

## PROJECT VICINITY



CLIENT



## REVISIONS

DOCUMENT  
CIVIL  
CONSTRUCTION  
PLANS FOR CHASE  
BANK

ENGINEER SEAL



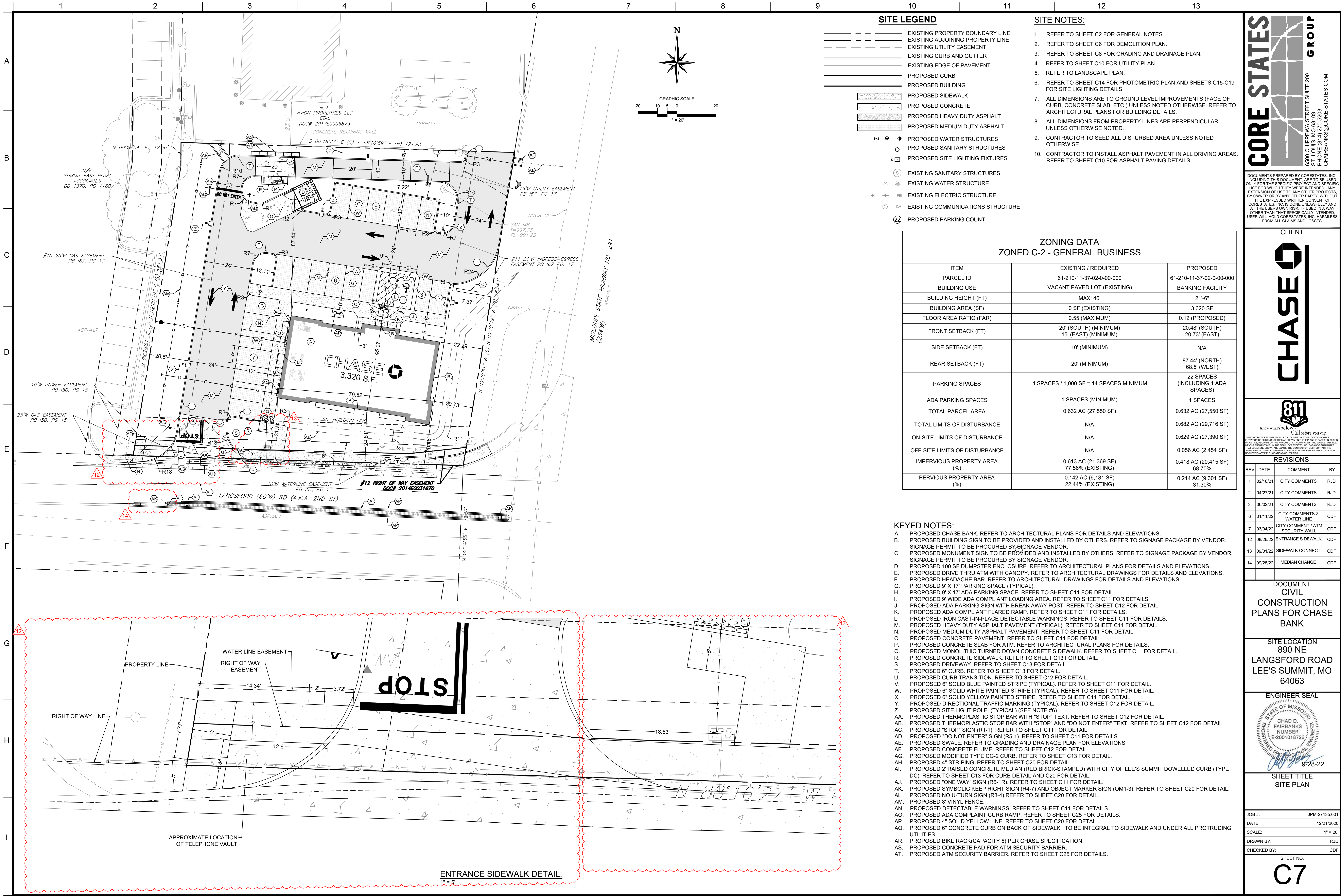
SHEET NO.

User: CFAIRBANKS Plot Date/Time: Sep 28 22:14:03-19 Drawing: P:\J.P. Morgan Chase\Leh's Summit MO (Hwy 281 and SE Langford Rd.)\JPM 27135-001\CM Drawings\Presentation\JPM-27135-001-P-DET1.dwg C:\COVER SHEET

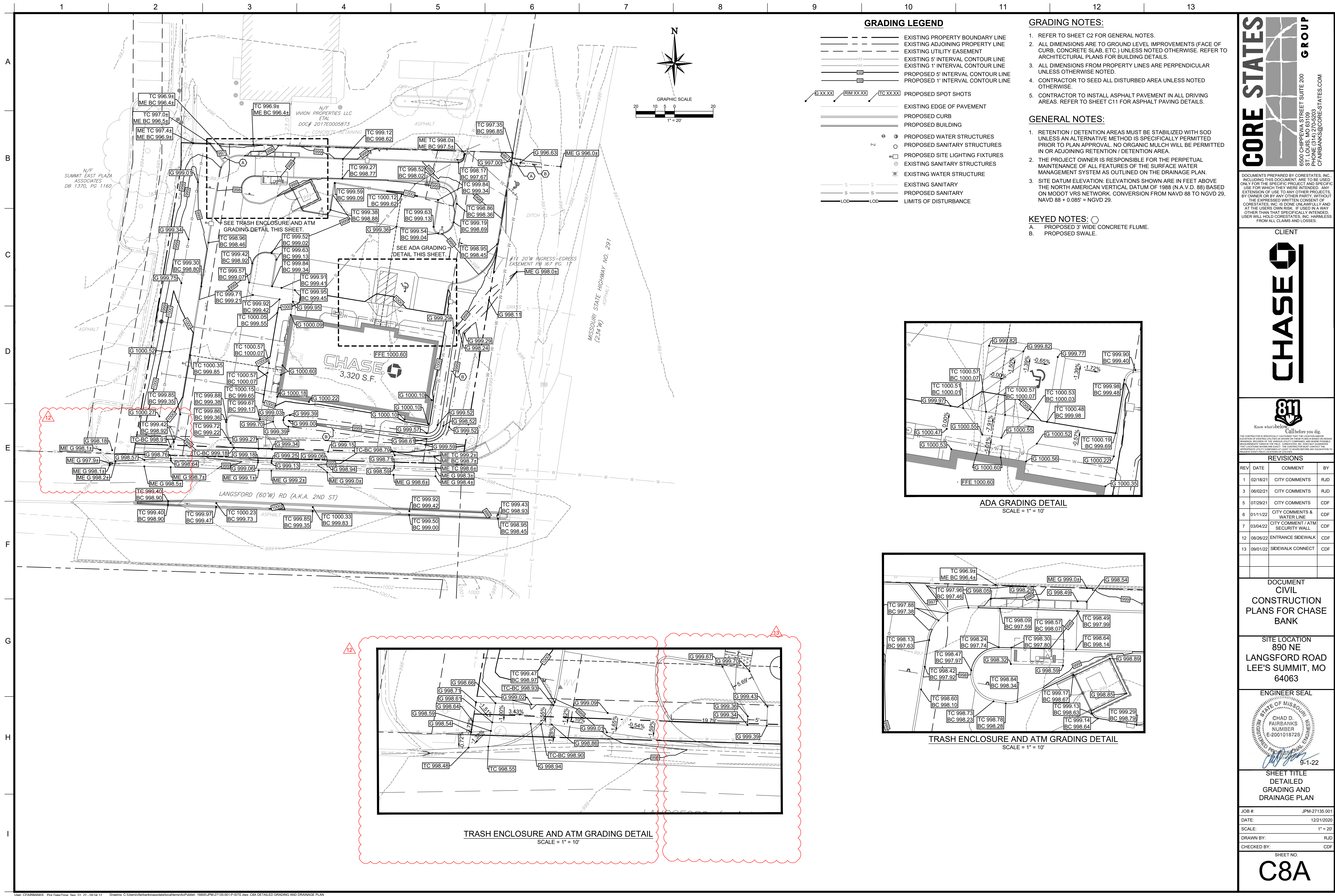
1. THE SITE WORK FOR THE PROPOSED DEVELOPMENT SHALL MEET OR EXCEED ALL CITY AND/OR COUNTY AND STATE STANDARDS FOR SITE WORK.
2. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO PROJECT COMPLETION.

SHEET NUMBER	DESCRIPTION	REV 1	REV 2	REV 3	REV 4	REV 5	REV 6	REV 7	REV 8	REV 9	REV 10	REV 11	REV 12	REV 13	REV 14
C1	COVER SHEET	Δ	Δ	Δ	Δ	Δ	Δ	Δ	Δ	Δ			Δ	Δ	Δ
C2	GENERAL NOTES			Δ											
C3	EROSION AND SEDIMENTATION CONTROL PLAN PHASE I	Δ		Δ		Δ	Δ								
C4	EROSION AND SEDIMENTATION CONTROL PLAN PHASE II	Δ		Δ	Δ	Δ	Δ								
C5	EROSION AND SEDIMENTATION CONTROL DETAILS			Δ											
C6	DEMOLITION PLAN	Δ					Δ								
C7	SITE PLAN	Δ	Δ	Δ			Δ	Δ					Δ	Δ	Δ
C8	GRADING AND DRAINAGE PLAN	Δ					Δ	Δ	Δ						
C8A	DETAILED GRADING AND DRAINAGE PLAN			Δ		Δ	Δ	Δ					Δ	Δ	
C9	DRAINAGE BASIN MAPS						Δ	Δ							
C10	UTILITY PLAN	Δ	Δ		Δ										
C11-C13	CONSTRUCTION DETAILS	Δ			Δ			Δ	Δ						
C14	PHOTOMETRIC PLAN			Δ											
C15-C19	PHOTOMETRIC DETAILS	Δ													
C20	CONSTRUCTION DETAILS	Δ	Δ	Δ											
C21	ROADWAY PLAN	Δ	Δ	Δ											Δ
C22	ROADWAY CONSTRUCTION PLAN		Δ	Δ											Δ
C23	TRAFFIC CONTROL PLAN PHASE 1		Δ							Δ	Δ	Δ			
C24	TRAFFIC CONTROL PLAN PHASE 2		Δ							Δ	Δ	Δ			
C25-C27	CONSTRUCTION DETAILS			Δ		Δ		Δ							
REFERENCE SHEETS															
SHEET NUMBER	DESCRIPTION	REV 1	REV 2	REV 3	REV 4	REV 5	REV 6								
1	ALTA/NSPS LAND TITLE SURVEY BY SWT DESIGN, INC.		Δ												
LP-1	PLANTING PLAN	Δ							Δ						
LP-2	PLANTING DETAILS, SPECS														
IR-1.0	IRRIGATION LEGEND & NOTES						Δ								
IR-2.0	IRRIGATION PLAN						Δ								
IR-3.0	IRRIGATION DETAILS						Δ								
IR-3.1	IRRIGATION DETAILS						Δ								

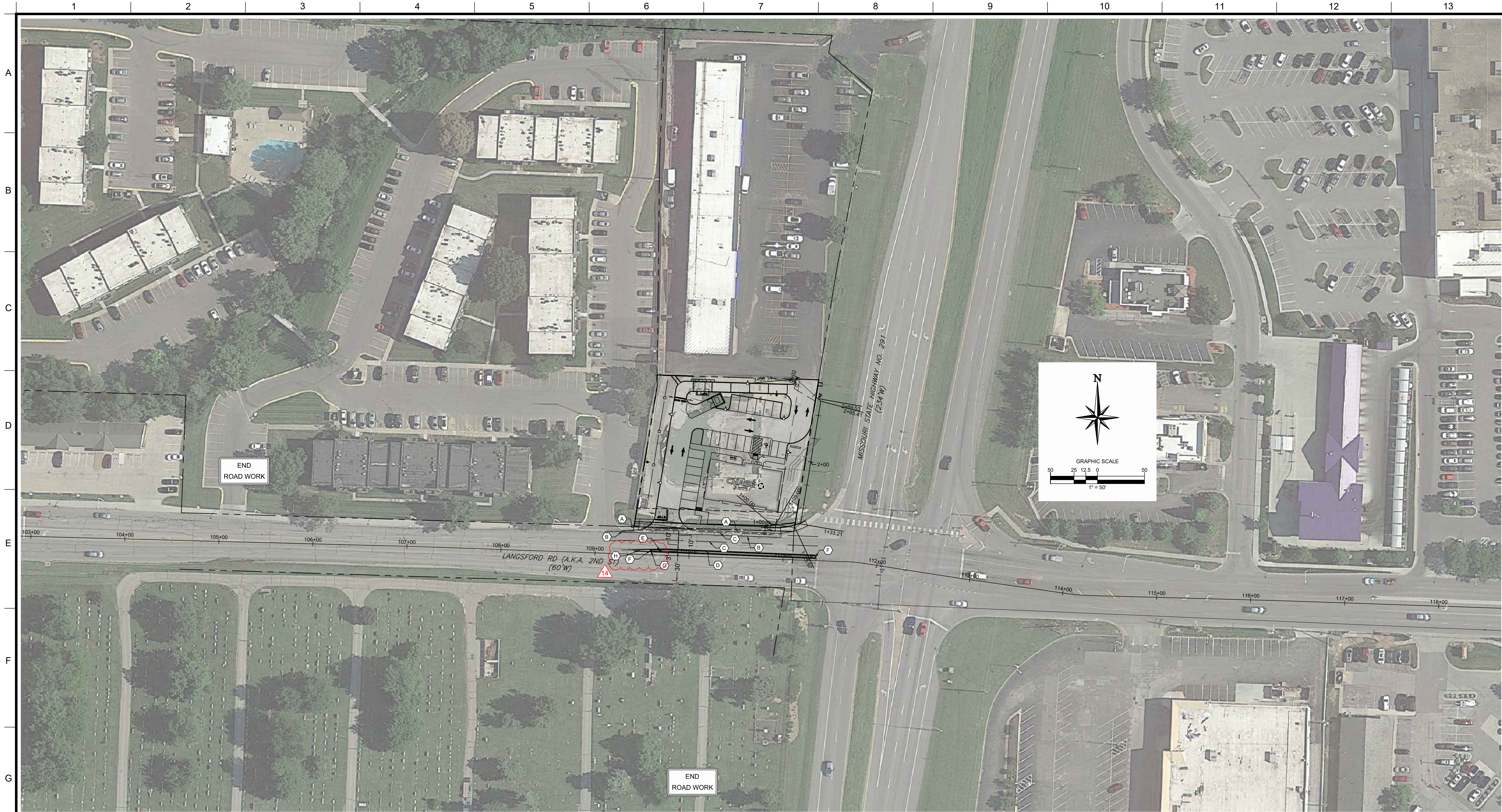












KEYED NOTES:

- A. PROPOSED CONCRETE SIDEWALK. REFER TO SHEET C12 FOR DETAIL.
- B. PROPOSED MODIFIED TYPE CG-2 CURB. REFER TO SHEET C13 FOR DETAIL.
- C. PROPOSED 4" STRIPING. STRIPING SHALL BE HIGH BUILD PAINT MATERIAL. REFER TO SHEET C20 FOR DETAIL.
- D. PROPOSED 2" RAISED CONCRETE MEDIAN. REFER TO SHEET C20 FOR DETAIL.
- E. PROPOSED "ONE WAY" SIGN (R6-1R). REFER TO SHEET C11 FOR DETAIL.
- F. PROPOSED SYMBOLIC KEEP RIGHT SIGN (R4-7) AND OBJECT MARKER SIGN (OM1-3). REFER TO SHEET C20 FOR DETAIL.
- G. PROPOSED NO U-TURN SIGN (R3-4). REFER TO SHEET C20 FOR DETAIL.
- H. PROPOSED SOLID CONCRETE MEDIAN.

SITE LEGEND

- EXISTING PROPERTY BOUNDARY LINE
- EXISTING ADJOINING PROPERTY LINE
- EXISTING UTILITY EASEMENT
- EXISTING CURB AND GUTTER
- EXISTING EDGE OF PAVEMENT
- PROPOSED CURB
- PROPOSED BUILDING
- PROPOSED SIDEWALK
- PROPOSED CONCRETE
- PROPOSED HEAVY DUTY ASPHALT
- PROPOSED MEDIUM DUTY ASPHALT
- PROPOSED WATER STRUCTURES
- PROPOSED SANITARY STRUCTURES
- PROPOSED SITE LIGHTING FIXTURES
- EXISTING SANITARY STRUCTURES
- EXISTING WATER STRUCTURE
- EXISTING ELECTRIC STRUCTURE
- EXISTING COMMUNICATIONS STRUCTURE
- PROPOSED PARKING COUNT

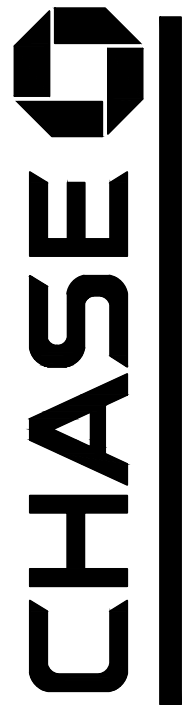
SITE NOTES:

- REFER TO SHEET C2 FOR GENERAL NOTES.
- REFER TO SHEET C6 FOR DEMOLITION PLAN.
- REFER TO SHEET C8 FOR GRADING AND DRAINAGE PLAN.
- REFER TO SHEET C10 FOR UTILITY PLAN.
- REFER TO LANDSCAPE PLAN.
- REFER TO SHEETS C14 FOR PHOTOMETRIC PLAN AND SITE LIGHTING DETAILS.
- ALL DIMENSIONS ARE TO GROUND LEVEL IMPROVEMENTS (FACE OF CURB, CONCRETE SLAB, ETC.) UNLESS NOTED OTHERWISE. REFER TO ARCHITECTURAL PLANS FOR BUILDING DETAILS.
- ALL DIMENSIONS FROM PROPERTY LINES ARE PERPENDICULAR UNLESS OTHERWISE NOTED.
- CONTRACTOR TO SEED ALL DISTURBED AREA UNLESS NOTED OTHERWISE.
- CONTRACTOR TO INSTALL ASPHALT PAVEMENT IN ALL DRIVING AREAS. REFER TO SHEET C11 FOR ASPHALT PAVING DETAILS.

**CORE STATES GROUP**  
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ST. LOUIS, MO 63109  
PHONE (314) 270-5203  
CFAIRBANKS@CORE-STATES.COM

DOCUMENTS PREPARED BY CORE STATES, INC. INCLUDING THIS DOCUMENT ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SPECIFIC USE FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS, BY OWNER OR BY ANY OTHER PARTY, WITHOUT THE EXPRESSED WRITTEN CONSENT OF CORE STATES, INC. IS DONE UNLAWFULLY AND AT THE USER'S OWN RISK. IF USED IN A MANNER OTHER THAN THAT SPECIFICALLY INTENDED, USER WILL HOLD CORE STATES, INC. HARMLESS FROM ALL CLAIMS AND LOSSES.

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Know what's below. Call before you dig.  
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND DEPTH OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORD DRAWINGS, RECORDS OF THE UTILITY LOCATOR, AND FIELD SURVEY. NO GUARANTEE IS MADE FOR THE LOCATION OR DEPTH OF UTILITIES. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF UTILITIES PRIOR TO ANY EXCAVATION TO AVOID DAMAGE TO UTILITIES.

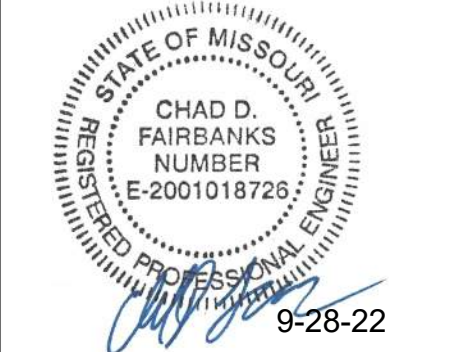
REVISIONS

REV	DATE	COMMENT	BY
1	02/18/21	CITY COMMENTS	RJD
2	04/27/21	CITY COMMENTS	RJD
3	06/02/21	CITY COMMENTS	RJD
14	09/28/21	MEDIAN CHANGE	CDF

DOCUMENT  
CIVIL  
CONSTRUCTION  
PLANS FOR CHASE  
BANK

SITE LOCATION  
890 NE  
LANGSFORD ROAD  
LEE'S SUMMIT, MO  
64063

ENGINEER SEAL



SHEET TITLE  
OVERALL ROADWAY PLAN

JOB #:	JPM-27135.001
DATE:	12/21/2020
SCALE:	1" = 50'
DRAWN BY:	RJD
CHECKED BY:	CDF

SHEET NO.

C21



