREOF SHALL BE CONSTRUCTED BETWEEN THIS LINE AND THE STREET RIGHT OF WAY LINE

OIL - GAS WELLS:
 THERE IS NO VISIBLE EVIDENCE OF ABANDONED OIL OR GAS WELLS LOCATED WITHIN THE PLAT BOUNDARIES, AS IDENTIFIED IN "ENVIRONMENTAL IMPACT STUDY OF ABANDONED OIL AND GAS WELLS IN LEE'S SUMMIT, MISSOURI," EDWARD ALTON MAY JR., P.E., 1995.

DRAINAGE NOTE:
 INDIVIDUAL LOT OWNER(S) SHALL NOT CHANGE OR OBSTRUCT THE DRAINAGE FLOW LINES ON THE LOTS INCLUDED IN THE MASTER DRAINAGE PLAN, UNLESS SPECIFIC APPLICATION IS MADE AND APPROVED BY THE CITY ENGINEER.

OWNER IN TESTIMONY THEREOF:
 _____ A _____ CORPORATION, HAS CAUSED THESE PRESENT TO BE SIGNED THIS _____ DAY OF _____ 2022.

MANAGER:

NOTARY CERTIFICATION

STATE OF _____)
 COUNTY OF _____)
 ON THIS _____ DAY OF _____, 2022, BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, PERSONALLY APPEARED _____ A _____ CORPORATION, TO ME KNOWN TO BE THE PERSON DESCRIBED HEREIN AND WHO EXECUTED THE FOREGOING INSTRUMENT ON BEHALF OF SAID COMPANY AND BEING DULY SWORN BY ME DID ACKNOWLEDGE THAT HE/SHE EXECUTED THE FOREGOING INSTRUMENT AS THEIR FREE ACT AND DEED.

IN WITNESS WHEREOF
 I HAVE SET MY HAND AND AFFIXED MY SEAL THE DAY AND YEAR LAST WRITTEN ABOVE.

NOTARY PUBLIC _____ MY COMMISSION EXPIRES _____

CITY OF LEE'S SUMMIT:

THIS IS TO CERTIFY THAT THE MINOR PLAT OF HAMBLEN PLAZA, LOTS 2A AND 3A, WAS SUBMITTED TO AND DULY APPROVED BY THE CITY OF LEE'S SUMMIT, MISSOURI, PURSUANT TO CHAPTER 33 OF THE CITY OF LEE'S SUMMIT CODE OF ORDINANCES, THE UNIFIED DEVELOPMENT ORDINANCE.

By _____
 Ryan A. Elam, P.E., Director of Development Services Date _____

By _____
 Trisha Fowler Arcuri, City Clerk Date _____

By _____
 George M Binger, III P.E., City Engineer Date _____

APPROVED BY JACKSON COUNTY ASSESSOR/GIS DEPT:

By _____
 Date _____

Missouri State Plane Coordinate System
 1983, Missouri West Zone
 (2003 Adjustment)
 Reference Monument: JA-29 2
 Combined Scale Factor: 0.9999030

POINT	NORTHING	EASTING
1	305497.534	855186.096
2	305505.388	855135.191
3	305499.705	855126.035
4	305458.858	855117.894
5	305451.067	855151.184
6	305449.913	855177.066
7	305450.572	855183.126
JA 29 2	315309.740	862449.671

Coordinates Shown in Meters

ALTA/NSPS - Table A requested items

- Monuments were placed at all major corners of the boundary, unless already marked or referenced by existing monuments
- Address of subject property
 -Tract 1 601 SE Oldham Parkway, Lee's Summit, MO
 -Tract 2 - No Address
- Flood Zone Classification
 -Located outside the 100 year flood plan per panel 29095C0430G, Dated January 20, 2017
- Gross land area
 -Tract 1 78,656.35 sf (1.80 Acres)
 -Tract 2 8355.09 sf (0.19 Acres)
- Substantial features observed in the process of conducting the survey
- Location of utilities existing on or serving the surveyed property as determined by observed evidence
 -Located Ticket #13091394
- Name of adjoining owners of platted lands according to the current public record
- Distance to nearest intersecting street. Shown on Survey
- There is no observed evidence of current earth moving work, building construction or building additions
- There have been no apparent changes to the street right of way
- Professional Liability Certificate available upon request

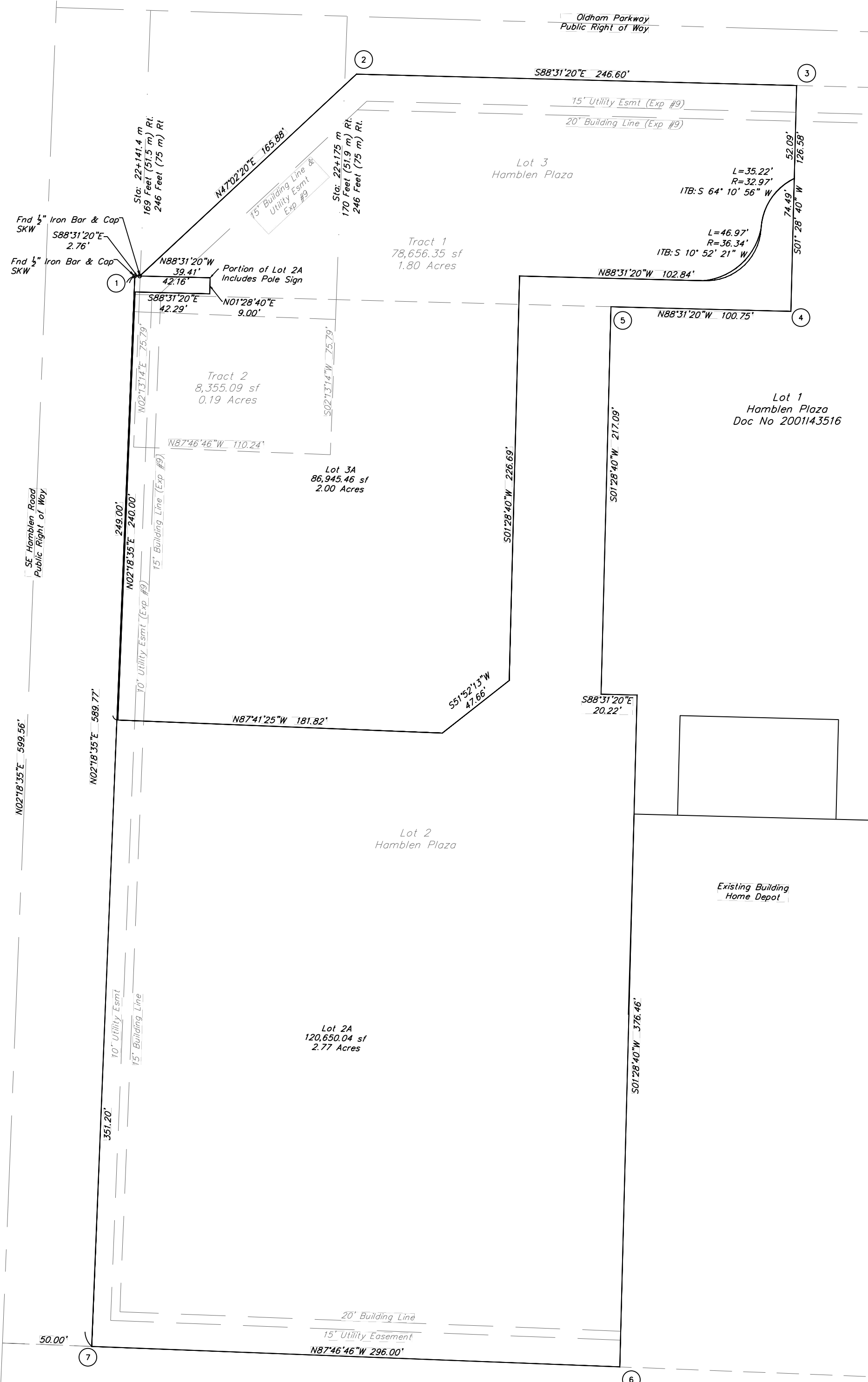
The Survey Parcel is subject to the following items listed in Schedule B - Section II

- Easements, restrictions and setback lines as per plats, recorded as PRAIRIE RIDGE PARK, recorded June 5, 1987, in Plat Book 43, Page 236; PRAIRIE INDUSTRIAL PARK, recorded July 11, 1989, in Plat Book 46, Page 95; REPLAT OF LOT 1 OF PRAIRIE INDUSTRIAL PARK, recorded January 16, 1996, in Plat Book 58, Page 11; EASTSIDE BUSINESS PARK, recorded September 14, 2000, in Plat Book 68, Page 13 and HAMBLEN PLAZA, LOTS 1 THRU 3, recorded June 12, 2001, in Plat Book 69, Page 41. AFFECTS SURVEY TRACT 1 AND 2. SHOWN ON SURVEY
- Sewer Easement 20 feet in width, reserved in the Warranty Deed recorded January 15, 1960, as Document No. 739896, in Book 1371, Page 332. AFFECTS LOT 2, HAMBLEN PLAZA, OUTSIDE PROPOSED SURVEY LIMITS
 Modified by Agreement, recorded August 29, 1991, as Document No. 1-1060824, in Book 2159, Page 71. AFFECTS LOTS 1 AND 2, HAMBLEN PLAZA, OUTSIDE PROPOSED SURVEY LIMITS
- Lack of direct access to Hamblen Road, from the premises in question, such right of access having been granted to the State of Missouri by the instrument recorded, as Document No. 883350, in Book 1821, Page 60.
 Partial Release recorded April 22, 2002, as Document No. 200210032058. EASEMENT RELEASED AND REMOVED FROM SURVEY TRACT
- Electric Line Easement granted to Missouri Public Service Company, recorded as Document No. 907341, in Book 1884, Page 16.
 Partial Release recorded April 22, 2002, as Document No. 200210032057. EASEMENT RELEASED AND REMOVED FROM SURVEY TRACT
- Easement and Right of Way Agreement granted to the City of Lee's Summit, recorded September 10, 1968, as Document No. 1-22871, in Book 1-66, Page 555. LOCATED WITHIN PUBLIC RIGHT OF WAY OF HAMBLEN ROAD
- Electric Line Easement granted to Missouri Public Service Company, recorded February 3, 1984, as Document No. 1-554496, in Book 1284, Page 663.
 Partial Release recorded April 22, 2002, as Document No. 200210032052. EASEMENT RELEASED AND REMOVED FROM SURVEY TRACT
- Utility Easement granted to the City of Lee's Summit, Missouri, recorded June 2, 1987, as Document No. 1-775977, in Book 1685, Page 795. AFFECTS LOTS 1 AND 2, HAMBLEN PLAZA, OUTSIDE PROPOSED SURVEY LIMITS
- Easement granted to the City of Lee's Summit, Missouri, recorded June 30, 1987, as Document No. 1-782598, in Book 1696, Page 821. AFFECTS LOTS 1 AND 2, HAMBLEN PLAZA, OUTSIDE PROPOSED SURVEY LIMITS
- Utility Easement Conveyance granted to the City of Lee's Summit, Missouri, recorded May 25, 1989, as Document No. 1-914717 in Book 1-1918, Page 1407. DOES NOT AFFECT SURVEY TRACT
- Non-Exclusive Ingress and Egress Easement Agreement, recorded March 28, 1991, as Document No. 1-1032131, in Book 2110, Page 686. DOES NOT AFFECT SURVEY TRACT
- Joint Easements, recorded November 6, 1991, as Document No. 1-1072439, in Book 2179, Page 2067. DOES NOT AFFECT SURVEY TRACT
- Easement Agreement, recorded January 10, 1992, as Document No. 1-1082089, in Book 2199, Page 735. DOES NOT AFFECT SURVEY TRACT
- Abutters rights of direct access by the Missouri Highway and Transportation Commission, to Hamblen Road and to South Outer Road, as set forth in the Report of Commissioners, recorded January 29, 1999, as Document No. 1999-1-0008022. AFFECTS LOTS 1 AND 3, HAMBLEN PLAZA, OUTSIDE PROPOSED SURVEY LIMITS
- Easement for Electric and Communication Lines granted to Missouri Public Service, a division of UtiliCorp United Inc., recorded July 11, 2001, as Document No. 200110054170. AFFECTS LOTS 1 AND 3, HAMBLEN PLAZA, OUTSIDE PROPOSED SURVEY LIMITS
- Sales Tax Reimbursement Agreement between The City of Lee's Summit, Missouri and Home Depot U.S.A., Inc., recorded August 7, 2001, as Document No. 200110062275. NOT A SURVEY MATTER
- Restrictive Covenants and Easement Agreement between ALDI Inc. (Kansas) and Home Depot U.S.A., Inc., recorded August 1, 2002, as Document No. 200210065606. NOT A SURVEY MATTER
- Restrictive Covenant Agreement between Home Depot U.S.A., Inc. and Marvmar Properties, L.L.C., recorded March 9, 2015, as Document No. 2015E0019143. NOT A SURVEY MATTER
- Consequences of referring to and using highway station numbers as calls in the legal description of Tract 2. SURVEY TRACT 2 IS SHOWN ON SURVEY

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY THAT I HAVE MADE A SURVEY OF THE PREMISES DESCRIBED HEREIN WHICH MEETS OR EXCEEDS THE CURRENT "MISSOURI MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS" AS JOINTLY ESTABLISHED BY THE MISSOURI BOARD FOR ARCHITECTS, PROFESSIONAL ENGINEERS, PROFESSIONAL LAND SURVEYORS, AND LANDSCAPE ARCHITECTS AND THE MISSOURI DEPARTMENT OF AGRICULTURE AND RESOURCE ASSESSMENT AND THAT THE RESULTS OF SAID SURVEY ARE REPRESENTED ON THIS PLAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF.

 DATE: _____
 MATTHEW J. SCHLICHT, MOPLS 2012000102
 ENGINEERING SOLUTIONS, LLC. MO CORP LS 2005008319-D



Lots 2A and 3A, Hamblen Plaza
 a Replat of Hamblen Plaza, Lots 1 thru 3
 Part of the Northeast 1/4 of the Southeast 1/4 of
 Section 8, Township 47 North, Range 31 West
 Jackson County, Missouri

JOB NO. None Dept	COUNTY JACKSON	RANGE 31W	TOWNSHIP 47N	SECTION 8	SHEET 1 OF 1	DATE OF PREPARATION November 7, 2022	SCALE 1"=50'	DRAWN BY M. Schlicht, PLS., PE



ENGINEERING SOLUTIONS
 ENGINEERING & SURVEYING
 50 SE 30TH STREET
 LEE'S SUMMIT, MO 64082
 P: (816) 623-9888 F: (816) 623-9849