

S:\01 PROJECTS\MULTI-FAMILY\424 SUMMIT SQUARE 3\CONSTRUCTION DOCUMENTS - APARTMENTS\PLANS\02_SANITARY SEWER PLANS\C-0001 COVER SHEELDING



LOCATION MAP
SCALE 1:1700

PROJECT TEAM:

OWNER
TOWNSEND CAPITAL, LLC
CONTACT: TOWNSEND CAPITAL, LLC
PHONE: 303.947.2044

DEVELOPER
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ENGINEER
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SURVEYOR
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PHONE: 573.397.5476

UTILITY CONTACT LIST:

PUBLIC WORKS
CITY OF LEE'S SUMMIT
PHONE: 816.969.1800

ELECTRIC
EVERGY
PHONE: 888.471.52.75

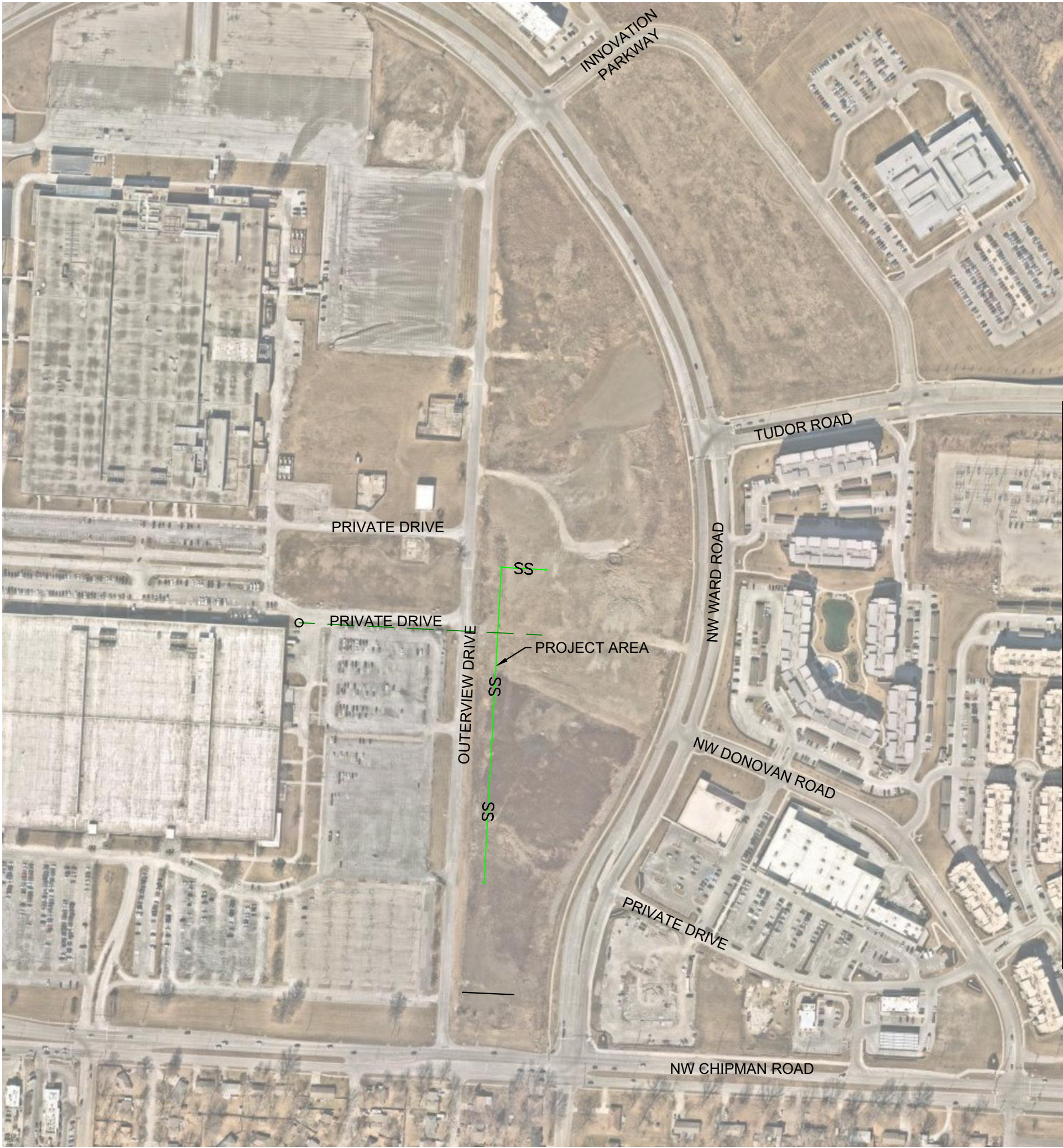
DOMESTIC GAS
SPIRE
PHONE: 816.756.5252

WATER SERVICE
CITY OF LEE'S SUMMIT
PHONE: 816.969.1900



SUMMIT ORCHARDS WEST SANITARY SEWER PUBLIC IMPROVEMENT PLANS

IN LEE'S SUMMIT, JACKSON COUNTY, MO



SCALE 1:300

PROPERTY DESCRIPTION:

LOT 10, SUMMIT FAIR, SECOND PLAT LOTS 8, 10-14 AND TRACT C

BENCHMARK

- 306214.273 859098.667Found 1/2" Iron Bar w/ No ID Cap
306353.522 859106.297Set 5/8" Iron Bar w/ ID Cap
306665.441 859123.387Set 5/8" Iron Bar w/ ID Cap
306655.640 859302.277Set 5/8" Iron Bar w/ ID Cap
306409.409 859234.665Set 5/8" Iron Bar w/ ID Cap
306374.865 859213.573Set 5/8" Iron Bar w/ ID Cap
306348.405 859199.676Set 5/8" Iron Bar w/ ID Cap

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C-0600	SANITARY SEWER PLAN & PROFILE
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SHEET #:

C-0001

COVER SHEET

SUMMIT ORCHARDS WEST
SANITARY SEWER PUBLIC
IMPROVEMENT PLANS

LEE'S SUMMIT, JACKSON COUNTY, MO

REVIEWED BY:	NO.:	DATE:	REVISIONS/APPROVALS:
M.G.D.		2022.10.10	INITIAL CITY SUBMITTAL
DESIGNED BY:			
N.H.			
DRAFTED BY:			
D.A.H.			
SP PROJECT #:			
MELISSA G. DEGONIA, P.E.			
2011000892			



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S:\01 PROJECTS\MULTI-FAMILY\424 SUMMIT SQUARE 3\CONSTRUCTION DOCUMENTS - APARTMENTS\PLANS\02_SANITARY SEWER PLANS\0-010 GENERAL NOTES.DWG

GENERAL NOTES:

1. LINEAR FOOT MEASUREMENTS SHOWN ON THE PLANS ARE HORIZONTAL MEASUREMENTS (NOT SLOPE MEASUREMENTS) FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
2. THE CONSTRUCTION COVERED BY THESE PLANS SHALL CONFORM TO THE CURRENT "CITY STANDARDS" AND SPECIFICATIONS OF THE CPD-DS-LDD, LEE'S SUMMIT, EXCEPT AS NOTED.
3. THE DEVELOPER SHALL PERFORM ALIGNMENT AND GRADE, INFILTRATION - EXFILTRATION, DEFLECTION, SOIL DENSITY, AND MANHOLE TESTS AS CALLED OUT IN SECTION 2500 OF THE CURRENT APWA (AMERICAN PUBLIC WORKS ASSOCIATION) STANDARDS AND SPECIFICATIONS. ANY SECTION OF SEWER FAILING ANY OF THE ABOVE MENTIONED TESTS SHALL BE RETESTED BY THE DEVELOPER AFTER REPLACEMENT OR REPAIR.
4. THE DEVELOPER MAY, AS AN ALTERNATE, SUBSTITUTE A.B.S. OR V.C.P. PIPE FOR P.V.C. PIPE. THE FOLLOWING PIPE DEFLECTION TEST SHALL BE IMPLEMENTED ON A.B.S. AND P.V.C. PIPE:

THE DEVELOPER SHALL PERFORM DIAMETRICAL DEFLECTION TESTS ON FLEXIBLE AND SEMI-FLEXIBLE (I.E. POLY-VINYL-CHLORIDE AND ACRYLONITRILLE BUTADIENE STYRENE) PIPE WHEN USED AS A PUBLIC DIAMETER. ALL TESTS HALL BE CONDUCTED BETWEEN MANHOLES. SEWER TESTS SHALL BE CONDUCTED BETWEEN MANHOLES. SEWER TESTED SHALL BE 100% OF THE TOTAL SEWER INSTALLED. A MANDREL WITH A DIAMETER EQUAL TO 95% OF THE INSIDE DIAMETER OF THE PIPE BEING INSTALLED SHALL BE USED.
5. THE DEVELOPER SHALL PERFORM DIAMETRICAL DEFLECTION TESTS ON FLEXIBLE AND SEMI-FLEXIBLE (I.E. POLY-VINYL-CHLORIDE AND ACRYLONITRILE BUTADIENE STYRENE) PIPE WHEN USED AS A PUBLIC SEWER PRIOR TO FINAL ACCEPTANCE. THE MAXIMUM ALLOWABLE DEFLECTION SHALL BE 5% OF THE INSIDE DIAMETER. ALL TESTS SHALL BE CONDUCTED BETWEEN MANHOLES. SEWER TESTED SHALL BE 100% OF THE TOTAL SEWER INSTALLED. A MANDREL WITH A DIAMETER EQUAL TO 95% OF THE INSIDE DIAMETER OF THE PIPE BEING INSTALLED SHALL BE USED.
6. PRIOR TO ORDERING PRE-CAST STRUCTURES, SHOP DRAWINGS ARE TO BE SUBMITTED TO THE DESIGN ENGINEER FOR APPROVAL. THE DESIGN ENGINEER SHALL INDICATE APPROVAL OF THE SHOP DRAWINGS.
7. DEVELOPER SHALL PROVIDE EARTHWORK AND MATERIAL TESTING TO COMPLY WITH THE STANDARD SPECIFICATIONS OF THE CPD-DS-LDD.
8. DURING CONSTRUCTION OF THE PROJECT, THE DEVELOPER SHALL KEEP ONE RECORD COPY OF ALL SPECIFICATIONS, DRAWINGS, ADDENDA, MODIFICATIONS, AND SHOP DRAWINGS AT THE SITE IN GOOD CONDITION. THESE DOCUMENTS SHALL BE ANNOTATED TO SHOW ALL CHANGES MADE DURING CONSTRUCTION. THE EXACT LOCATION OF ALL SEWER WYES, TEES, AND SERVICE LINES SHALL BE RECORD ON THESE DOCUMENTS. AT THE CONCLUSION OF CONSTRUCTION, THESE DOCUMENTS SHALL BE FORWARDED TO THE DESIGN ENGINEER FOR PREPARATION OF AS-BUILT DRAWINGS.
9. THE PROJECT BENCHMARKS AND ALL ELEVATIONS SHOWN ON THE PROFILES ARE N.G.V.D.
10. THE DEVELOPER IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE DEVELOPER MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT IS THE DEVELOPERS RESPONSIBILITY TO RELOCATE AND/OR ADJUST ALL EXISTING UTILITIES, CONFLICT WITH PROPOSED SITE IMPROVEMENTS.
11. THE DEVELOPER SHALL ALSO UTILIZE THE FOLLOWING TOLL FREE PHONE NUMBER PROVIDED BY "MISSOURI ONE CALL SYSTEM, INC." 1-800-DIG-RITE. THIS PHONE NUMBER IS APPLICABLE ANYWHERE WITHIN THE STATE OF MISSOURI. THE NAMES AND TELEPHONE NUMBERS OF UTILITY COMPANIES, EVEN IF ONLY REMOTELY INVOLVED WITH THIS HIS PROJECT ARE LISTED UNDER "UTILITY CONTACTS" THIS SHEET.
12. THE DEVELOPER SHALL PROVIDE AND MAINTAIN ALL TRAFFIC CONTROL MEASURES NECESSARY TO ENSURE THAT THE GENERAL PUBLIC IS PROTECTED AT ALL TIMES. TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD-LATEST EDITION).
13. THE SITE PLAN IS BASED ON SURVEY BY SITEPOINT, COMPLETED 05.25.2022. CONDITIONS ON SITE AT THE TIME OF CONSTRUCTION MAY VARY FROM THE SURVEYED CONDITIONS. DEVELOPER SHALL VERIFY EXISTING SITE CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.
14. THE DEVELOPER IS RESPONSIBLE FOR OBTAINING ALL PERMITS (EXCEPT LAND DISTURBANCE), BONDS, INSURANCE, ETC. AND PAYING ALL FEES. THE COST OF DEVELOPERS BONDS AND INSURANCE AS REQUIRED BY THE CITY OF LEE'S SUMMIT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER.
15. DEVELOPER SHALL COMPLY WITH ALL APPLICABLE REGULATIONS REQUIRED BY THE CITY AND THE STATE.
16. THE DEVELOPER MUST REMOVE AT HIS COST ANY BAD SUBSURFACE SOIL WHICH WOULD NOT BE ABLE TO SUPPORT ANY PROPOSED PUBLIC IMPROVEMENT. BACKFILL SHALL BE ACCOMPLISHED IN ACCORDANCE WITH SECTIONS 2100 AND 2201 ENTITLED "GRADING AND SITE PREPARATION" AND "SUBGRADE PREPARATION".
17. VERTICAL CONTROL IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). THE DEVELOPER IS ADVISED TO USE BENCHMARK INFORMATION FOR VERTICAL CONTROL. HORIZONTAL CONTROL (CONTROL POINT INFORMATION) IS BASED ON THE NORTH AMERICAN DATUM OF 1983 (NAD83). THE DEVELOPER IS ADVISED TO USE CONTROL POINT INFORMATION FOR HORIZONTAL CONTROL.

PLUMBING NOTES:

1. ALL LOTS HAVE BEEN SUPPLIED WITH WYES, TEES OR LATERALS. PLUMBER SHALL CONNECT HOUSE SERVICE TO MAIN AT LOCATIONS INDICATED.
2. ALL SERVICE LINES SHALL BE LAID AT 2% MINIMUM SLOPE, UNLESS OTHERWISE NOTED.
3. M.S.E. ELEVATION - INDICATES BASEMENT FLOOR ELEVATION OR LOWEST FLOOR ELEVATION SERVICEABLE BY PROPOSED SANITARY SEWER.

EXCAVATING NOTES:

1. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO CONTROL DOWNSTREAM EROSION AND SILTATION DURING ALL PHASES OF CONSTRUCTION.
2. THE DEVELOPER SHALL BE RESPONSIBLE FOR RECORDING ROCK ELEVATIONS AT 25 FOOT (MAXIMUM) INTERVALS WHERE ENCOUNTERED, AND FURNISHING THIS INFORMATION TO THE DESIGN ENGINEER FOR USE ON AS-BUILTS.
3. THE LOCATIONS OF EXISTING UTILITIES AS SHOWN ARE APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES. EROSION CONTROL PLANS AND PROCEDURES SHALL BE IN PLACE PRIOR TO ANY EXCAVATION.
4. NO SUBSURFACE EXPLORATION FOR THE DETERMINATION OF AND/OR THE LOCATION OF EXISTING ROCK HAS BEEN MADE.
5. WHEN SEWER LINES CROSS A LOW POINT IN A CREEK, THE SEWER LINE MUST BE ENCASED ACCORDING TO LEE'S SUMMIT.
6. DEVELOPER IS RESPONSIBLE FOR KEEPING ALL PUBLIC ROADWAYS ADJACENT TO THE CONSTRUCTION SITE FREE OF DIRT AND DEBRIS RESULTING FROM ACTIVITIES RELATED TO THE CONSTRUCTION OF THIS PROJECT. INSPECTIONS AND CLEANUP TO OCCUR ON A DAILY BASIS.
7. DEVELOPER SHALL KEEP THE ENTIRE PROJECT SITE FREE OF DEBRIS AND TRASH AT ALL TIMES. DEVELOPER SHALL EXECUTE WORK USING METHODS THAT MINIMIZE EXCESSIVE NOISE OR DUST EMISSIONS. DEVELOPER SHALL PROVIDE METHODS, MEANS AND FACILITIES TO PREVENT CONTAMINATION OF SOIL OR WATER FROM DISCHARGE OF REGULATED MATERIALS (I.E. FUEL) USED DURING CONSTRUCTION.
8. THE DEVELOPER SHALL ERECT AND MAINTAIN ORANGE COLORED TEMPORARY CONSTRUCTION FENCE AROUND ALL AREAS INDICATED ON THE PLANS TO BE LEFT UNDISTURBED BOTH TEMPORARY AND PERMANENTLY THE DEVELOPER WILL BE GIVEN NOTICE WHEN HE MAY ENTER THESE AREAS MARKED TEMPORARY BY THE OWNER ONCE PERMITS HAVE BEEN OBTAINED. THE FENCE MATERIAL SHALL BE 48" TALL. HIGH DENSITY POLYETHYLENE (HDPE) WITH NOMINAL MESH OPENING SIZE OF 1.25 INCHES X 1.25 INCHES.

SUMMARY OF QUANTITIES

PLAN	UNIT	ITEM
4	EA.	MANHOLE (4' DIA.)
402	L.F.	8" (SDR-26)
617	L.F.	10" (SDR-26)
SUMMARY OF QUANTITIES AS INDICATED ABOVE AND ANY QUANTITIES AS SHOWN WITHIN THE PLANS HAVE BEEN PROVIDED FOR PERMITTING PURPOSES ONLY AND ARE NOT INTENDED FOR USE IN PREPARATION OF CONTRACT DOCUMENTS. QUANTITIES INTENDED FOR, BUT NOT LIMITED TO, THE PREPARATION OF PROPOSALS AND BID DOCUMENTS SHALL BE INDEPENDENTLY EVALUATED BY THE ESTIMATING PARTY BASED UPON THE CONTENTS OF THESE PLANS.		

LEGEND	
GENERAL	
	EXISTING TREELINE
	PROPOSED TREELINE
	EXISTING SIDEWALK
	PROPOSED SIDEWALK
	FUTURE SIDEWALK
	EXISTING BUILDINGS
	PROPOSED BUILDINGS
	FUTURE BUILDINGS
	EXISTING EDGE OF PAVEMENT
	PROPOSED EDGE OF PAVEMENT
	FUTURE EDGE OF PAVEMENT
	EXISTING ROADWAY CENTER LINE
	PROPOSED ROADWAY CENTER LINE
	FUTURE ROADWAY CENTER LINE
	EXISTING CURB & GUTTER
	PROPOSED CURB & GUTTER
	FUTURE CURB & GUTTER
EASEMENTS & SETBACKS	
A.E.	ACCESS EASEMENT
B.M.P.	BEST MANAGEMENT PRACTICE EASEMENT
B.L.	BUILDING SETBACK
COMM. E.	COMMUNICATION EASEMENT
C.G.E.	CONSTRUCTION GRADING EASEMENT
F.P.E.	FLOOD PLAIN EASEMENT
L.S.	LANDSCAPE EASEMENT
G.E.	NATURAL GAS EASEMENT
P.L.E.	POWER\ELECTRIC LINE EASEMENT
P.S.	PARKING SETBACK
S.B.	STREAM BUFFER
S.D.E.	SURFACE DRAINAGE EASEMENT
S.E.	SANITARY SEWER EASEMENT
D.E.	STORM DRAINAGE EASEMENT
TEMP. ESMT.	TEMPORARY EASEMENT
U.E.	UTILITY EASEMENT
W.E.	WATER EASEMENT
F.Y.S	FRONT YARD SETBACK
R.Y.S.	REAR YARD SETBACK
S.Y.S.	SIDE YARD SETBACK
CONTOURS	
	EXISTING INDEX CONTOURS
	EXISTING INTERMEDIATE CONTOURS
	PROPOSED INDEX CONTOURS
	PROPOSED INTERMEDIATE CONTOURS
	FUTURE INDEX CONTOURS
	FUTURE INTERMEDIATE CONTOURS
BOUNDARIES	
	SECTION LINE
	EXISTING PROPERTY BOUNDARY
	PROPOSED PROPERTY BOUNDARY
	FUTURE PROPERTY BOUNDARY
	EXISTING LOT LINE
	PROPOSED LOT LINE
	FUTURE LOT LINE
R/W	EXISTING RIGHT-OF-WAY
R/W	PROPOSED RIGHT-OF-WAY
R/W	FUTURE RIGHT-OF-WAY
UTILITIES	
	EXISTING COMMUNICATIONS LINE
	PROPOSED COMMUNICATIONS LINE
	FUTURE COMMUNICATIONS LINE
	EXISTING NATURAL GAS LINE
	PROPOSED NATURAL GAS LINE
	FUTURE NATURAL GAS LINE
	EXISTING POWER\ELECTRIC LINE
	PROPOSED POWER\ELECTRIC LINE
	FUTURE POWER\ELECTRIC LINE
	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER
	FUTURE SANITARY SEWER
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	FUTURE STORM SEWER
	EXISTING WATER LINE
	PROPOSED WATER LINE
	FUTURE WATER LINE

SITEPOINT

A Division of NorthPoint Development



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REVISIONS/APPROVALS:	NO.:	DATE:	REVIEWED BY:	DESIGNED BY:	DRAFTED BY:	SP PROJECT #:	DATE
INITIAL CITY SUBMITTAL		2022.10.10	M.G.D	N.H	D.A.H	MELISSA G. DECONA P.E.	2011000892

GENERAL NOTES

SUMMIT ORCHARDS WEST
SANITARY SEWER PUBLIC
IMPROVEMENT PLANS

LEE'S SUMMIT, JACKSON COUNTY, MO

STATE OF MISSOURI

MELISSA G. DECONA
PROFESSIONAL ENGINEER
NUMBER
PE-2011000892

Melissa G. DeCona 10/18/2022

Certificate of Authority #MO 2020018354

SHEET #:

C-0010

ALL NOTES REFERENCED ON THIS PLAN SHEET MAY HAVE APPLICATIONS TO EVERY FACET OF THE CONSTRUCTION PLANS. THE NOTE HEADINGS OR TITLES ARE TO BE USED AS A GENERAL GUIDE TO APPLICABLE SITUATIONS.

MINOR SUBDIVISION - SUMMIT FAIR
LOTS 27A/27B
(2015E00112075-1)

OUTVIEW DRIVE

PRIVATE DRIVE

PRIVATE DRIVE

SS MH5 (PUBLIC)

SS MH4 (PUBLIC)

SS

28' S.E.

EXISTING PRIVATE WATER LINES

EXISTING PRIVATE SANITARY SEWER

PROPOSED PUBLIC SANITARY SEWER

PROPOSED PRIVATE FIRE LOOP

EXISTING STORM SEWER

PROPOSED PRIVATE STORM SEWER

EXISTING SANITARY MANHOLE TO BE ABANDONED

EXISTING PRIVATE SANITARY SEWER TO BE ABANDONED

SS MH3 (PUBLIC)

28' S.E.

26' S.E.

SS MH2 (PUBLIC)

15' S.E.

26' S.E.

EXISTING PUBLIC SANITARY SEWER TO REMAIN

SS MH1 (EXIST)

35' S.E.

EXISTING PUBLIC SANITARY SEWER TO BE ABANDONED

ABANDONED ELECTRIC DUCT BANK

EXISTING ELECTRIC DUCT BANK

EXISTING ELECTRICAL VAULT

EXISTING UNDERGROUND ELECTRIC

EXISTING FIBER OPTIC

15' W.E.

10' W.E.

20' P.L.E.

EXISTING PUBLIC WATER MAIN

PRIVATE DRIVE

NW WARD ROAD
120' PUBLIC ROW

560 NW Chipman Road
Owner: VD Summit LLC
Parcel Number: 52-900-03-63-00-0-00-000
Summit Orchard Lots 4A-4E - Lot 4A

A north arrow pointing upwards with the letter 'N' at the top. Below it is a graphic scale bar with markings at 0', 25', 50', and 100'. The text 'SCALE IN FEET' is centered below the scale bar.

DESIGNED BY:	2022.10.10	INITIAL CITY SUBMITTAL
DRAFTED BY:		
D.A.H		
SP PROJECT #:		
010000892		
ELISSA G. DEAGONIA		
P.E.		
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GENERAL LAYOUT

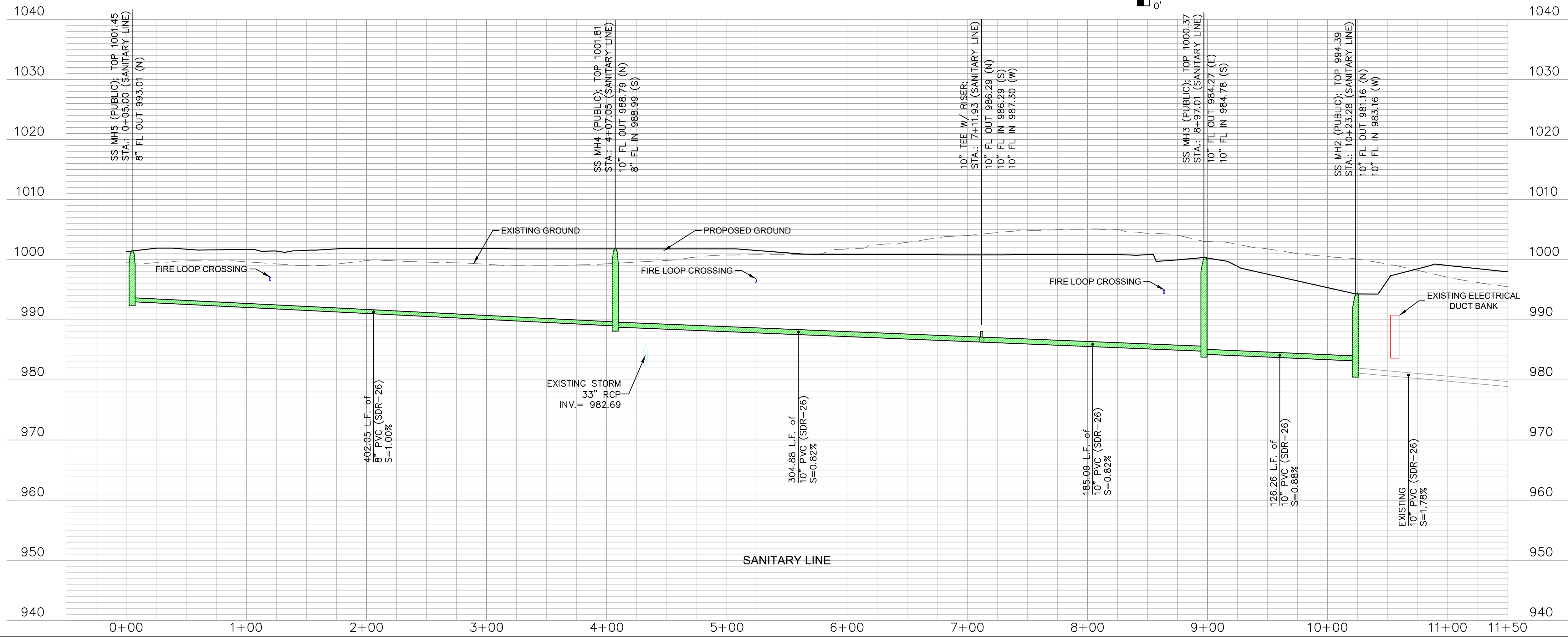
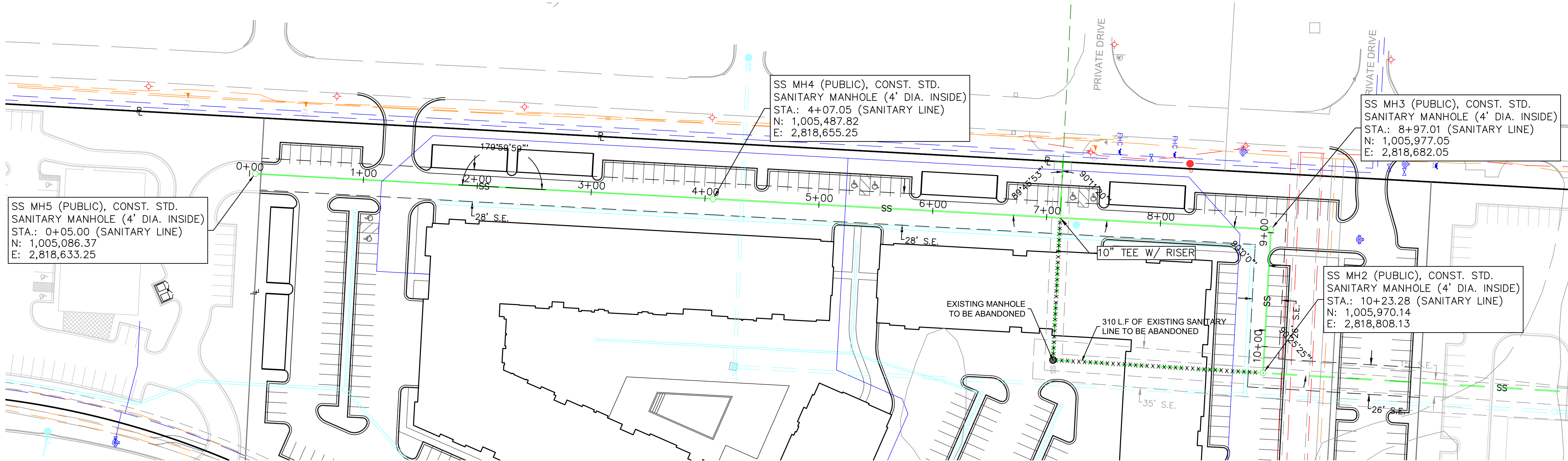
SUMMIT ORCHARDS WEST
SANITARY SEWER PUBLIC
IMPROVEMENT PLANS

LEE'S SUMMIT, JACKSON COUNTY, MO

SHEET #:

C-0200

S:\01 PROJECTS\MULTI-FAMILY\424 SUMMIT SQUARE 3\CONSTRUCTION DOCUMENTS - APARTMENTS\PLANS\02_SANITARY SEWER PLANS\C-0600 SANITARY SEWER PLAN & PROFILE.DWG



SHEET #:

C-0600

SANITARY SEWER PLAN & PROFILE

SUMMIT ORCHARDS WEST
SANITARY SEWER PUBLIC
IMPROVEMENT PLANS

LEE'S SUMMIT, JACKSON COUNTY, MO

REVIEWED BY:
M.G.D.

DESIGNED BY:
N.H.

DRAFTED BY:
D.A.H.

SP PROJECT #:
1000892

MEISSA G. DEAGONIA
P.E.

201100892

NO.:
INITIAL CITY SUBMITAL

DATE:
2022.10.10

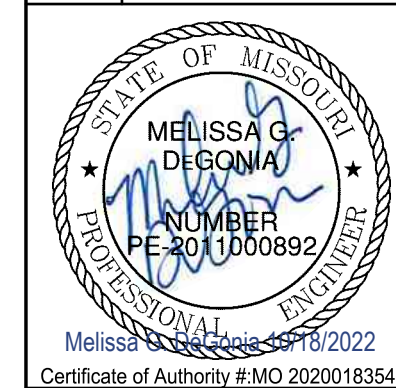
REVISIONS/APPROVALS:

REVIEWED BY:	DATE:	NO.:	REVISIONS/APPROVALS:
DESIGNED BY:	2022.10.10		INITIAL CITY SUBMITTAL
NH			
DRAFTED BY:			
D.A.H			
SP PROJECT #:			
4024			
MELISSA G DEGONIA,			
2011000892			

AREA MAP

SUMMIT ORCHARDS WEST
SANITARY SEWER PUBLIC
IMPROVEMENT PLANS

LEE'S SUMMIT, JACKSON COUNTY, MO



SHEET #:

C-0610

