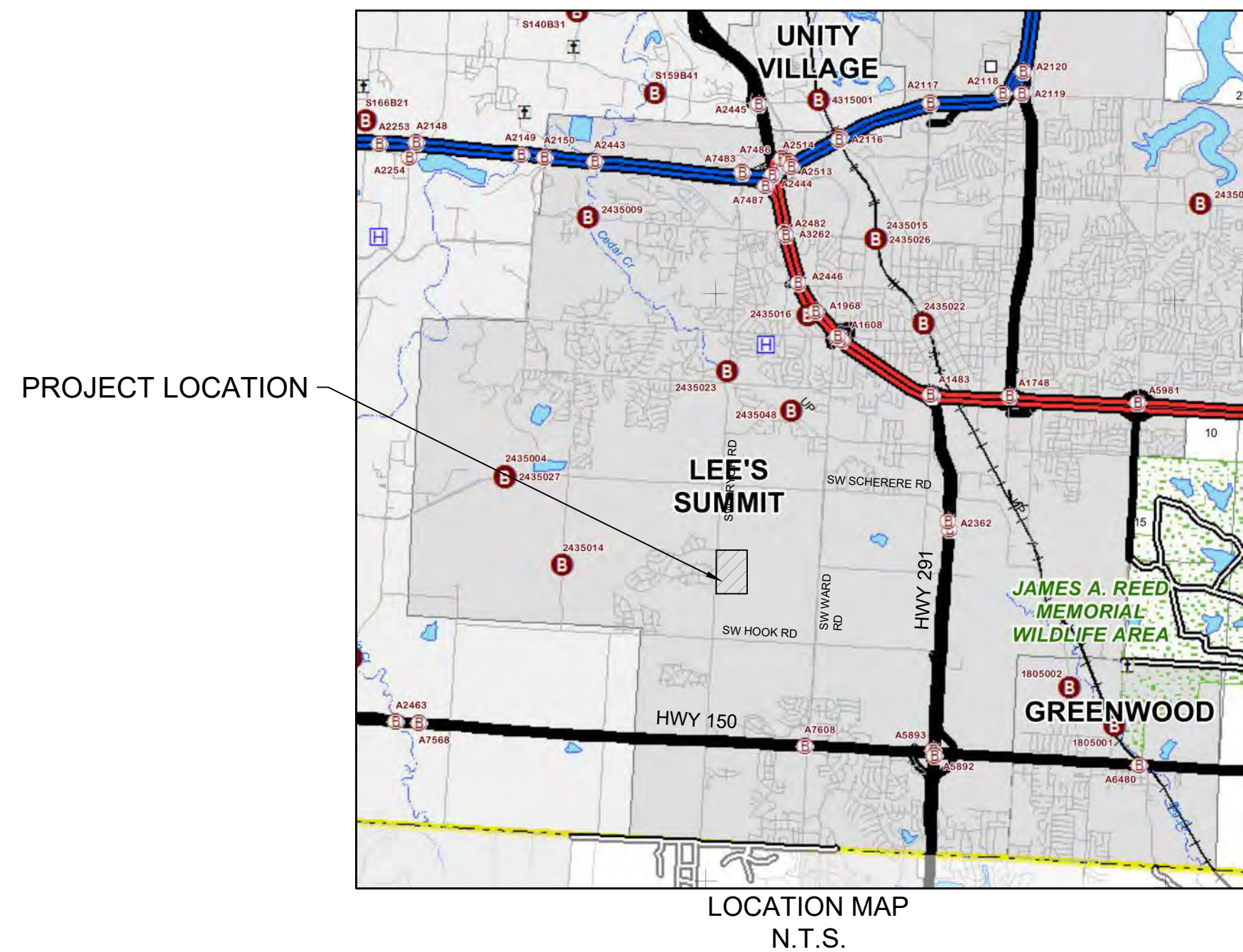


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TRACT C OF WHISPERING WOODS, 1ST PLAT, LOTS 1-33



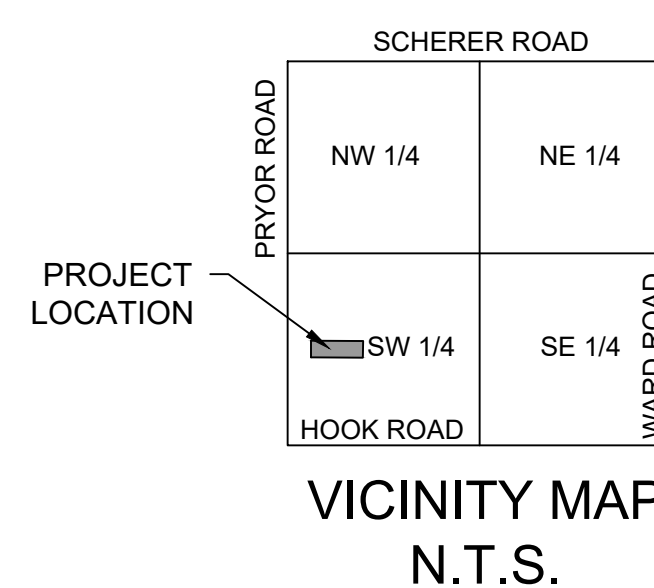
Sheet List Table	
Sheet Number	Sheet Title
C1.0	TITLE SHEET
C1.1	GENERAL NOTES
C2.0	OVERALL SITE PLAN
C2.1	SITE PLAN
C3.0	GRADING PLAN
C3.1	SPOT ELEVATION PLAN
C3.2	SIDEWALK RAMP PLAN
C3.3	EROSION CONTROL PLAN
C3.4	UTILITY PLAN
C4.0	DETAILS
C4.1	DETAILS
L1.0	LANDSCAPE PLAN

APPROVED:

City Engineer

Date _____

UTILITY SERVICE NUMBERS	
SPECTRUM	886-874-2389
EVERGY	816-220-5213
SPIRE GAS	816-399-9633
LEE'S SUMMIT PUBLIC WORKS	816-969-1800
CITY PLANNING & DEVELOPMENT	816-969-1600
FIRE DEPARTMENT	816-969-1300



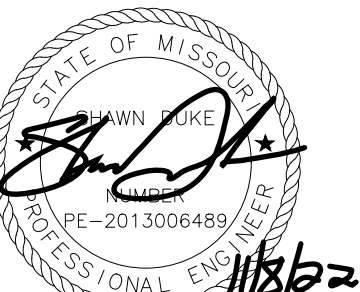
DEVELOPER:

WHISPERING WOODS LAND, L.L.C.
803 P.C.A. ROAD
WARRENSBURG, MO 64093
AGENT: RICK FRYE
PHONE: 816.564.2230
FAX: 660.429.1801

MARK	REVISION	DATE	BY
Engineer: SD	Checked By: SD	Scale: 1" =	
Technician: JS	Date: 04-26-2022	T-R-S: 47N-32W-24	

Sheet C1.0

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 Missouri State Certificate of Authority #2006005644



SHAWN DUKE - ENGINEER
MO PE#2013006489

LEE'S SUMMIT, MO

TITLE SHEET
SNYDER & ASSOCIATES
ENGINEERS & PLANNERS, INC.



Project No: 120.0484.11

Sheet C1.0

LEE'S SUMMIT NOTES:

- CONTRACTOR SHALL REFER TO THE CURRENT VERSION OF THE CITY OF LEE'S SUMMIT DESIGN AND CONSTRUCTION (D&C) MANUAL.
2. ALL WORKMANSHIP AND MATERIALS SHALL BE SUBJECT TO THE INSPECTION AND APPROVAL OF THE ENGINEERING DEPARTMENT OF LEE'S SUMMIT, MISSOURI.
3. LINEAL FOOT MEASUREMENTS SHOWN ON THESE PLANS ARE HORIZONTAL MEASUREMENTS, NOT SLOPE MEASUREMENTS. ALL PAYMENTS SHALL BE MADE ON HORIZONTAL MEASUREMENTS.
4. NO GEOLOGICAL INVESTIGATION WAS PERFORMED ON THIS PROJECT.
5. THE UTILITY LOCATIONS SHOWN ON THESE PLANS ARE TAKEN FROM UTILITY COMPANY RECORDS AND ARE APPROXIMATE ONLY. THEY DO NOT CONSTITUTE ACTUAL FIELD LOCATIONS. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
6. CLEARING AND GRUBBING OPERATIONS AND DISPOSAL OF ALL DEBRIS THEREFROM SHALL BE PERFORMED BY THE CONTRACTOR IN STRICT ACCORDANCE WITH ALL STATE AND LOCAL CODES AND ORDINANCES.
7. ALL WASTE MATERIAL SHALL BE DISPOSED OF AT A LOCATION TO BE SELECTED BY THE OWNER OR HIS AUTHORIZED REPRESENTATIVE, SUCH LOCATION TO BE ON THE SITE.
8. THE CONTRACTOR SHALL CONTROL THE EROSION AND SILTATION DURING ALL PHASES OF CONSTRUCTION. HE SHALL KEEP THE STREETS CLEAN OF MUD AND DEBRIS AND FOLLOW THE EROSION CONTROL PLAN PREPARED BY THE DESIGN ENGINEER.
9. ALL MANHOLES, CATCH BASINS, UTILITY VALVES AND METER PITS TO BE ADJUSTED OR REBUILT TO GRADE AS REQUIRED.
10. SUBGRADE SOIL FOR ALL CONCRETE STRUCTURES, REGARDLESS OF THE TYPE OR LOCATION, SHALL BE FIRM, DENSE AND THOROUGHLY COMPACTED AND CONSOLIDATED; SHALL BE FREE FROM MUCK AND MUD; AND SHALL BE SUFFICIENTLY STABLE TO REMAIN FIRM AND INTACT UNDER THE FEET OF THE WORKMAN OR MACHINERY ENGAGED IN SUBGRADE, LAYING REINFORCING STEEL, AND DEPOSITING CONCRETE THEREON. IN ALL CASES WHERE SUBSOIL IS MUCKY OR WORKS INTO MUD OR MUCK DURING SUCH OPERATION, A SEAL COURSE OF EITHER CONCRETE OR ROCK SHALL BE PLACED BELOW SUBGRADE TO PROVIDE A FIRM BASE FOR WORKING AND FOR PLACING THE FLOOR SLAB.
11. A MINIMUM HORIZONTAL DISTANCE OF TEN FEET (10') SHALL BE MAINTAINED BETWEEN PARALLEL WATER AND SANITARY SEWER LINES. AT ANY POINT WHERE SANITARY SEWER LINES CROSS WATER MAIN, THE SANITARY SEWER SHALL BE CONSTRUCTED OF CAST IRON PIPE OR PIPE ENCASED IN CONCRETE FOR A DISTANCE OF TEN FEET (10') IN EACH DIRECTION FROM THE CROSSING UNLESS THE WATER IS A MINIMUM OF EIGHTEEN INCHES (18") ABOVE THE TOP OF THE SANITARY SEWER LINE.
12. CONTRACTOR SHALL PROVIDE TESTING AND INSPECTION PER SECTION 3500 - SANITARY SEWERS CITY OF LEE'S SUMMIT, MISSOURI STANDARD SPECIFICATIONS.
13. DEVELOPMENT PLANS ARE APPROVED INITIALLY FOR ONE (1) YEAR, AFTER WHICH THEY AUTOMATICALLY BECOME VOID AND MUST BE UPDATED AND APPROVED BY THE CITY ENGINEER BEFORE ANY CONSTRUCTION WILL BE PERMITTED.
14. ALL SANITARY SEWER STUBS SHALL BE SURVEYED AND STAKED ON SITE BEFORE THE CONSTRUCTION OF SANITARY SERVICE STUBS.
15. THE CITY OF LEE'S SUMMIT PLAN REVIEW IS ONLY FOR GENERAL CONFORMANCE WITH THE CITY OF LEE'S SUMMIT DESIGN CRITERIA AND THE CITY CODE. THE CITY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, OR DIMENSIONS AND ELEVATIONS WHICH SHALL BE CONFIRMED AND CORRELATED AT THE JOB SITE. THE CITY OF LEE'S SUMMIT THROUGH APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY OTHER THAN AS STATED ABOVE FOR THE COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.
16. THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE PLANS (APPROVED BY THE CITY OF LEE'S SUMMIT) AND ONE (1) COPY OF THE APPROPRIATE CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES.
17. CONSTRUCTION OF THE IMPROVEMENTS SHOWN OR IMPLIED BY THIS SET OF DRAWINGS SHALL NOT BE INITIATED OR ANY PART THEREOF UNDERTAKEN UNTIL THE CITY ENGINEER IS NOTIFIED OF SUCH INTENT AND ALL REQUIRED AND PROPERLY EXECUTED BONDS AND PERMIT FEES ARE RECEIVED AND APPROVED BY THE CITY ENGINEER.
18. ALL STUB LINES SHALL BE LAID ON 2.00% MINIMUM GRADE UNLESS APPROVED OTHERWISE.
19. CONTRACTOR SHALL NOT BE ALLOWED TO WORK ON SATURDAYS, SUNDAYS, OR HOLIDAYS WITHOUT PRIOR APPROVAL OF THE CITY ENGINEER.
20. RELOCATION OF ANY WATER LINE, SEWER LINE OR SERVICE LINE THEREOF REQUIRED FOR THE CONSTRUCTION OF THIS PROJECT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE AT HIS EXPENSE.
21. THE CONTRACTOR SHALL INSTALL AND PROPERLY MAINTAIN A MECHANICAL PLUG AT ALL CONNECTION POINTS WITH EXISTING LINES UNTIL SUCH TIME THAT THE NEW LINE IS TESTED AND APPROVED.
22. THE CONTRACTOR SHALL CONSTRUCT MANHOLES PLACING ECCENTRIC CONE SECTION IN SUCH A MANNER THAT MANHOLE COVERS ARE ADJACENT TO THE PROPOSED SIDEWALKS. IN LOCATIONS WHERE MANHOLES ARE NOT NEAR PROPOSED SIDEWALKS THE MANHOLE COVERS SHALL GENERALLY BE PLACED ON THE UPSTREAM SIDE OF THE MANHOLES WHENEVER POSSIBLE.
23. STUB LINES, LOCATIONS, AND MINIMUM BASEMENT FLOOR ELEVATIONS ARE LOCATED IN THE TABLE LABELED "TABLE OF SERVICE LOCATIONS."
24. CONSTRUCTION PERMITS WILL NOT BE ISSUED UNTIL THE CITY OF LEE'S SUMMIT RECEIVES A SEWER EXTENSION PERMIT FROM MDNR.

25. CONNECTIONS TO EXISTING MANHOLES SHALL BE CORE DRILLED AND CONNECTED WITH A WATERTIGHT FERNCO GASKET OR APPROVED EQUAL. THE GASKET IS TO BE INSTALLED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
26. ALL AREAS WHERE UTILITIES ARE TO BE INSTALLED IN FILL SHALL BE COMPACTED TO 95% TO 18 INCHES ABOVE THE LINE THEN EXCAVATED FOR CONSTRUCTION OF THE LINE.
27. THE CONTRACTOR WILL BE RESPONSIBLE FOR TESTING OF MANHOLES AND PIPES TO THE CITY OF LEE'S SUMMIT DESIGN & CONSTRUCTION MANUAL REQUIREMENTS.
28. THE ENDS OF ALL SANITARY SEWER STUBS SHALL BE SURVEYED AND MARKED BEFORE CONSTRUCTION.
28. ALL UTILITY STREET CROSSINGS SHALL BE BACKFILLED WITH FLOWABLE FILL, OR AB-3. IF CONTRACTOR CHOOSES TO USE OTHER SUITABLE MATERIALS, EXTENSIVE SOIL TESTING REQUIREMENTS WILL BE REQUIRED.
30. TRENCH CHECKS SHALL BE USED FOR ALL SANITARY SEWER STUBS.

PROJECT NOTES:

1. THE CONTRACTOR SHALL CONTACT THE CITY'S DEVELOPMENT SERVICES INSPECTORS INSPECTORS 48 HOURS PRIOR TO ANY LAND DISTURBANCE WORK AT (816) 969-1200.
2. GRADING CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF EROSION AND SILTATION DURING ALL PHASES OF CONSTRUCTION.
3. PRIOR TO ORDERING PRECAST STRUCTURES: SHOP DRAWINGS SHALL BE SUBMITTED TO THE DESIGN ENGINEER FOR APPROVAL. UPON APPROVAL THESE SHALL BE SUBMITTED TO THE CITY OF LEE'S SUMMIT FOR REVIEW.
4. ALL WATER LINES, SANITARY SEWER LINES, AND STORM WATER DRAINAGE CROSSINGS SHALL BE IN PLACE OR A CASING PIPE PROVIDED FOR FUTURE INSTALLATION PRIOR TO BASE AND SURFACE ASPHALT COURSES.
5. SIDEWALKS ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY UNLESS OTHERWISE NOTES. HOWEVER, THE CONTRACTOR SHALL BE RESPONSIBLE FOR HANDICAP RAMP CONSTRUCTION IN CURBS.
6. REFER TO GRADING AND EROSION CONTROL SHEETS IN STREET AND STORM PLANS.
7. SITE TOPOGRAPHY TAKEN FROM SURVEY COMPLETED BY R.L. BUFORD & ASSOCIATES. CONTRACTOR TO VERIFY EXISTING CONDITIONS OF THE SITE THAT MAY NOT BE REPRESENTATIVE OF CONSTRUCTION PLANS.
8. PROTECT EXISTING TREES, SHRUBS, FENCE AND LANDSCAPING UNLESS SPECIFICALLY NOTED OTHERWISE ON PLANS. REPLACE ANY FENCE, TREES, SHRUBS, LANDSCAPING ITEMS, OR OTHER VEGETATION NOT SCHEDULED FOR REMOVAL THAT ARE DAMAGED DURING CONSTRUCTION OPERATIONS WITHOUT ADDITIONAL COMPENSATION.
9. NO OIL/GAS WELLS ARE PRESENT ON PROPERTY, PER MoDNR.

LAND USE SCHEDULE:

TOTAL LOT AREA = 2.43 AC

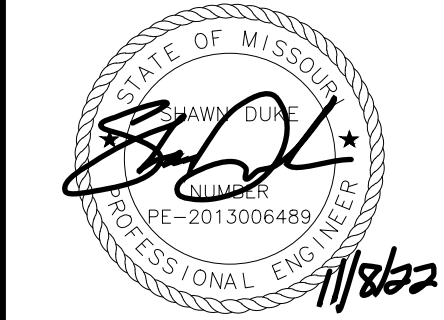
TOTAL DISTURBED AREA = 0.47 AC

TOTAL BUILDING AREA = 0.16 AC

REQUIRED PARKING SPACES = 9

PROPOSED PARKING SPACES = 11

IMPERVIOUS COVERAGE = .293 AC = 12.06% OF TOTAL AREA



SHAWN DUKE - ENGINEER
MO PE#2013006489

LEE'S SUMMIT, MO

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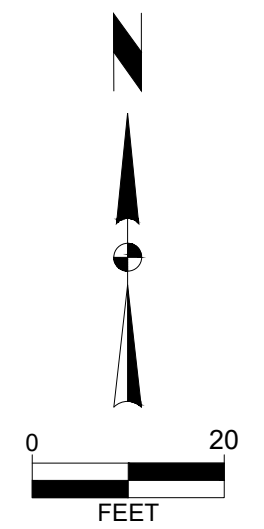
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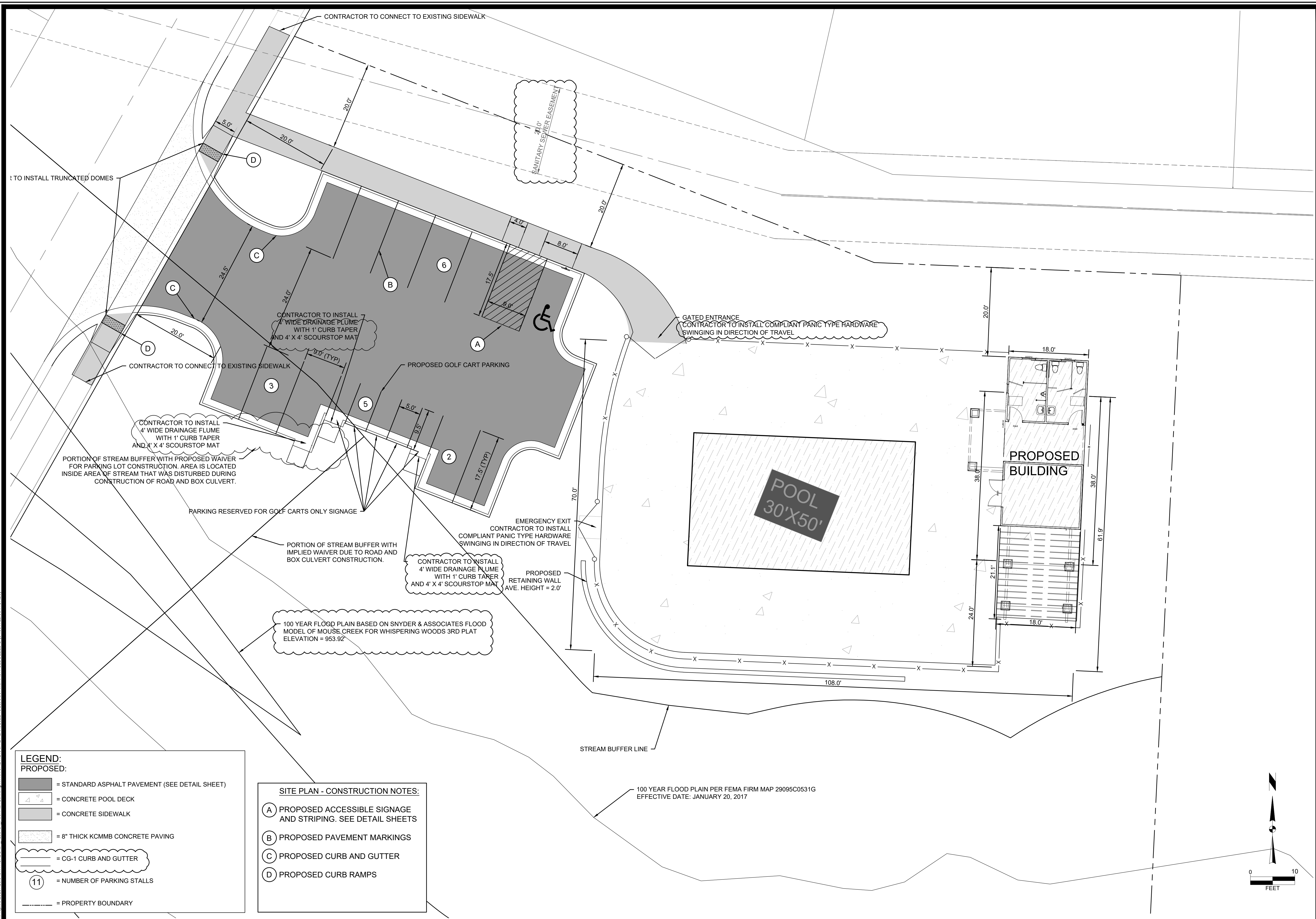
GENERAL NOTES

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ENGINEERS & PLANNERS, INC.



Project No:	120.0484.11
Sheet	C1.1



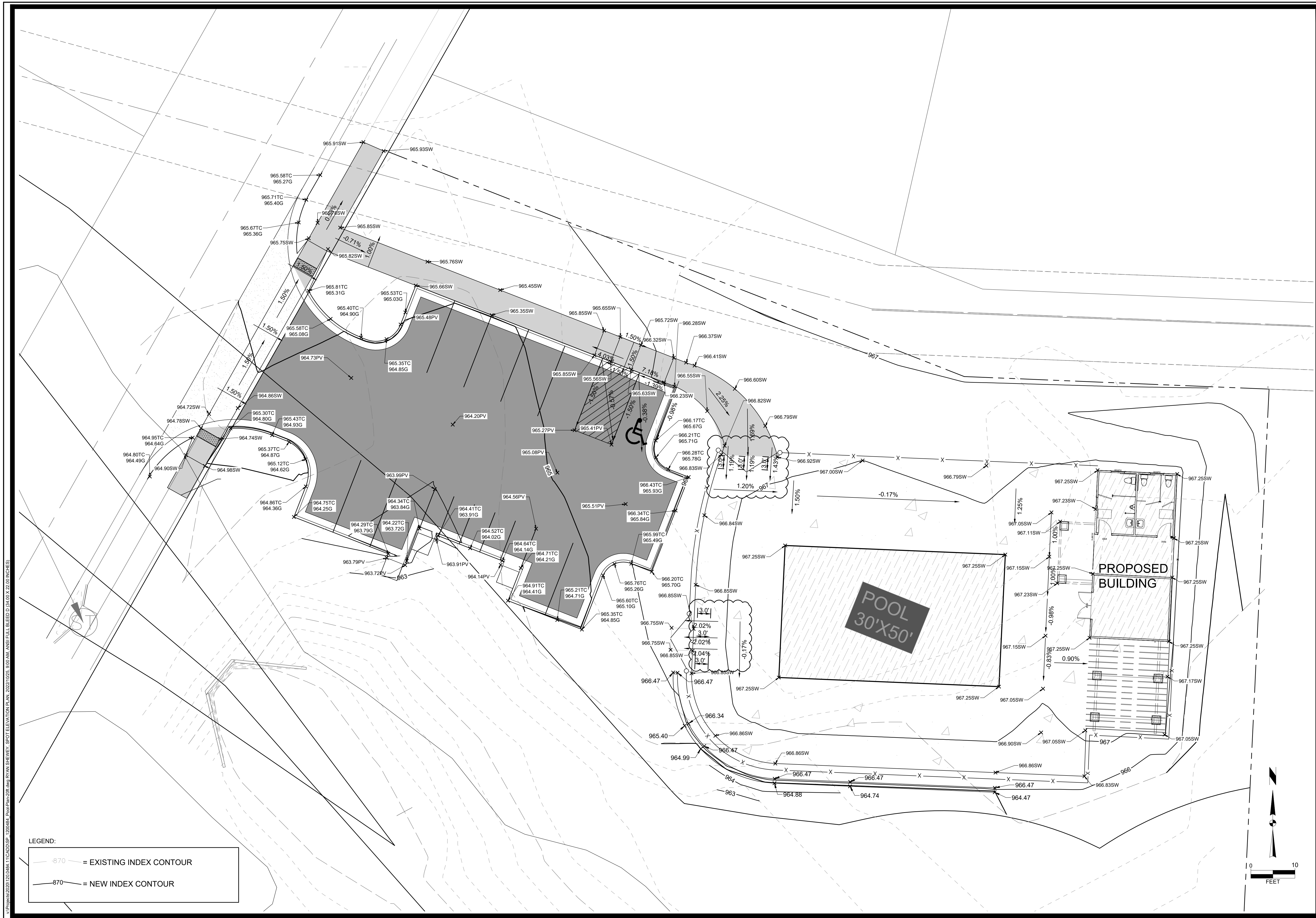
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MO PE#2013006489

WHISPERING WOODS POOL

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ENGINEERS & PLANNERS, INC.



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SHAWN DUKE - ENGINEER
MO PE#2013006489

WHISPERING WOODS POOL

SPOT ELEVATION PLAN

SNYDER & ASSOCIATES
ENGINEERS & PLANNERS, INC.

LEE'S SUMMIT, MO

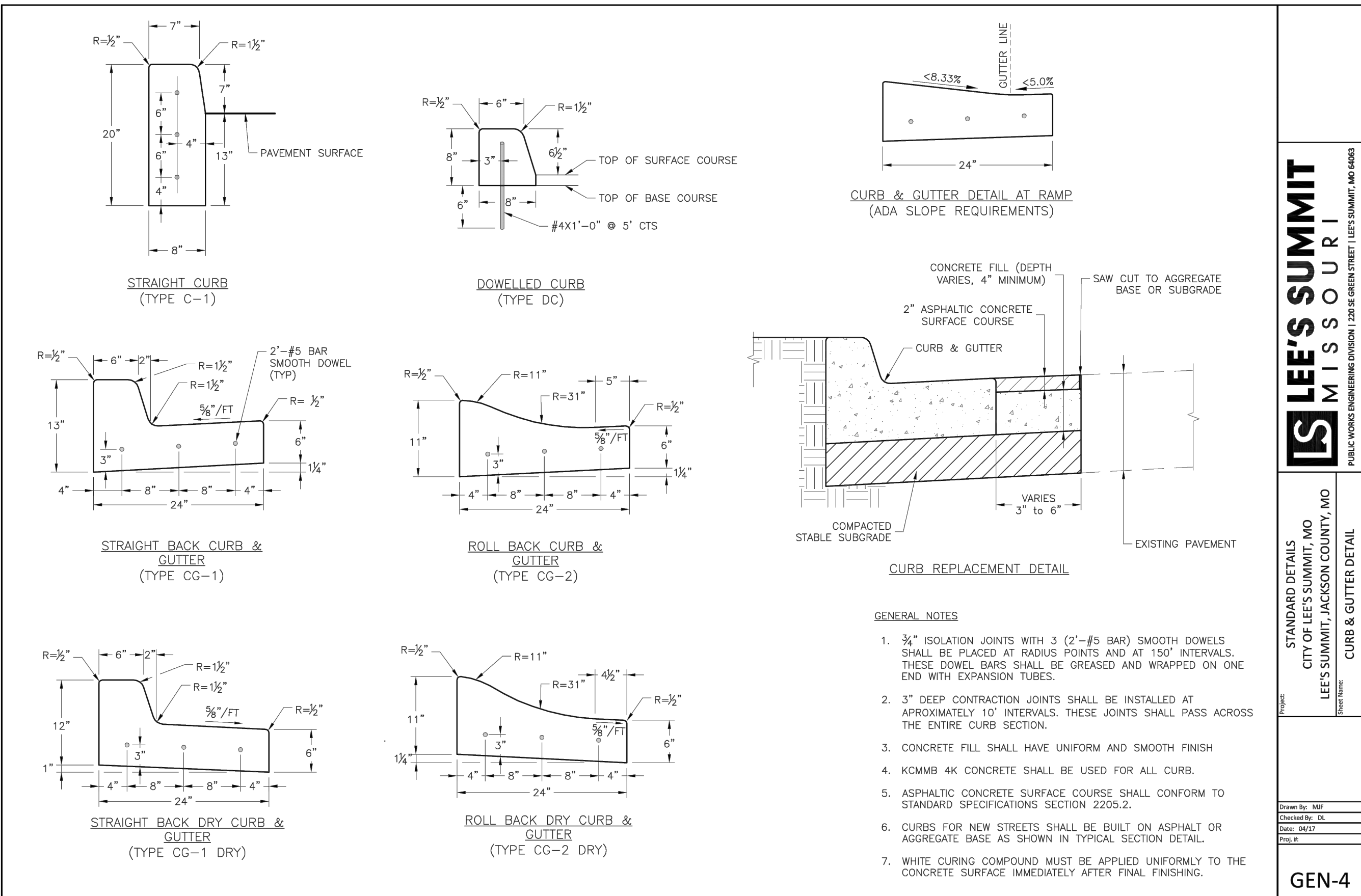
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Sheet C3.1

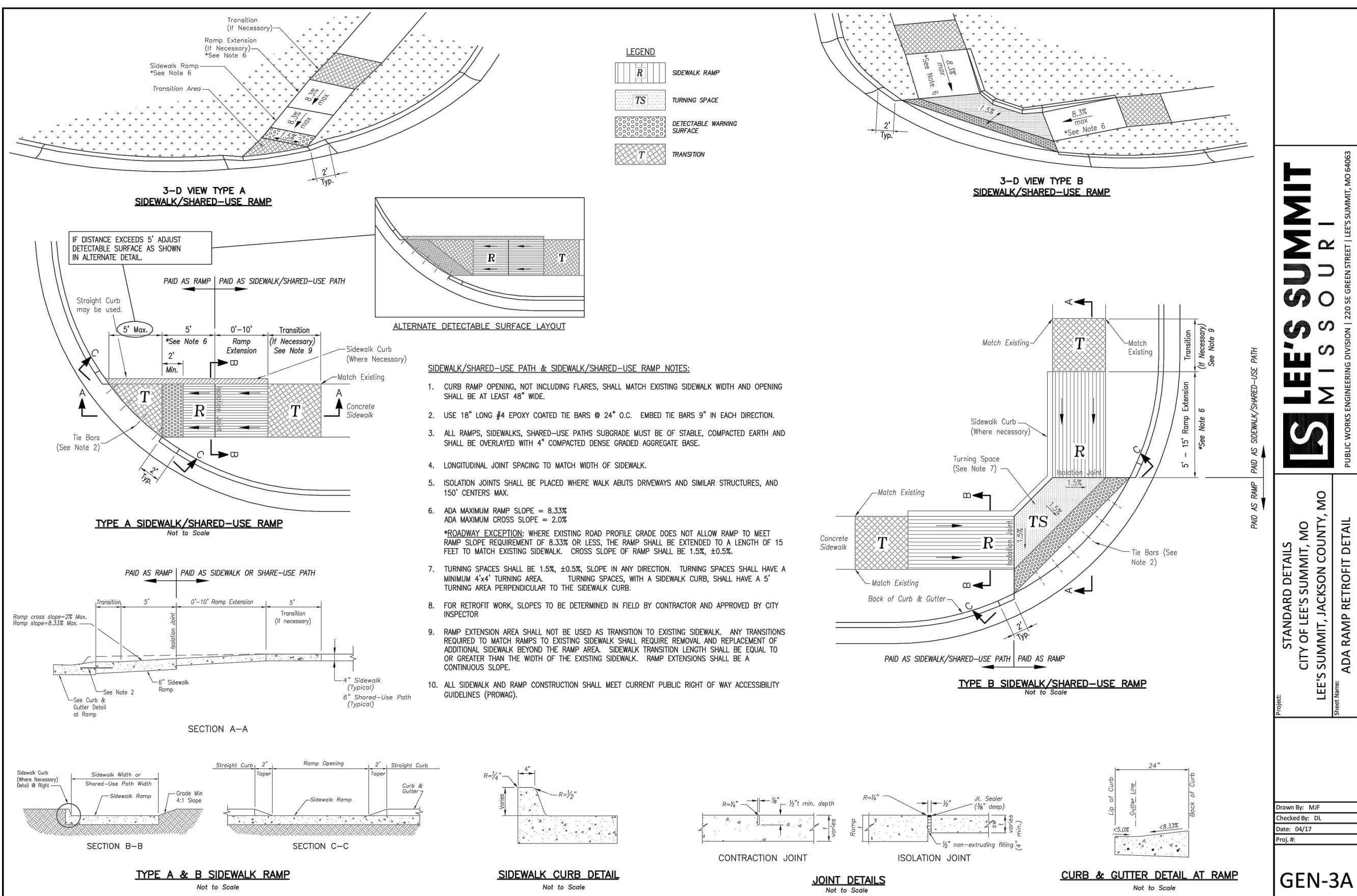
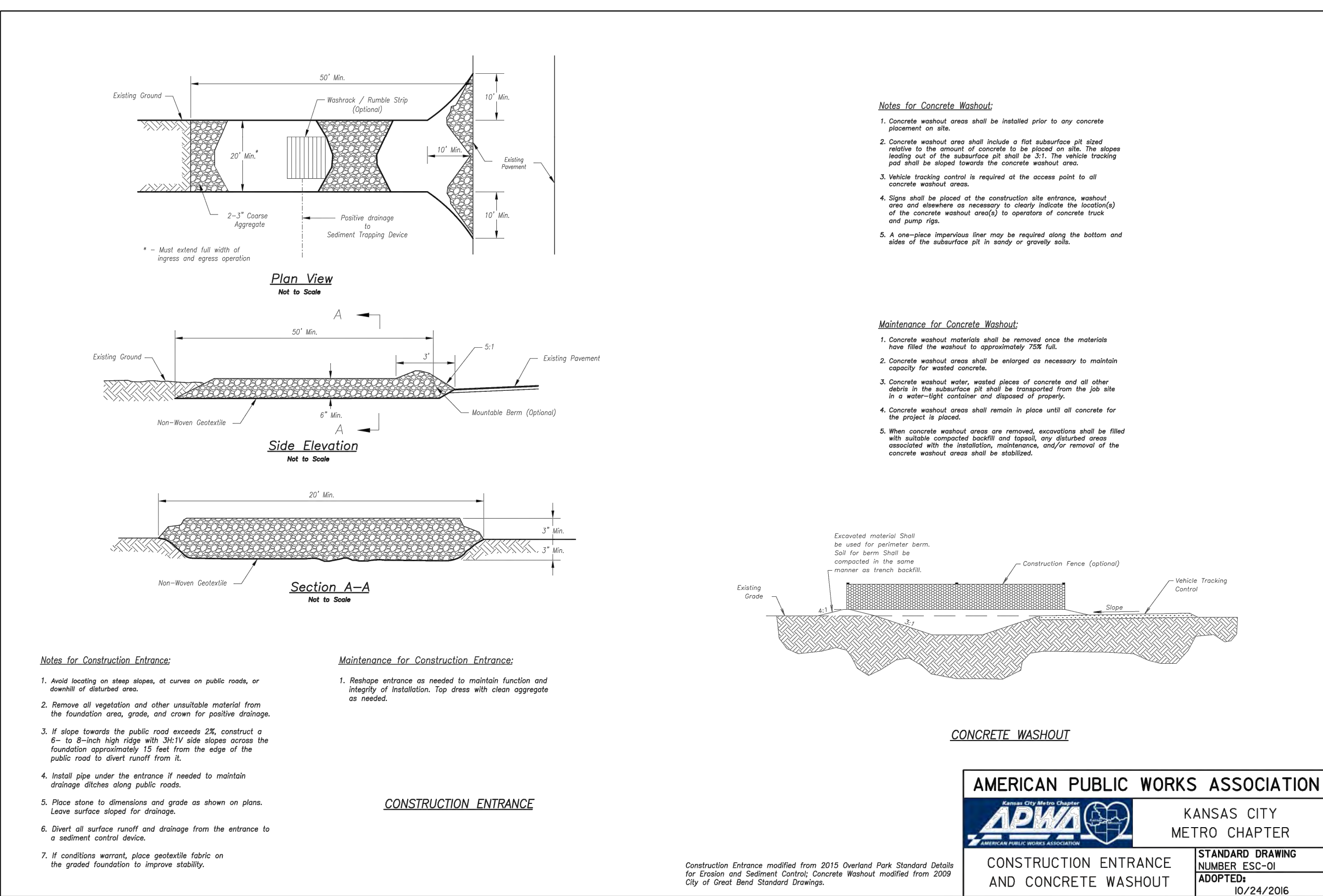
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LEE'S SUMMIT
MISSOURI

STANDARD DETAILS
CITY OF LEE'S SUMMIT, MO
LEE'S SUMMIT, JACKSON COUNTY, MO
CURB & GUTTER DETAIL

GEN-4



WHISPERING WOODS POOL

DETAILS

SNYDER & ASSOCIATES
ENGINEERS & PLANNERS, INC.

SNYDER & ASSOCIATES

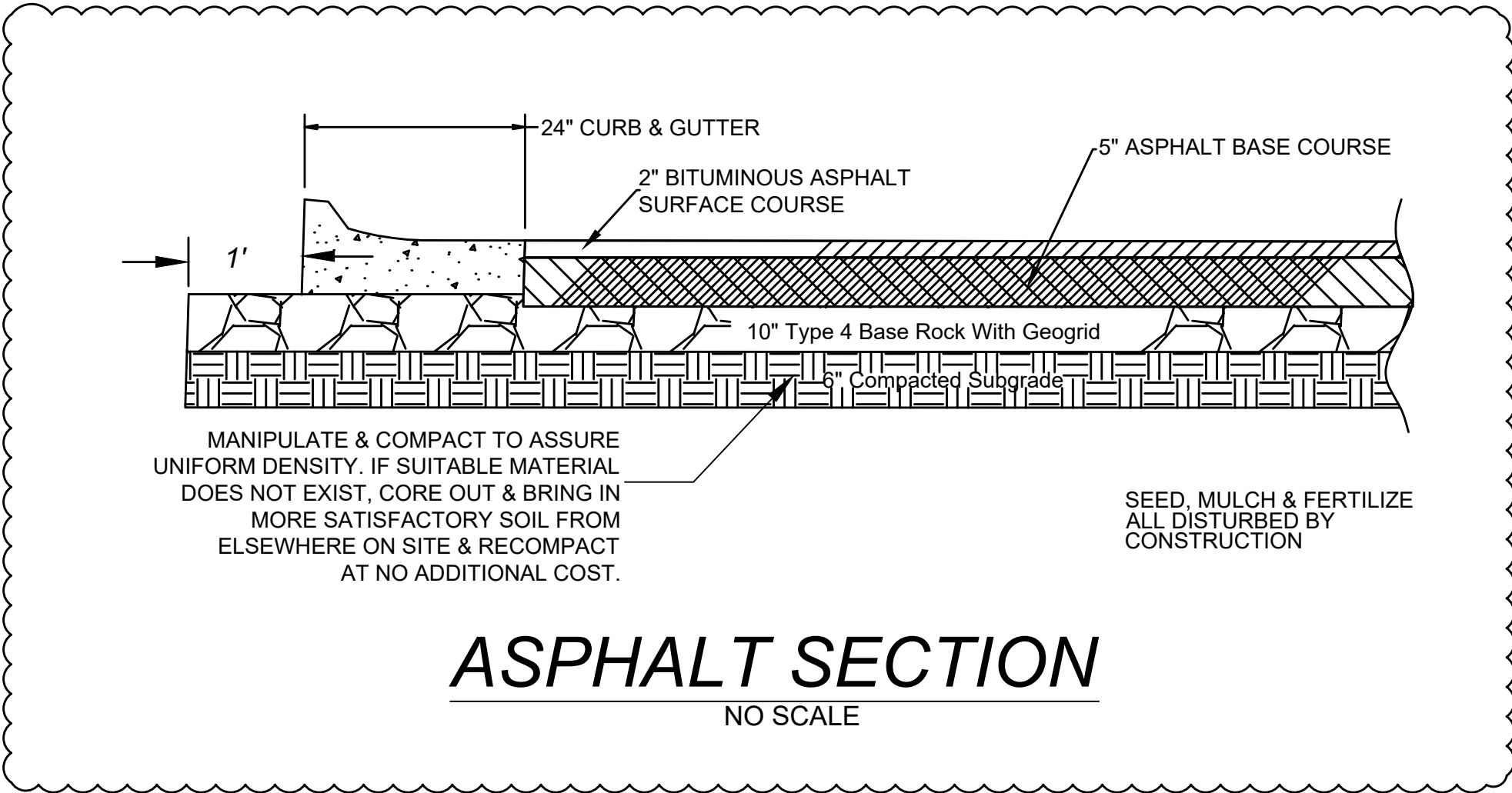
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Technician: JS	Date: 04-26-2022	T-R-S: 47N-32W-24	
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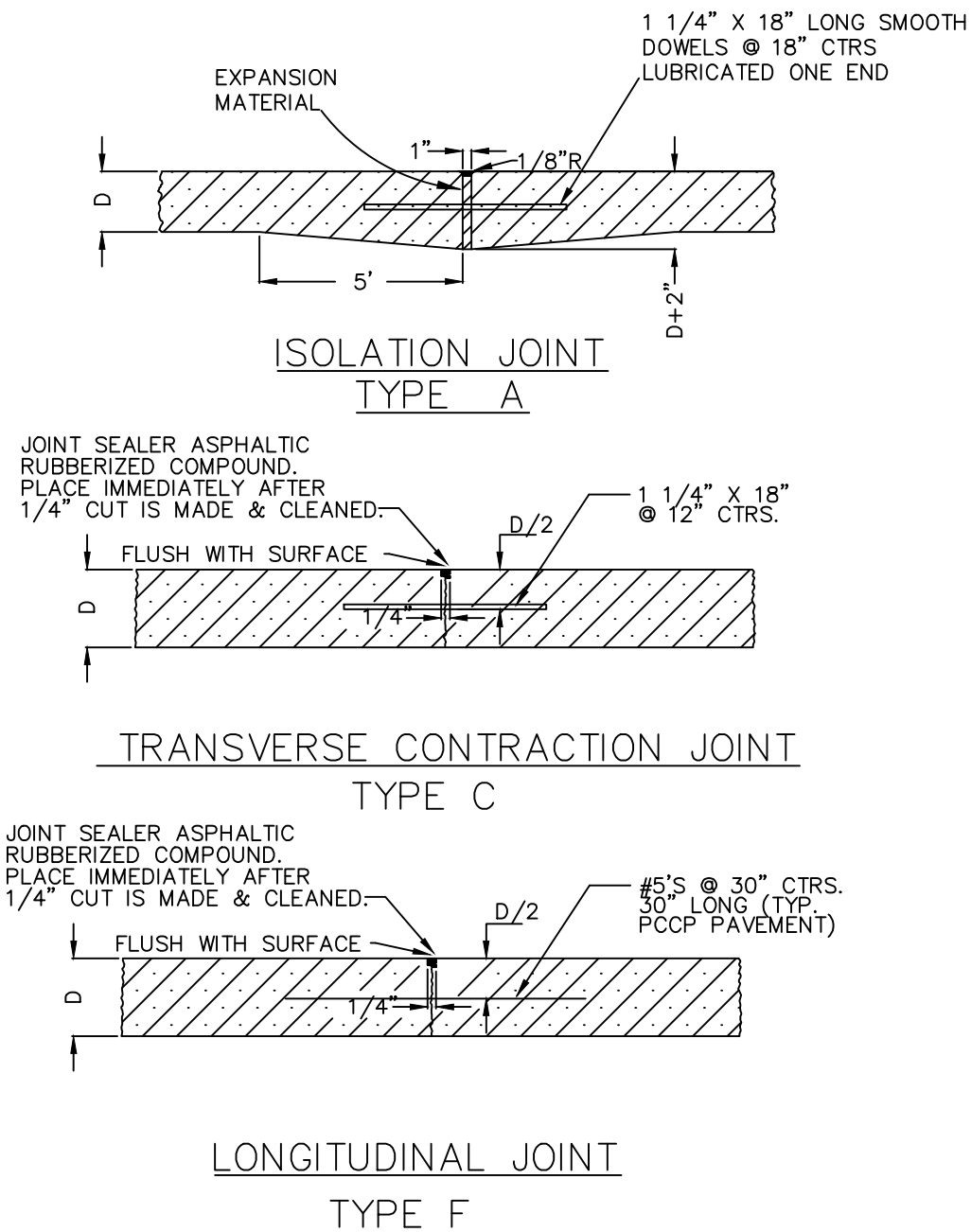
SHAWN DUKE - ENGINEER
MO PE#2013006489

LEE'S SUMMIT, MO
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ST. JOSEPH, MISSOURI 64501
816-364-5222 | www.snyder-associates.com

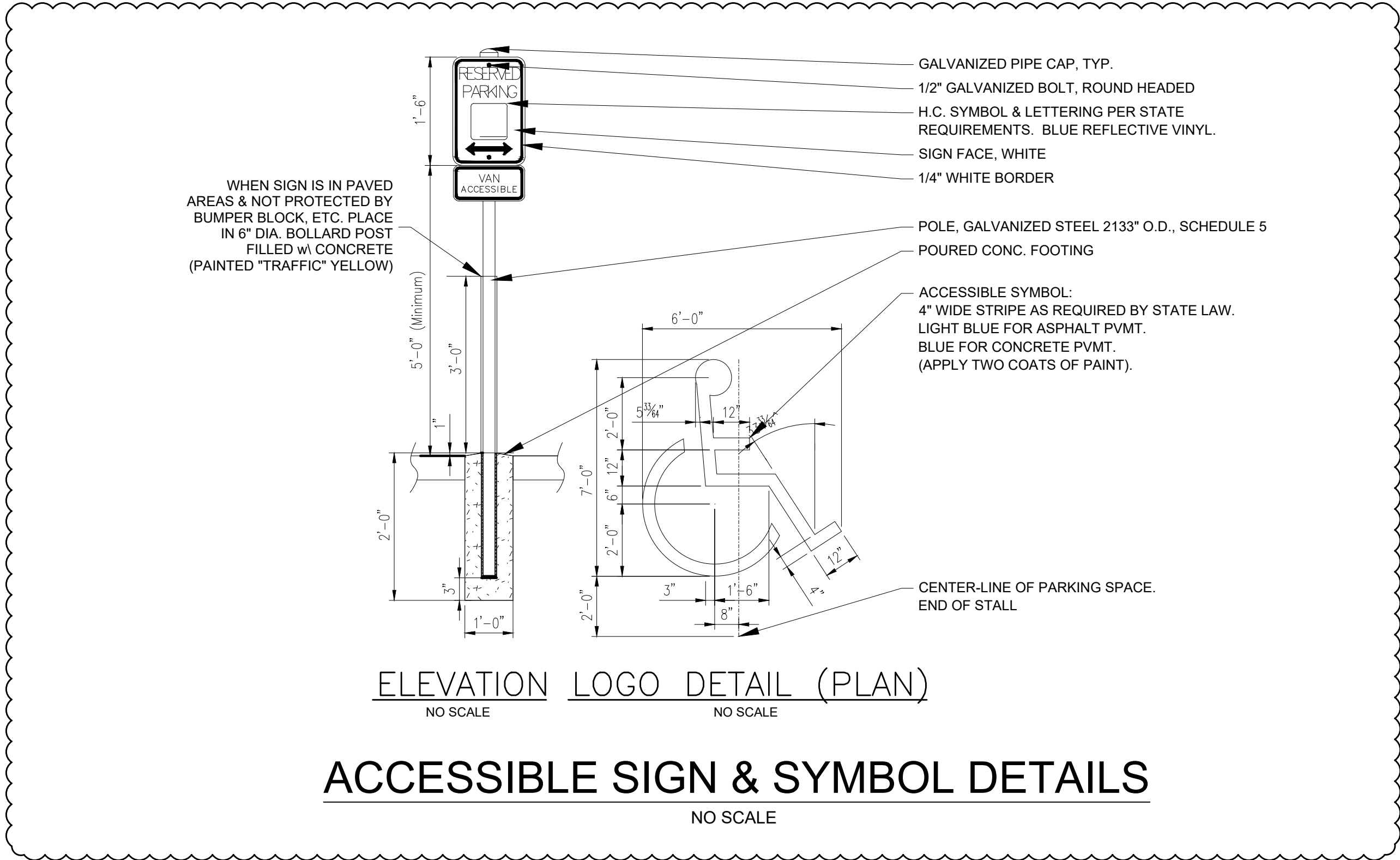
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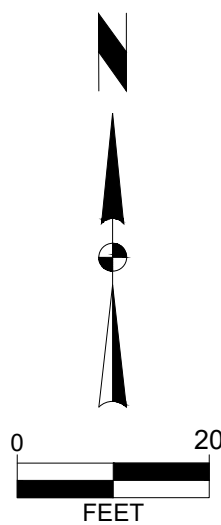
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JOINT PAVING DETAILS
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MARK	REVISION	DATE	BY
Engineer: SD	Checked By: SD	Scale: 1" = 20'	
Technician: JS	Date: 04-26-2022	T-R-S: 47N-32W-24	

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WHISPERING WOODS POOL

DETAILS

LEE'S SUMMIT, MO

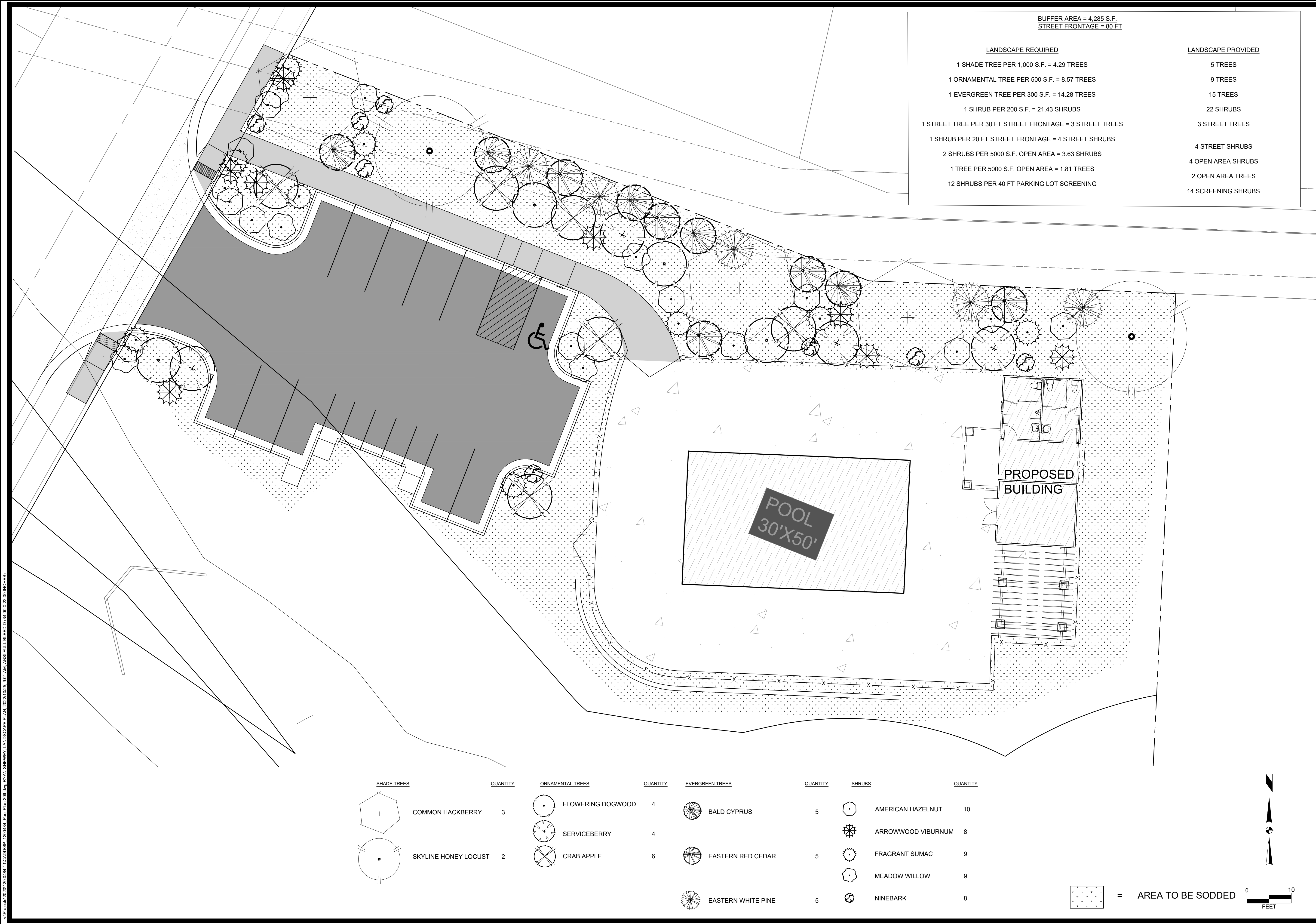
SNYDER & ASSOCIATES

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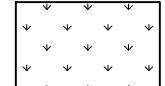


\\p000000\2021\121\0484.11\CD\DD\SP_1220484_1220484_1220484.dwg, RYAN SNEYDER, LANDSCAPE PLAN, 2021/02/25, 9:01 AM, ANSI FULL BLEED 0 (0.00 X 22.00 INCHES)



BUFFER AREA = 4,285 S.F. STREET FRONTAGE = 80 FT	
LANDSCAPE REQUIRED	LANDSCAPE PROVIDED
1 SHADE TREE PER 1,000 S.F. = 4.29 TREES	5 TREES
1 ORNAMENTAL TREE PER 500 S.F. = 8.57 TREES	9 TREES
1 EVERGREEN TREE PER 300 S.F. = 14.28 TREES	15 TREES
1 SHRUB PER 200 S.F. = 21.43 SHRUBS	22 SHRUBS
1 STREET TREE PER 30 FT STREET FRONTAGE = 3 STREET TREES	3 STREET TREES
1 SHRUB PER 20 FT STREET FRONTAGE = 4 STREET SHRUBS	4 STREET SHRUBS
2 SHRUBS PER 5000 S.F. OPEN AREA = 3.63 SHRUBS	4 OPEN AREA SHRUBS
1 TREE PER 5000 S.F. OPEN AREA = 1.81 TREES	2 OPEN AREA TREES
12 SHRUBS PER 40 FT PARKING LOT SCREENING	14 SCREENING SHRUBS

SHADE TREES		QUANTITY	ORNAMENTAL TREES		QUANTITY	EVERGREEN TREES		QUANTITY	SHRUBS		QUANTITY
	COMMON HACKBERRY	3		FLOWERING DOGWOOD	4		BALD CYPRUS	5		AMERICAN HAZELNUT	10
	SKYLINE HONEY LOCUST	2		SERVICEBERRY	4		EASTERN RED CEDAR	5		ARROWWOOD VIBURNUM	8
				CRAB APPLE	6			FRAGRANT SUMAC	9		
								EASTERN WHITE PINE	5		MEADOW WILLOW
										NINEBARK	8

 = AREA TO BE SODDED

0 10
FEET

WHISPERING WOODS POOL


LANDSCAPE PLAN

SNYDER & ASSOCIATES

ENGINEERS & PLANNERS, INC.

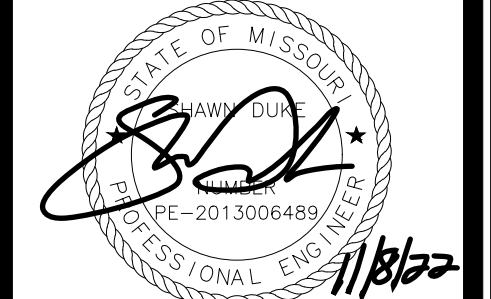
LEE'S SUMMIT, MO

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Project No: 120.0484.11

Sheet L1.0



SHAWN DUKE - ENGINEER
MO PE#2013006489

MARK	REVISION	DATE	BY
Engineer: SD	Checked By: SD	Scale: 1" = 10'	
Technician: JS	Date: 04-26-2022	T-R-S: 47N-32W-24	

Sheet L1.0

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Missouri State Certificate of Authority #200608544