OWNER / DEVELOPER: JP MORGAN CHASE
1111 POLARIS PARK

1111 POLARIS PARKWAY COLUMBUS, OH 43240 CONTACT: MARGARET TROIA

CORE STATES GROUP

ACT: MARGARET TROIA

10 S DEARBORN STREET, FLOOR 15

CHICAGO, IL 60603 312-732-7980

CIVIL ENGINEER:

6500 CHIPPEWA STREET, SUITE 200 ST. LOUIS, MO 63109 CONTACT: CHAD FAIRBANKS, P.E.

TEL: 314-270-5203

ARCHITECT: CORE STATES GROUP
6500 CHIPPEWA STREET, SUITE 200
ST. LOUIS, MO 63109

CONTACT: R. BRUCE LASURS, A.I.A TEL: 314-730-0772

LANDSCAPE ARCHITECT: EVERGREEN DESIGN GROUP

1200 US HIGHWAY 22 E, SUITE 2000-2248 BRIDGEWATER, NJ 08807

BRIDGEWATER, NJ 08807 CONTACT: LARRY LESSER TEL: 800-680-6630 EXT 5

SURVEYOR: SWT DESIGN, INC.
772 BIG BEND BOULEVARD

ST. LOUIS, MO 63119

CONTACT: JAMES DEGENHARDT, P.L.S. TEL: 314-644-5700

GOVERNING AGENCIES CONTACTS:

PLANNING AND ZONING: LEE'S SUMMIT DEVELOPMENT SERVICES

220 SE GREEN LEE'S SUMMIT, MO 64063 TEL: 816-969-1238

BUILDING DEPARTMENT: LEE'S SUMMIT DEVELOPMENT SERVICES

220 SE GREEN LEE'S SUMMIT, MO 64063 TEL: 816-969-1241

FIRE DEPARTMENT: LEE'S SUMMIT FIRE DEPARTMENT

9933 DIAMOND DRIVE ST. LOUIS, MO 63137 CONTACT: ASSISTANT CHIEF JIM EDEN TEL: 816-969-7407

TRANSPORTATION MISSOURI DEPARTMENT OF TRANSPORTATION DEPARTMENT: 600 NE COLBERN ROAD

600 NE COLBERN ROAD LEE'S SUMMIT, MO 64086 CONTACT: DEREK OLSON TEL: 816-607-2107

TRANSPORTATION LEE'S SUMMIT PUBLIC WORKS DEPARTMENT 220 SE GREEN STREET

LEE'S SUMMIT, MO 64063 TEL: 816-969-1800

WATER/WASTEWATER: LEE'S SUMMIT WATER UTILITIES

1200 SE HAMBLEN ROAD LEE'S SUMMIT, MO 64081 TEL: 816-969-1900

STORMWATER STORMWATER (LEE'S SUMMIT PUBLIC WORKS DEPARTMENT)

220 SE GREEN STREET LEE'S SUMMIT, MO 64063 TEL: 816-969-1800

UTILITY CONTACTS:

ELECTRIC COMPANY:

EVERGY P.O. BOX 219330 KANSAS CITY, MO 64121 TEL: 816-556-2200

GAS COMPANY: SPIRE ENERGY

3025 SE CLOVER DRIVE LEE'S SUMMIT, MO 64082 TEL: 816-969-2200

TELEPHONE / INTERNET CHARTER / SPECTRUM
188 NW OLDHAM PARKWAY

188 NW OLDHAM PARKWA LEE'S SUMMIT, MO 64081 TEL: 866-874-2389

SOLID WASTE: WASTE MANAGEMENT
2404 S 88TH STREET
KANSAS CITY, KS 66111
TEL: 866-570-4702

SITE DATUM ELEVATION:

ELEVATIONS SHOWN ARE IN FEET ABOVE THE NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D. 88) BASED ON MODOT VRS NETWORK. CONVERSION FROM NAVD 88 TO NGVD 29, NAVD 88 - 0.302' = NGVD 29.

FLOOD NOTE:

THIS PROPERTY IS LOCATED IN AN AREA DETERMINED TO BE OUTSIDE THE 0.1% ANNUAL CHANCE FLOOD (100-YEAR) AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP FOR THE CITY OF LEE'S SUMMIT, MISSOURI, MAP NUMBER 29095C0436G EFFECTIVE DATE 01/20/2017.

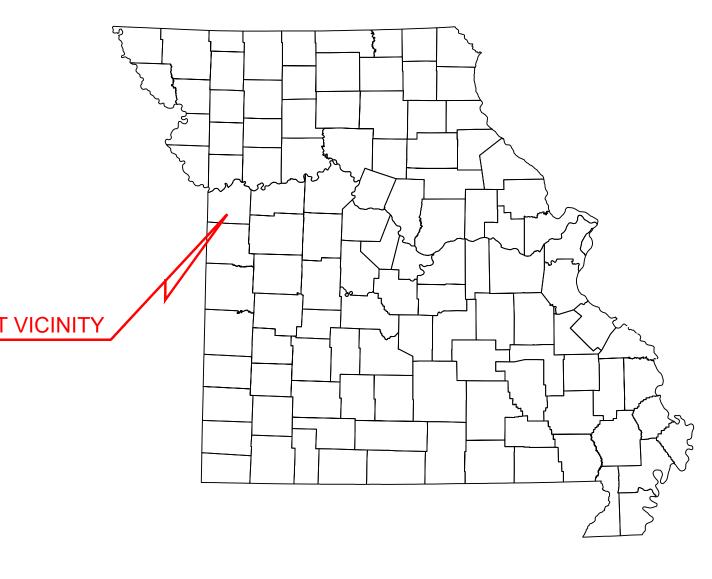
ALERT TO CONTRACTOR:

- THE SITE WORK FOR THE PROPOSED DEVELOPMENT SHALL MEET OR EXCEED ALL CITY AND/OR COUNTY AND STATE STANDARDS FOR SITE WORK.
- 2. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO PROJECT COMPLETION.

ser: CFAIRBANKS Plot Date/Time: Sep. 28, 22 - 14:03:19 Drawing: P:\J.P. Morgan Chase\Lee's Summit, MO (Hwy 291 and SE Langford Rd.)-JPM.27135.001\CIVIL\Drawings\Presentation\JPM-27135-001-P-DETL.dwg; C1 COVER SHEE

COMMERCIAL FINAL DEVELOPMENT PLAN

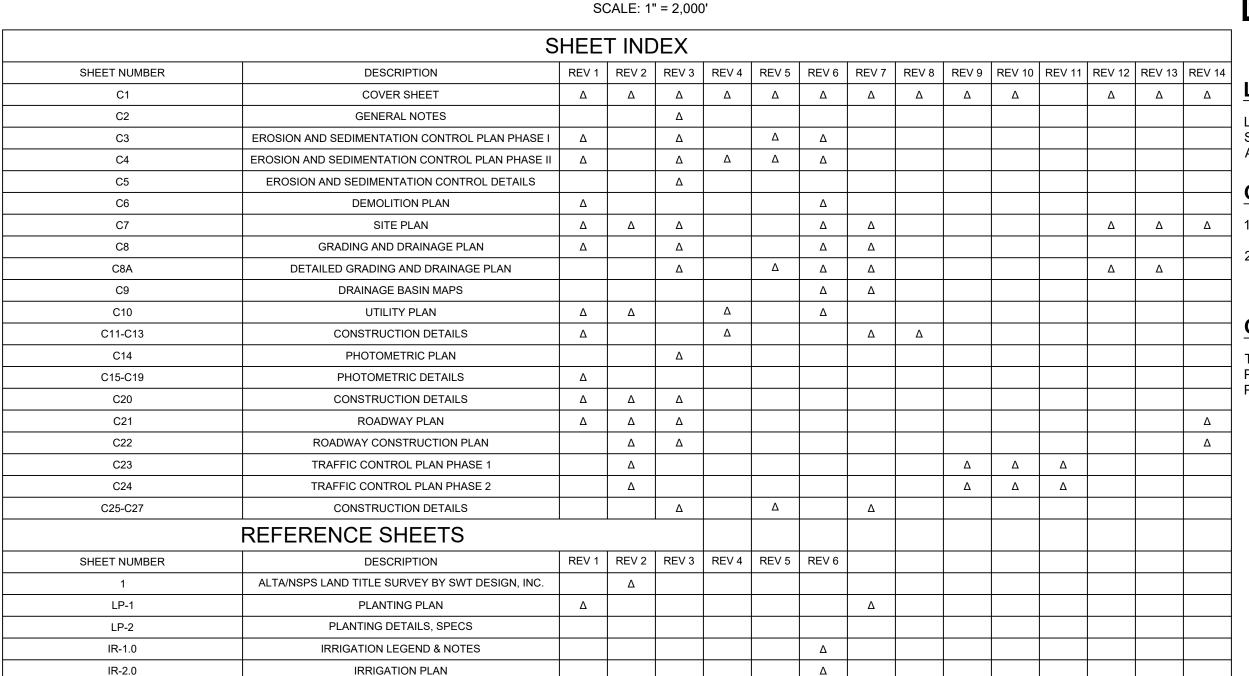
FOR CHASE ()



CHASE BANK HIGHWAY 291 & NE LANGSFORD

890 NE LANGSFORD ROAD LEE'S SUMMIT, MO 64063 JACKSON COUNTY, MISSOURI





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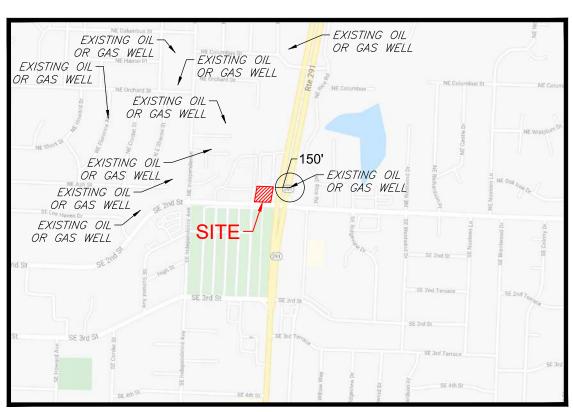
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IRRIGATION DETAILS

IRRIGATION DETAILS

IR-3.0

IR-3.1



OIL/GAS WELL MAP SCALE: 1" = 1,000'

LEGAL DESCRIPTION:

LOT 1, STAR FUEL CENTER OF LEE'S SUMMIT, LOT 1, A SUBDIVISION IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF FILED APRIL 3, 2000 IN PLAT BOOK I-67, PAGE 17 AS DOCUMENT NO. 200010020477.

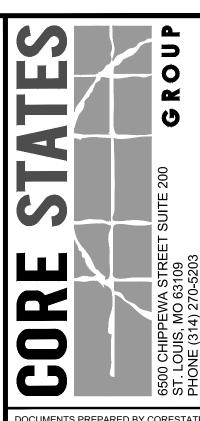
CITY OF LEE'S SUMMIT NOTES:

- ALL CONSTRUCTION SHALL FOLLOW THE CITY OF LEE'S SUMMIT'S DESIGN AND CONSTRUCTION MANUAL.
- 2. CONTRACTOR SHALL CONTACT THE CITY'S DEVELOPMENT SERVICES ENGINEERING INSPECTION TO SCHEDULE A PRE-CONSTRUCTION MEETING WITH AN INSPECTOR PRIOR

OIL AND GAS WELLS NOTE:

TO ANY LAND DISTURBANCE WORK AT (816) 969-1200.

THERE ARE TWO (2) GAS WELLS AND ONE (1) OIL WELL ON PARCELS IN THE VICINITY OF THE PROJECT AREA, HOWEVER THERE ARE NO OIL OR GAS WELLS WITHIN 150 FEET OF THE PROJECT AREA ACCORDING TO THE MDNR GEOSTRAT SURVEY MAP.



DOCUMENTS PREPARED BY CORESTATES, IN INCLUDING THIS DOCUMENT, ARE TO BE USE ONLY FOR THE SPECIFIC PROJECT AND SPECI USE FOR WHICH THEY WERE INTENDED. AN EXTENSION OF USE TO ANY OTHER PROJECT BY OWNER OR BY ANY OTHER PARTY, WITHOUT THE EXPRESSED WRITTEN CONSENT OF CORESTATES, INC. IS DONE UNLAWFULLY AN AT THE USERS OWN RISK. IF USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDED USER WILL HOLD CORESTATES, INC. HARMLE FROM ALL CLAIMS AND LOSSES.

CLIENT

CHASEC

Know what's below. Call before you dig. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON DESIGN. MEASUREMENTS TAKEN IN THE FIELD. CORESTATES, INC. DOES NOT GUARANTEE INTAIL LOCATIONS SHOWN, ARE EXACT. THE CONTRACTOR MUST CONTRACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST TEXTOR THE LO LOCATIONS OF UTILITIES.					
	REVISIONS				
REV	DATE	COMMENT	BY		
1	02/18/21	CITY COMMENTS	RJD		
6	01/11/22	CITY COMMENTS & WATER L INE	CDF		
7	03/04/22	CITY COMMENT / ATM SECURITY WALL	CDF		
8	03/17/22	CITY COMMENT (DETAIL)	CDF		
9	06/13/22	CITY & MoDOT COMMENT	CDF		
10	07/15/22	CITY COMMENT	CDF		
12	08/26/22	ENTRANCE SIDEWALK	CDF		
13	09/01/22	SIDEWALK CONNECT	CDF		
14	09/28/22	MEDIAN CHANGE	CDF		
		DOCUMENT			

CIVIL
CONSTRUCTION
PLANS FOR CHASE
BANK

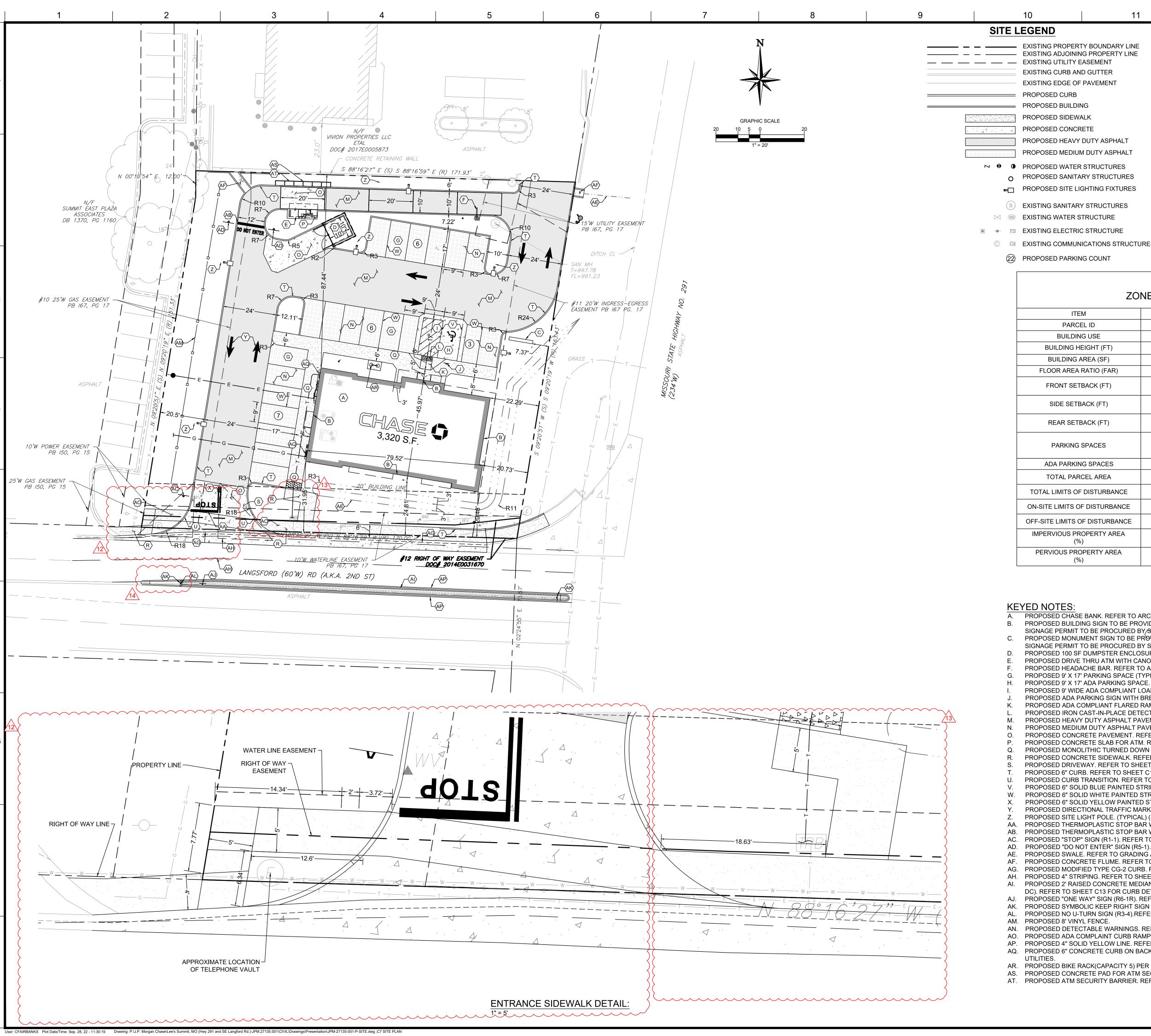
SITE LOCATION 890 NE LANGSFORD ROAD LEE'S SUMMIT, MO 64063

CHAD D.
FAIRBANKS
NUMBER
E-2001018726

SHEET TITLE COVER SHEET

JOB #:	JPM-27135.001
DATE:	12/21/2020
SCALE:	AS NOTED
DRAWN BY:	RJD
CHECKED BV:	CDE

C



SITE NOTES:

- 1. REFER TO SHEET C2 FOR GENERAL NOTES.
 - REFER TO SHEET C6 FOR DEMOLITION PLAN.
- 3. REFER TO SHEET C8 FOR GRADING AND DRAINAGE PLAN.

UNLESS OTHERWISE NOTED.

- 4. REFER TO SHEET C10 FOR UTILITY PLAN.
- 5. REFER TO LANDSCAPE PLAN.
- 6. REFER TO SHEET C14 FOR PHOTOMETRIC PLAN AND SHEETS C15-C19 FOR SITE LIGHTING DETAILS.
- 7. ALL DIMENSIONS ARE TO GROUND LEVEL IMPROVEMENTS (FACE OF CURB, CONCRETE SLAB, ETC.) UNLESS NOTED OTHERWISE. REFER TO ARCHITECTURAL PLANS FOR BUILDING DETAILS.
- 8. ALL DIMENSIONS FROM PROPERTY LINES ARE PERPENDICULAR
- 9. CONTRACTOR TO SEED ALL DISTURBED AREA UNLESS NOTED
- 10. CONTRACTOR TO INSTALL ASPHALT PAVEMENT IN ALL DRIVING AREAS REFER TO SHEET C10 FOR ASPHALT PAVING DETAILS.

NCLUDING THIS DOCUMENT, ARE TO BE USE ONLY FOR THE SPECIFIC PROJECT AND SPECI USE FOR WHICH THEY WERE INTENDED. AN EXTENSION OF USE TO ANY OTHER PROJECTS BY OWNER OR BY ANY OTHER PARTY, WITHOL THE EXPRESSED WRITTEN CONSENT OF CORESTATES, INC. IS DONE UNLAWFULLY ANI AT THE USERS OWN RISK. IF USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDED JSER WILL HOLD CORESTATES, INC. HARMLE: FROM ALL CLAIMS AND LOSSES.

CLIENT

DOCUMENTS PREPARED BY CORESTATES IN

ZONING DATA ZONED C-2 - GENERAL BUSINESS

ITEM	EXISTING / REQUIRED	PROPOSED
PARCEL ID	61-210-11-37-02-0-00-000	61-210-11-37-02-0-00-000
BUILDING USE	VACANT PAVED LOT (EXISTING)	BANKING FACILITY
BUILDING HEIGHT (FT)	MAX: 40'	21'-6"
BUILDING AREA (SF)	0 SF (EXISTING)	3,320 SF
FLOOR AREA RATIO (FAR)	0.55 (MAXIMUM)	0.12 (PROPOSED)
FRONT SETBACK (FT)	20' (SOUTH) (MINIMUM) 15' (EAST) (MINIMUM)	20.48' (SOUTH) 20.73' (EAST)
SIDE SETBACK (FT)	10' (MINIMUM)	N/A
REAR SETBACK (FT)	20' (MINIMUM)	87.44' (NORTH) 68.5' (WEST)
PARKING SPACES	4 SPACES / 1,000 SF = 14 SPACES MINIMUM	22 SPACES (INCLUDING 1 ADA SPACES)
ADA PARKING SPACES	1 SPACES (MINIMUM)	1 SPACES
TOTAL PARCEL AREA	0.632 AC (27,550 SF)	0.632 AC (27,550 SF)
TOTAL LIMITS OF DISTURBANCE	N/A	0.682 AC (29,716 SF)
ON-SITE LIMITS OF DISTURBANCE	N/A	0.629 AC (27,390 SF)
OFF-SITE LIMITS OF DISTURBANCE	N/A	0.056 AC (2,454 SF)
IMPERVIOUS PROPERTY AREA (%)	0.613 AC (21,369 SF) 77.56% (EXISTING)	0.418 AC (20,415 SF) 68.70%
PERVIOUS PROPERTY AREA (%)	0.142 AC (6,181 SF) 22.44% (EXISTING)	0.214 AC (9,301 SF) 31.30%

KEYED NOTES:

- A. PROPOSED CHASE BANK. REFER TO ARCHITECTURAL PLANS FOR DETAILS AND ELEVATIONS.
- PROPOSED BUILDING SIGN TO BE PROVIDED AND INSTALLED BY OTHERS. REFER TO SIGNAGE PACKAGE BY VENDOR. SIGNAGE PERMIT TO BE PROCURED BY/SIGNAGE VENDOR.
- PROPOSED MONUMENT SIGN TO BE PROVIDED AND INSTALLED BY OTHERS. REFER TO SIGNAGE PACKAGE BY VENDOR. SIGNAGE PERMIT TO BE PROCURED BY SIGNAGE VENDOR.
- PROPOSED 100 SF DUMPSTER ENCLOSURE. REFER TO ARCHITECTURAL PLANS FOR DETAILS AND ELEVATIONS.
- PROPOSED DRIVE THRU ATM WITH CANOPY. REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS AND ELEVATIONS.
- PROPOSED HEADACHE BAR. REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS AND ELEVATIONS. PROPOSED 9' X 17' PARKING SPACE (TYPICAL).
- PROPOSED 9' X 17' ADA PARKING SPACE. REFER TO SHEET C11 FOR DETAIL.
- PROPOSED 9' WIDE ADA COMPLIANT LOADING AREA. REFER TO SHEET C11 FOR DETAILS. PROPOSED ADA PARKING SIGN WITH BREAK AWAY POST. REFER TO SHEET C12 FOR DETAIL.
- PROPOSED ADA COMPLIANT FLARED RAMP. REFER TO SHEET C11 FOR DETAILS. PROPOSED IRON CAST-IN-PLACE DETECTABLE WARNINGS. REFER TO SHEET C11 FOR DETAILS.
- PROPOSED HEAVY DUTY ASPHALT PAVEMENT (TYPICAL). REFER TO SHEET C11 FOR DETAIL.
- PROPOSED MEDIUM DUTY ASPHALT PAVEMENT. REFER TO SHEET C11 FOR DETAIL.
- PROPOSED CONCRETE PAVEMENT. REFER TO SHEET C11 FOR DETAIL.
- PROPOSED CONCRETE SLAB FOR ATM. REFER TO ARCHITECTURAL PLANS FOR DETAILS. PROPOSED MONOLITHIC TURNED DOWN CONCRETE SIDEWALK. REFER TO SHEET C11 FOR DETAIL.
- PROPOSED CONCRETE SIDEWALK. REFER TO SHEET C13 FOR DETAIL. PROPOSED DRIVEWAY. REFER TO SHEET C13 FOR DETAIL.
- PROPOSED 6" CURB. REFER TO SHEET C13 FOR DETAIL.
- PROPOSED CURB TRANSITION. REFER TO SHEET C12 FOR DETAIL. PROPOSED 6" SOLID BLUE PAINTED STRIPE (TYPICAL). REFER TO SHEET C11 FOR DETAIL.
- PROPOSED 6" SOLID WHITE PAINTED STRIPE (TYPICAL). REFER TO SHEET C11 FOR DETAIL.
- PROPOSED 6" SOLID YELLOW PAINTED STRIPE. REFER TO SHEET C11 FOR DETAIL. PROPOSED DIRECTIONAL TRAFFIC MARKING (TYPICAL). REFER TO SHEET C12 FOR DETAIL.
- PROPOSED SITE LIGHT POLE. (TYPICAL) (SEE NOTE #6). PROPOSED THERMOPLASTIC STOP BAR WITH "STOP" TEXT. REFER TO SHEET C12 FOR DETAIL.
- PROPOSED THERMOPLASTIC STOP BAR WITH "STOP" AND "DO NOT ENTER" TEXT. REFER TO SHEET C12 FOR DETAIL.
- AC. PROPOSED "STOP" SIGN (R1-1). REFER TO SHEET C11 FOR DETAIL. AD. PROPOSED "DO NOT ENTER" SIGN (R5-1). REFER TO SHEET C11 FOR DETAILS.
- AE. PROPOSED SWALE. REFER TO GRADING AND DRAINAGE PLAN FOR ELEVATIONS.
- AF. PROPOSED CONCRETE FLUME. REFER TO SHEET C12 FOR DETAIL. AG. PROPOSED MODIFIED TYPE CG-2 CURB. REFER TO SHEET C13 FOR DETAIL.
- AH. PROPOSED 4" STRIPING. REFER TO SHEET C20 FOR DETAIL.
- PROPOSED 2' RAISED CONCRETE MEDIAN (RED BRICK-STAMPED) WITH CITY OF LEE'S SUMMIT DOWELLED CURB (TYPE DC). REFER TO SHEET C13 FOR CURB DETAIL AND C20 FOR DETAIL.
- AJ. PROPOSED "ONE WAY" SIGN (R6-1R). REFER TO SHEET C11 FOR DETAIL.
- AK. PROPOSED SYMBOLIC KEEP RIGHT SIGN (R4-7) AND OBJECT MARKER SIGN (OM1-3). REFER TO SHEET C20 FOR DETAIL.
- PROPOSED NO U-TURN SIGN (R3-4).REFER TO SHEET C20 FOR DETAIL.
- AM. PROPOSED 8' VINYL FENCE.
- AN. PROPOSED DETECTABLE WARNINGS. REFER TO SHEET C11 FOR DETAILS.
- AO. PROPOSED ADA COMPLAINT CURB RAMP. REFER TO SHEET C25 FOR DETAILS.
- AP. PROPOSED 4" SOLID YELLOW LINE. REFER TO SHEET C20 FOR DETAIL.
- AQ. PROPOSED 6" CONCRETE CURB ON BACK OF SIDEWALK. TO BE INTEGRAL TO SIDEWALK AND UNDER ALL PROTRUDING UTILITIES.
- AR. PROPOSED BIKE RACK(CAPACITY 5) PER CHASE SPECIFICATION.
- AS. PROPOSED CONCRETE PAD FOR ATM SECURITY BARRIER.
- AT. PROPOSED ATM SECURITY BARRIER. REFER TO SHEET C25 FOR DETAILS.



	ELEVATION DRAWING MEASURI THAT LOG APPROPRIES	Know what's below. Call before you dig. E CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR EVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON DESIGN ROWINDS, RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, EASUREMENTS TAKEN IN THE FIELD. CORESTATES, INC. DOES NOT GUARANTEE EASUREMENTS TAKEN IN THE FIELD. CORESTATES, INC. DOES NOT GUARANTEE BAT LOCATIONS SHOWN ARE EXACT. THE CONTRACTOR MUST CONTACT THE PPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO GUEST EXACT FIELD LOCATIONS OF UTILITIES.			
1	REVISIONS				
4	REV	DATE	COMMENT	BY	
	1	02/18/21	CITY COMMENTS	RJD	
L	2	04/27/21	CITY COMMENTS	RJD	
	3	06/02/21	CITY COMMENTS	RJD	
	6	01/11/22	CITY COMMENTS & WATER LINE	CDF	
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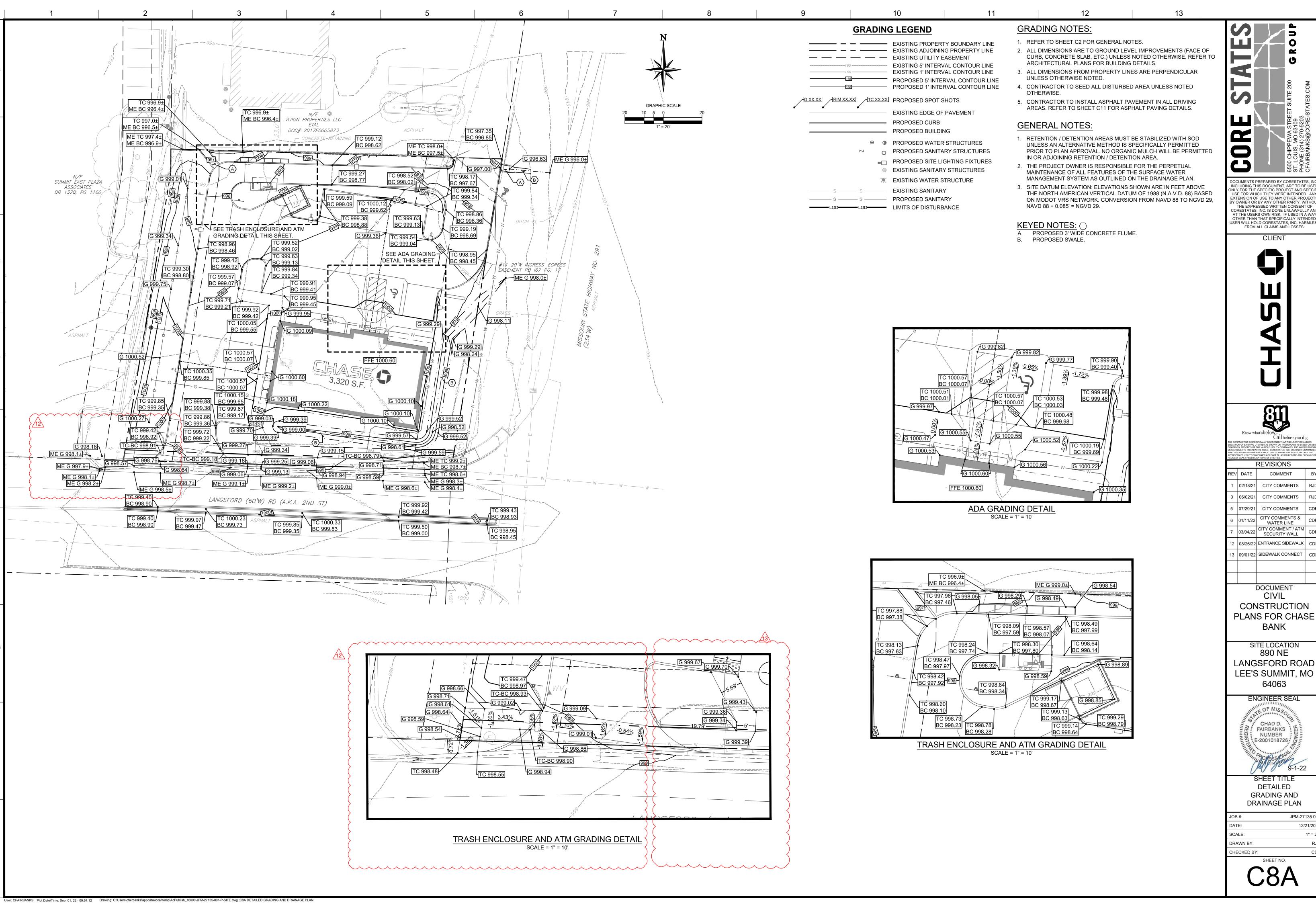
DOCUMENT CIVIL CONSTRUCTION PLANS FOR CHASE BANK

SITE LOCATION 890 NE LANGSFORD ROAD LEE'S SUMMIT, MO 64063

ENGINEER SEAL CHAD D. FAIRBANKS NUMBER E-2001018726:

SITE PLAN

JOB #:	JPM-27135.001
DATE:	12/21/2020
SCALE:	1" = 20'
DRAWN BY:	RJD
CHECKED BV:	CDE





Call before you dig. REVISIONS 02/18/21 CITY COMMENTS

06/02/21 CITY COMMENTS 07/29/21 CITY COMMENTS 01/11/22 CITY COMMENTS & CD WATER LINE CITY COMMENT / ATM 03/04/22 SECURITY WALL 08/26/22 ENTRANCE SIDEWALK | CDI 3 | 09/01/22 | SIDEWALK CONNECT | CDF

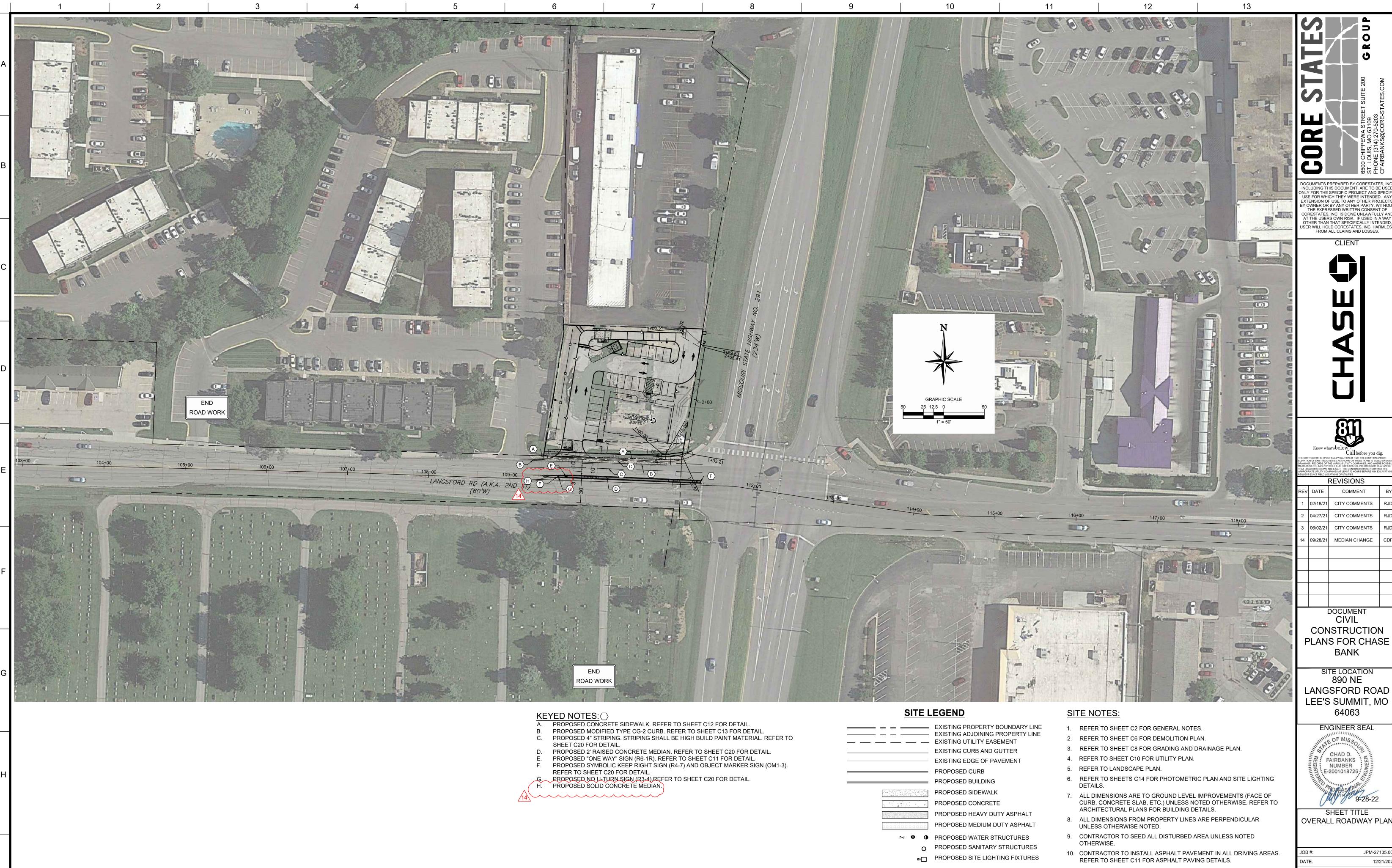
DOCUMENT CIVIL CONSTRUCTION PLANS FOR CHASE **BANK**

SITE LOCATION 890 NE LANGSFORD ROAD LEE'S SUMMIT, MO 64063



SHEET TITLE DETAILED **GRADING AND** DRAINAGE PLAN

JOB #:	JPM-27135.001
DATE:	12/21/2020
SCALE:	1" = 20'
DRAWN BY:	RJD
CHECKED BY:	CDF



Iser: CFAIRBANKS Plot Date/Time: Sep. 28, 22 - 11:39:03 Drawing: P:VJ.P. Morgan Chase\Lee's Summit, MO (Hwy 291 and SE Langford Rd.)-JPM.27135.001\CIVIL\Drawings\Presentation\JPM-27135-001-P-SITE-ROAD.dwg ;C21 OVERALL ROADWAY PLAN

02/18/21 CITY COMMENTS 04/27/21 CITY COMMENTS 06/02/21 CITY COMMENTS 14 | 09/28/21 | MEDIAN CHANGE | CD

DOCUMENT CIVIL CONSTRUCTION PLANS FOR CHASE BANK

SITE LOCATION 890 NE LANGSFORD ROAD LEE'S SUMMIT, MO 64063

ENGINEER SEAL CHAD D. FAIRBANKS NUMBER E-2001018726

SHEET TITLE OVERALL ROADWAY PLAN

JPM-27135.00 12/21/2020 DRAWN BY: CHECKED BY:

(S) EXISTING SANITARY STRUCTURES

© EXISTING COMMUNICATIONS STRUCTURE

M EXISTING WATER STRUCTURE

22 PROPOSED PARKING COUNT

■ ◆ B EXISTING ELECTRIC STRUCTURE

