CONTACT: MARGARET TROIA 10 S DEARBORN STREET, FLOOR 15

CHICAGO, IL 60603 312-732-7980

CIVIL ENGINEER: CORE STATES GROUP
6500 CHIPPEWA STREET, SUITE 200
ST. LOUIS. MO 63109

CONTACT: CHAD FAIRBANKS, P.E. TEL: 314-270-5203

ARCHITECT: CORE STATES GROUP
6500 CHIPPEWA STREET, SUITE 200

ST. LOUIS, MO 63109 CONTACT: R. BRUCE LASURS, A.I.A.

TEL: 314-730-0772

LANDSCAPE ARCHITECT: EVERGREEN DESIGN GROUP

1200 US HIGHWAY 22 E, SUITE 2000-2248 BRIDGEWATER, NJ 08807 CONTACT: LARRY LESSER TEL: 800-680-6630 EXT 5

SURVEYOR: SWT DESIGN, INC.
772 BIG BEND BOULEVARD

ST. LOUIS, MO 63119 CONTACT: JAMES DEGENHARDT, P.L.S. TEL: 314-644-5700

GOVERNING AGENCIES CONTACTS:

PLANNING AND ZONING: LEE'S SUMMIT DEVELOPMENT SERVICES

220 SE GREEN LEE'S SUMMIT, MO 64063 TEL: 816-969-1238

BUILDING DEPARTMENT: LEE'S SUMMIT DEVELOPMENT SERVICES

220 SE GREEN LEE'S SUMMIT, MO 64063 TEL: 816-969-1241

FIRE DEPARTMENT: LEE'S SUMMIT FIRE DEPARTMENT

9933 DIAMOND DRIVE ST. LOUIS, MO 63137 CONTACT: ASSISTANT CHIEF JIM EDEN TEL: 816-969-7407

TRANSPORTATION MISSOURI DEPARTMENT OF TRANSPORTATION

TEL: 816-607-2107

DEPARTMENT: 600 NE COLBERN ROAD
LEE'S SUMMIT, MO 64086
CONTACT: DEREK OLSON

TRANSPORTATION LEE'S SUMMIT PUBLIC WORKS DEPARTMENT

DEPARTMENT: 220 SE GREEN STREET LEE'S SUMMIT, MO 64063 TEL: 816-969-1800

WATER/WASTEWATER: LEE'S SUMMIT WATER UTILITIES

1200 SE HAMBLEN ROAD LEE'S SUMMIT, MO 64081 TEL: 816-969-1900

STORMWATER STORMWATER (LEE'S SUMMIT PUBLIC WORKS DEPARTMENT)

220 SE GREEN STREET LEE'S SUMMIT, MO 64063 TEL: 816-969-1800

UTILITY CONTACTS:

ELECTRIC COMPANY:

EVERGY P.O. BOX 219330 KANSAS CITY, MO 64121 TEL: 816-556-2200

GAS COMPANY: SPIRE ENERGY

3025 SE CLOVER DRIVE LEE'S SUMMIT, MO 64082 TEL: 816-969-2200

TELEPHONE / INTERNET CHARTER / SPECTRUM

188 NW OLDHAM PARKWAY LEE'S SUMMIT, MO 64081 TEL: 866-874-2389

SOLID WASTE: WASTE MANAGEMENT 2404 S 88TH STREET KANSAS CITY, KS 66111 TEL: 866-570-4702

SITE DATUM ELEVATION:

ELEVATIONS SHOWN ARE IN FEET ABOVE THE NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D. 88) BASED ON MODOT VRS NETWORK. CONVERSION FROM NAVD 88 TO NGVD 29, NAVD 88 - 0.302' = NGVD 29.

FLOOD NOTE:

THIS PROPERTY IS LOCATED IN AN AREA DETERMINED TO BE OUTSIDE THE 0.1% ANNUAL CHANCE FLOOD (100-YEAR) AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP FOR THE CITY OF LEE'S SUMMIT, MISSOURI, MAP NUMBER 29095C0436G EFFECTIVE DATE 01/20/2017.

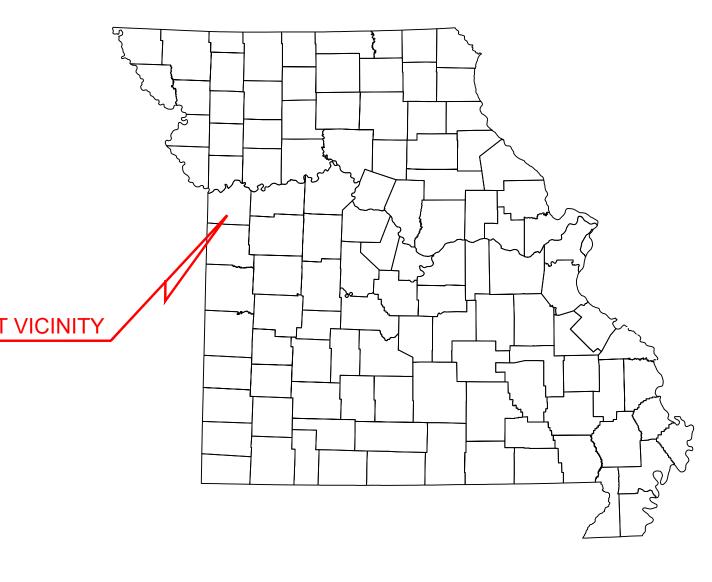
ALERT TO CONTRACTOR:

- THE SITE WORK FOR THE PROPOSED DEVELOPMENT SHALL MEET OR EXCEED ALL CITY AND/OR COUNTY AND STATE STANDARDS FOR SITE WORK.
- 2. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO PROJECT COMPLETION.

ser: CFAIRBANKS Plot Date/Time: Sep. 28, 22 - 14:03:19 Drawing: P:\J.P. Morgan Chase\Lee's Summit, MO (Hwy 291 and SE Langford Rd.)-JPM.27135.001\CIVIL\Drawings\Presentation\JPM-27135-001-P-DETL.dwg; C1 COVER SHE

COMMERCIAL FINAL DEVELOPMENT PLAN

FOR CHASE ()



CHASE BANK HIGHWAY 291 & NE LANGSFORD

890 NE LANGSFORD ROAD LEE'S SUMMIT, MO 64063 JACKSON COUNTY, MISSOURI





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SHEET NUMBER	DESCRIPTION	REV 1	REV 2		REV 4	REV 5	REV 6	REV 7	REV 8	REV 9	REV 10	REV 11	REV 12	REV 13	REV 14	
C1	COVER SHEET	Δ	Δ	Δ	Δ	Δ	Δ	Δ	Δ	Δ	Δ		Δ	Δ	Δ	<u>L</u>
C2	GENERAL NOTES			Δ												1
C3	EROSION AND SEDIMENTATION CONTROL PLAN PHASE I	Δ		Δ		Δ	Δ									5
C4	EROSION AND SEDIMENTATION CONTROL PLAN PHASE II	Δ		Δ	Δ	Δ	Δ									A
C5	EROSION AND SEDIMENTATION CONTROL DETAILS			Δ												
C6	DEMOLITION PLAN	Δ					Δ									
C7	SITE PLAN	Δ	Δ	Δ			Δ	Δ					Δ	Δ	Δ	1
C8	GRADING AND DRAINAGE PLAN	Δ		Δ			Δ	Δ								2
C8A	DETAILED GRADING AND DRAINAGE PLAN			Δ		Δ	Δ	Δ					Δ	Δ		
C9	DRAINAGE BASIN MAPS						Δ	Δ								
C10	UTILITY PLAN	Δ	Δ		Δ		Δ									۱.
C11-C13	CONSTRUCTION DETAILS	Δ			Δ			Δ	Δ							(
C14	PHOTOMETRIC PLAN			Δ												Т
C15-C19	PHOTOMETRIC DETAILS	Δ														P
C20	CONSTRUCTION DETAILS	Δ	Δ	Δ												P
C21	ROADWAY PLAN	Δ	Δ	Δ											Δ	1
C22	ROADWAY CONSTRUCTION PLAN		Δ	Δ											Δ	
C23	TRAFFIC CONTROL PLAN PHASE 1		Δ							Δ	Δ	Δ				1
C24	TRAFFIC CONTROL PLAN PHASE 2		Δ							Δ	Δ	Δ				1
C25-C27	CONSTRUCTION DETAILS			Δ		Δ		Δ								1
	REFERENCE SHEETS															1
SHEET NUMBER	DESCRIPTION	REV 1	REV 2	REV 3	REV 4	REV 5	REV 6									
1	ALTA/NSPS LAND TITLE SURVEY BY SWT DESIGN, INC.		Δ													
LP-1	PLANTING PLAN	Δ						Δ								1
LP-2	PLANTING DETAILS, SPECS															1
IR-1.0	IRRIGATION LEGEND & NOTES						Δ									
IR-2.0	IRRIGATION PLAN						Δ									
IR-3.0	IRRIGATION DETAILS						Δ									
IR-3.1	IRRIGATION DETAILS						Δ									I



OIL/GAS WELL MAP
SCALE: 1" = 1,000'

LEGAL DESCRIPTION:

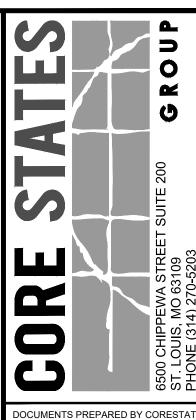
LOT 1, STAR FUEL CENTER OF LEE'S SUMMIT, LOT 1, A SUBDIVISION IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF FILED APRIL 3, 2000 IN PLAT BOOK I-67, PAGE 17 AS DOCUMENT NO. 200010020477.

CITY OF LEE'S SUMMIT NOTES:

- 1. ALL CONSTRUCTION SHALL FOLLOW THE CITY OF LEE'S SUMMIT'S DESIGN AND
- CONSTRUCTION MANUAL.
 2. CONTRACTOR SHALL CONTACT THE CITY'S DEVELOPMENT SERVICES ENGINEERING
- INSPECTION TO SCHEDULE A PRE-CONSTRUCTION MEETING WITH AN INSPECTOR PRIOR TO ANY LAND DISTURBANCE WORK AT (816) 969-1200.

OIL AND GAS WELLS NOTE:

THERE ARE TWO (2) GAS WELLS AND ONE (1) OIL WELL ON PARCELS IN THE VICINITY OF THE PROJECT AREA, HOWEVER THERE ARE NO OIL OR GAS WELLS WITHIN 150 FEET OF THE PROJECT AREA ACCORDING TO THE MDNR GEOSTRAT SURVEY MAP.



DOCUMENTS PREPARED BY CORESTATES, IN INCLUDING THIS DOCUMENT, ARE TO BE USE ONLY FOR THE SPECIFIC PROJECT AND SPECI USE FOR WHICH THEY WERE INTENDED. AN EXTENSION OF USE TO ANY OTHER PROJECT BY OWNER OR BY ANY OTHER PARTY, WITHOUT THE EXPRESSED WRITTEN CONSENT OF CORESTATES, INC. IS DONE UNLAWFULLY AN AT THE USERS OWN RISK. IF USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDED USER WILL HOLD CORESTATES, INC. HARMLE FROM ALL CLAIMS AND LOSSES.

CLIENT

CHASE

Know what's below. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF ENISTING LITHLITES AS SHOWN ON THESE PLANS IS SASED ON DEAWNINGS, RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSS MEASUREMENTS TAKEN IN THE FIELD. CORESTATES, INC. DOES NOT GUARACHTE THAT LOCATIONS SHOWN, ARE EXACT. THE CONTRACTOR MUST CONTRACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION REQUEST EXACT FIELD LOCATIONS OF UTILITIES.				
		REVISIONS		
REV	DATE	COMMENT	Β\	
1	02/18/21	CITY COMMENTS	RJI	
6	01/11/22	CITY COMMENTS & WATER L INE	CD	
7	03/04/22	CITY COMMENT / ATM SECURITY WALL	CD	
8	03/17/22	CITY COMMENT (DETAIL)	CD	
9	06/13/22	CITY & MoDOT COMMENT	CD	
10	07/15/22	CITY COMMENT	CD	
12	08/26/22	ENTRANCE SIDEWALK	CD	
13	09/01/22	SIDEWALK CONNECT	CD	
14	09/28/22	MEDIAN CHANGE	CD	

DOCUMENT
CIVIL
CONSTRUCTION
PLANS FOR CHASE
BANK

SITE LOCATION 890 NE LANGSFORD ROAD LEE'S SUMMIT, MO 64063

CHAD D.
FAIRBANKS
NUMBER
E-2001018726

SHEET TITLE COVER SHEET

JOB #:	JPM-27135.001
DATE:	12/21/2020
SCALE:	AS NOTED
DRAWN BY:	RJD
CHECKED BY:	CDF

- RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ONSITE LOCATIONS OF EXISTING UTILITIES.
- ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUTED.
- ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION. CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN ANY ROAD RIGHT-OF-WAY DURING CONSTRUCTION.
- CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC., (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY OWNER.
- CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES.
- PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
- 10. SHOULD REMOVAL AND/OR RELOCATION ACTIVITIES DAMAGE FENCING, LIGHTING AND/OR ANY OTHER APPURTENANCES, THE CONTRACTOR SHALL PROVIDE NEW MATERIALS/ STRUCTURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. EXCEPT FOR MATERIALS DESIGNED TO BE RELOCATED ON THIS PLAN, ALL OTHER CONSTRUCTION MATERIALS SHALL BE NEW.
- 11. CONTRACTOR SHALL LIMIT SAW-CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT CONTRACTOR SHALL BE RESPONSIBLE FOR IT'S REMOVAL AND REPAIR.
- 12. THE CONTRACTOR SHALL COORDINATE WATER MAIN WORK WITH THE FIRE DEPT. AND THE CITY OF LEE'S SUMMIT UTILITY DEPARTMENT TO PLAN PROPOSED IMPROVEMENTS AND TO ENSURE ADEQUATE FIRE PROTECTION IS CONSTANTLY AVAILABLE TO SITE THROUGHOUT THIS SPECIFIC WORK AND THROUGH ALL PHASES OF CONSTRUCTION. CONTRACTOR WILL BE RESPONSIBLE FOR ARRANGING/PROVIDING ANY REQUIRED WATER MAIN SHUT OFFS WITH THE CITY OF LEE'S SUMMIT DURING CONSTRUCTION. ANY COSTS ASSOCIATED WITH WATER MAIN SHUT OFFS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO EXTRA COMPENSATION WILL BE PROVIDED.
- 13. DAMAGE TO ALL EXISTING CONDITIONS SHOWN TO REMAIN IN THESE PLANS WILL BE REPLACED AT CONTRACTOR'S EXPENSE.

GENERAL SITE NOTES

- ALL CONSTRUCTION MATERIALS AND TECHNIQUES OF INSTALLATION SHALL MEET PERFORMANCE VALUES OF THE MATERIALS SPECIFIED AND COMPLY WITH ALL CITY OF LEE'S SUMMIT REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THIS PROJECT IS CONSTRUCTED IN ACCORDANCE WITH THESE DOCUMENTS AND IN COMPLIANCE WITH CODES INDICATED HEREIN. THE QUALITY OF WORKMANSHIP AND INSTALLATION OF MATERIALS SPECIFIED BY THE ARCHITECT/ENGINEER ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE ARCHITECT/ENGINEER WILL NOT BE HELD RESPONSIBLE FOR ANY SUBSTANDARD OR INSUFFICIENT WORKMANSHIP MATERIALS, OR SERVICES PROVIDED IN THE EXECUTION OF ANY PHASE OF CONSTRUCTION OF THIS PROJECT.
- ALL MATERIALS ARE TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS. THE GENERAL CONTRACTOR SHALL ENSURE THAT ALL MANUFACTURER'S WARRANTIES WILL BE HONORED.
- ALL CONDITIONS SHOWN TO BE "EXISTING" SHALL BE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE NOTED AND SUBMITTED TO THE OWNER AND THE ARCHITECT/ENGINEER FOR REVIEW. CHANGES TO THE ORIGINAL DESIGN OF THE PROJECT DUE TO EXISTING SITE CONDITIONS MUST BE APPROVED BY BOTH THE OWNER AND THE ARCHITECT/ENGINEER PRIOR TO MAKING ANY CHANGES.
- CONTRACTOR TO REVIEW AND FOLLOW CONSTRUCTION TECHNIQUES/SPECIFICATIONS OUTLINED IN THE SITE GEOTECHNICAL REPORT ANY CONFLICTS WHICH MAY ARISE SHALL BE NOTED AND SUBMITTED TO THE OWNER AND THE ARCHITECT/ENGINEER FOR REVIEW PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING A THOROUGH KNOWLEDGE OF EXISTING FIELD CONDITIONS AND OF ALL DRAWINGS AND SPECIFICATIONS RELATED TO THEIR FIELD. THE FAILURE TO ACQUAINT HIMSELF WITH THIS PROJECT AND HIS FIELD OF SERVICE SHALL NOT RELIEVE HIM OF ANY RESPONSIBILITY FOR PERFORMING HIS WORK PROPERLY. NO ADDITIONAL COMPENSATION SHALL BE ALLOWED DUE TO THE GENERAL CONTRACTOR'S FAILURE TO CONVEY THE NECESSARY KNOWLEDGE TO FAMILIARIZE WORKERS AND SUBCONTRACTORS WITH THIS PROJECT.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THE SAFETY OF ALL PERSONS ON THE JOB SITE AT ALL TIMES INCLUDING (BUT NOT LIMITED TO) SUBCONTRACTORS, FACILITY EMPLOYEES, VENDORS, DESIGN STAFF PROFESSIONALS AND INSPECTION PERSONNEL.
- THE GENERAL CONTRACTOR SHALL PROVIDE DUMPSTERS, PORTABLE TOILETS AND TEMPORARY POWER FOR UNRESTRICTED PROJECT RELATED USE BY OTHERS FOR THE DURATION OF THE PROJECT.
- THE GENERAL CONTRACTOR SHALL COORDINATE PROJECT PHASING AND STORAGE OF MATERIALS WITH THE OWNER.
- 10. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR RECEIVING, UNLOADING, STORING AND PROTECTING OF MATERIALS AND EQUIPMENT SUPPLIED BY THE OWNER UNTIL IT HAS BEEN INSTALLED AND ACCEPTED BY THE OWNER.
- 11. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE AREA CLEAN AND FREE OF DEBRIS AT ALL TIMES DURING CONSTRUCTION. THE GENERAL

Jser: CFAIRBANKS Plot Date/Time: Jun. 07, 21 - 11:25:18 Drawing: C:\Users\cfairbanks\appdata\local\temp\AcPublish_3348\JPM-27135-001-P-DETL.dwg; C2 GENERAL NOTES

- 16. ALL DIMENSIONS AND RADII ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- 17. CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS
- 18. CONTRACTOR SHALL MATCH PROPOSED CURB AND GUTTER, CONCRETE, AND PAVEMENT TO EXISTING IN GRADE AND ALIGNMENT.
- 19. CONTRACTOR SHALL PROVIDE PIPE BOLLARDS FOR PROTECTION OF ALL ABOVE GROUND UTILITIES AND APPURTENANCES IN DRIVE AREA.
- 20. CONSTRUCTION SHALL COMPLY WITH ALL GOVERNING CODES AND BE CONSTRUCTED TO SAME.
- 21. CONTRACTOR IS RESPONSIBLE FOR REPAIRING THE DAMAGE DONE TO ANY EXISTING ITEM TO REMAIN DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. REPAIRS SHALL BE EQUAL TO, OR BETTER THAN, EXISTING CONDITIONS. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND NOTIFY OWNER PRIOR TO CONSTRUCTION START.
- 22. ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED OR SOD, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
- 23. EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE
- 24. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- 25. THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE SPECIFICATIONS IN THE CONTRACT DOCUMENTS.
- IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE 26. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER OF RECORD BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM THE DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL.
 - IN THE EVENT THE CONSTRUCTION IS ABANDONED PRIOR TO THE COMPLETION OF THE PROJECT. ALL CONSTRUCTION AND STOCKPILED VEGETATIVE DEBRIS AND FILL WILL BE REMOVED FROM THE SITE AND THE SITE WILL BE STABILIZED PER THE PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES (NPDES).
 - 28. THESE PLANS ARE INTENDED TO AND SHALL COMPLY WITH AMERICANS WITH DISABILITIES ACT.
 - 29. ALL VEGETATION FROM CLEARING AND GRUBBING WILL BE DISPOSED OF OFF-SITE
 - 30. ALL DESIGN AND CONSTRUCTION MUST CONFORM TO THE MINIMUM STANDARDS SET DOWN IN THE CITY OF LEE'S SUMMIT DEVELOPMENT CODE, ZONING, AND/OR RELATED ORDINANCES, AND MINIMUM TESTING FREQUENCY REQUIREMENTS.
 - 31. CONTRACTOR IS RESPONSIBLE FOR PERMITTING. INSTALLATION AND MAINTENANCE OF ALL MAINTENANCE OF TRAFFIC OPERATIONS DURING CONSTRUCTION. MAINTENANCE OF TRAFFIC SHALL CONFORM TO GDOT/CITY OF LEE'S SUMMIT STANDARDS.

GENERAL PAVING AND GRADING NOTES:

- ALL PAVING AND GRADING CONSTRUCTION MATERIALS AND METHODS WITHIN THE STATE'S DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY SHALL CONFORM TO THE LATEST EDITIONS OF THE STATE'S DEPARTMENT OF TRANSPORTATION DESIGN STANDARDS, THE STATE'S DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND THE STATE'S DEPARTMENT OF TRANSPORTATION UTILITY STANDARDS. ALL PAVING AND GRADING CONSTRUCTION MATERIALS AND METHODS OUTSIDE OF STATE'S DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY SHALL ALSO CONFORM TO THE ABOVE STATE'S DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND STANDARDS.
- CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE UTILITIES THAT ARE TO BE REMOVED TO THE RIGHT-OF-WAY, UNLESS OTHERWISE
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS
- 4. ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
- PRECAST STRUCTURES MAY BE USED AT CONTRACTORS OPTION AND SHALL MEET ALL STATE DEPARTMENT OF TRANSPORTATION REQUIREMENTS/SPECIFICATIONS AT A MINIMUM.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
- THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE EPA OR APPLICABLE STATE GENERAL N.P.D.E.S. PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL

- THE CONTRACTOR SHALL ENSURE THAT ALL PLANTING AREAS (INTERIOR ISLANDS, FOUNDATION PLANTING AREAS, ETC.) ARE NOT COMPACTED AND DO NOT CONTAIN LIMEROCK OR OTHER MATERIAL (CLAY, SUBGRADE MATERIAL, MARL, ETC.) WHICH MAY ADVERSELY AFFECT DRAINAGE OF GREEN AREAS. THE CONTRACTOR SHALL ALSO EXCAVATE AND REMOVE ALL UNDESIRABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED AND BACKFILL WITH CLEAN, FREE DRAINING TOPSOIL.
- 17. CONTRACTOR IS SPECIFICALLY CAUTIONED, DEPENDING ON THE TIME OF YEAR AND PROJECT LOCATION, DEWATERING MAY BY REQUIRED.
- 18. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ANY APPLICABLE REQUIRED PERMITS. THE CONTRACTOR IS TO COORDINATE WITH THE OWNER PRIOR TO EXCAVATION. THE CONTRACTOR IS TO SUPPLY THE CITY OF LEE'S SUMMIT A COPY OF THE PERMIT A MINIMUM OF TWO (2) BUSINESS DAYS PRIOR TO ANY CONSTRUCTION ACTIVITY.
- 19. STRIP TOPSOIL AND ORGANIC MATTER AND PAVING MATERIAL FROM ALL AREAS TO BE IMPERVIOUS. TOPSOIL SHALL BE STOCKPILED ON SITE FOR REPLACEMENT ON SLOPES AND ALL OTHER GREEN AND LANDSCAPE AREAS.
- 20. FIELD DENSITY TESTS SHALL BE TAKEN AT FREQUENCY AS REQUIRED IN THE SPECIFICATIONS OR AS REQUIRED BY THE GOVERNING REGULATORY AGENCY, WHICH EVER IS MORE STRINGENT.
- 21. ALL STRUCTURES ARE TO CONFORM WITH THE STATE'S DEPARTMENT OF TRANSPORTATION ROADWAY AND TRAFFIC DESIGN STANDARDS. CURB INLETS SHALL CONFORM TO THE STATE'S DEPARTMENT OF TRANSPORTATION STANDARDS, CATCH BASINS SHALL HAVE TRAFFIC BEARING, GRATES. CONCRETE FLARED END SECTIONS SHALL CONFORM TO THE STATE'S DEPARTMENT OF TRANSPORTATION STANDARDS, MANHOLES SHALL CONFORM TO THE STATE'S DEPARTMENT OF TRANSPORTATION STANDARDS.
- CONTRACTOR SHALL ENSURE POSITIVE FLOW TO ALL INLETS WITHIN DRAINAGE BASINS TO PRECLUDE PONDED WATER.
- 23. ALL DRAINAGE CULVERT JOINTS SHALL CONFORM TO THE STATE'S DEPARTMENT OF TRANSPORTATION STANDARDS.
- 24. THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO CONTROL SEDIMENT LOSS, INCLUDING BUT NOT LIMITED TO THE INSTALLATION OF SILT FENCE AT ALL LOCATIONS WHERE THE POSSIBILITY OF TRANSFERRING SUSPENDED SOLIDS INTO THE RECEIVING WATER BODY EXISTS DUE TO THE PROPOSED WORK. SILT FENCE MUST BE MAINTAINED IN EFFECTIVE CONDITION AT ALL LOCATIONS UNTIL CONSTRUCTION IS COMPLETED AND DISTURBED SOIL AREAS ARE STABILIZED. THEREAFTER, THE CONTRACTOR MUST REMOVE THE SEDIMENT BARRIERS AT NO TIME SHALL THERE BE ANY OFF-SITE DISCHARGE WHICH VIOLATES THE WATER QUALITY STANDARDS OF THE STATE'S STORMWATER

GENERAL UTILITY NOTES:

- CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
- ALL ELECTRIC. TELEPHONE. AND GAS EXTENSIONS (INCLUDING SERVICE LINES) SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
- CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.
- PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER. WATER MAIN OR ANY OF THE DRY UTILITIES. THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM THE ENGINEER AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. THE ENGINEER AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.
- PRIOR TO CONSTRUCTION, THE GENERAL CONTRACTOR SHALL VERIFY THAT "STUB OUTS" FOR POWER, TELEPHONE, FIBER OPTICS, WATER AND SEWER (IF APPLICABLE) HAVE BEEN PROVIDED BY OTHERS AT THE AREA ADJACENT TO THE PROPOSED BUILDING. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL CONNECTIONS AT THE BUILDING.
- 6. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE SCHEDULE FOR INSTALLATION WITH THE UTILITY COMPANIES AND THE OWNER. ALL EXISTING CONDITIONS THAT ARE REMOVED OR DISRUPTED DURING THE PLACEMENT OF NEW UTILITIES SHALL BE REPLACED OR REPAIRED TO MATCH ORIGINAL CONDITIONS. ANY EXISTING UTILITIES DISRUPTED DURING PLACEMENT OF NEW UTILITIES SHALL BE REPAIRED AND OPERATING NORMALLY THE SAME DAY OF DISRUPTION. ITEMS THAT MAY NEED TO BE REPLACED OR REPAIRED INCLUDE BUT ARE NOT LIMITED TO: EXISTING ASPHALT PAVING, EXISTING CONCRETE PAVING, WATER LINES, IRRIGATION LINES, GRASS AREAS, LANDSCAPING, AND SITE 31. LIGHTING. THE GENERAL CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION OF ALL EXISTING ITEMS THAT WILL BE DISRUPTED DURING THE PLACEMENT OF NEW UTILITIES AND PROVIDE THE OWNER A DETAILED PHASING SCHEDULE OUTLINING THE TIMELINE FOR INSTALLATION OF NEW UTILITIES INCLUDING THE PROPOSED TIMES THAT EXISTING ITEMS WILL BE DISRUPTED. THE

 33. PRESSURE PIPE TESTING SPECIFICATIONS SHALL REFERENCE THE CITY OF LEE'S NEW UTILITIES TRENCH WIDTH AND DEPTH SHALL MEET ALL LOCAL AND STATE REQUIREMENTS FOR THE DISPLACEMENT OF ALL UTILITIES. IF DIRECTIONAL BORING IS USED FOR INSTALLATION, THE ABOVE LISTED ITEMS ARE STILL REQUIRED TO BE SUBMITTED TO THE OWNER.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
- 8. ALL SANITARY SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RINGS & COVERS. SANITARY MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE WITH WATER TIGHT LIDS.
- 10. CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS

PROPOSED UTILITIES.

ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF

- LABOR NECESSARY TO COMPLETE THE WORK IN FULL AND COMPLETE IN ACCORDANCE WITH THE SHOWN, DESCRIBED AND REASONABLY INTENDED REQUIREMENTS OF THE CONTRACT DOCUMENTS AND JURISDICTIONAL AGENCY REQUIREMENTS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT. THE MOST STRINGENT SHALL GOVERN.
- 19. THE CONTRACTOR SHALL RESTORE ALL DISTURBED VEGETATION IN KIND, UNLESS SHOWN OTHERWISE.
- DEFLECTION OF PIPE JOINTS AND CURVATURE OF PIPE SHALL NOT EXCEED THE MANUFACTURER'S SPECIFICATIONS. SECURELY CLOSE ALL OPEN ENDS OF PIPE AND FITTINGS WITH A WATERTIGHT PLUG WHEN WORK IS NOT IN PROGRESS. THE INTERIOR OF ALL PIPES SHALL BE CLEAN AND JOINT SURFACES WIPED CLEAN AND DRY AFTER THE PIPE HAS BEEN LOWERED INTO THE TRENCH. VALVES SHALL BE PLUMB AND LOCATED ACCORDING TO THE PLANS.
- ALL UTILITY AND STORM DRAIN TRENCHES LOCATED UNDER AREAS TO RECEIVE PAVING SHALL BE COMPLETELY BACKFILLED AND COMPACTED IN ACCORDANCE WITH SPECIFICATIONS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- 22. SHOP DRAWINGS FOR ALL MATERIALS AND APPURTENANCE SHALL BE SUBMITTED TO AND APPROVED BY THE ENGINEER OF RECORD. NO WORK IS TO BEGIN UNTIL SHOP DRAWINGS HAVE BEEN REVIEWED, APPROVED, AND RETURNED TO THE CONTRACTOR.
- 23. AT LEAST THREE (3) WEEKS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE CITY OF LEE'S SUMMIT AND THE UTILITY COMPANY AND SUPPLY THEM WITH ALL REQUIRED SHOP DRAWINGS APPROVED BY ENGINEER OF RECORD, THE CONTRACTOR'S NAME, STARTING DATE, PROJECTED SCHEDULE AND OTHER INFORMATION AS REQUIRED. THE CITY OF LEE'S SUMMIT ENGINEERING INSPECTION OFFICE SHOULD ALSO BE CONTACTED FIVE DAYS PRIOR TO CONSTRUCTION TO ENSURE AVAILABILITY OF INSPECTION PERSONAL. ANY WORK PREFORMED PRIOR TO NOTIFYING THE CITY OF LEE'S SUMMIT ENGINEERING INSPECTION OFFICE OR WITHOUT A DEPARTMENT INSPECTOR PRESENT MAY BE SUBJECT TO REMOVAL AND REPLACEMENT AT THE SOLE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR SHALL PERFORM AN INFILTRATION/EXFILTRATION TEST ON ALL GRAVITY SEWERS AND A PRESSURE TEST ON ALL FORCE MAINS (AS APPLICABLE) IN ACCORDANCE WITH THE CITY OF LEE'S SUMMIT UTILITY REGULATIONS. SAID TESTS ARE TO BE CERTIFIED BY THE ENGINEER OF RECORD AND SUBMITTED TO THE CITY OF LEE'S SUMMIT FOR APPROVAL. THE SCHEDULING, COORDINATION AND NOTIFICATION TO ALL PARTIES IS THE CONTRACTOR'S RESPONSIBILITY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING WATER MAINS, FORCE MAINS, SANITARY SEWER, AND STORM MAINS AND MAINTAIN A MINIMUM CLEARANCE BETWEEN WATER MAINS AND OTHER UTILITIES AT ALL POINTS ALONG THEIR LENGTH AS REQUIRED IN THE PLANS, DETAILS, AND SPECIFICATIONS.
- 26. SANITARY SEWER, FORCE MAINS, SEWER LATERALS, AND STORM SEWERS SHOULD CROSS UNDER WATER MAINS AND/OR WATER SERVICES WHENEVER POSSIBLE. SANITARY SEWERS, FORCE MAINS, SEWER LATERALS, AND STORM SEWERS CROSSING WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18 INCHES BETWEEN THE BOTTOM OF THE UPPER PIPE AND THE TOP OF THE LOWER PIPE.
- 27. A MINIMUM HORIZONTAL DISTANCE OF 10 FEET SHOULD BE MAINTAINED BETWEEN WATER LINES AND SEWER LINES OR OTHER SOURCES OF CONTAMINATION. WATER LINES AND SEWERS SHALL NOT BE LAID IN THE SAME TRENCH EXCEPT ON THE WRITTEN APPROVAL OF THE AUTHORITY HAVING JURISDICTION. WATER MAINS NECESSARILY IN CLOSE PROXIMITY TO SEWERS MUST BE PLACED SO THAT THE BOTTOM OF THE WATER LINE WILL BE AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER LINE AT ITS HIGHEST POINT. IF THIS DISTANCE MUST UNAVOIDABLY BE REDUCED, THE WATER LINE OR THE SEWER LINE MUST BE ENCASED IN WATERTIGHT PIPE WITH SEALED WATERTIGHT ENDS EXTENDING AT LEAST TEN FEET EITHER SIDE OF THE CROSSING. ANY JOINT IN THE ENCASEMENT PIPE IS TO BE MECHANICALLY RESTRAINED. THE ENCASEMENT PIPE MAY BE VENTED TO THE SURFACE IF CARRYING WATER OR SEWER UNDER PRESSURE. WHERE A WATER LINE MUST UNAVOIDABLY PASS BENEATH THE SEWER LINE, AT LEAST 18 INCHES OF SEPARATION MUST BE MAINTAINED BETWEEN THE OUTSIDE OF THE TWO PIPES IN ADDITION TO THE PRECEDING ENCASEMENT REQUIREMENT. EXCEPTIONS TO THIS MUST BE APPROVED IN WRITING BY THE AUTHORITY HAVING JURISDICTION.
- 28. A MINIMUM HORIZONTAL DISTANCE OF THREE (3) FEET SHALL BE MAINTAINED BETWEEN WATER LINES AND OTHER UNDERGROUND UTILITIES OF A NONSANITARY NATURE (GAS, ELECTRIC, ETC.) EXCEPTIONS TO THIS MUST BE APPROVED IN WRITING BY THE AUTHORITY HAVING JURISDICTION.
- A MINIMUM 10 FOOT HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN ANY TYPE OF SEWER AND WATER MAIN IN PARALLEL INSTALLATIONS.
- ALL DIP SHALL BE CLASS 50 OR HIGHER, DUCTILE IRON FITTINGS SHALL BE CLASS 350. ADEQUATE PROTECTIVE MEASURES AGAINST CORROSION SHALL BE USED.
- TREES SHALL BE PLACED SO AS TO AVOID BURIED UTILITIES.
- 32. ALL UTILITY MAIN LENGTHS SHOWN ARE APPROXIMATE. ALL MANHOLE TOP ELEVATIONS ARE APPROXIMATE. CONTRACTOR SHALL SET MANHOLE TOP LEVEL WITH FINISH PAVEMENT GRADES.
- SUMMIT AND/OR FIRE DEPARTMENT.
- 34. CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES. THIS AND THE FINAL CONNECTIONS OF THE SERVICE SHALL BE COMPLETED 30 DAYS PRIOR TO POSSESSION.
- 35. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
- 36. REFER TO BUILDING PLANS FOR SITE ELECTRICAL PLAN.

AC	ACRES
ADA ARCH	AMERICANS WITH DISABILITY ACT ARCHITECTURAL
ВС	BOTTOM OF CURB
BF BK	BASEMENT FLOOR BLOCK
BL	BASELINE
BLD	BUILDING
BOL BM	BOLLARD BENCH MARK
BRL	BUILDING RESTRICTION LINE
BSL	BUILDING SETBACK LINE
CF	CUBIC FEET
CL	CENTERLINE CORRUGATED METAL PIPE
CONN	CONNECTION
CONC	CONCRETE
CPP CY	CORRUGATED PLASTIC PIPE CUBIC YARDS
DEC	DECORATIVE
DEP	DEPRESSED
DIP	DUCTILE IRON PIPE
DOM	DOMESTIC
ELEV	ELEVATION
EP	EDGE OF PAVEMENT
ES EW	EDGE OF SHOULDER
EX	END OF WALL EXISTING
FES	FLARED END SECTION
FF	FINISH FLOOR ELEVATION
FH FG	FIRE HYDRANT
G	FINISHED GRADE GRADE
GF	GARAGE FLOOR
GH	GRADE HIGH SIDE OF WALL
GL GRT	GRADE LOW SIDE OF WALL GRATE
GV	GATE VALVE
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HP	HIGH POINT
HOR HW	HORIZONTAL HEADWALL
INT	INTERSECTION
INV	INVERT
LF	LINEAR FOOT
LOC	LIMITS OF CLEARING LIMITS OF DISTURBANCE
LOS	LINE OF SIGHT
LP	LOW POINT
LS MAX	LANDSCAPE
ME	MAXIMUM MATCH EXIST
MIN	MINIMUM
MH	MANHOLE
OC	MECHANICAL JOINT ON CENTER
PC	POINT OF CURVATURE
PCCR	POINT OF COMPOUND CURVATURE, CURB RETURN
PI	POINT OF INTERSECTION
POG	POINT OF GRADE POINT OF INTEREST
PROP	PROPOSED
PT	POINT OF TANGENCY
PTCR PVC	POINT OF TANGENCY, CURB RETURN
PVI	POLYVINYL CHLORIDE PIPE POINT OF VERTICAL INTERSECTION
PVT	POINT OF VERTICAL TANGENCY
R	RADIUS
RCP RCPR	REINFORCED CONCRETE PIPE REINFORCED CONCRETE WITH RUBBER GASKET
ET-WALL	RETAINING WALL
R/W	RIGHT OF WAY
SAN	SLOPE SANITARY SEWER
SF	SANITARY SEWER SQUARE FEET
SSE	SANITARY SEWER EASEMENT
STA	STATION
STM TBR	STORM TO BE REMOVED
TBRL	TO BE RELOCATED
TC	TOP OF CURB
TEL	TELEPHONE
TP TW	TREE PROTECTION TOP OF WALL
TYP	TYPICAL TYPICAL
UG	UNDERGROUND
UP	UTILITY POLE
W/L W/M	WATER LINE WATER METER
±	PLUS OR MINUS
	DEGREE
0	
ø #	DIAMETER NUMBER

DOCUMENTS PREPARED BY CORESTATES. IN

NCLUDING THIS DOCUMENT, ARE TO BE USE INLY FOR THE SPECIFIC PROJECT AND SPEC USE FOR WHICH THEY WERE INTENDED. AN XTENSION OF USE TO ANY OTHER PROJECT Y OWNER OR BY ANY OTHER PARTY, WITHOU CORESTATES INC. IS DONE UNI AWEULLY AN OTHER THAN THAT SPECIFICALLY INTENDED FROM ALL CLAIMS AND LOSSES. CLIENT



REVISIONS

DOCUMENT CIVIL CONSTRUCTION PLANS FOR CHASE BANK

SITE LOCATION 890 NE LANGSFORD ROAD LEE'S SUMMIT, MO 64063

ENGINEER SEAL CHAD D. 台: FAIRBANKS NUMBER E-2001018726.

> SHEET TITLE GENERAL **NOTES**

JOB # JPM-27135.00 12/21/202 SCALE: AS NOTE DRAWN BY: CHECKED BY:

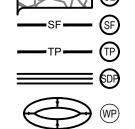


User: CFAIRBANKS Plot Date/Time: Jan. 11, 22 - 13:29:25 Drawing: C:\Users\cfairbanks\appdata\local\temp\AcPublish_21692\JPM-27135-001-P-SITE.dwg; C3 EROSION AND SEDIMENTATION CONTROL PLAN PHASE









—_LOD ——



SILT DIKE ON PAVEMENT 8" DEPRESSED AREA FOR WASH DOWN

LIMITS OF DISTURBANCE

DIRECTION OF OVERLAND FLOW

SEQUENCE OF CONSTRUCTION

GRAPHIC SCALE

INSTALL STABILIZED CONSTRUCTION EXIT(S).

- INSTALL SILT FENCE(S) AND SILT DIKE(S) ON THE SITE (CLEAR ONLY THOSE AREAS NECESSARY TO INSTALL SILT FENCE).
- PREPARE TEMPORARY PARKING AND STORAGE AREA.
- BEGIN DEMOLITION ACTIVITIES AND CLEARING AND GRUBBING THE SITE.
- BEGIN GRADING THE SITE.
- START CONSTRUCTION OF BUILDING PAD AND STRUCTURES.

- TEMPORARILY SEED, THROUGHOUT CONSTRUCTION, DENUDED AREAS THAT WILL BE INACTIVE FOR 7 DAYS OR MORE.
- INSTALL UTILITIES, UNDERDRAINS, CURBS AND GUTTERS. PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE BROUGHT TO FINAL GRADE.
- PREPARE SITE FOR PAVING. PAVE SITE.
- COMPLETE GRADING AND INSTALLATION OF PERMANENT STABILIZATION OVER ALL AREAS CALL ENGINEER OF RECORD AFTER THE SITE APPEARS TO BE FULLY STABILIZED FOR AN
- REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER APPROVAL OF
- THE ENGINEER OF RECORD AND STABILIZE ANY AREAS DISTURBED BY THE REMOVAL OF THE
- CONTINUE DAILY INSPECTION REPORTS UNTIL THE FINAL DAILY INSPECTION IS SIGNED OFF BY THE OWNER THAT THE SITE IS FULLY STABILIZED AND THE PERMIT MAY BE TERMINATED.
- CONTRACTOR TO FILE NOTICE OF TERMINATION APPLICATION TO THE APPLICABLE JURISDICTION AND SHALL PROVIDE A COPY OF APPROVAL TO THE OWNER AND ENGINEER OF
- MAINTAIN NPDES REPORT AFTER RAIN INSPECTIONS EVERY 7 DAYS.

NOTE: THE GENERAL CONTRACTOR MAY COMPLETE CONSTRUCTION-RELATED ACTIVITIES CONCURRENTLY ONLY IF ALL PRECEDING BMPS HAVE BEEN COMPLETELY INSTALLED.

ACREAGE SUMMARY (IN ACRES) 0.632 TOTAL PARCEL AREA TOTAL DISTURBED AREA 0.685 **ON-SITE DISTURBED AREA** 0.629 ON-SITE IMPERVIOUS AREA 0.417 ON-SITE PERVIOUS AREA 0.212 OFF-SITE DISTURBED AREA 0.056 OFF-SITE IMPERVIOUS AREA 0.052 OFF-SITE PERVIOUS AREA 0.004





USGS QUAD MAP

GENERAL EROSION NOTES

- 1. THE STORMWATER POLLUTION PREVENTION PLAN IS COMPRISED OF THIS DRAWING ("SITE MAP"), THE STANDARD DETAILS, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
- 2. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OR NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE IN PLACE PRIOR TO ANY OTHER CLEARING, GRUBBING, OR DEMOLITION ACTIVITIES.
- 3. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
- 4. SITE MAP MUST CLEARLY DELINEATE ALL STATE WATERS. PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
- 5. CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
- GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDED DESIGNATED WASH-OUTS FOR CONCRETE, STUCCO, ETC. THESE SHOULD BE DESIGNATED PRIOR TO CONSTRUCTION ON THE PLANS AND ESTABLISHED AT THE PRE-CONSTRUCTION
- ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
- 8. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- 10. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORMWATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- 11. NO CONSTRUCTION OR DEMOLITION IS TO BE INITIATED PRIOR TO THE INSTALLATION OF THE EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPs). ALL STORMWATER POLLUTION PREVENTION MEASURES CAN BE INITIATED AS SOON AS PRACTICAL.
- 12. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY WILL BE STOPPED FOR AT LEAST 7 DAYS, SHALL BE TEMPORARILY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 7 DAYS FROM THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS.
- 13. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN.
- 14. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE. ONLY USE INGRESS/EGRESS LOCATIONS AS PROVIDED.
- 15. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- 16. CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
- 17. ON-SITE & OFFSITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL
- 18. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
- 19. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION AND SEDIMENT CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION AND POLLUTANT DISCHARGE.
- 20. CONTRACTOR TO COORDINATE WITH OWNER FOR STOCKPILING OF STRIPED TOPSOIL AND BORROW MATERIAL ONSITE. CONTRACTOR TO PROVIDE CONSTRUCTION ENTRANCE AT STOCKPILE AREA AND OTHER APPROPRIATE BMP'S, INCLUDING BUT NOT LIMITED TO, SILT FENCE, AROUND STORAGE AREA.
- 21. SILT FENCE SHALL BE INSTALLED AT LIMITS OF DISTURBANCE. BOTH LINES ARE SHOWN FOR CLARITY ONLY.

MAINTENANCE

ALL MEASURES STATED ON THIS SITE MAP SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

- 1. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEEDED AS NEEDED.
- 2. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
- 3. THE CONSTRUCTION EXITS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC



OCUMENTS PREPARED BY CORESTATES, IN NCLUDING THIS DOCUMENT, ARE TO BE USE NLY FOR THE SPECIFIC PROJECT AND SPEC USE FOR WHICH THEY WERE INTENDED. AN TENSION OF USE TO ANY OTHER PROJECT OWNER OR BY ANY OTHER PARTY, WITHOU CORESTATES, INC. IS DONE UNLAWFULLY ANI OTHER THAN THAT SPECIFICALLY INTENDED FROM ALL CLAIMS AND LOSSES.

CLIENT



Call before you dig.

REVISIONS 02/18/21 CITY COMMENTS 04/27/21 CITY COMMENTS RJD 06/02/21 CITY COMMENTS 5 | 07/29/21 | CITY COMMENTS | CDF CITY COMMENTS & WATER LINE

DOCUMENT CIVIL CONSTRUCTION PLANS FOR CHASE

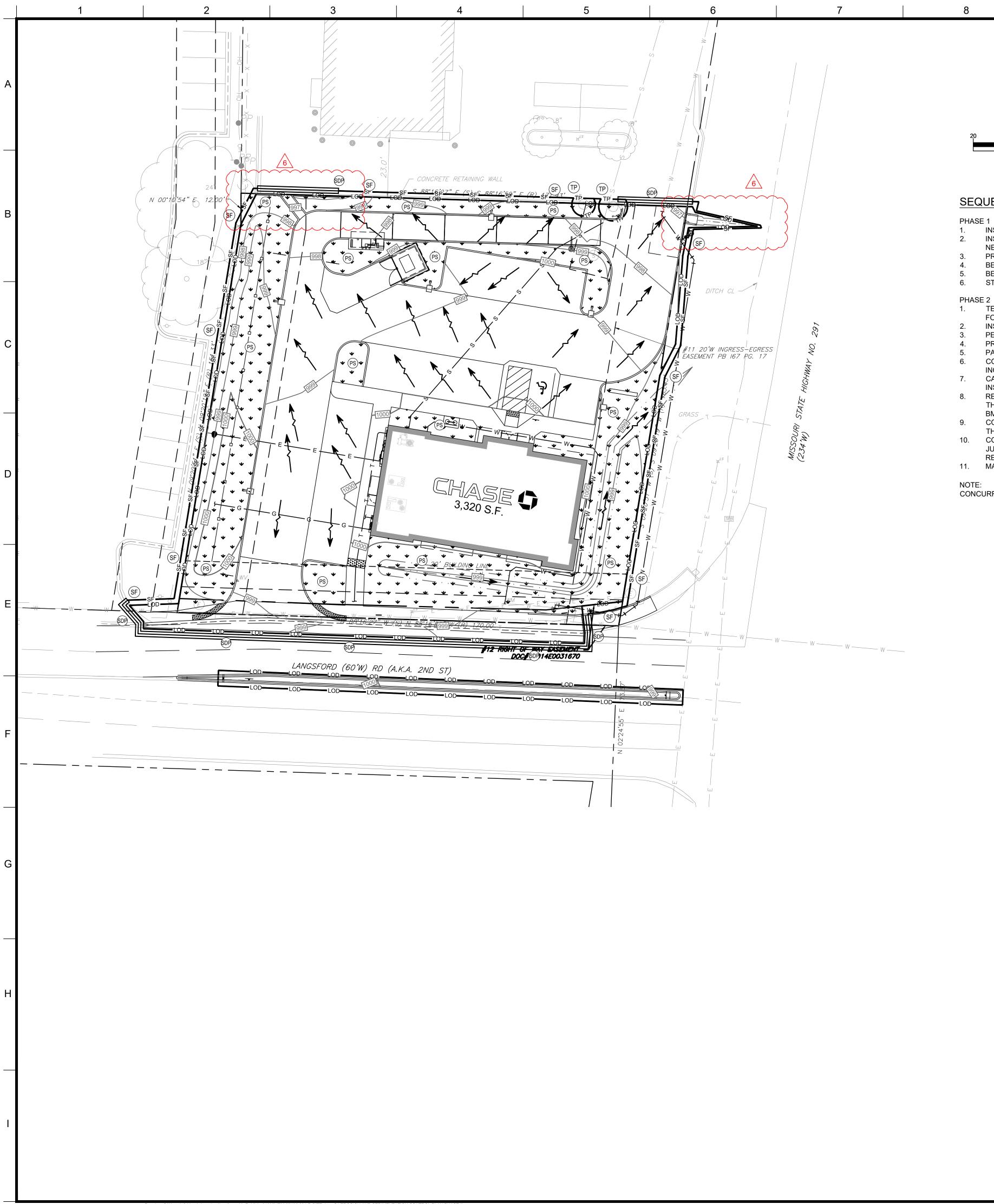
SITE LOCATION 890 NE LANGSFORD ROAD LEE'S SUMMIT, MO 64063

BANK

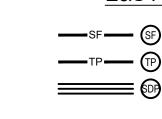
ENGINEER SEAL CHAD D. FAIRBANKS NUMBER E-2001018726 1-11-22

EROSION AND SEDIMENTATION **CONTROL PLAN PHASE I**

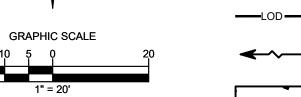
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TREE PROTECTION SILT DIKE ON PAVEMENT



LIMITS OF DISTURBANCE

OVERLAND FLOW PERMANENT SOD (OR SEED)

SEQUENCE OF CONSTRUCTION

INSTALL STABILIZED CONSTRUCTION EXIT(S).

- INSTALL SILT FENCE(S) AND SILT DIKE(S) ON THE SITE (CLEAR ONLY THOSE AREAS
- NECESSARY TO INSTALL SILT FENCE).
- PREPARE TEMPORARY PARKING AND STORAGE AREA. BEGIN DEMOLITION ACTIVITIES AND CLEARING AND GRUBBING THE SITE.
- BEGIN GRADING THE SITE.
- START CONSTRUCTION OF BUILDING PAD AND STRUCTURES.

- TEMPORARILY SEED, THROUGHOUT CONSTRUCTION, DENUDED AREAS THAT WILL BE INACTIVE
- INSTALL UTILITIES, UNDERDRAINS, CURBS AND GUTTERS. PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE BROUGHT TO FINAL GRADE.
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- REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER APPROVAL OF THE ENGINEER OF RECORD AND STABILIZE ANY AREAS DISTURBED BY THE REMOVAL OF THE
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NOTE: THE GENERAL CONTRACTOR MAY COMPLETE CONSTRUCTION-RELATED ACTIVITIES CONCURRENTLY ONLY IF ALL PRECEDING BMPS HAVE BEEN COMPLETELY INSTALLED.

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TOTAL DISTURBED AREA	0.685	
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ON-SITE IMPERVIOUS AREA	0.417	
ON-SITE PERVIOUS AREA	0.212	
OFF-SITE DISTURBED AREA	0.056	
OFF-SITE IMPERVIOUS AREA	0.052	
OFF-SITE PERVIOUS AREA	0.004	



VICINITY MAP



USGS QUAD MAP

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- BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
- 4. SITE MAP MUST CLEARLY DELINEATE ALL STATE WATERS. PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
- 5. CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
- GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDED DESIGNATED WASH-OUTS FOR CONCRETE, STUCCO, ETC. THESE SHOULD BE DESIGNATED PRIOR TO CONSTRUCTION ON THE PLANS AND ESTABLISHED AT THE PRE-CONSTRUCTION
- ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
- 8. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- 10. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORMWATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- 11. NO CONSTRUCTION OR DEMOLITION IS TO BE INITIATED PRIOR TO THE INSTALLATION OF THE EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPS). ALL STORMWATER POLLUTION PREVENTION MEASURES CAN BE INITIATED AS SOON AS PRACTICAL.
- 12. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY WILL BE STOPPED FOR AT LEAST 7 DAYS, SHALL BE TEMPORARILY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 7 DAYS FROM THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS.
- 13. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN.
- 14. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE. ONLY USE INGRESS/EGRESS LOCATIONS AS PROVIDED.
- 15. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- 16. CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
- 17. ON-SITE & OFFSITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL
- 18. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
- 19. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION AND SEDIMENT CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION AND POLLUTANT DISCHARGE.
- 20. CONTRACTOR TO COORDINATE WITH OWNER FOR STOCKPILING OF STRIPED TOPSOIL AND BORROW MATERIAL ONSITE. CONTRACTOR TO PROVIDE CONSTRUCTION ENTRANCE AT STOCKPILE AREA AND OTHER APPROPRIATE BMP'S, INCLUDING BUT NOT LIMITED TO, SILT FENCE, AROUND STORAGE AREA.
- 21. SILT FENCE SHALL BE INSTALLED AT LIMITS OF DISTURBANCE. BOTH LINES ARE SHOWN FOR CLARITY ONLY.

MAINTENANCE

ALL MEASURES STATED ON THIS SITE MAP SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

- 1. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEEDED AS NEEDED.
- 2. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
- 3. THE CONSTRUCTION EXITS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC



OCUMENTS PREPARED BY CORESTATES. IN NCLUDING THIS DOCUMENT, ARE TO BE USE INLY FOR THE SPECIFIC PROJECT AND SPEC USE FOR WHICH THEY WERE INTENDED. AN CTENSION OF USE TO ANY OTHER PROJECT Y OWNER OR BY ANY OTHER PARTY, WITHOU ORESTATES, INC. IS DONE UNLAWFULLY AN OTHER THAN THAT SPECIFICALLY INTENDED FROM ALL CLAIMS AND LOSSES.

CLIENT



REVISIONS 02/18/21 CITY COMMENTS 04/27/21 CITY COMMENTS RJE 06/02/21 CITY COMMENTS 4 07/21/21 CITY COMMENTS CDI 07/29/21 CITY COMMENTS CD WATER LINE

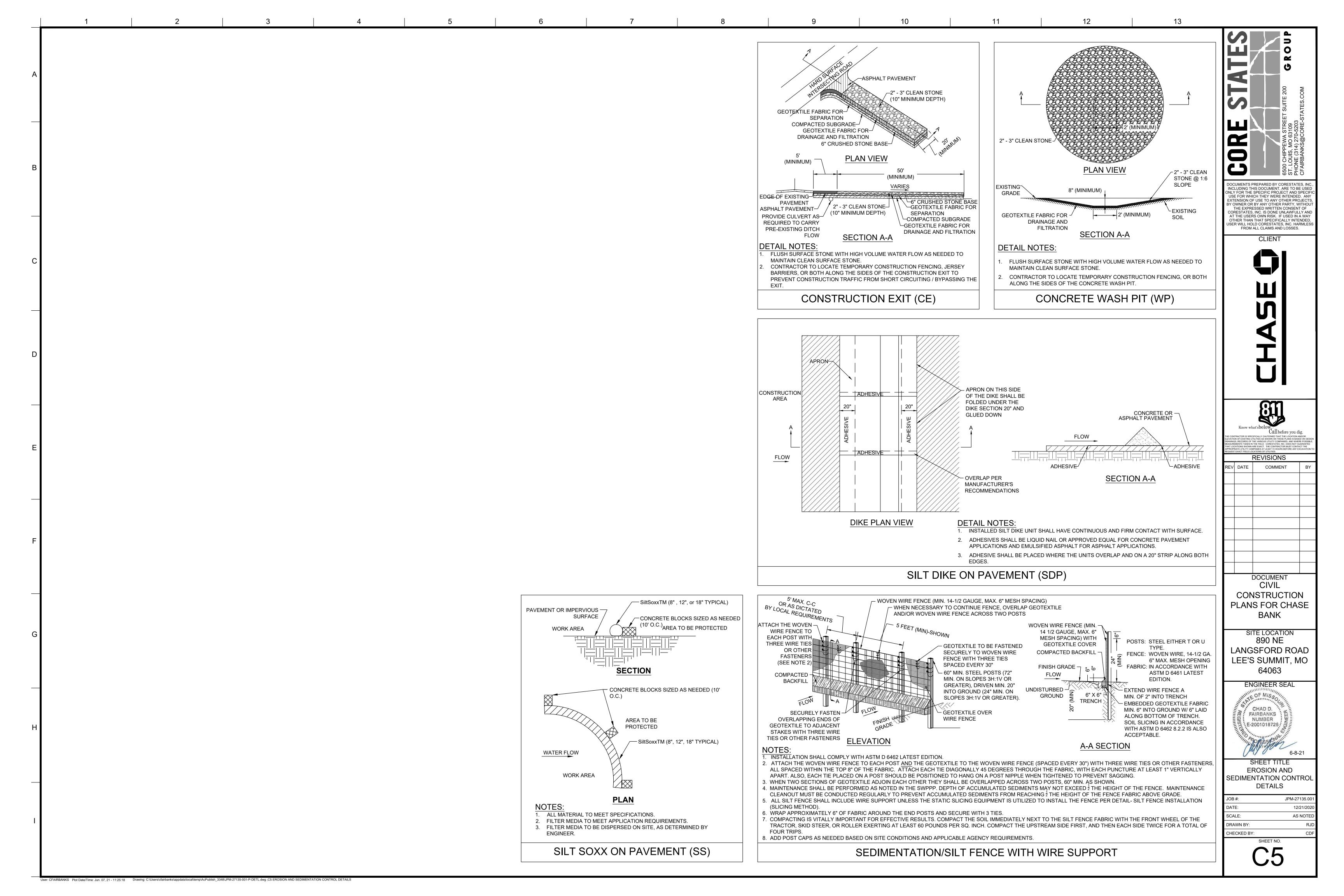
> DOCUMENT CIVIL CONSTRUCTION PLANS FOR CHASE BANK

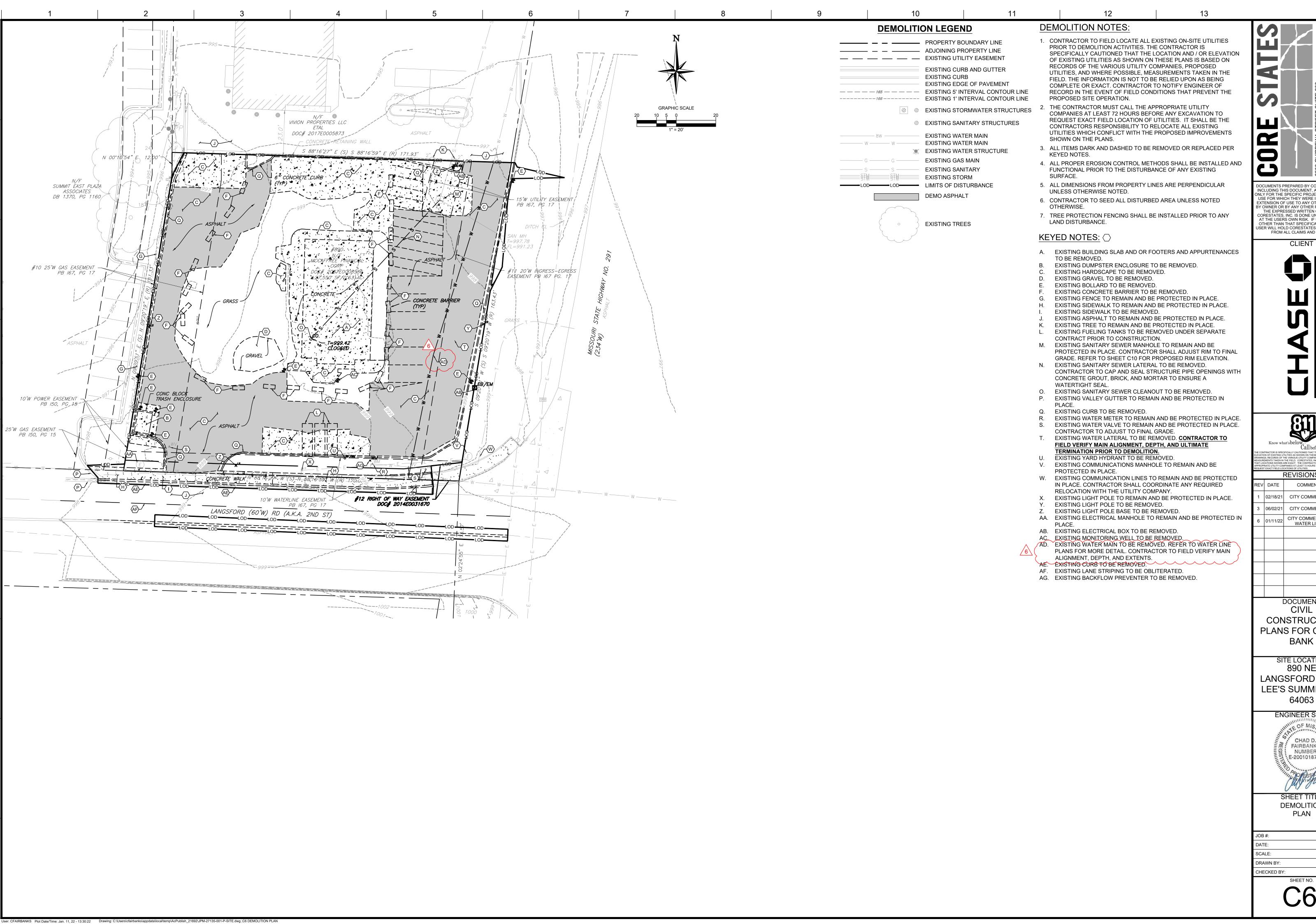
SITE LOCATION 890 NE LANGSFORD ROAD LEE'S SUMMIT, MO 64063

ENGINEER SEAL CHAD D. FAIRBANKS NUMBER E-2001018726 1-11-22

EROSION AND SEDIMENTATION CONTROL PLAN PHASE II

JPM-27135.00 12/21/2020 SCALE: 1" = 20 DRAWN BY: CHECKED BY:





DOCUMENTS PREPARED BY CORESTATES, IN NCLUDING THIS DOCUMENT, ARE TO BE USE INLY FOR THE SPECIFIC PROJECT AND SPEC USE FOR WHICH THEY WERE INTENDED. AN EXTENSION OF USE TO ANY OTHER PROJECTS BY OWNER OR BY ANY OTHER PARTY, WITHOU THE EXPRESSED WRITTEN CONSENT OF CORESTATES, INC. IS DONE UNLAWFULLY ANI AT THE USERS OWN RISK. IF USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDED USER WILL HOLD CORESTATES, INC. HARMLES FROM ALL CLAIMS AND LOSSES.





REVISIONS COMMENT 1 02/18/21 CITY COMMENTS RJD 3 06/02/21 CITY COMMENTS RJD 01/11/22 CITY COMMENTS & CE WATER LINE

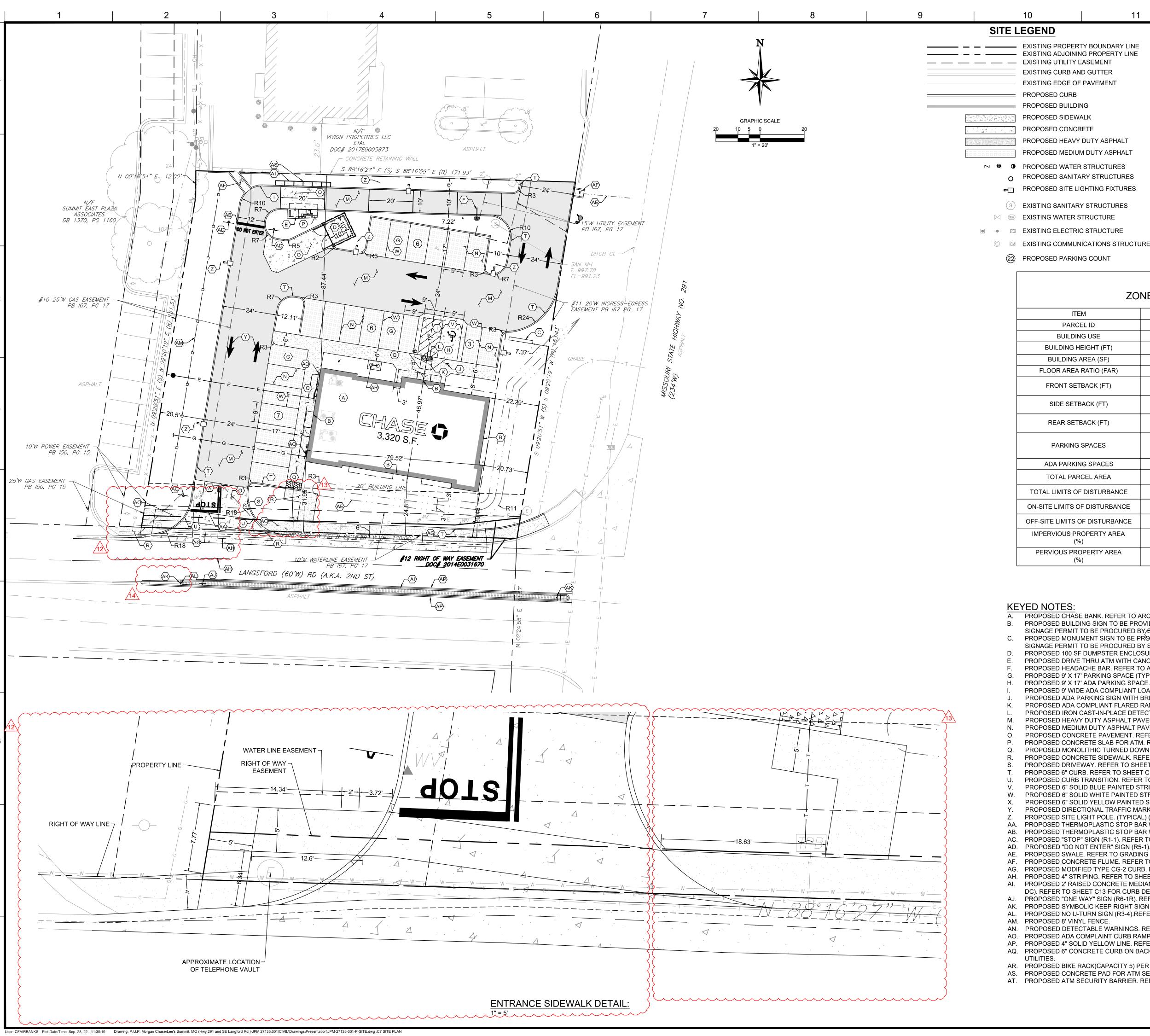
DOCUMENT CIVIL CONSTRUCTION PLANS FOR CHASE

SITE LOCATION 890 NE LANGSFORD ROAD LEE'S SUMMIT, MO



DEMOLITION PLAN

JPM-27135.00 12/21/2020 1" = 20



SITE NOTES:

- 1. REFER TO SHEET C2 FOR GENERAL NOTES.
 - 2. REFER TO SHEET C6 FOR DEMOLITION PLAN.
- 3. REFER TO SHEET C8 FOR GRADING AND DRAINAGE PLAN.
- 4. REFER TO SHEET C10 FOR UTILITY PLAN.
- 5. REFER TO LANDSCAPE PLAN.
- 6. REFER TO SHEET C14 FOR PHOTOMETRIC PLAN AND SHEETS C15-C19 FOR SITE LIGHTING DETAILS.
- 7. ALL DIMENSIONS ARE TO GROUND LEVEL IMPROVEMENTS (FACE OF CURB, CONCRETE SLAB, ETC.) UNLESS NOTED OTHERWISE. REFER TO ARCHITECTURAL PLANS FOR BUILDING DETAILS.
- 8. ALL DIMENSIONS FROM PROPERTY LINES ARE PERPENDICULAR UNLESS OTHERWISE NOTED.
- 9. CONTRACTOR TO SEED ALL DISTURBED AREA UNLESS NOTED
- 10. CONTRACTOR TO INSTALL ASPHALT PAVEMENT IN ALL DRIVING AREAS

REFER TO SHEET C10 FOR ASPHALT PAVING DETAILS.

NCLUDING THIS DOCUMENT, ARE TO BE USE ONLY FOR THE SPECIFIC PROJECT AND SPECI USE FOR WHICH THEY WERE INTENDED. AN EXTENSION OF USE TO ANY OTHER PROJECTS BY OWNER OR BY ANY OTHER PARTY, WITHOL THE EXPRESSED WRITTEN CONSENT OF CORESTATES, INC. IS DONE UNLAWFULLY ANI AT THE USERS OWN RISK. IF USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDED JSER WILL HOLD CORESTATES, INC. HARMLE: FROM ALL CLAIMS AND LOSSES.

CLIENT

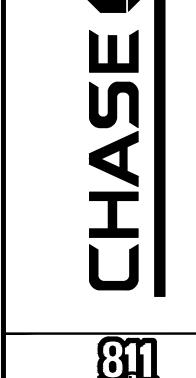
DOCUMENTS PREPARED BY CORESTATES IN

ZONING DATA ZONED C-2 - GENERAL BUSINESS

ITEM	EXISTING / REQUIRED	PROPOSED
PARCEL ID	61-210-11-37-02-0-000	61-210-11-37-02-0-00-000
BUILDING USE	VACANT PAVED LOT (EXISTING)	BANKING FACILITY
BUILDING HEIGHT (FT)	MAX: 40'	21'-6"
BUILDING AREA (SF)	0 SF (EXISTING)	3,320 SF
FLOOR AREA RATIO (FAR)	0.55 (MAXIMUM)	0.12 (PROPOSED)
FRONT SETBACK (FT)	20' (SOUTH) (MINIMUM) 15' (EAST) (MINIMUM)	20.48' (SOUTH) 20.73' (EAST)
SIDE SETBACK (FT)	10' (MINIMUM)	N/A
REAR SETBACK (FT)	20' (MINIMUM)	87.44' (NORTH) 68.5' (WEST)
PARKING SPACES	4 SPACES / 1,000 SF = 14 SPACES MINIMUM	22 SPACES (INCLUDING 1 ADA SPACES)
ADA PARKING SPACES	1 SPACES (MINIMUM)	1 SPACES
TOTAL PARCEL AREA	0.632 AC (27,550 SF)	0.632 AC (27,550 SF)
TOTAL LIMITS OF DISTURBANCE	N/A	0.682 AC (29,716 SF)
ON-SITE LIMITS OF DISTURBANCE	N/A	0.629 AC (27,390 SF)
OFF-SITE LIMITS OF DISTURBANCE	N/A	0.056 AC (2,454 SF)
IMPERVIOUS PROPERTY AREA (%)	0.613 AC (21,369 SF) 77.56% (EXISTING)	0.418 AC (20,415 SF) 68.70%
PERVIOUS PROPERTY AREA (%)	0.142 AC (6,181 SF) 22.44% (EXISTING)	0.214 AC (9,301 SF) 31.30%

KEYED NOTES:

- A. PROPOSED CHASE BANK. REFER TO ARCHITECTURAL PLANS FOR DETAILS AND ELEVATIONS.
- PROPOSED BUILDING SIGN TO BE PROVIDED AND INSTALLED BY OTHERS. REFER TO SIGNAGE PACKAGE BY VENDOR. SIGNAGE PERMIT TO BE PROCURED BY/SIGNAGE VENDOR.
- PROPOSED MONUMENT SIGN TO BE PROVIDED AND INSTALLED BY OTHERS. REFER TO SIGNAGE PACKAGE BY VENDOR. SIGNAGE PERMIT TO BE PROCURED BY SIGNAGE VENDOR.
- PROPOSED 100 SF DUMPSTER ENCLOSURE. REFER TO ARCHITECTURAL PLANS FOR DETAILS AND ELEVATIONS.
- PROPOSED DRIVE THRU ATM WITH CANOPY. REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS AND ELEVATIONS. PROPOSED HEADACHE BAR. REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS AND ELEVATIONS.
- PROPOSED 9' X 17' PARKING SPACE (TYPICAL).
- PROPOSED 9' X 17' ADA PARKING SPACE. REFER TO SHEET C11 FOR DETAIL.
- PROPOSED 9' WIDE ADA COMPLIANT LOADING AREA. REFER TO SHEET C11 FOR DETAILS. PROPOSED ADA PARKING SIGN WITH BREAK AWAY POST. REFER TO SHEET C12 FOR DETAIL.
- PROPOSED ADA COMPLIANT FLARED RAMP. REFER TO SHEET C11 FOR DETAILS. PROPOSED IRON CAST-IN-PLACE DETECTABLE WARNINGS. REFER TO SHEET C11 FOR DETAILS.
- PROPOSED HEAVY DUTY ASPHALT PAVEMENT (TYPICAL). REFER TO SHEET C11 FOR DETAIL.
- PROPOSED MEDIUM DUTY ASPHALT PAVEMENT. REFER TO SHEET C11 FOR DETAIL. PROPOSED CONCRETE PAVEMENT. REFER TO SHEET C11 FOR DETAIL.
- PROPOSED CONCRETE SLAB FOR ATM. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
- PROPOSED MONOLITHIC TURNED DOWN CONCRETE SIDEWALK. REFER TO SHEET C11 FOR DETAIL.
- PROPOSED CONCRETE SIDEWALK. REFER TO SHEET C13 FOR DETAIL. PROPOSED DRIVEWAY. REFER TO SHEET C13 FOR DETAIL.
- PROPOSED 6" CURB. REFER TO SHEET C13 FOR DETAIL.
- PROPOSED CURB TRANSITION. REFER TO SHEET C12 FOR DETAIL. PROPOSED 6" SOLID BLUE PAINTED STRIPE (TYPICAL). REFER TO SHEET C11 FOR DETAIL.
- PROPOSED 6" SOLID WHITE PAINTED STRIPE (TYPICAL). REFER TO SHEET C11 FOR DETAIL.
- PROPOSED 6" SOLID YELLOW PAINTED STRIPE. REFER TO SHEET C11 FOR DETAIL. PROPOSED DIRECTIONAL TRAFFIC MARKING (TYPICAL). REFER TO SHEET C12 FOR DETAIL.
- PROPOSED SITE LIGHT POLE. (TYPICAL) (SEE NOTE #6).
- AA. PROPOSED THERMOPLASTIC STOP BAR WITH "STOP" TEXT. REFER TO SHEET C12 FOR DETAIL. AB. PROPOSED THERMOPLASTIC STOP BAR WITH "STOP" AND "DO NOT ENTER" TEXT. REFER TO SHEET C12 FOR DETAIL.
- AC. PROPOSED "STOP" SIGN (R1-1). REFER TO SHEET C11 FOR DETAIL.
- AD. PROPOSED "DO NOT ENTER" SIGN (R5-1). REFER TO SHEET C11 FOR DETAILS. AE. PROPOSED SWALE. REFER TO GRADING AND DRAINAGE PLAN FOR ELEVATIONS.
- AF. PROPOSED CONCRETE FLUME. REFER TO SHEET C12 FOR DETAIL.
- AG. PROPOSED MODIFIED TYPE CG-2 CURB. REFER TO SHEET C13 FOR DETAIL.
- AH. PROPOSED 4" STRIPING. REFER TO SHEET C20 FOR DETAIL.
- PROPOSED 2' RAISED CONCRETE MEDIAN (RED BRICK-STAMPED) WITH CITY OF LEE'S SUMMIT DOWELLED CURB (TYPE DC). REFER TO SHEET C13 FOR CURB DETAIL AND C20 FOR DETAIL.
- AJ. PROPOSED "ONE WAY" SIGN (R6-1R). REFER TO SHEET C11 FOR DETAIL.
- AK. PROPOSED SYMBOLIC KEEP RIGHT SIGN (R4-7) AND OBJECT MARKER SIGN (OM1-3). REFER TO SHEET C20 FOR DETAIL.
- PROPOSED NO U-TURN SIGN (R3-4).REFER TO SHEET C20 FOR DETAIL.
- AM. PROPOSED 8' VINYL FENCE.
- AN. PROPOSED DETECTABLE WARNINGS. REFER TO SHEET C11 FOR DETAILS.
- AO. PROPOSED ADA COMPLAINT CURB RAMP. REFER TO SHEET C25 FOR DETAILS.
- AP. PROPOSED 4" SOLID YELLOW LINE. REFER TO SHEET C20 FOR DETAIL. AQ. PROPOSED 6" CONCRETE CURB ON BACK OF SIDEWALK. TO BE INTEGRAL TO SIDEWALK AND UNDER ALL PROTRUDING
- AR. PROPOSED BIKE RACK(CAPACITY 5) PER CHASE SPECIFICATION.
- AS. PROPOSED CONCRETE PAD FOR ATM SECURITY BARRIER. AT. PROPOSED ATM SECURITY BARRIER. REFER TO SHEET C25 FOR DETAILS.



ELEVATION DRAWING MEASURI THAT LOG APPROPRIES	Know what's below. Call before you dig. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON DESIGN DRAWNINGS, RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. CORESTATES, INC. DOES NOT GUARANTEE HAT LOCATIONS SHOWN ARE EXACT. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES.				
		REVISIONS			
REV	DATE	COMMENT	BY		
1	02/18/21	CITY COMMENTS	RJD		
2	04/27/21	CITY COMMENTS	RJD		
3	06/02/21	CITY COMMENTS	RJD		
6	01/11/22	CITY COMMENTS & WATER LINE	CDF		
7	03/04/22	CITY COMMENT / ATM SECURITY WALL	CDF		
12	08/26/22	ENTRANCE SIDEWALK	CDF		
13	09/01/22	SIDEWALK CONNECT	CDF		
14	09/28/22	MEDIAN CHANGE	CDF		

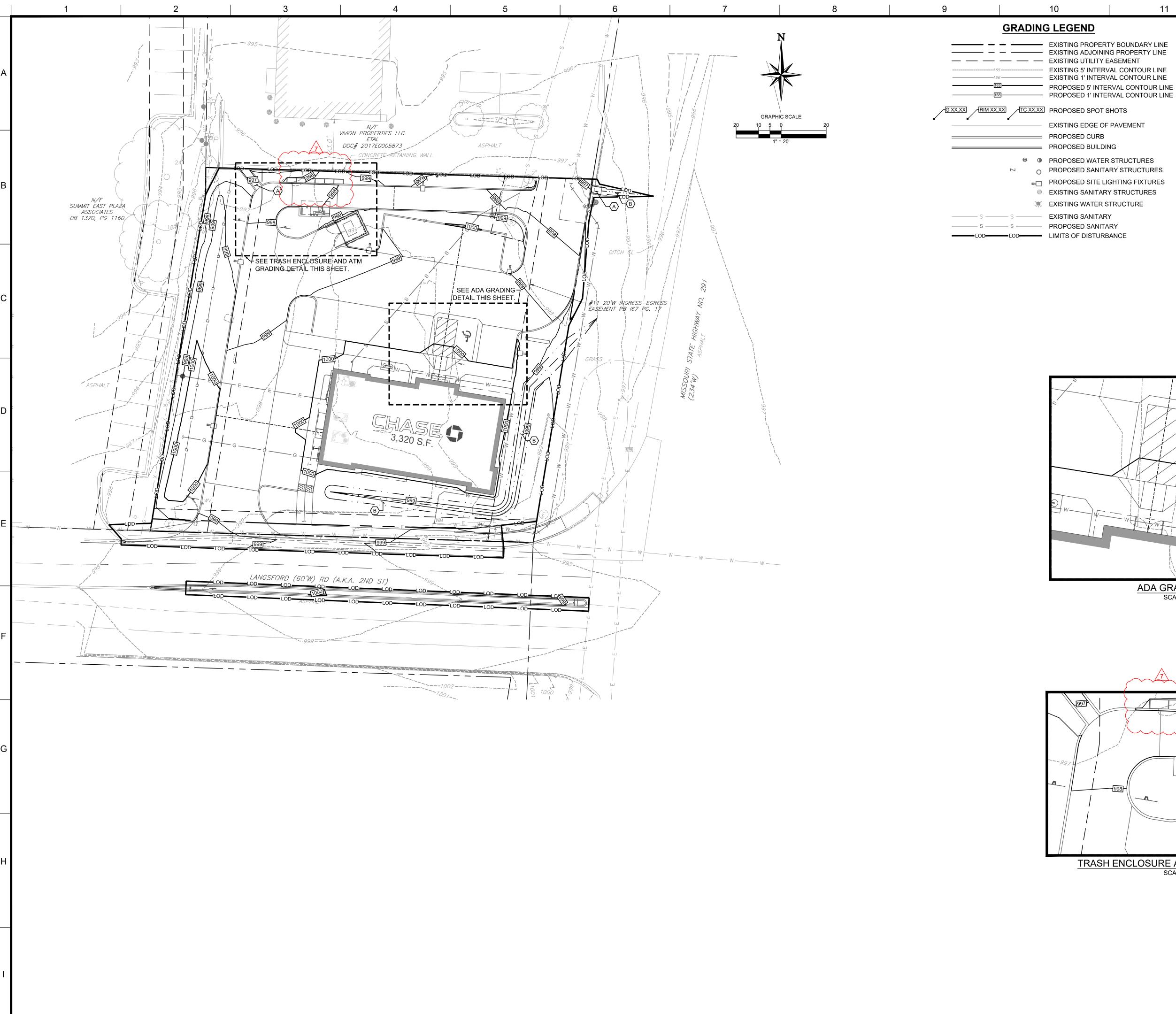
DOCUMENT CIVIL CONSTRUCTION PLANS FOR CHASE BANK

SITE LOCATION 890 NE LANGSFORD ROAD LEE'S SUMMIT, MO 64063

ENGINEER SEAL CHAD D. FAIRBANKS NUMBER E-2001018726:

> SHEET TITLE SITE PLAN

JOB #:	JPM-27135.001
DATE:	12/21/2020
SCALE:	1" = 20'
DRAWN BY:	RJD
CUECKED DV	CDE



User: CFAIRBANKS Plot Date/Time: Mar. 04, 22 - 10:58:52 Drawing: P:\J.P. Morgan Chase\Lee's Summit, MO (Hwy 291 and SE Langford Rd.)-JPM.27135.001\CIVIL\Drawings\Presentation\JPM-27135-001-P-SITE.dwg; C8 GRADING AND DRAINAGE PLAN

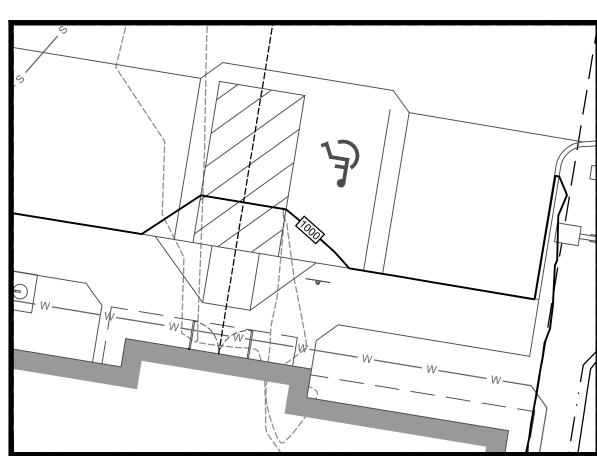
GRADING NOTES:

- 1. REFER TO SHEET C2 FOR GENERAL NOTES.
- 2. ALL DIMENSIONS ARE TO GROUND LEVEL IMPROVEMENTS (FACE OF CURB, CONCRETE SLAB, ETC.) UNLESS NOTED OTHERWISE. REFER TO ARCHITECTURAL PLANS FOR BUILDING DETAILS.
- 3. ALL DIMENSIONS FROM PROPERTY LINES ARE PERPENDICULAR UNLESS OTHERWISE NOTED.
- 4. CONTRACTOR TO SEED ALL DISTURBED AREA UNLESS NOTED
- 5. CONTRACTOR TO INSTALL ASPHALT PAVEMENT IN ALL DRIVING AREAS. REFER TO SHEET C11 FOR ASPHALT PAVING DETAILS.

GENERAL NOTES:

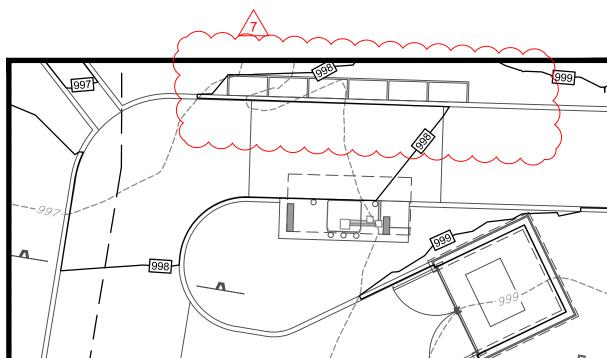
- 1. RETENTION / DETENTION AREAS MUST BE STABILIZED WITH SOD UNLESS AN ALTERNATIVE METHOD IS SPECIFICALLY PERMITTED PRIOR TO PLAN APPROVAL. NO ORGANIC MULCH WILL BE PERMITTED IN OR ADJOINING RETENTION / DETENTION AREA.
- 2. THE PROJECT OWNER IS RESPONSIBLE FOR THE PERPETUAL MAINTENANCE OF ALL FEATURES OF THE SURFACE WATER MANAGEMENT SYSTEM AS OUTLINED ON THE DRAINAGE PLAN.
- 3. SITE DATUM ELEVATION: ELEVATIONS SHOWN ARE IN FEET ABOVE THE NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D. 88) BASED ON MODOT VRS NETWORK. CONVERSION FROM NAVD 88 TO NGVD 29, NAVD 88 + 0.085' = NGVD 29.

- KEYED NOTES: \bigcirc A. PROPOSED 3' WIDE CONCRETE FLUME.
- B. PROPOSED SWALE.



ADA GRADING DETAIL

SCALE = 1" = 10'



TRASH ENCLOSURE AND ATM GRADING DETAIL

SCALE = 1" = 10'

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CLIENT

REVISIONS 1 02/18/21 CITY COMMENTS 3 06/02/21 CITY COMMENTS RJD CITY COMMENTS & CD! WATER LINE 03/04/22 CITY COMMENT / ATM SECURITY WALL CDF

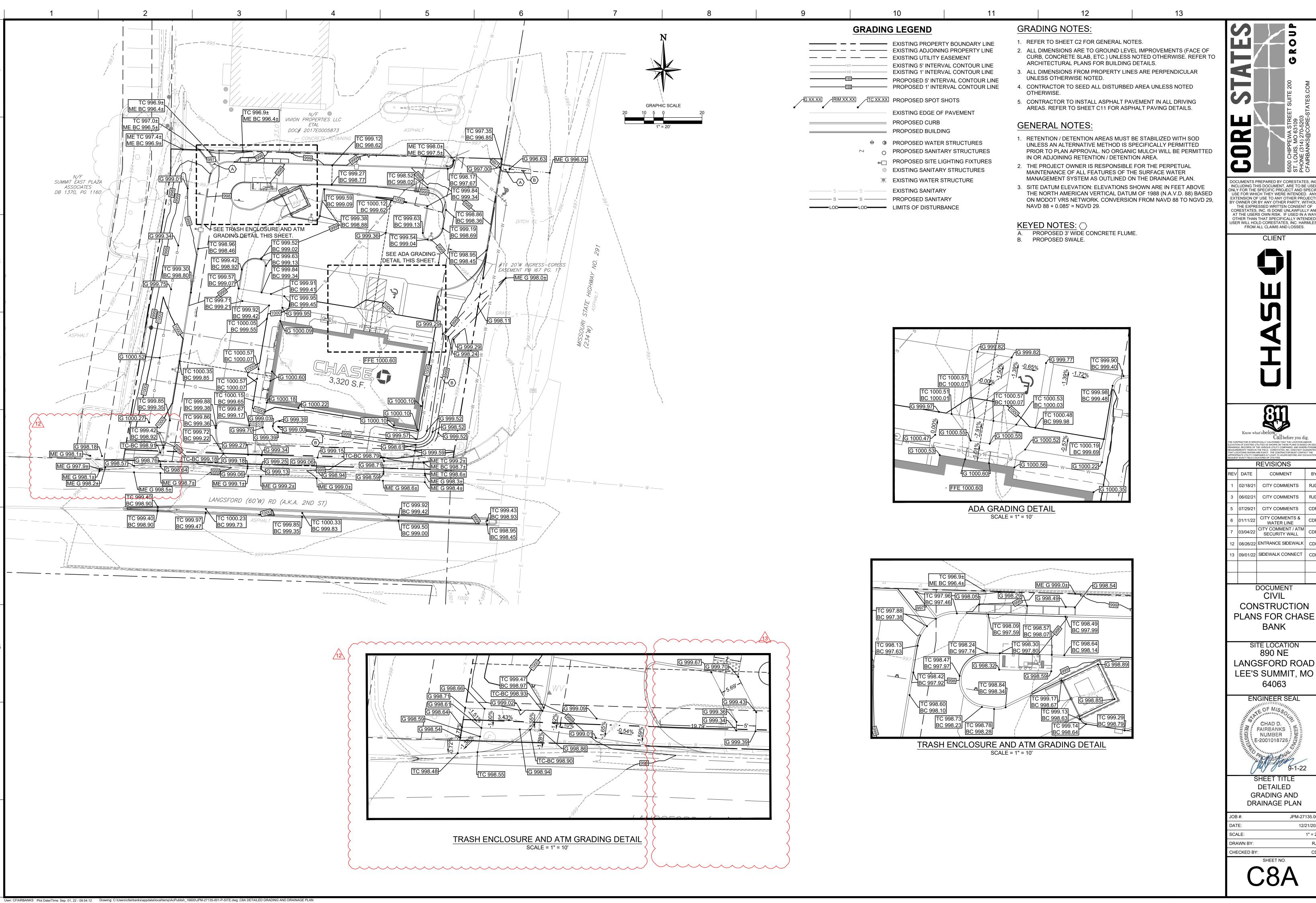
DOCUMENT CIVIL CONSTRUCTION PLANS FOR CHASE **BANK**

SITE LOCATION 890 NE LANGSFORD ROAD LEE'S SUMMIT, MO 64063

ENGINEER SEAL CHAD D. FAIRBANKS NUMBER E-2001018726

SHEET TITLE **GRADING AND** DRAINAGE PLAN

JOB #:		JPM-27135.001
DATE:		12/21/2020
SCALE:		1" = 20'
DRAWN BY:		RJD
CHECKED BY:		CDF
	SHEET NO	





Call before you dig. REVISIONS 02/18/21 CITY COMMENTS

06/02/21 CITY COMMENTS 07/29/21 CITY COMMENTS 01/11/22 CITY COMMENTS & CD WATER LINE CITY COMMENT / ATM 03/04/22 SECURITY WALL 08/26/22 ENTRANCE SIDEWALK | CDI 3 | 09/01/22 | SIDEWALK CONNECT | CDF

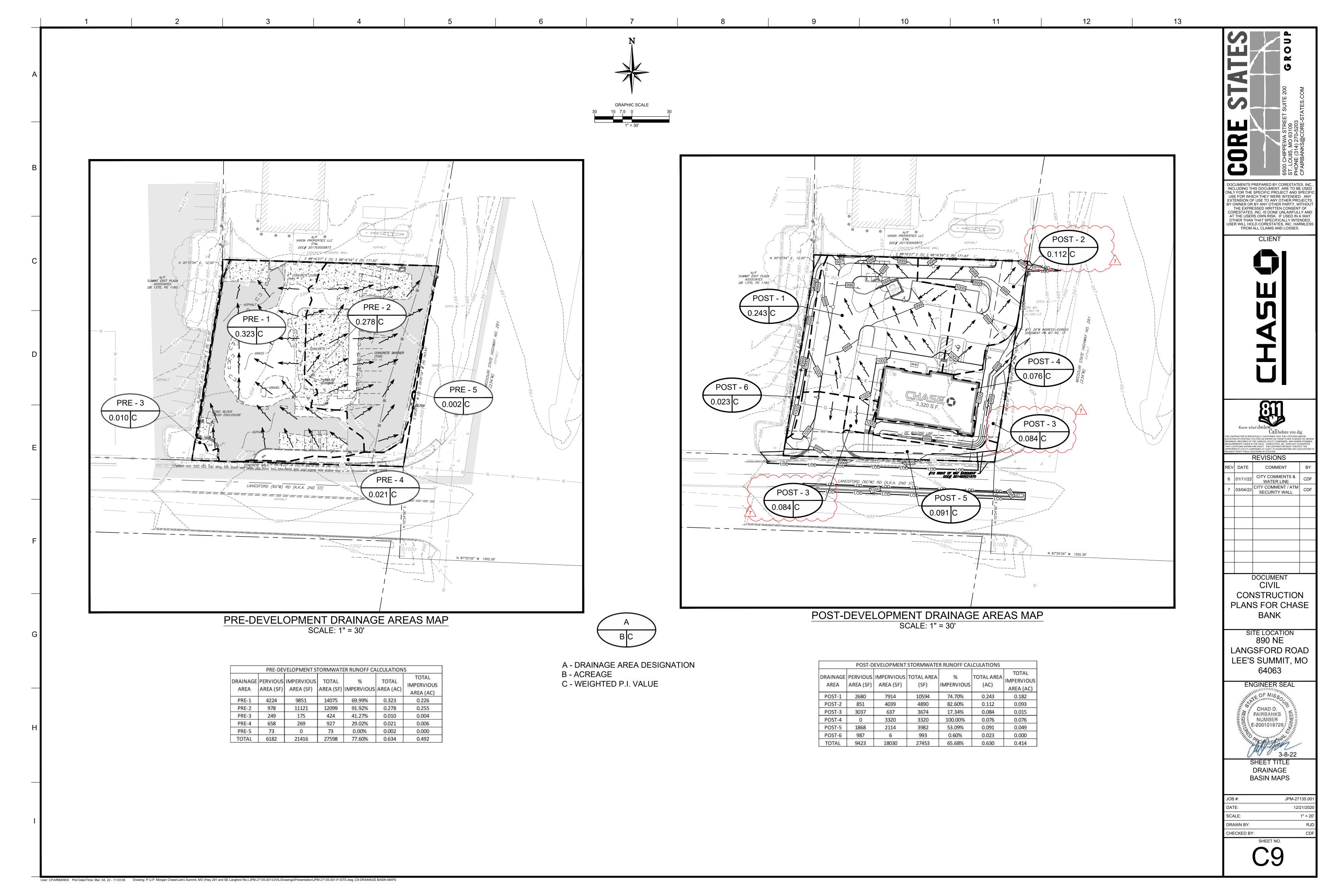
DOCUMENT CIVIL CONSTRUCTION PLANS FOR CHASE

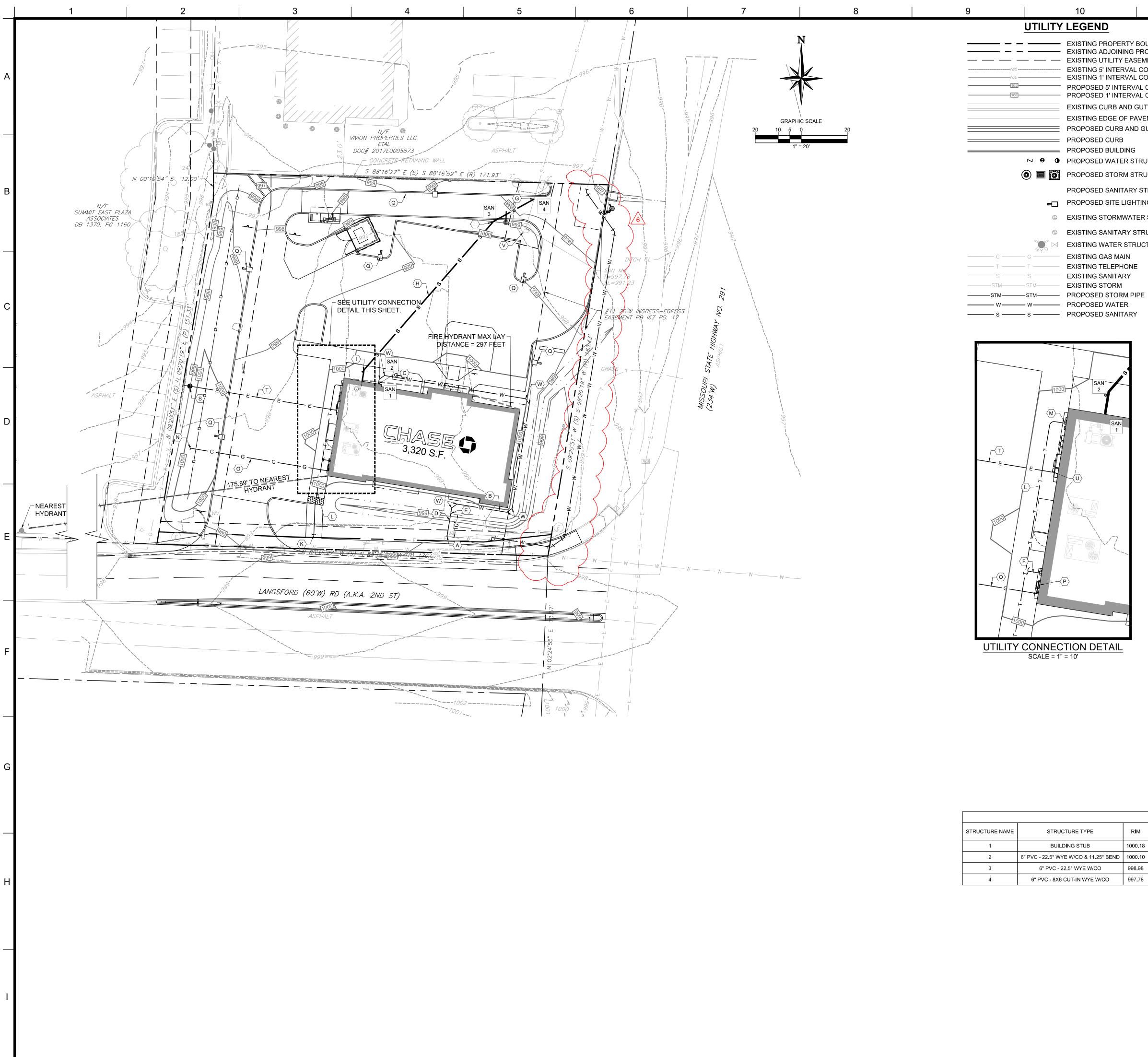
SITE LOCATION 890 NE LANGSFORD ROAD LEE'S SUMMIT, MO 64063



SHEET TITLE DETAILED **GRADING AND** DRAINAGE PLAN

JOB #:	JPM-27135.001
DATE:	12/21/2020
SCALE:	1" = 20'
DRAWN BY:	RJD
CHECKED BY:	CDF





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UTILITY LEGEND UTILITY NOTES:

EXISTING PROPERTY BOUNDARY LINE

PROPOSED 5' INTERVAL CONTOUR LINE

EXISTING CURB AND GUTTER EXISTING EDGE OF PAVEMENT

PROPOSED CURB AND GUTTER

— — EXISTING UTILITY EASEMENT

PROPOSED CURB

— PROPOSED BUILDING

→ ● PROPOSED WATER STRUCTURES

(a) PROPOSED STORM STRUCTURES

— EXISTING ADJOINING PROPERTY LINE

EXISTING 5' INTERVAL CONTOUR LINE EXISTING 1' INTERVAL CONTOUR LINE

PROPOSED 1' INTERVAL CONTOUR LINE

PROPOSED SANITARY STRUCTURES

PROPOSED SITE LIGHTING FIXTURES

EXISTING SANITARY STRUCTURES

M EXISTING WATER STRUCTURE

EXISTING GAS MAIN

EXISTING SANITARY

EXISTING STORM

SCALE = 1" = 10'

EXISTING TELEPHONE

EXISTING STORMWATER STRUCTURES

- 1. REFER TO SHEET C2 FOR GENERAL NOTES.
 - 2. REFER TO SHEET C6 FOR EXISTING CONDITIONS.
- 3. REFER TO SHEET C7 FOR SITE PLAN.
- 4. REFER TO SHEET C8 FOR GRADING AND DRAINAGE PLAN.
- 5. REFER TO LANDSCAPE PLAN.
- 6. REFER TO SHEETS C14 FOR PHOTOMETRIC PLAN AND SITE LIGHTING
- 7. REFER TO ARCHITECTURAL PLANS FOR SITE ELECTRICAL PLANS.
- 8. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND / OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING COMPLETE OR EXACT. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- 9. ELEVATIONS SHOWN ARE IN FEET ABOVE THE NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D. 88) BASED ON MODOT VRS NETWORK. CONVERSION FROM NAVD 88 TO NGVD 29, NAVD 88 - 0.354' :

6 10. SEE SEPARATE WATER LINE DRAWINGS FOR WATER LINE DEMOLITION AND RELOCATION.



- A. PROPOSED DOMESTIC WATER SERVICE POINT OF CONNECTION AT EXISTING WATER METER. CONTRACTOR SHALL COORDINATE WITH THE CITY OF LEE'S SUMMIT.
- PROPOSED 1-1/2" COPPER DOMESTIC WATER SERVICE. PROPOSED LOCATION FOR POTABLE WATER TIE IN TO THE BUILDING. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
- PROPOSED 2" SOFT TYPE K COPPER SERVICE LATERAL TO EXTEND A MINIMUM OF 10 FEET PAST THE METER.
- PROPOSED 2" X 1.5" REDUCER TO BE INSTALLED A MINIMUM OF 10 FEET PAST THE METER.
- PROPOSED 1-1/2" PVC IRRIGATION STUB FROM BUILDING. SEE IRRIGATION PLAN FOR CONTINUATION.
- PROPOSED 8" X 6" CUT-IN WYE AND POINT OF CONNECTION FOR SANITARY SEWER SERVICE AT 8" SANITARY SEWER LATERAL.
- PROPOSED 6" (SDR 35) PVC SANITARY SEWER SERVICE. SANITARY SEWER PIPE TO BE RUN AT MINIMUM SLOPE OF 2.00%.
- PROPOSED SANITARY SEWER CLEANOUT LOCATION. REFER TO SHEET C12 FOR DETAIL.
- PROPOSED LOCATION FOR SANITARY SEWER TIE IN TO THE BUILDING. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
- PROPOSED POINT OF CONNECTION FOR UNDERGROUND TELEPHONE/CABLE SERVICE. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANY.
- PROPOSED (2) 2" CONDUITS FOR TELEPHONE/CABLE SERVICE. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANY FOR
- SERVICE SPECIFICATIONS. PROPOSED LOCATION FOR UNDERGROUND TELEPHONE/CABLE TIE
- IN TO THE BUILDING. REFER TO ELECTRICAL PLANS FOR DETAILS. PROPOSED GAS SERVICE CONNECTION AT EXISTING GAS LATERAL CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANY
- O. PROPOSED GAS LINE. CONTRACTOR SHALL COORDINATE WITH
- UTILITY COMPANY (EVERGY). P. PROPOSED GAS METER. CONTRACTOR SHALL COORDINATE WITH
- UTILITY COMPANY (EVERGY).
- Q. PROPOSED SITE LIGHTING FIXTURE (SEE PHOTOMETRIC PLAN). REFER TO SHEET C15, C16, C17, & C18 FOR DETAILS. PROPOSED (2) 3/4" UNDERGROUND ELECTRICAL CONDUITS FOR
- MONUMENT SIGN. ALIGNMENT OF UNDERGROUND CONDUITS ARE FOR GENERAL LOCATION ONLY. CONTRACTOR TO INSTALL UNDERGROUND CONDUITS TO PREVENT CONFLICTS AND FACILITATED PROPOSED WIRING SCHEMATIC.
- PROPOSED UTILITY POLE WITH TRANSFORMERS AND POINT OF CONNECTION FOR UNDERGROUND ELECTRIC SERVICE. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANY
- (EVERGY). CONTRACTOR SHALL PROVIDE 4" UNDERGROUND SECONDARY CONDUITS SIZED FOR 400A, 3-PHASE ELECTRICAL SERVICE. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANY
- (EVERGY). PROPOSED WALL MOUNTED ELECTRIC METER AND MANUAL TRANSFER SWITCH. CONTRACTOR SHALL COORDINATE WITH ELECTRICAL COMPANY (EVERGY). REFER TO ELECTRICAL PLANS FOR DETAILS.
- V. EXISTING SANITARY SEWER MANHOLE TO BE ADJUSTED TO FINAL
- W. PROPOSED $1\frac{1}{2}$ " COPPER 45° FITTING.

SANITARY STRUCTURE TABLE RIM UPSTREAM UPSTREAM DOWNSTREAM DOWNSTREAM DOWNSTREAM DOWNSTREAM DOWNSTREAM STRUCTURE NAME STRUCTURE TYPE | PIPE NAME | PIPE INV | PIPE NAME PIPE INV PIPE LENGTH | PIPE SIZE AND TYPE | PIPE SLOPE BUILDING STUB SAN 1-2 996.67' 5.00' 6" PVC 2.00% 6" PVC - 22.5° WYE W/CO & 11.25° BEND | 1000.10 | SAN 1-2 996.57' SAN 2-3 996.57' 85.59' 6" PVC 1.39% 6" PVC - 22.5° WYE W/CO 998.98 SAN 2-3 995.38' SAN 3-4 995.38' 20.12' 6" PVC 21.68% 3 6" PVC - 8X6 CUT-IN WYE W/CO 997.78 SAN 3-4 991.01'



DOCUMENTS PREPARED BY CORESTATES, IN NCLUDING THIS DOCUMENT, ARE TO BE USE INLY FOR THE SPECIFIC PROJECT AND SPEC USE FOR WHICH THEY WERE INTENDED. AN EXTENSION OF USE TO ANY OTHER PROJECTS BY OWNER OR BY ANY OTHER PARTY, WITHOU ORESTATES, INC. IS DONE UNLAWFULLY AN OTHER THAN THAT SPECIFICALLY INTENDED

CLIENT

FROM ALL CLAIMS AND LOSSES.





REVISIONS 02/18/21 CITY COMMENTS 04/27/21 CITY COMMENTS RJD 06/02/21 CITY COMMENTS 4 07/21/21 CITY COMMENTS CD 01/11/22 CITY COMMENTS & WATER LINE

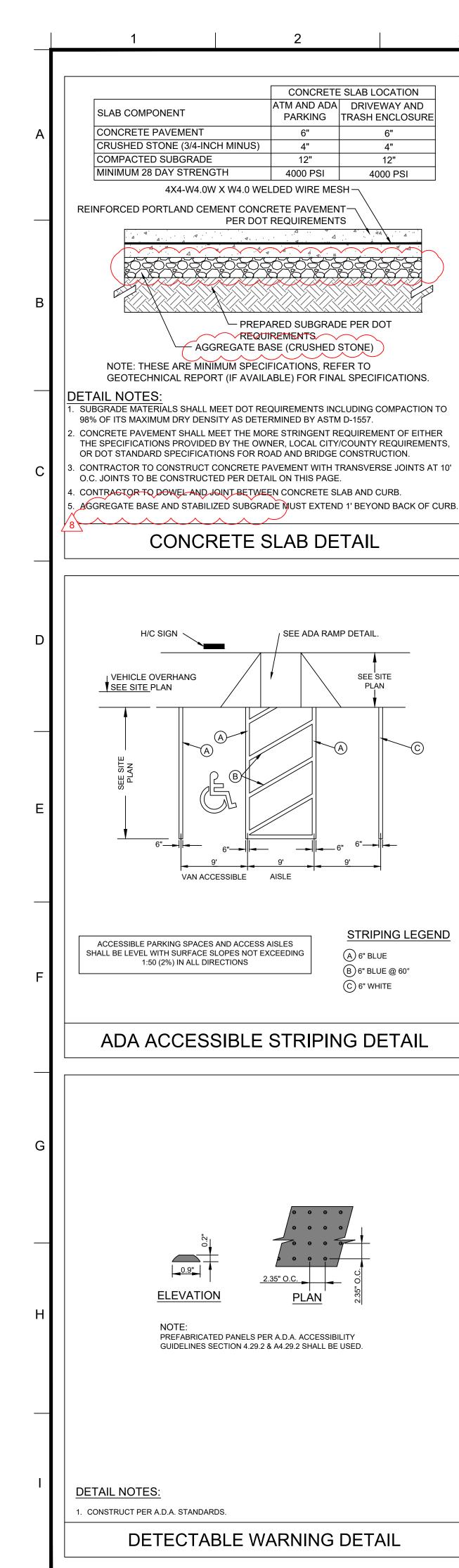
> DOCUMENT CIVIL CONSTRUCTION PLANS FOR CHASE BANK

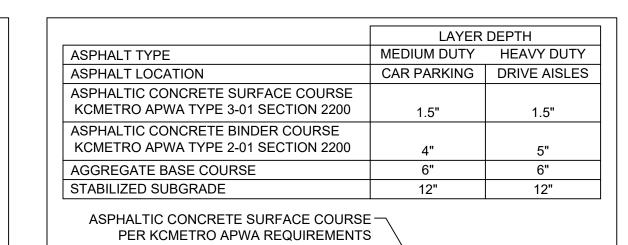
SITE LOCATION 890 NE LANGSFORD ROAD LEE'S SUMMIT, MO 64063



UTILITY PLAN

JOB #:	JPM-27135.001
DATE:	12/21/2020
SCALE:	1" = 20'
DRAWN BY:	RJD
CHECKED BY:	CDF





AGGREGATE BASE COURSE-STABILIZED SUBGRADE TO 98% —

PER KCMETRO APWA

REQUIREMENTS

OR GREATER OF MAXIMUM DRY DENSITY PER ASTM D-1557 AND PER KCMETRO APWA

CONCRETE SLAB LOCATION

PARKING TRASH ENCLOSURE

4"

12"

4000 PSI

ATM AND ADA DRIVEWAY AND

4"

12"

4000 PSI

SEE ADA RAMP DETAIL.

SEE SITE

STRIPING LEGEND

(B) 6" BLUE @ 60°

ser: CFAIRBANKS Plot Date/Time: Mar. 17, 22 - 09:32:16 Drawing: P:\J.P. Morgan Chase\Lee's Summit, MO (Hwy 291 and SE Langford Rd.)-JPM.27135.001\CIVIL\Drawings\Presentation\JPM-27135-001-P-DETL.dwg; C11 CONSTRUCTION DETAILS

(C) 6" WHITE

REQUIREMENTS NOTE: THESE ARE MINIMUM SPECIFICATIONS, REFER TO GEOTECHNICAL REPORT & KCMETRO APWA SPECIFICATIONS FOR FINAL SPECIFICATIONS. **DETAIL NOTES:**

AGGREGATE BASE COURSE SHALL BE PER KCMETRO APWA SECTION 2203

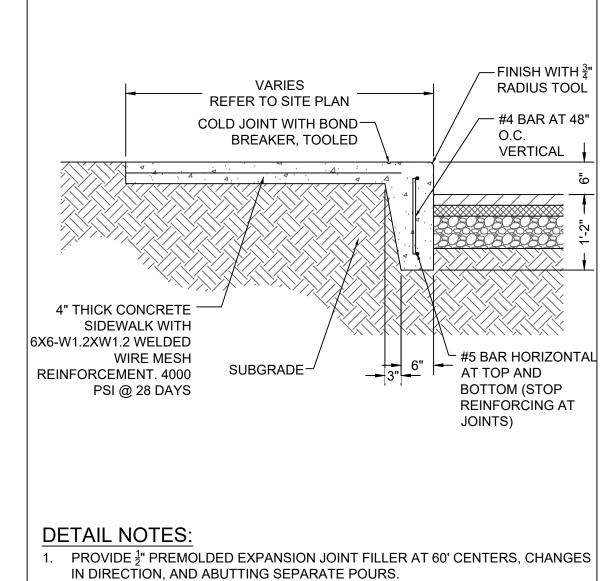
- STABILIZED SUBGRADE TO ACHIEVE A MINIMUM LBR OF 40. BASE TO EXTEND 1' BEYOND BACK OF CURB
- SUBGRADE SHALL BE CHEMICALLY STABILIZED PER KCMETRO APWA SECTION
- AGGREGATE BASE AND STABILIZED SUBGRADE MUST EXTEND 1' BEYOND BACK

ASPHALT PAVING DETAIL

- 4" WIDE SINGLE

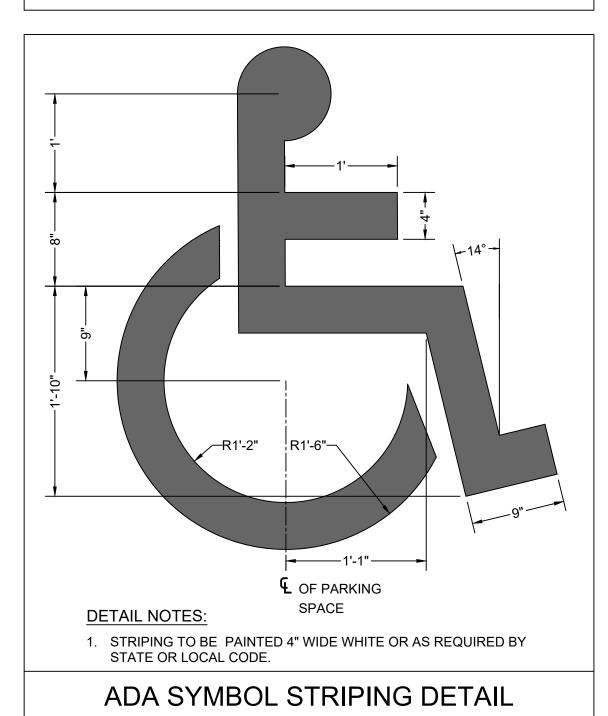
AT 24" CENTERS

YELLOW SOLID LINES



- PROVIDE TOOLED CONTRACTION JOINTS AT 10' CENTERS
- SUBGRADE TO BE COMPACTED TO 95% OR GREATER OF MAX. DRY DENSITY PER ASTM D-1557

TURNED DOWN CONCRETE WALK DETAIL



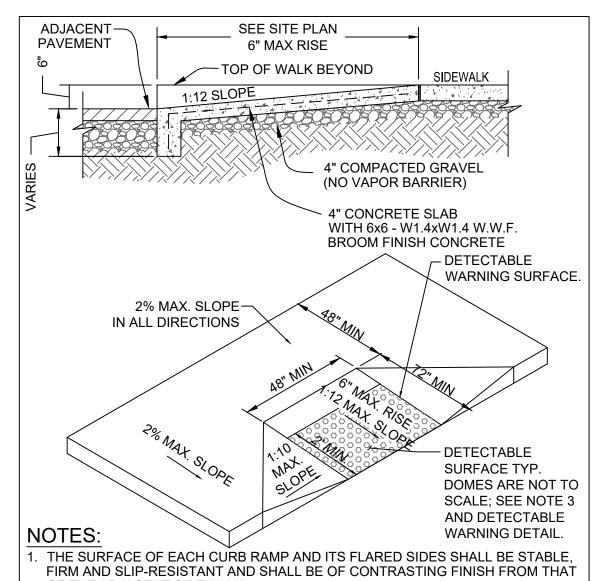
HANDICAP PARKING SPACES (MUTCD R7-8) STANDARD. PRE-PAINTED **RESERVED** SABLE PARKING **GREEN BORDER &** PARKING SIGN ON 1/8" LETTERS WHITE THICK SHEET **BACKGROUND** ALUMINUM WHITE SYMBOL ON BLUE BACKGROUND **GREEN BORDER &** 50.00 TO \$300.0 FINE **LETTERS WHITE** BACKGROUND PENALTY SIGN **GREEN BORDER &** VORDING SHALL BE AS ACCESSIBLE LETTERS WHITE REQUIRED BY STATE BACKGROUND OR LOCAL CODE THIS SIGN TYPICAL AT ALL VAN-ACCESSIBLE HANDICAP PARKING SPACES (MUTCD R7-8b) NOTES: ALL SIGN BACKGROUNDS SHALL BE RETROREFLECTIVE. SIGNS TO BE MOUNTED AT LEAST 60" ABOVE THE PARKING SURFACE. ALL SIGN LEGENDS AND BORDERS SHALL BE RETROREFLECTIVE.

THIS SIGN TYPICAL AT ALL

ACCESSIBLE PARKING SIGN DETAIL

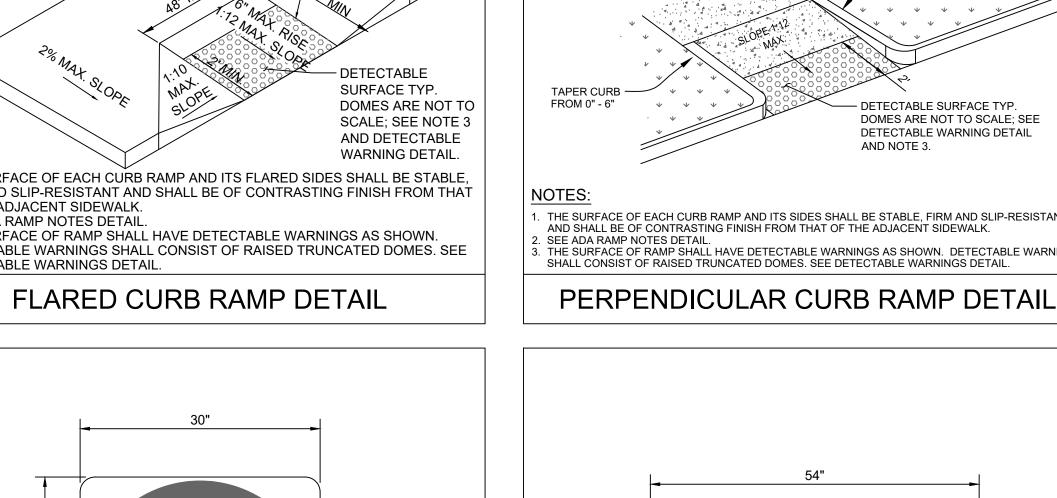
5. REFER TO DRC SIGN PACKAGE FOR FINAL SIGNAGE INSTALLATION.

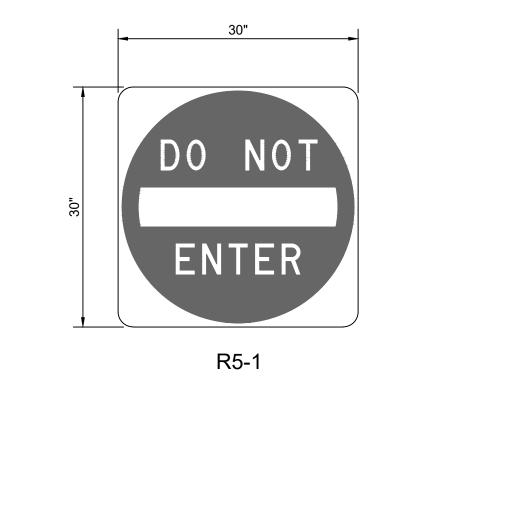
REFER TO DOT AND MUTCD FOR SPECIFICATIONS.



OF THE ADJACENT SIDEWALK. . SEE ADA RAMP NOTES DETAIL

. THE SURFACE OF RAMP SHALL HAVE DETECTABLE WARNINGS AS SHOWN. DETECTABLE WARNINGS SHALL CONSIST OF RAISED TRUNCATED DOMES. SEE DETECTABLE WARNINGS DETAIL





"DO NOT ENTER" SIGN DETAIL

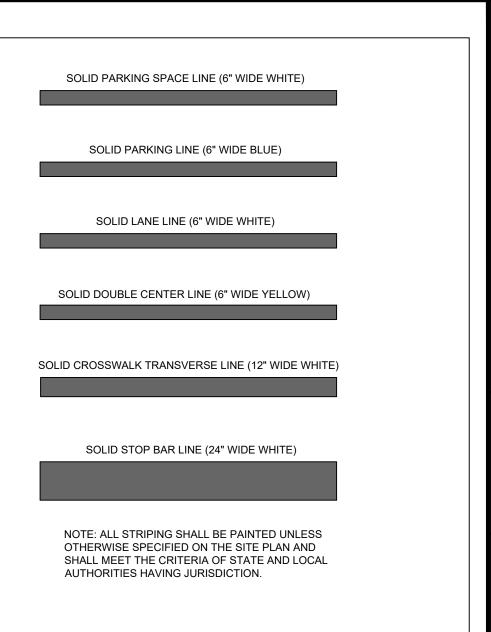
LEGEND AND SYMBOLS SHALL BE WHITE (RETROREFLECTIVE).

2. BACKGROUND SHALL BE RED (RETROREFLECTIVE).

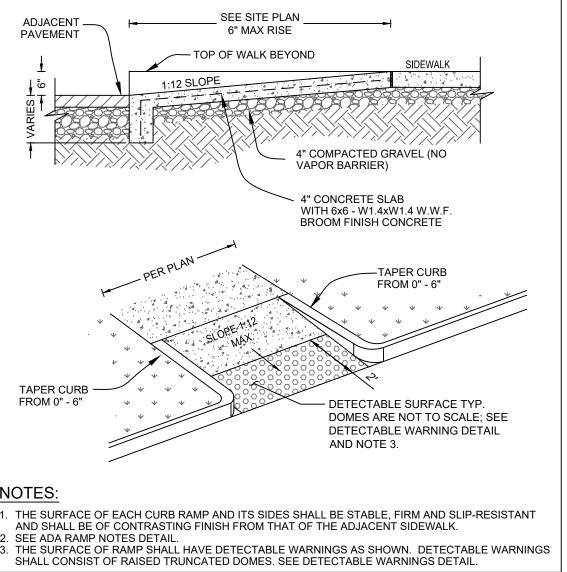
R6-1R

DETAIL NOTES: 1. ALL SIGN BACKGROUNDS SHALL BE RETROREFLECTIVE. 2. ALL SIGN LEGENDS AND BORDERS SHALL BE RETROREFLECTIVE.

"ONE WAY" SIGN DETAIL



STRIPING DETAIL



DOCUMENT CIVIL CONSTRUCTION PLANS FOR CHASE BANK

DOCUMENTS PREPARED BY CORESTATES IN

ONLY FOR THE SPECIFIC PROJECT AND SPEC

USE FOR WHICH THEY WERE INTENDED. AN

EXTENSION OF USE TO ANY OTHER PROJECT BY OWNER OR BY ANY OTHER PARTY, WITHOU

THE EXPRESSED WRITTEN CONSENT OF CORESTATES, INC. IS DONE UNLAWFULLY ANI

AT THE USERS OWN RISK. IF USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDED

JSER WILL HOLD CORESTATES, INC. HARMLE: FROM ALL CLAIMS AND LOSSES.

CLIENT

Call before you dig.

REVISIONS

1 | 02/18/21 | CITY COMMENTS

3 | 06/02/21 | CITY COMMENTS

07/21/21 CITY COMMENTS

03/04/22 CITY COMMENT / ATM

CITY COMMENT

(DETAIL)

NCLUDING THIS DOCUMENT, ARE TO BE USE

SITE LOCATION 890 NE LANGSFORD ROAD LEE'S SUMMIT, MO 64063



CONSTRUCTION DETAILS

JOB #:	JPM-27135.001
DATE:	12/21/2020
SCALE:	AS NOTED
DRAWN BY:	RJD
CHECKED BY:	CDF



1. THE SURFACE OF RAMP SHALL HAVE DETECTABLE WARNINGS AS SHOWN. DETECTABLE WARNINGS SHALL CONSIST OF RAISED TRUNCATED DOMES. SEE

VARIES

SEE PLAN

STRIPED AISLE DETAIL

- DETECTABLE WARNINGS DETAIL
- 2. CONSTRUCT PER A.D.A. STANDARDS. 3. REFER TO PLANS FOR ADJACENT SLOPES.
- 4. THE CROSS SLOPE OF THE RAMP SURFACE SHALL BE NO GREATER THAN 1.5 %. SHOULD THE CROSS SLOPE EXCEED 2% THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING THE SIDEWALK AND CURB RAMP AS

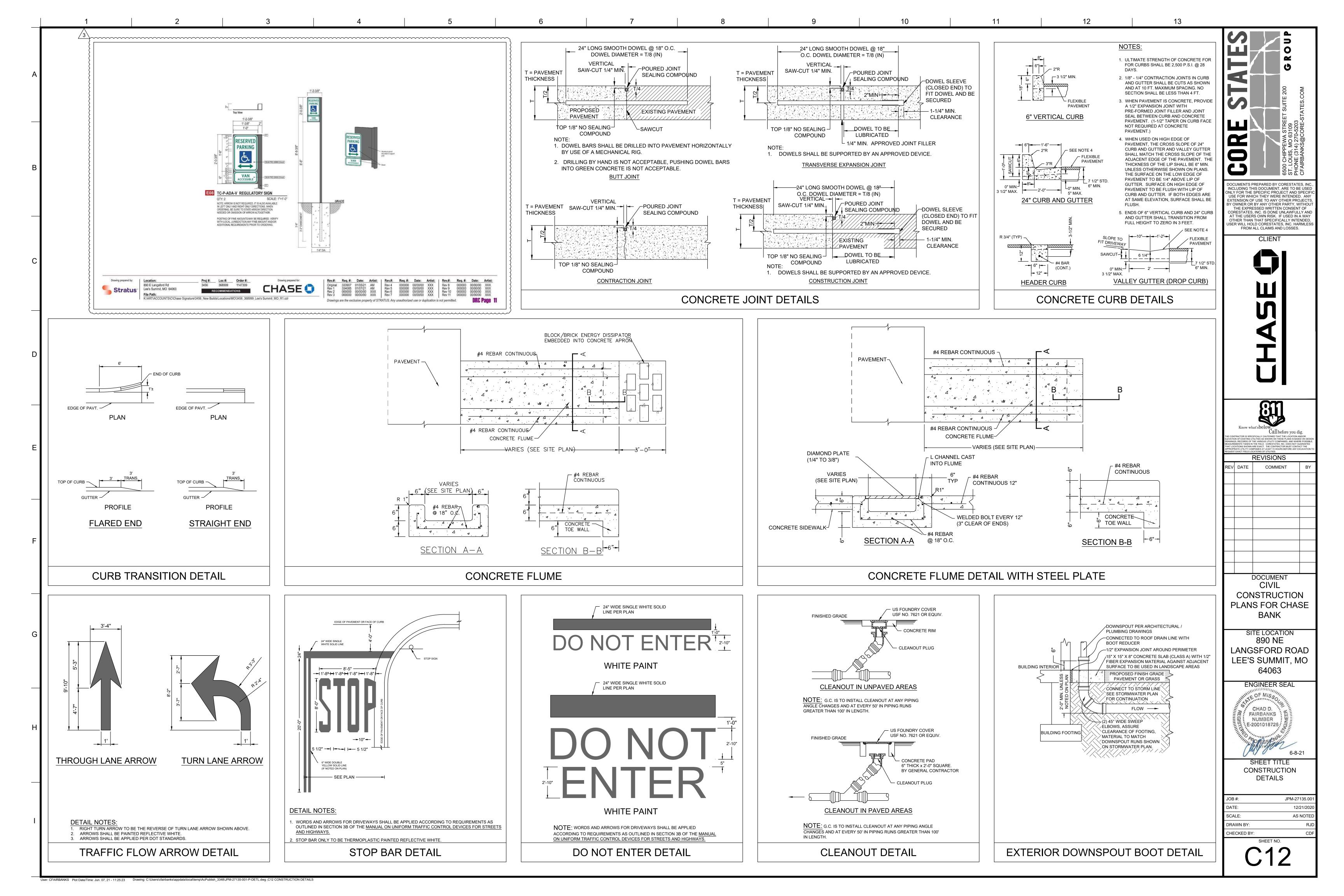
ADA RAMP NOTES

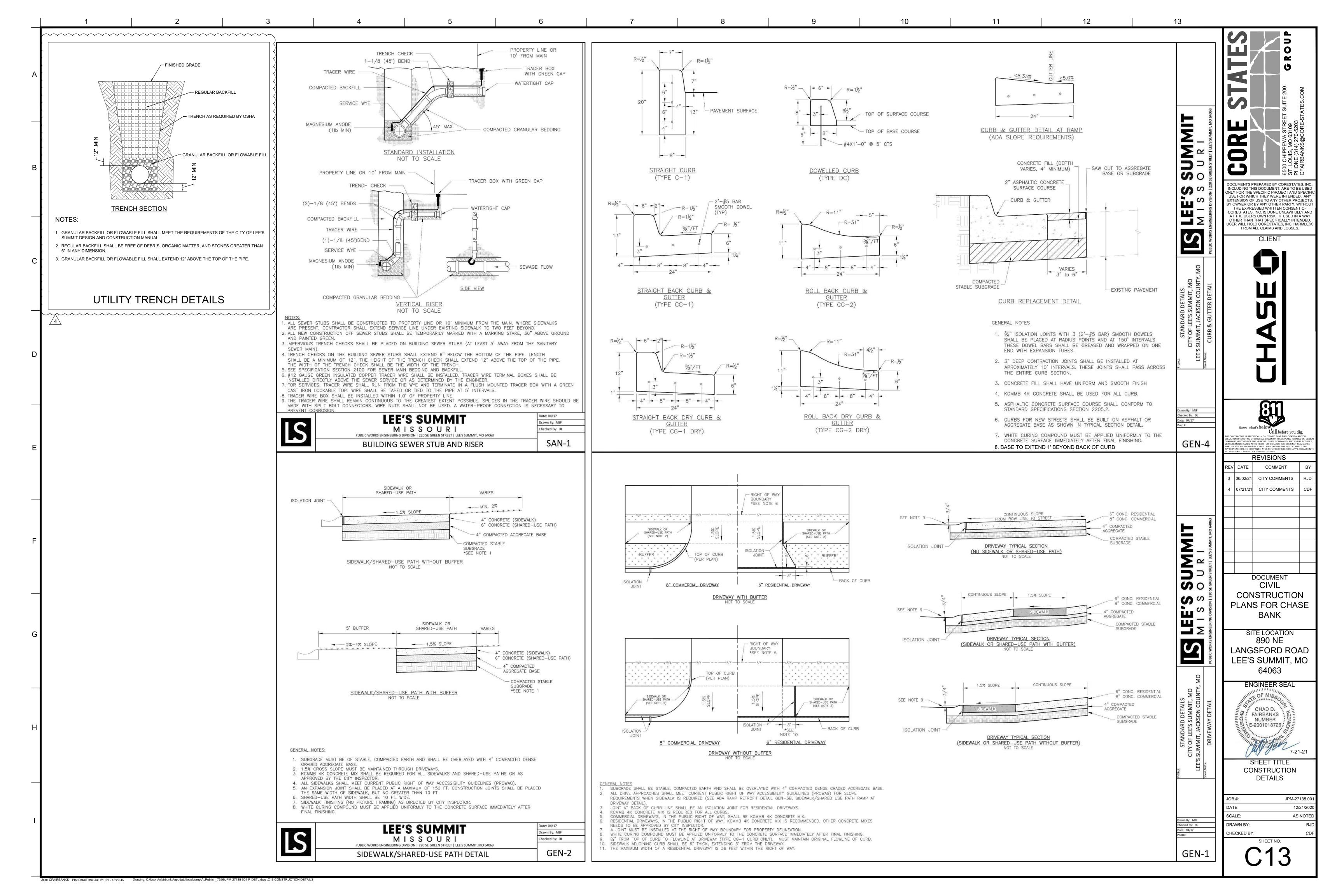
R1-1 LEGEND AND BORDER SHALL BE WHITE (RETROREFLECTIVE).

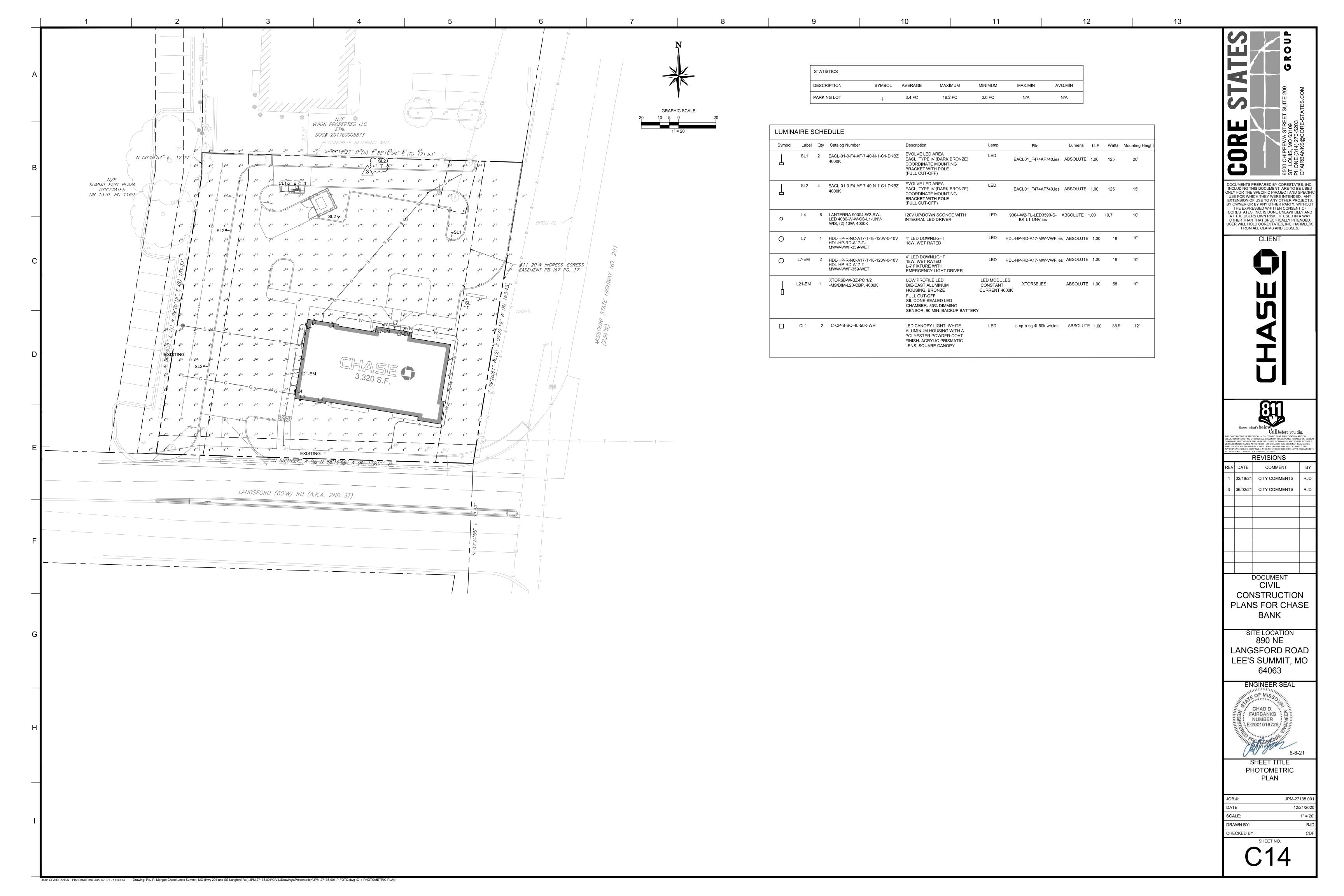
2. BACKGROUND SHALL BE RED (RETROREFLECTIVE).

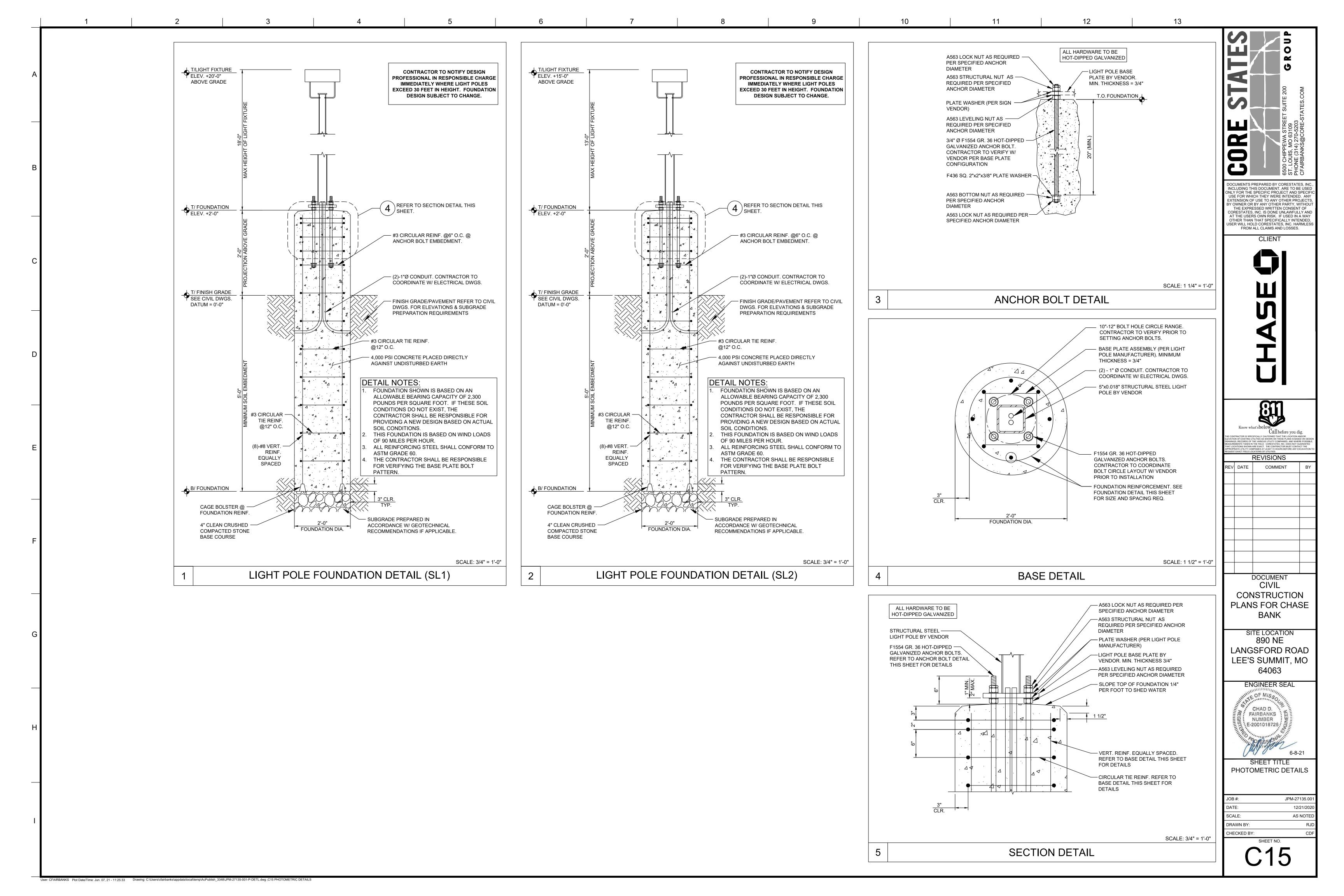
"STOP" SIGN DETAIL

NECESSARY TO CONFORM TO THE REQUIREMENTS OF THE AMERICANS WITH 5. THE LONGITUDINAL SLOPE OF THE RAMP SURFACE SHALL BE NO GREATER THAN 8.33%. SHOULD THE LONGITUDINAL SLOPE EXCEED 8.33%, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING THE SIDEWALK AND CURB RAMP AS NECESSARY TO CONFORM TO THE REQUIREMENTS OF THE PREFABRICATED PANELS PER A.D.A. ACCESSIBILITY AMERICANS WITH DISABILITY ACT. GUIDELINES SECTION 4.29.2 & A4.29.2 SHALL BE USED. 6. ALL ADA ACCESSIBLE RAMPS TO BE CONSTRUCTED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA). 7. SEE DETAIL FOR DETECTABLE WARNING LOCATION, TYPE, AND EXTENTS 8. ALL RAMPS OUTSIDE THE PROPERTY SHALL CONFORM TO THE STANDARDS OF THE GOVERNING REGULATING AGENCY.









Evolve™ LED Area Light

N Series (EANB)



powered by GE



The next generation of the GE Evolve™ LED Area Light is an exciting solution to efficiently illuminate site and area applications. The smaller-form design of the EANB fixture provides superior illuminance at impressive site ROIs. The exclusive optical ring design effectively directs the light and produces impressive vertical illuminance and glare control. Additionally, the Evolve LED Area Light provides significant operating cost benefits over the life of each fixture with reduced energy consumption and a long rated life that virtually eliminates ongoing maintenance expenses.

W/6 listed, suitable for wet locations.

Upward Light Output Ratio (ULOR) = 0.

Compliant with the material restriction

prewired with 24-inch (610mm) leads.

prewired with 24-inch (610mm) leads.

prewired with 24-inch (610mm) leads.

10-inch (254mm) mounting arm for round or

Corrosion resistant polyester powder painted,

120-277 VAC and 347-480 VAC available.

- Wired 0-10V continuous dimming

 Surge Protection per ANSI C136.2-2015. - 6kV/3kA "Basic" surge protection, standard.

voltages. Light Grid compatible.

Dimming/Occupancy:

for availability.

Accessories

using "H" option code.

PE Accessories - See Page 3

 System power factor is >90% and THD <20%. ANSI C136.41 7-pin dimming receptacle, standard.

ANSI photo electric sensors (PE) available for all

- DALI digital dimming. Contact manufacturer

- Standalone motion sensor based dimming

10kV/5kA "Enhanced" surge protection optional.

minimum 2.0 mil. thickness. Standard colors: Black & Dark Bronze.

RAL & custom colors available.

Electrical

Temperature rated at -40° to 50°C.

requirements of RoHS.

Mounting

IP66 rated optical enclosure per ANSI C136.25-2009.

Title 24 compliant with "H" motion sensor option.

10-inch (254mm) mounting arm for square pole

10-inch (254mm) mounting arm for round pole

Slipfitter mounting for 2 3/8-inch (60mm) O.D. pipe

square pole prewired with 24-inch (610mm) leads.

Product Features

- Site, area, roadway and general lighting applications utilizing advanced LED optical system providing high uniformity, excellent vertical light distribution, reduced offsite visibility, reduced on-site glare and effective security light levels.
- Obtain a truly optimized and efficient parking space with dimming and occupancy sensing features. Housing
- Die-cast aluminum housing.

Slim architectural design incorporates an integral heat sink and light engine, ensuring maximum heat

- transfer, long LED life, and a reduced Effective Projected Area (EPA).
- Meets 2G vibration level per ANSI C136.31-2010.

LED & Optical Assembly

- Structured LED arrays for optimized area light photometric distribution.
- Evolve light engine with directional reflectors designed to optimize application efficiency and minimize glare.
- Utilizes high brightness LEDs, 70 CRI at 3000K, 4000K and 5000K typical.

Lumen Maintenance

 Projected L90>50,000 hours per IES TM-21 Projected Lxx per IES TM-21 at 25°C for reference:

NOTES: 1) Projected Lxx based on LM-80 (10,000 hour testing).

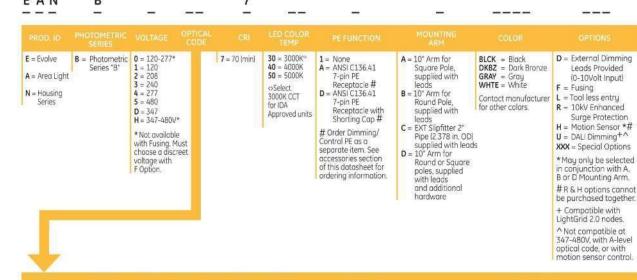
2) DOE Lighting Facts Verification Testing Tolerances apply to initial luminous flux and lumen maintenance measurements. Lumen Ambient Temperature Factors:

10	1.02
20	1.01
25	1.00
30	0.99
40	0.98
50	0.97

LC Standard qualified models available. Please refer to

www.designlights.org/QPL for complete information.

Evolve™ LED Area Light N Series (EANB)



1					S TYPICAL SYSTEM					
4										
	A4	Asymmetric Forward	4,000	4,300	44	B1-U0-G1	B1-U0-G1	EANB_A4730IES	EANB_A47401ES	EANB_A4750_
	84	Asymmetric Forward	5,800	6,200	58	B1-U0-G2	B1-U0-G2	EANB_B4730IES	EANB_B4740IES	EANB_B4750_
TYPE IV	C4	Asymmetric Forward	7,500	8,000	70	B1-U0-G2	B1-U0-G2	EANB_C4730IES	EANB_C4740IES	EANB_C4750_
Z	D4	Asymmetric Forward	9,200	9,800	89	B1-U0-G2	B2-U0-G2	EANB_D4730IES	EANB_D4740IES	EANB_D4750_
	E4	Asymmetric Forward	10,800	11,500	98	B2-U0-G2	B2-U0-G2	EANB_E4730IES	EANB_E4740IES	EANB_E4750_
	F4	Asymmetric Forward	12,900	13,700	125	B2-U0-G3	B2-U0-G3	EANB_F4730IES	EANB_F4740IES	EANB_F4750
П	A3	Asymmetric Wide	4,300	4,600	44	B1-U0-G1	B1-U0-G1	EANB_A3730,IES	EANB_A3740IES	EANB_A3750_
=	B3	Asymmetric Wide	6,200	6,600	58	B1-U0-G1	B1-U0-G1	EANB_B3730IES	EANB_B3740IES	EANB_B3750_
TYPE	C3	Asymmetric Wide	8,100	8,600	70	B1-U0-G2	B1-U0-G2	EANB_C3730IES	EANB_C3740IES	EANB_C3750_
2	D3	Asymmetric Wide	9,900	10,500	89	B2-U0-G2	B2-U0-G2	EANB_D3730IES	EANB_D3740IES	EANB_D3750_
П	E3	Asymmetric Wide	11,600	12,400	98	B2-U0-G2	B2-U0-G2	EANB_E3730,IES	EANB_E3740IES	EANB_E3750_
	F3	Asymmetric Wide	13,900	14,700	125	B2-U0-G2	B2-U0-G2	EANB_F3730,IES	EANB_F3740IES	EANB_F3750_
	A2	Asymmetric Norrow	4,200	4,500	44	B1-U0-G1	B1-U0-G1	EANB_A2730,IES	EANB_A2740IES	EANB_A2750_
357	B2	Asymmetric Narrow	6,100	6,500	58	B1-U0-G1	B1-U0-G1	EANB_B2730IES	EANB_B2740,IES	EANB_B2750_
E .	C2	Asymmetric Narrow	7,900	8,400	70	B2-U0-G2	B2-U0-G2	EANB_C2730IES	EANB_C2740IES	EANB_C2750_
TYPE II	D2	Asymmetric Narrow	9,700	10,300	89	B2-U0-G2	B2-U0-G2	EANB_D2730IES	EANB_D2740IES	EANB_D2750_
100		ALCANDA MANAGER PROPERTY AND A STREET BOOK AND A	111100000000000000000000000000000000000	2000 N 2000 N 100 N	AVA 17		127520000 NO 2010000			

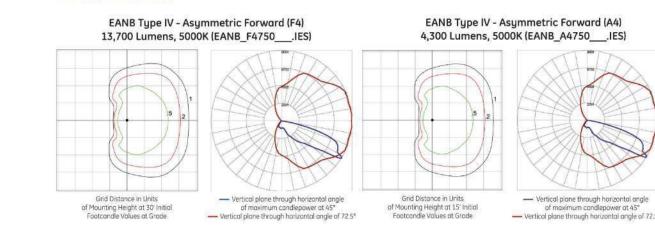
PE Accessories (to be ordered separately)

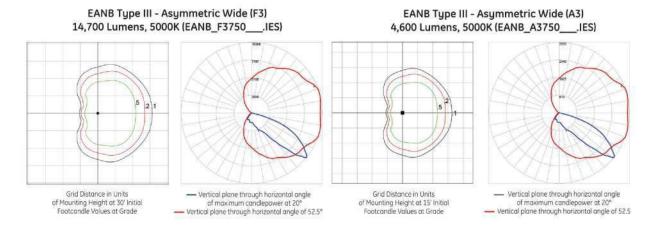
SAP Number		
93029237	PED-MV-LED-7	ANSI C136.41 Dimming PE, 120-277V
93029238	PED-347-LED-7	ANSI C136.41 Dimming PE, 347V
93029239	PED-480-LED-7	ANSI C136.41 Dimming PE, 480V

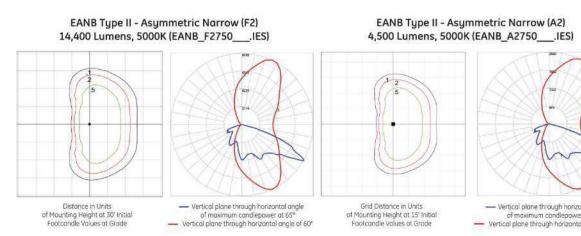
28299	PECOTL	STANDARD 120-277V	
28294	PEC5TL	STANDARD 480V	
80436	PECDTL	STANDARD 347V	
77251	CCCL OCCTL	Charting and	

B2-U0-G2 B2-U0-G2 EANB_E2730__IES EANB_E2740__IES EANB_E2750__IES

Photometrics

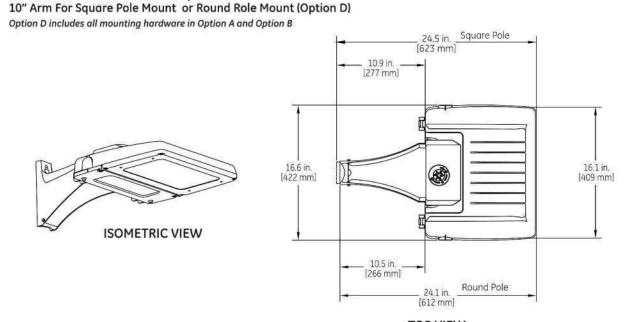


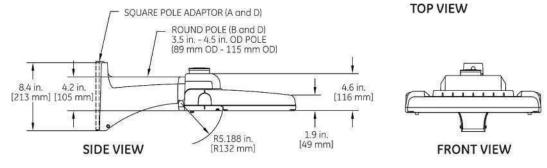




Product Dimensions

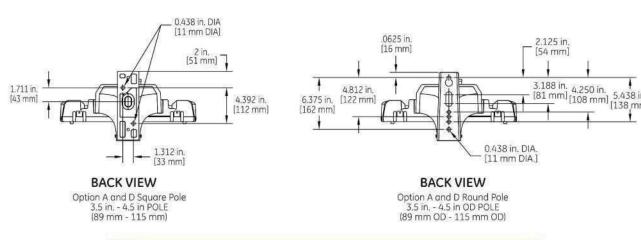
10" Arm For Square Pole Mount (Option A) 10" Arm For Round Pole Mount (Option B)





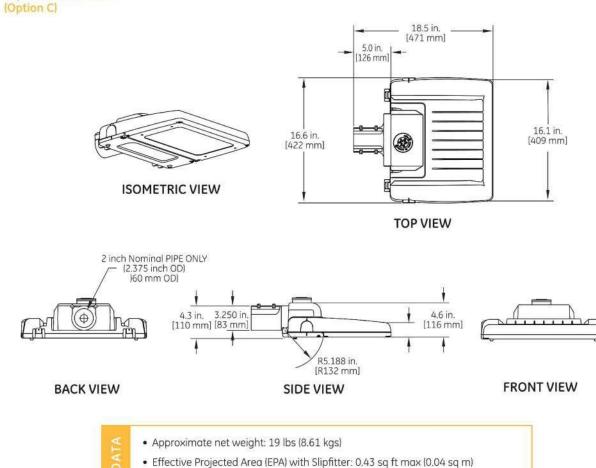
Approximate net weight: 20 lbs (9.07 kgs)

User: CFAIRBANKS Plot Date/Time: Jun. 07, 21 - 11:25:45 Drawing: C:\Users\cfairbanks\appdata\local\temp\AcPublish_3348\JPM-27135-001-P-DETL.dwg; C16 PHOTOMETRIC DETAILS



• Effective Projected Area (EPA) with 10" Mounting Arm: 0.67 sq ft max (0.06 sq m)

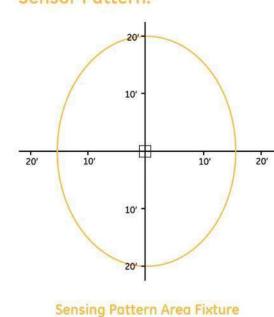
Product Dimensions Slipfitter Arm Mount



H-Motion Sensing Option:

- Intended for high mounting applications, between 15-30ft (4.57-9.14m). For mounting heights exceeding 30ft, pole mounted
- sensors are recommended. Provides a coverage area radius for walking motion of 15-20ft
- (4.57-6.10m).
- Provides 270° of coverage (~90° is blocked by the pole). Comes standard with 50% dimmed light output with no occupancy, and full power at occupancy.
- Comes standard with photocell function. Note: It is not necessary to also purchase PE receptacle or control. • Comes standard with a 5 minute occupancy time delay and a 5 minute ramp-down to the 50% dimmed level.
- Must order with decorative mounting arm options "A" or "B". Fixture power increase of 1W expected with sensor use.
- Note: Standard options may be reprogrammed in the field. Reprogramming instructions included in product shipment.

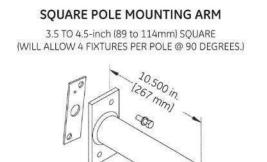
Sensor Pattern:



Up to 30 ft.

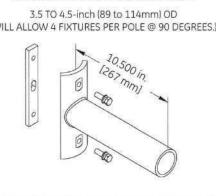
Mounting Information

Mounting Arms for Slipfitter Order separately with Mounting Option C (External Slipfitter)





3.5 TO 4.5-inch (89 to 114mm) OD (WILL ALLOW 4 FIXTURES PER POLE @ 90 DEGREES.)



ORDER SEPARATELY FROM FIXTURE AS CATALOG NUMBER RPA-EAMT10BLCK "Black" RPA-EAMT10DKBZ "Dark Bronze"

> Other mounting patterns are available for retrofit installations. Contact manufacturing for other available mounting patterns.

Drilling Templates for

SQUARE POLE MOUNTING

1.250 in. DIA. -

[32 mm DIA.]

[8 mm DIA.]

- .438 in. DIA.

[11 mm DIA.]

(2 Places)

_____.656 in. [17 mm]

____ 1.312 in. [33 mm]

[11 mm DIA.] (2 Places)

ROUND POLE MOUNTING

3.5 TO 4.5-inch (89 to 114mm) OD

round pole mounting arm

lipfitter Arms & Arm Mount

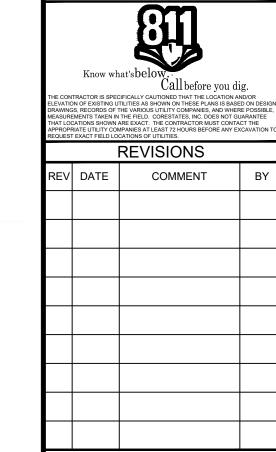


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CLIENT



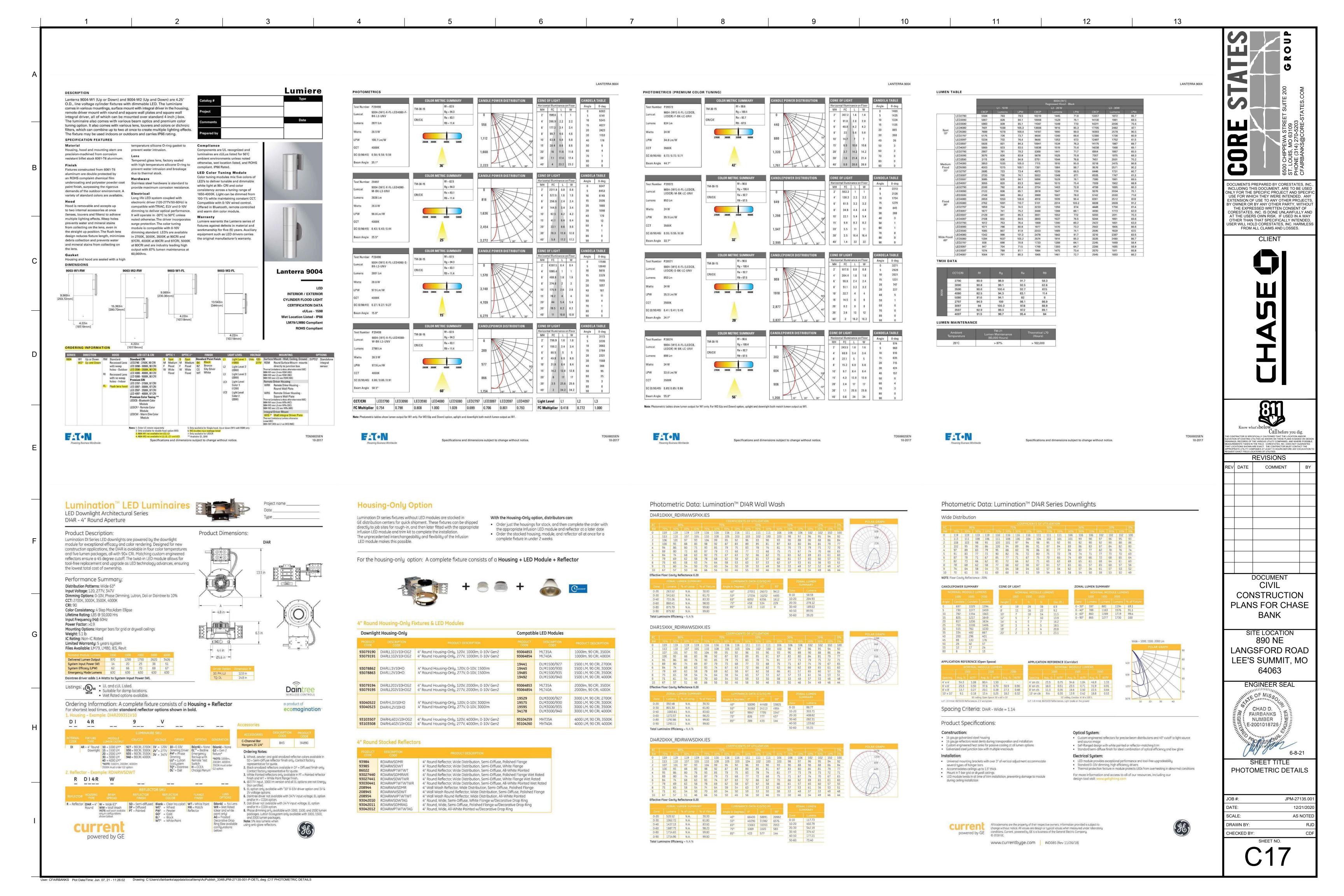
DOCUMENT CIVIL CONSTRUCTION PLANS FOR CHASE BANK

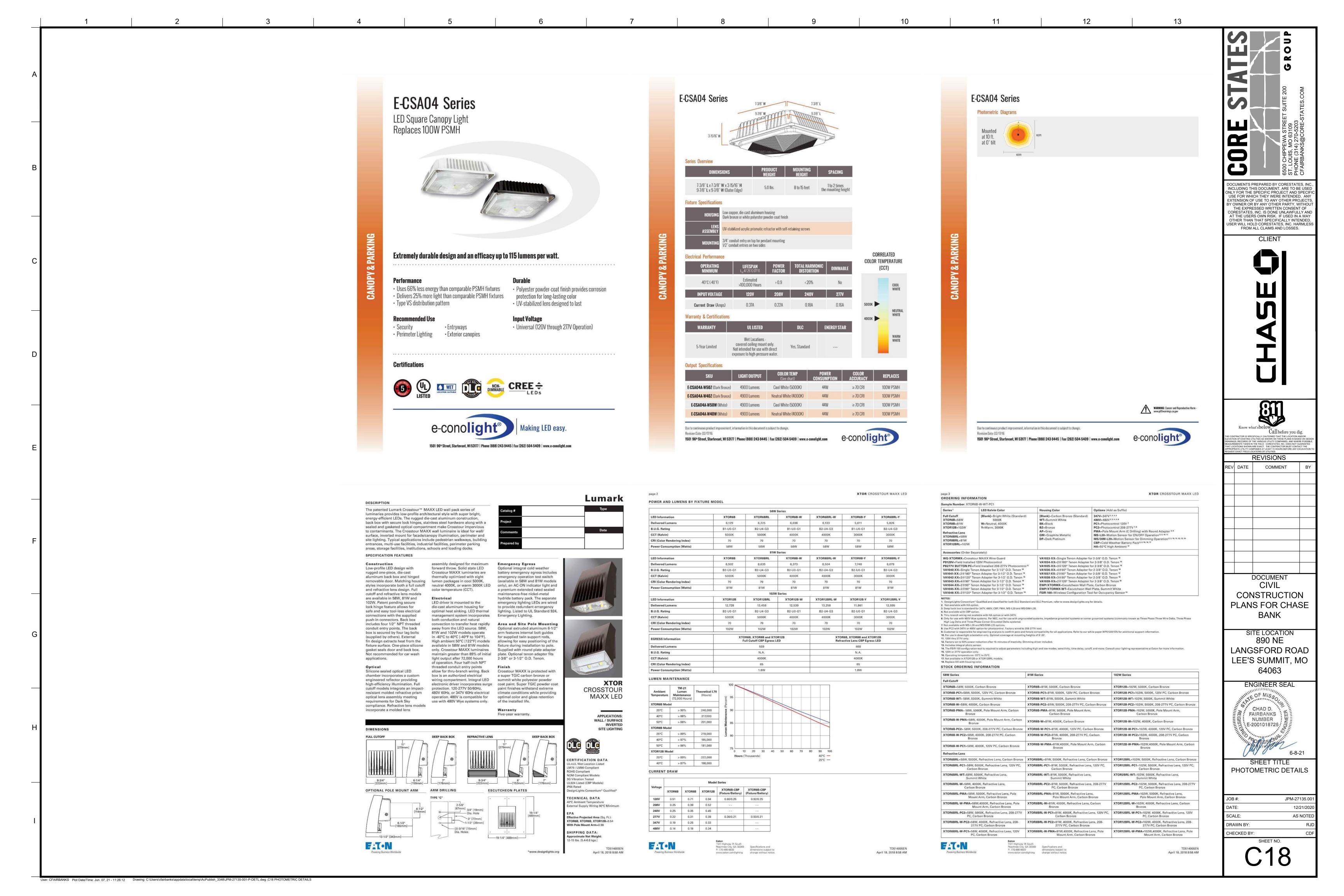
SITE LOCATION 890 NE LANGSFORD ROAD LEE'S SUMMIT, MO 64063

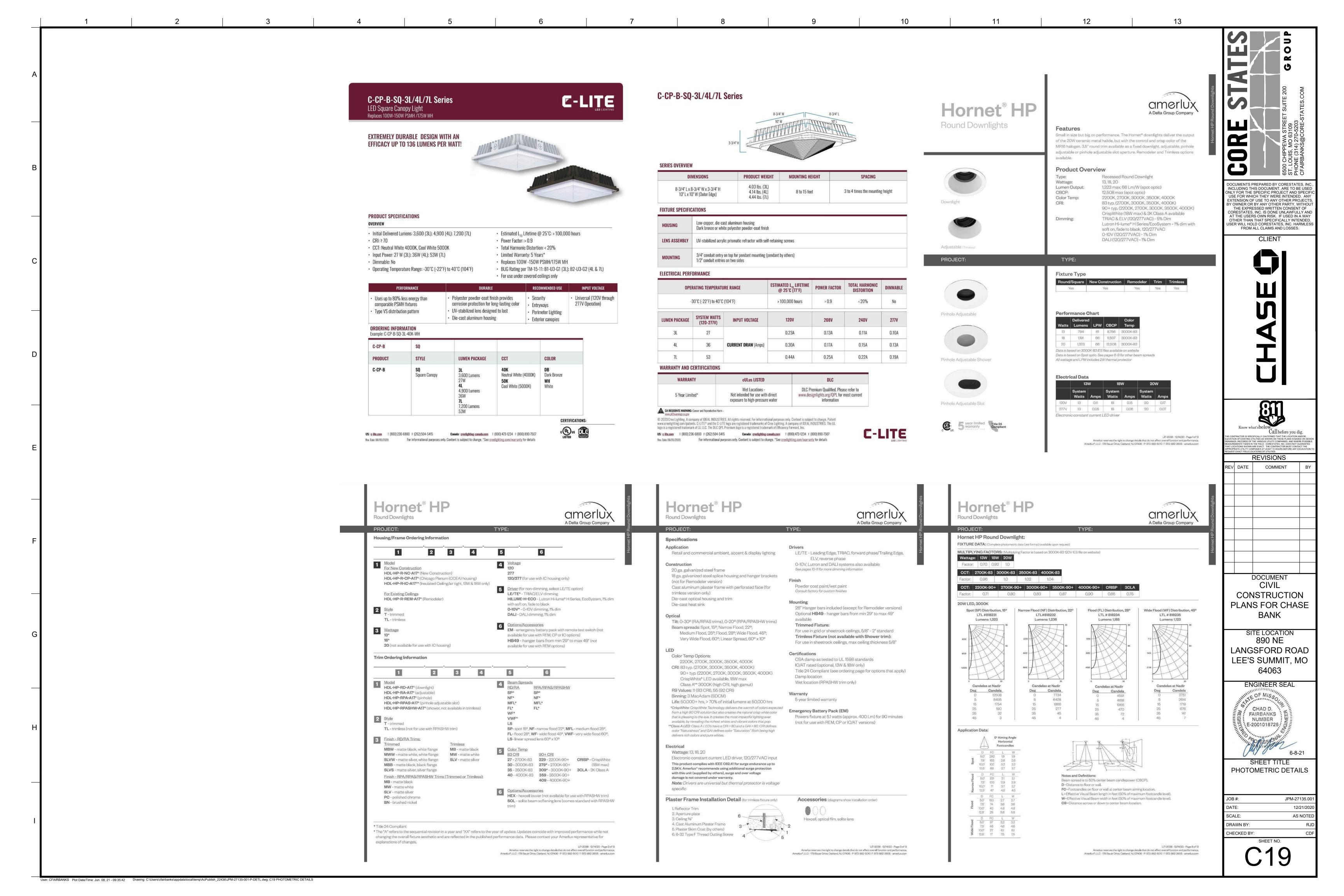


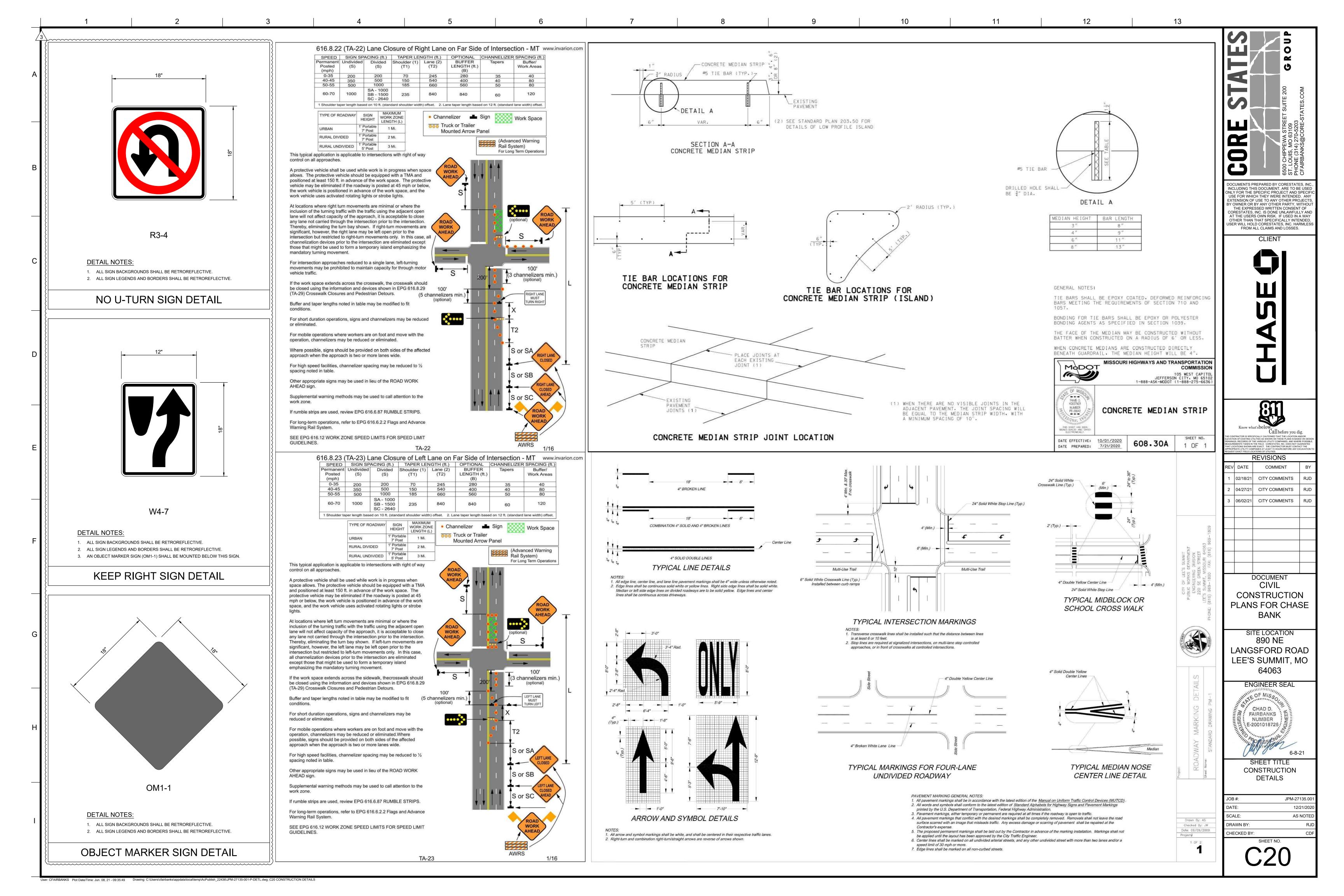
SHEET TITLE PHOTOMETRIC DETAILS

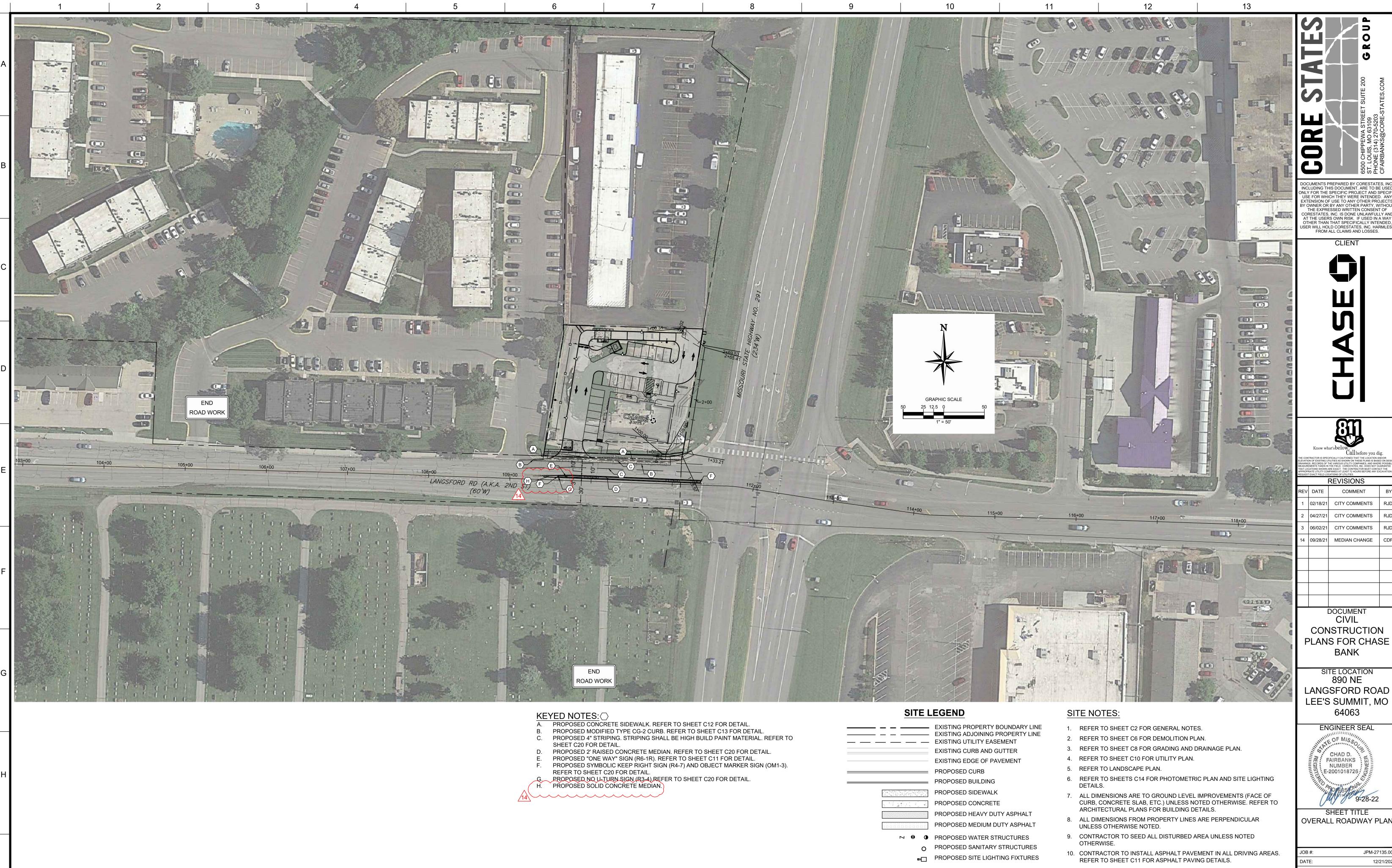
JOB #:	JPM-27135.001
DATE:	12/21/2020
SCALE:	AS NOTED
DRAWN BY:	RJD
CHECKED BY:	CDF











Iser: CFAIRBANKS Plot Date/Time: Sep. 28, 22 - 11:39:03 Drawing: P:VJ.P. Morgan Chase\Lee's Summit, MO (Hwy 291 and SE Langford Rd.)-JPM.27135.001\CIVIL\Drawings\Presentation\JPM-27135-001-P-SITE-ROAD.dwg ;C21 OVERALL ROADWAY PLAN

02/18/21 CITY COMMENTS 04/27/21 CITY COMMENTS 06/02/21 CITY COMMENTS 14 | 09/28/21 | MEDIAN CHANGE | CD

DOCUMENT CIVIL CONSTRUCTION PLANS FOR CHASE

SITE LOCATION 890 NE LANGSFORD ROAD LEE'S SUMMIT, MO 64063

BANK

ENGINEER SEAL CHAD D. FAIRBANKS NUMBER E-2001018726

SHEET TITLE OVERALL ROADWAY PLAN

JPM-27135.00 12/21/2020 DRAWN BY: CHECKED BY:

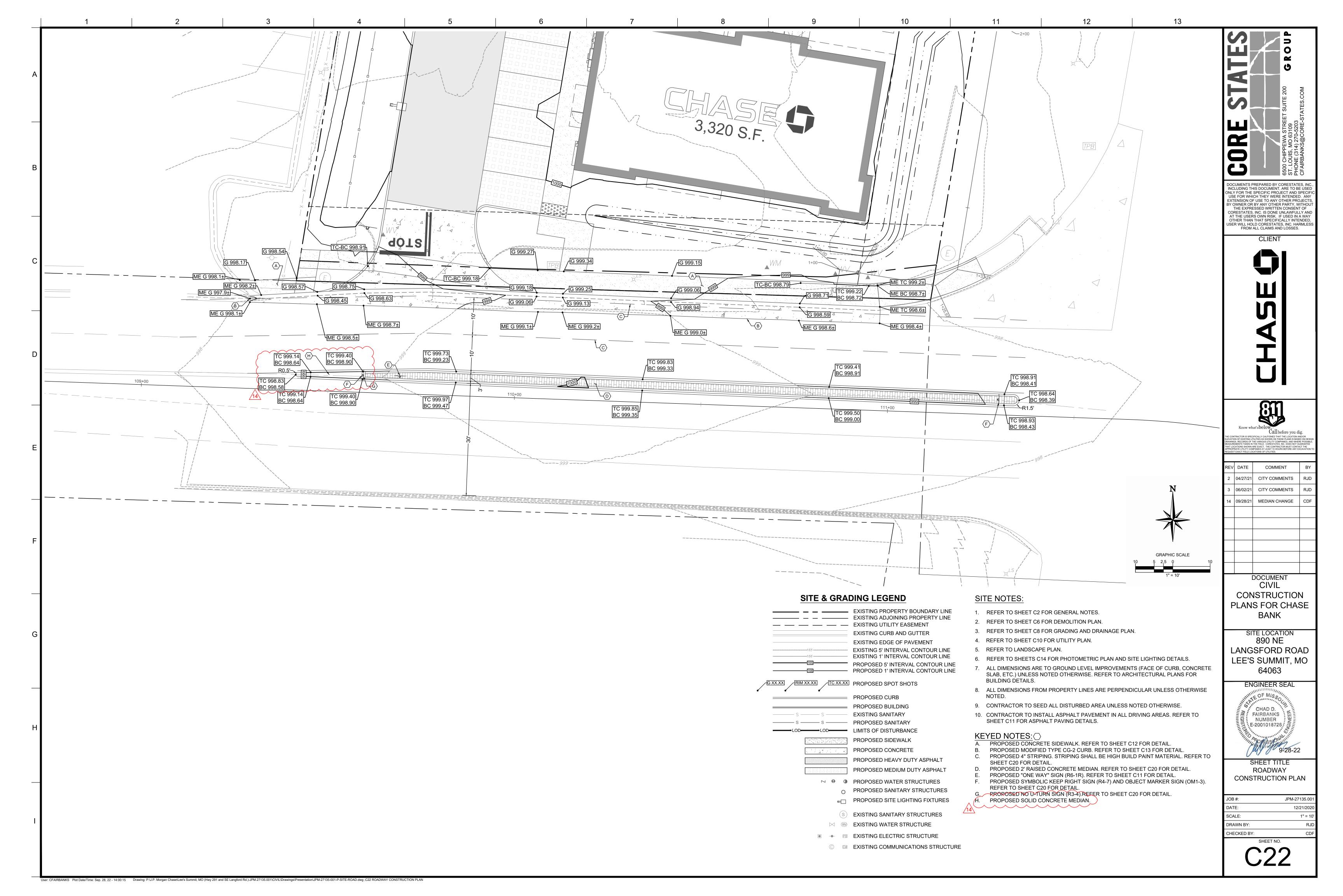
(S) EXISTING SANITARY STRUCTURES

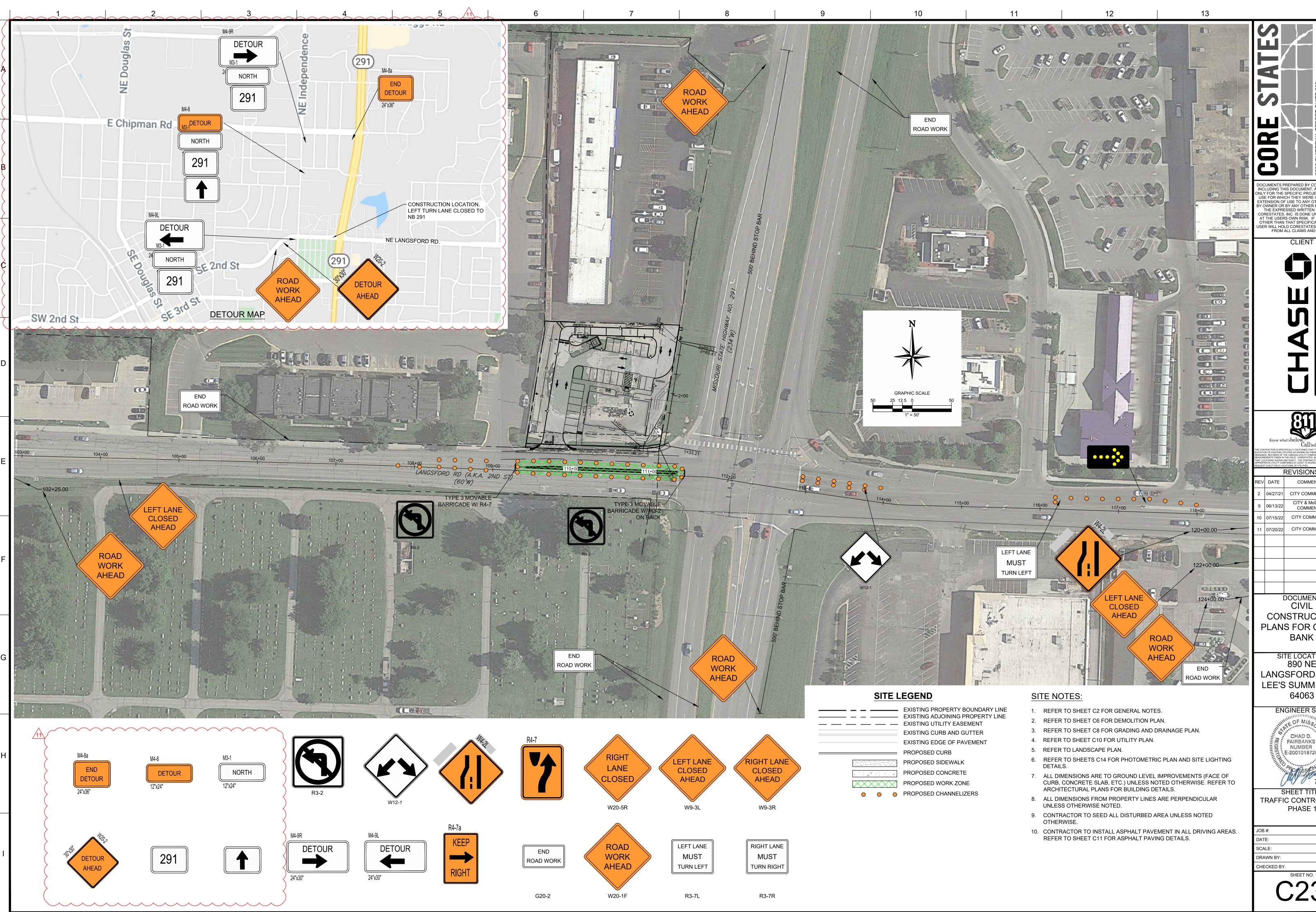
© EXISTING COMMUNICATIONS STRUCTURE

M EXISTING WATER STRUCTURE

22 PROPOSED PARKING COUNT

■ ◆ B EXISTING ELECTRIC STRUCTURE





DOCUMENTS PREPARED BY CORESTATES, INC INCLUDING THIS DOCUMENT, ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SPECI USE FOR WHICH THEY WERE INTENDED. AN XTENSION OF USE TO ANY OTHER PROJECT Y OWNER OR BY ANY OTHER PARTY, WITHO THE EXPRESSED WRITTEN CONSENT OF CORESTATES, INC. IS DONE UNLAWFULLY AN AT THE USERS OWN RISK. IF USED IN A WA' OTHER THAN THAT SPECIFICALLY INTENDED ISER WILL HOLD CORESTATES, INC. HARMLE FROM ALL CLAIMS AND LOSSES.

APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES.					
	REVISIONS				
REV	DATE	COMMENT	BY		
2	04/27/21	CITY COMMENTS	RJD		
9	06/13/22	CITY & MoDOT COMMENT	CDF		
10	07/15/22	CITY COMMENT	CDF		
11	07/20/22	CITY COMMENT	CDF		

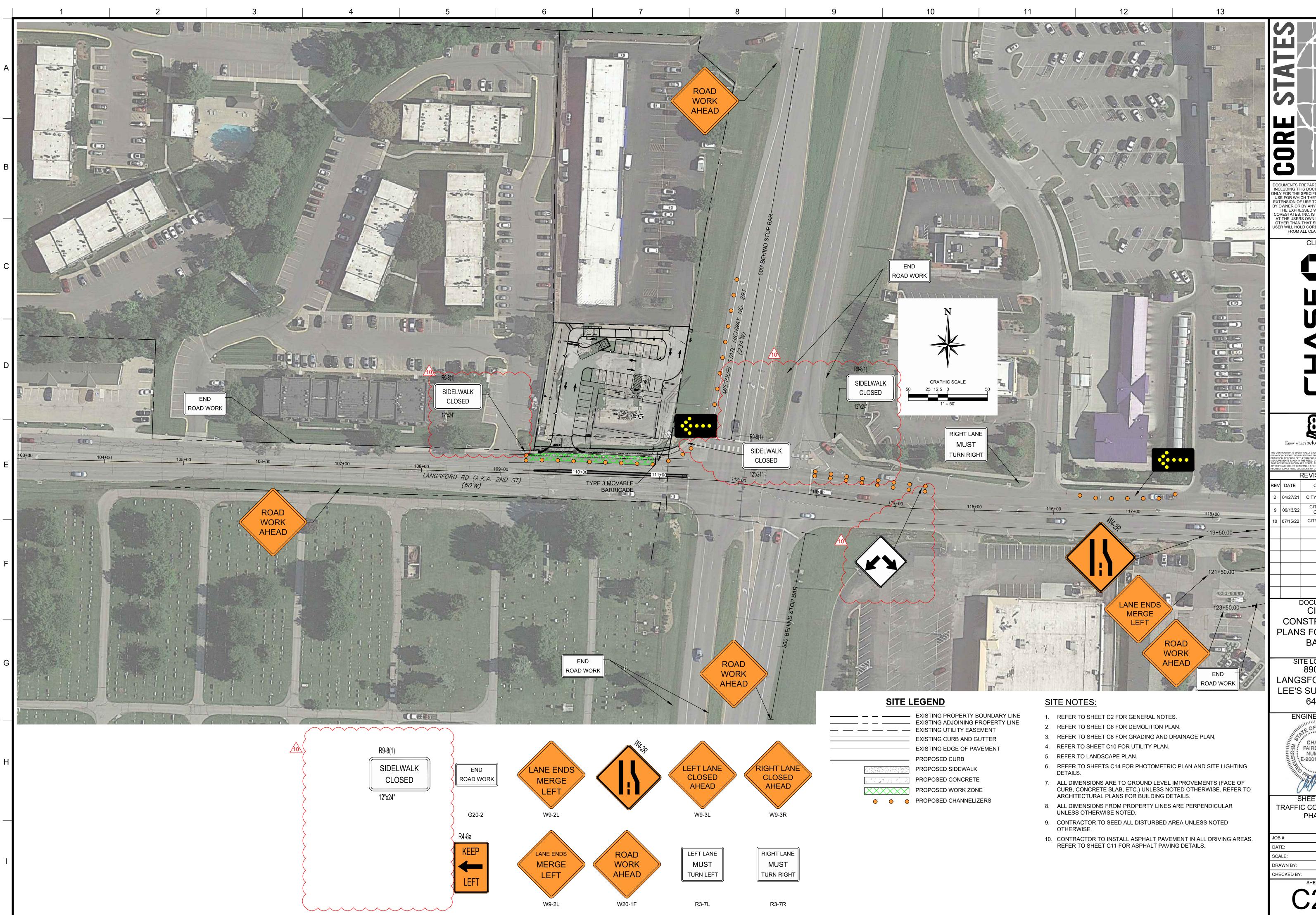
DOCUMENT CIVIL CONSTRUCTION PLANS FOR CHASE

SITE LOCATION 890 NE LANGSFORD ROAD LEE'S SUMMIT, MO

ENGINEER SEAL CHAD D. FAIRBANKS NUMBER E-2001018726 7-20-22

SHEET TITLE TRAFFIC CONTROL PLAN PHASE 1

JOB #:	JPM-27135.001
DATE:	12/21/2020
SCALE:	1" = 50'
DRAWN BY:	RJD
CHECKED BY:	CDF
SHEET N	О.



ata\local\temp\AcPublish_19136\JPM-27135-001-P-SITE-ROAD.dwg;C24 TRAFFIC CONTROL PLAN - PHASE 2

DOCUMENTS PREPARED BY CORESTATES, INC INCLUDING THIS DOCUMENT, ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SPECIF USE FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS BY OWNER OR BY ANY OTHER PARTY, WITHOUT THE EXPRESSED WRITTEN CONSENT OF CORESTATES, INC. IS DONE UNLAWFULLY AN SER WILL HOLD CORESTATES, INC. HARMLE FROM ALL CLAIMS AND LOSSES.

Ü	APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES.						
- Branchard		REVISIONS					
	REV	DATE	COMMENT	BY			
	2	04/27/21	CITY COMMENTS	RJD			
l	9	06/13/22	CITY & MoDOT COMMENT	CDF			
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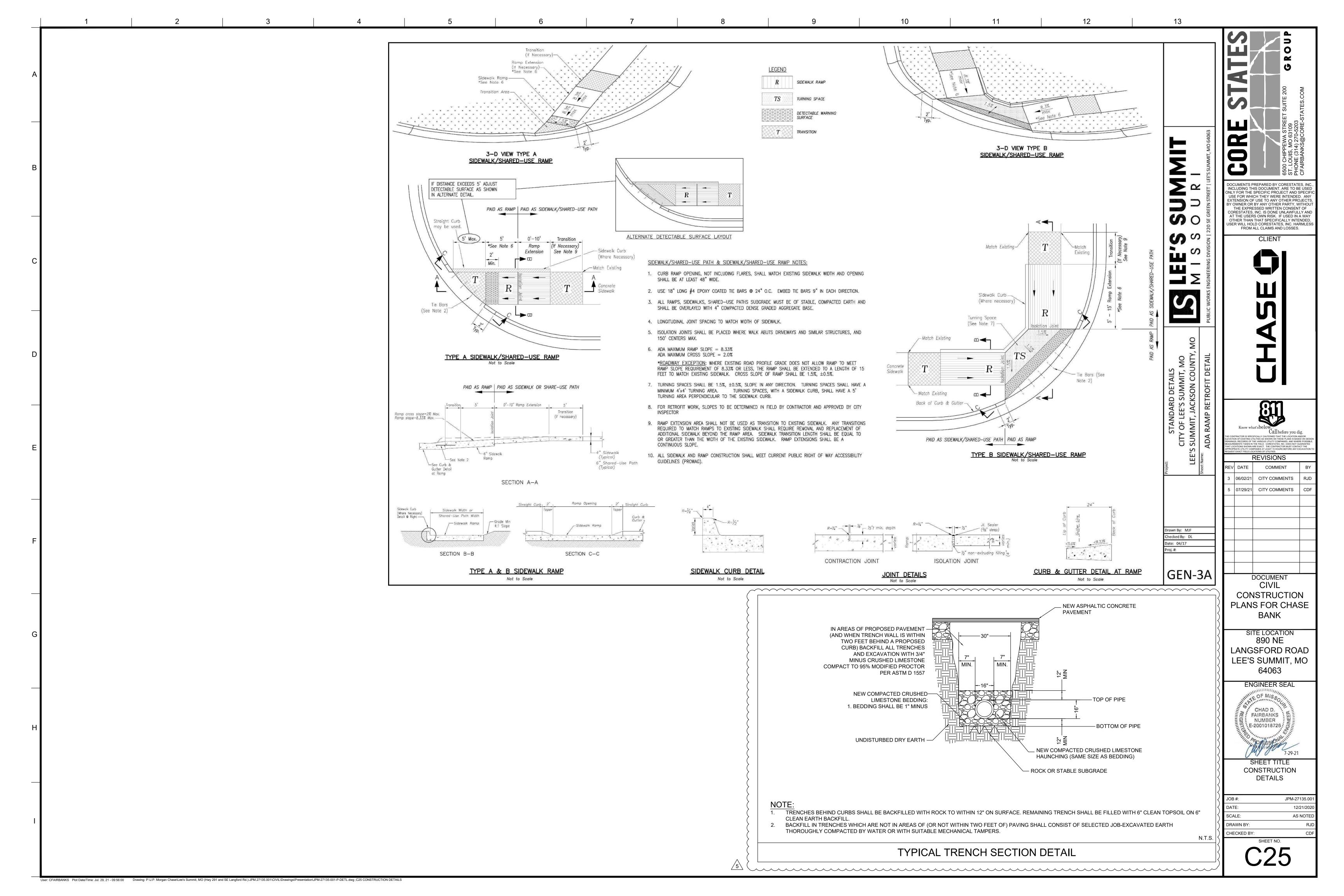
CIVIL CONSTRUCTION PLANS FOR CHASE **BANK**

SITE LOCATION 890 NE LANGSFORD ROAD LEE'S SUMMIT, MO 64063

ENGINEER SEAL CHAD D. FAIRBANKS NUMBER E-2001018726 7-20-22

TRAFFIC CONTROL PLAN PHASE 2

	JOB #:		JPM-27135.001
	DATE:		12/21/2020
	SCALE:		1" = 50'
	DRAWN BY:		RJD
	CHECKED BY:		CDF
		SHEET NO.	



50' Min. Existing Ground -— Washrack / Rumble Strip Notes for Concrete Washout: (Optional) 1. Concrete washout areas shall be installed prior to any concrete >>>>> placement on site. 2. Concrete washout area shall include a flat subsurface pit sized relative to the amount of concrete to be placed on site. The slopes leading out of the subsurface pit shall be 3:1. The vehicle tracking Existing pad shall be sloped towards the concrete washout area. Pavement 3. Vehicle tracking control is required at the access point to all concrete washout areas. 4. Signs shall be placed at the construction site entrance, washout area and elsewhere as necessary to clearly indicate the location(s) of the concrete washout area(s) to operators of concrete truck 2-3" Coarse Positive drainage and pump rigs. Aggregate Sediment Trapping Device 5. A one-piece impervious liner may be required along the bottom and sides of the subsurface pit in sandy or gravelly soils. * - Must extend full width of ingress and egress operation <u>Plan View</u> Maintenance for Concrete Washout: 50' Min. 1. Concrete washout materials shall be removed once the materials have filled the washout to approximately 75% full. Existing Ground — Existing Pavement 2. Concrete washout areas shall be enlarged as necessary to maintain capacity for wasted concrete. 3. Concrete washout water, wasted pieces of concrete and all other debris in the subsurface pit shall be transported from the job site in a water-tight container and disposed of properly. 4. Concrete washout areas shall remain in place until all concrete for - Mountable Berm (Optional) the project is placed. Non-Woven Geotextile -5. When concrete washout areas are removed, excavations shall be filled with suitable compacted backfill and topsoil, any disturbed areas Side Elevation associated with the installation, maintenance, and/or removal of the concrete washout areas shall be stabilized. Not to Scale 20' Min. Excavated material Shall be used for perimeter berm. Soil for berm Shall be compacted in the same Construction Fence (optional) – manner as trench backfill. Vehicle Tracking Non-Woven Geotextile — Section A-A Existing Grade Maintenance for Construction Entrance: Notes for Construction Entrance: 1. Avoid locating on steep slopes, at curves on public roads, or 1. Reshape entrance as needed to maintain function and downhill of disturbed area. integrity of Installation. Top dress with clean aggregate as needed. 2. Remove all vegetation and other unsuitable material from the foundation area, grade, and crown for positive drainage. 3. If slope towards the public road exceeds 2%, construct a **CONCRETE WASHOUT** 6- to 8-inch high ridge with 3H:1V side slopes across the foundation approximately 15 feet from the edge of the public road to divert runoff from it. 4. Install pipe under the entrance if needed to maintain drainage ditches along public roads. 5. Place stone to dimensions and grade as shown on plans. CONSTRUCTION ENTRANCE KANSAS CITY Leave surface sloped for drainage. 6. Divert all surface runoff and drainage from the entrance to METRO CHAPTER a sediment control device. STANDARD DRAWING 7. If conditions warrant, place geotextile fabric on CONSTRUCTION ENTRANCE Construction Entrance modified from 2015 Overland Park Standard Details NUMBER ESC-OI the graded foundation to improve stability. for Erosion and Sediment Control; Concrete Washout modified from 2009 ADOPTED: AND CONCRETE WASHOUT City of Great Bend Standard Drawings. 10/24/2016

DOCUMENTS PREPARED BY CORESTATES, INC INCLUDING THIS DOCUMENT, ARE TO BE USEI ONLY FOR THE SPECIFIC PROJECT AND SPECIF USE FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS BY OWNER OR BY ANY OTHER PARTY, WITHOU THE EXPRESSED WRITTEN CONSENT OF CORESTATES, INC. IS DONE UNLAWFULLY AND AT THE USERS OWN RISK. IF USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDED USER WILL HOLD CORESTATES, INC. HARMLE: FROM ALL CLAIMS AND LOSSES.

CLIENT

REVISIONS

3 06/02/21 CITY COMMENTS

DOCUMENT CIVIL CONSTRUCTION PLANS FOR CHASE **BANK**

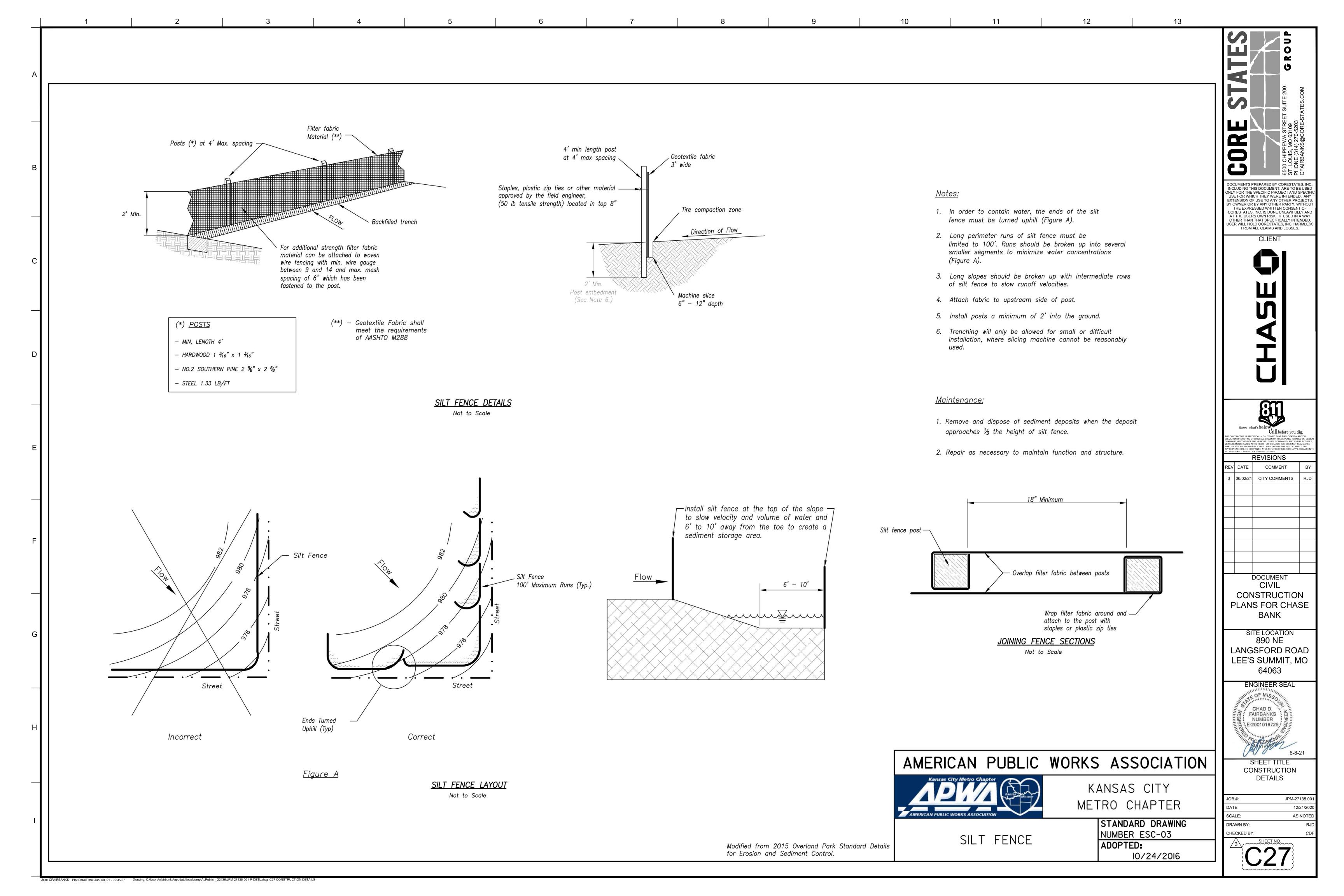
SITE LOCATION 890 NE LANGSFORD ROAD LEE'S SUMMIT, MO 64063

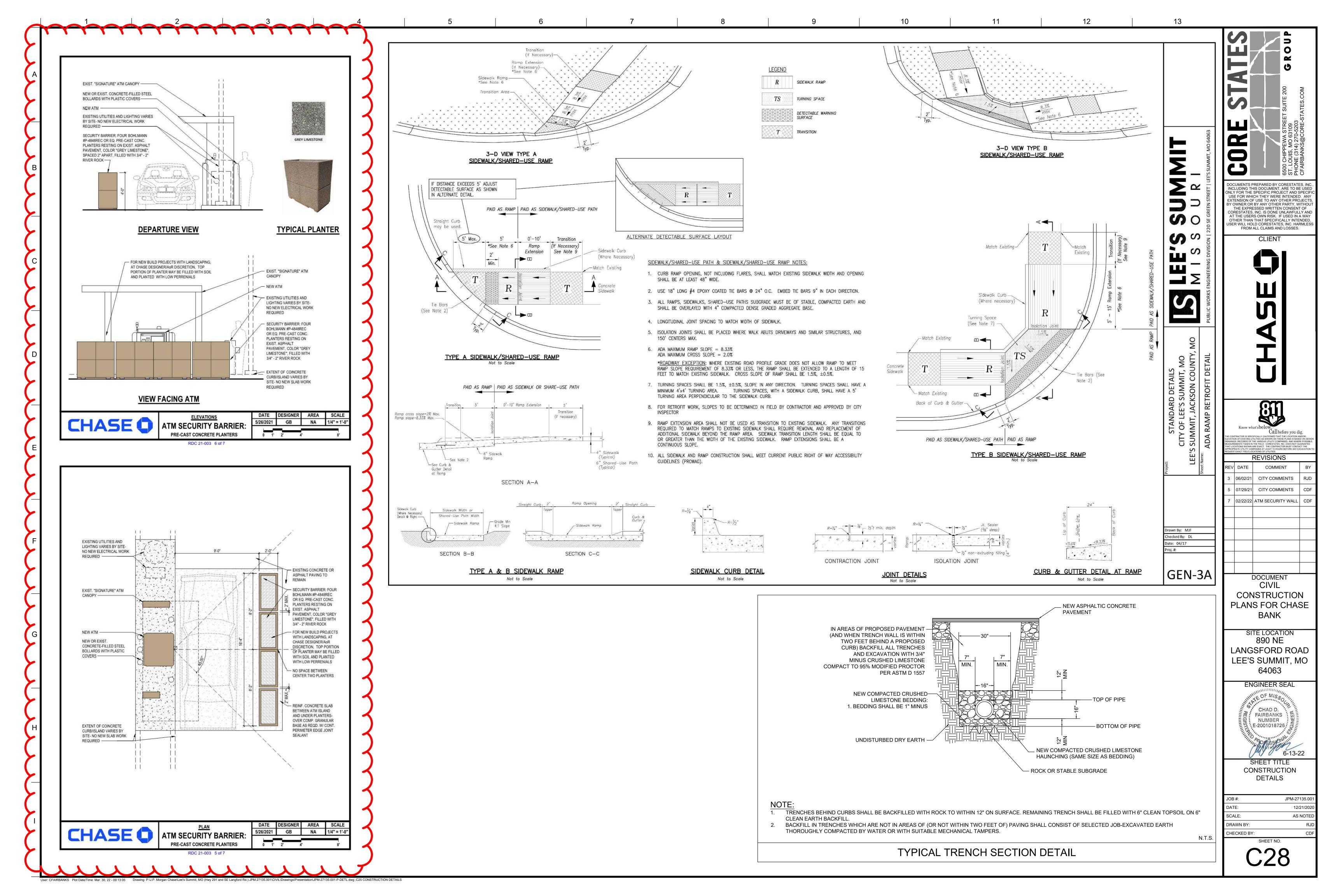
ENGINEER SEAL CHAD D. E-2001018726

SHEET TITLE CONSTRUCTION **DETAILS**

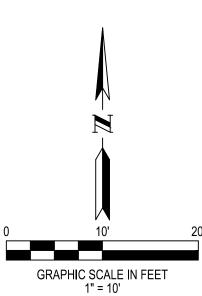
JPM-27135.00 12/21/2020 SCALE: AS NOTED DRAWN BY: CHECKED BY:

AMERICAN PUBLIC WORKS ASSOCIATION









DEED DESCRIPTION:

LOT 1, STAR FUEL CENTER OF LEE'S SUMMIT, LOT 1, A SUBDIVISION IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF FILED APRIL 3, 2000 IN PLAT BOOK I-67, PAGE 17 AS DOCUMENT NO. 200010020477.

THE TITLE INSURANCE COMMITMENT HAS BEEN PROVIDED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NUMBER NCS-967398-KCTY, DATED JUNE 15, 2019.

SCHEDULE B SECTION II COMMENTS:

9. EASEMENT DEDICATION AND MAINTENANCE AGREEMENT DATED DECEMBER 27, 1999 BY AND BETWEEN A AND M FOODMARTS, INC., AND GRANDLAND DEVELOPMENT, L.C., A LIMITED LIABILITY COMPANY, AS DOCUMENT NO. 991101701.

(APPLIES, NOT PLOTTED. BLANKET IN NATURE.) 10. EASEMENT CONVEYED TO THE GAS SERVICE COMPANY AS SET FORTH BY INSTRUMENT RECORDED MARCH 19, 1975 AS DOCUMENT NO. 1205852 IN BOOK I 582, PAGE 854 AND BEING ASSIGNED TO LACLEDE GAS COMPANY, A MISSOURI CORPORATION BY INSTRUMENT ENTITLED ASSIGNMENT OF EASEMENTS AND RIGHTS-OF-WAY RECORDED SEPTEMBER 3, 2013 AS DOCUMENT NO. 2013E0093218. (APPLIES AND IS PLOTTED HEREON.)

11. EASEMENT FOR INGRESS/EGRESS PURPOSES AS SET FORTH BY INSTRUMENT ENTITLED DECLARATION OF EASEMENT RECORDED JULY 13, 1984 AS DOCUMENT NO. 1579596 IN BOOK I 1331, PAGE 849. (APPLIES AND IS PLOTTED HEREON.) 12. EASEMENT AS SET FORTH BY INSTRUMENT ENTITLED RIGHT OF WAY DEED RECORDED APRIL 23, 2014 AS DOCUMENT NO. 2014E0031670. (APPLIES AND IS PLOTTED HEREON.)

BASIS OF BEARING: THE BEARING SYSTEM HAS BEEN ADOPTED FROM GPS OBSERVATION, USING THE MISSOURI DEPARTMENT OF TRANSPORTATION'S NETWORK OF CONTINUOUSLY OPERATING REFERENCE SYSTEMS, ADJUSTED TO THE NAD83 STATE PLANE COORDINATE SYSTEM FOR THE STATE OF MISSOURI, WEST ZONE.

SITE DATUM ELEVATION: HORIZONTAL AND VERTICAL CONTROL HAS BEEN ESTABLISHED BY GPS OBSERVATION USING MODOT NETWORK, GEOID 12B ADJUSTMENTS AND NAVD88 IN FEET.

SITE BENCHMARK: CROSS IN SIDEWALK, ALSO BEING THE SW PROPERTY CORNER EL.=998.31

ZONING: CP-2 - PLANNED COMMUNITY COMERCIAL MIN FRONT YARD SETBACK = 15FT

MIN SIDE YARD SETBACK = 10FT

MIN REAR YARD SETBACK = 20FT

MAX STRUCTURE HEIGHT = 40FT (3 STORIES)

FLOOD PLAIN INFORMATION: SUBJECT TRACT IS WITHIN "ZONE X" AREAS DETERMINED TO BE OUTSIDE THE 0.2% CHANCE FLOODPLAIN, AS SHOWN OF THE FEMA FIRM (FLOOD INSURANCE RATE MAP) 29095C0436G, DATED JANUARY 20, 2017.

THERE WAS NO EVIDENCE OF RECENT CONSTRUCTION OR EARTHWORK ON SITE. UTILITIES HAVE BEEN FIELD LOCATED BASE ON MISSOURI ONE-CALL SYSTEM MARKINGS. TICKET # 191763215

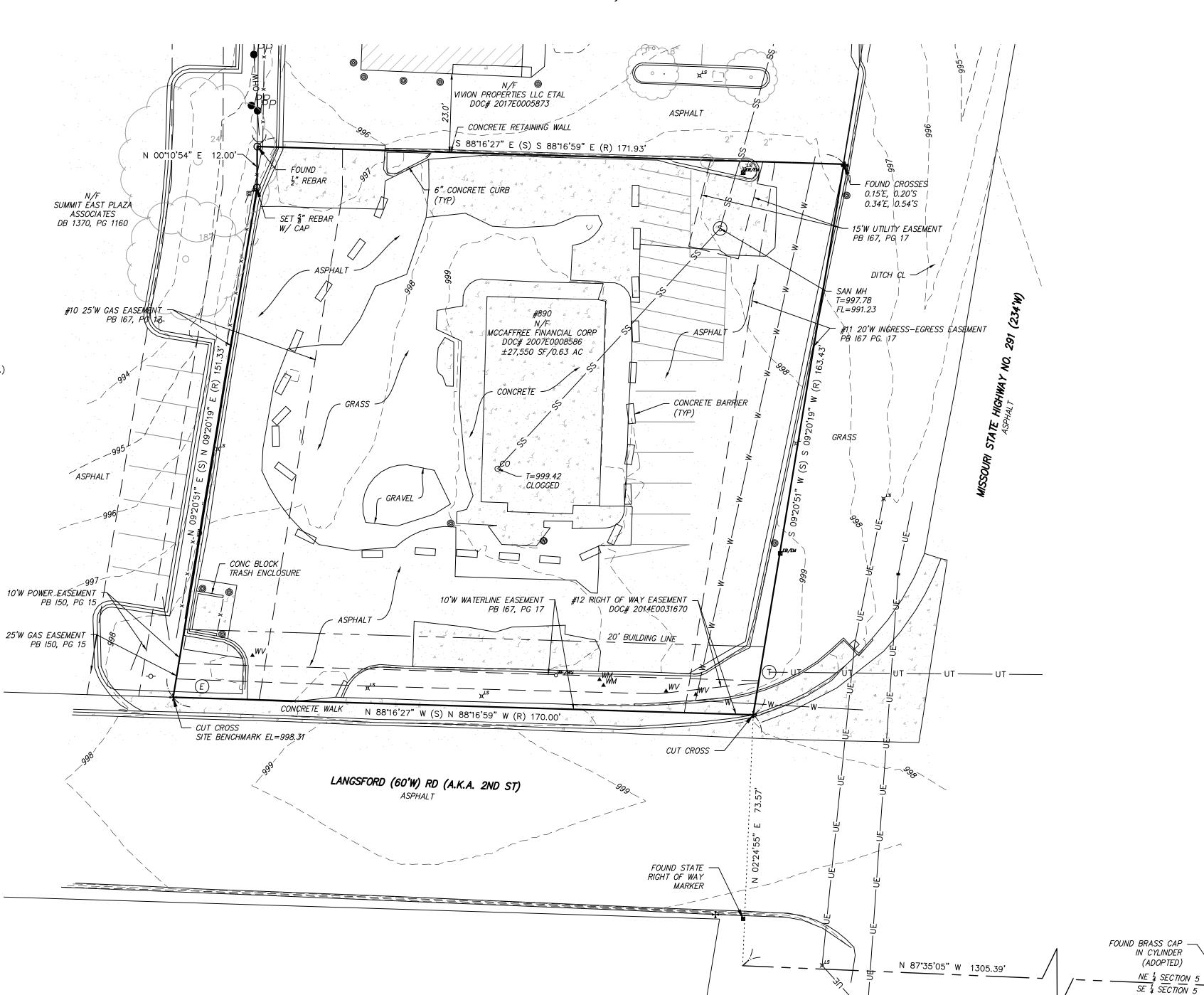
SURVEYORS CERTIFICATE

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1-11, 13-14, 16, 19, 20 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON JULY 3, 2019.

GATEWAY LAND SERVICES, INC. (AGENT)

ALTA/NSPS LAND TITLE SURVEY

LOT 1 OF STAR FUEL CENTER OF LEE'S SUMMIT, LOT 1, PB 167, PG 17
JACKSON COUNTY, MISSOURI



MONUMENT LEGEND

FOUND IRON PIPE FOUND REBAR SET REBAR BENCHMARK CONCRETE MONUMENT RIGHT OF WAY MARKER CROSS ANCHOR CROSS CUT CROSS COTTON PICKER SPINDLE RAILROAD SPIKE

Gateway Land Services, Inc. 9378 Olive Blvd. St. Louis, MO 63132 Office: 314.881.9556 www.glsstl.com

LS-2009014482 DEGENHARDT NUMBER PLS-2649

Land Surveying Services No.

ABBREVIATIONS

NAIL WITH NOTE TYPE

AC ASPH BLDG	ACRES ASPHALT BUILDING	James L. Degenhardt, P.L.S. License No.: PLS-2649
BM CLF CONC DB E	BENCH MARK CHAIN LINK FENCE CONCRETE DEED BOOK EAST	PROJECT REVISION:
EL FF FL LF MH N NE NTS PB PG P.O.C. P.O.B. P.O.T.	ELEVATION FINISHED FLOOR FLOW LINE LINEAR FEET MANHOLE NORTH NORTHEAST NOT TO SCALE PLAT BOOK PAGE	DESCRIPTION: ADD REC BEARINGS
R/W S SF ST SUR SW	RIGHT OF WAY SOUTH SQUARE FEET STORM SURVEY SOUTHWEST	3/3/21
W W/	WEST DENOTES WITH	S -

RD RD I, MO	

VE

UR

← PP	POWER POLE W/GUY WIRE
PP	POWER POLE
-0-	STREET SIGN
▲ GV	GAS VALVE
▲ GM	GAS METER
▲ WV	WATER VALVE
▲ WM	WATER METER
OWF/WS	WATER FAUCET OR SPRINKLER
0 <i>C0</i>	CLEAN OUT
OER	ELECTRIC RISER
O YD	YARD DRAIN
⊠ EB ∕EM	ELECTRIC BOX OR METER
⊠ <i>MB</i>	MAIL BOX
∏ TB /CB	TELEPHONE OR CABLE BOX
`X LS	LIGHT STANDARD
	FIRE HYDRANT
D TS	TRAFFIC SIGNAL
	YARD LIGHT
	COIN METER
❸	TEST HOLE
- 0	FLAGPOLE
©	BOLLARD
	OVERHEAD UTILITY LINE
G ———	
—	UNDERGROUND ELECTRIC
ss	SANITARY SEWER
	WATER LINE
—ST——ST——	STORM SEWER
xx	FENCE
——— UT ———	UNDERGROUND TELEPHONE
——F0——	FIBER OPTIC
	TREE LINE
(ST)	SEPTIC TANK
10"	TDEE W /017E
(+)	TREE W/SIZE
	STORM GRATE INLET
0	STORM INLET

LEGEND

SANITARY MANHOLE UTILITY MANHOLE BUSH W/ DIAMETER ELEC. PULL BOX ssouri One Call System, Inc. DATE: 07/17/19
BOOK NO.: 31/30 Call Before You Dig!

ELECTRIC TRANSFORMER

All the improvements & facilities and utilities, above ground and underground shown herein were plotted from available information and do not necessarily reflect the actual existence, nonexistence, elevation, size, type, number or location of these or other improvements, facilities, or utilities. The General Contractor and/or owner shall be responsible for verifying the actual location & elevation of all improvements, facilities, & utilities, shown or not shown, and said improvements, facilities, & utilities shall be located in the field prior to any grading, excavation or construction of any improvements. These provisions shall in no way absolve any part from complying with the Underground Facility Safety & Damage Prevention Act, Chapter 319, RSMo.

CALL MISSOURI ONE-CALL, 1-800-DIG-RITE,

NW & SECTION 4 SW 1/2 SECTION 4

> DRAFTED BY: LSC APPROVED BY: JLD

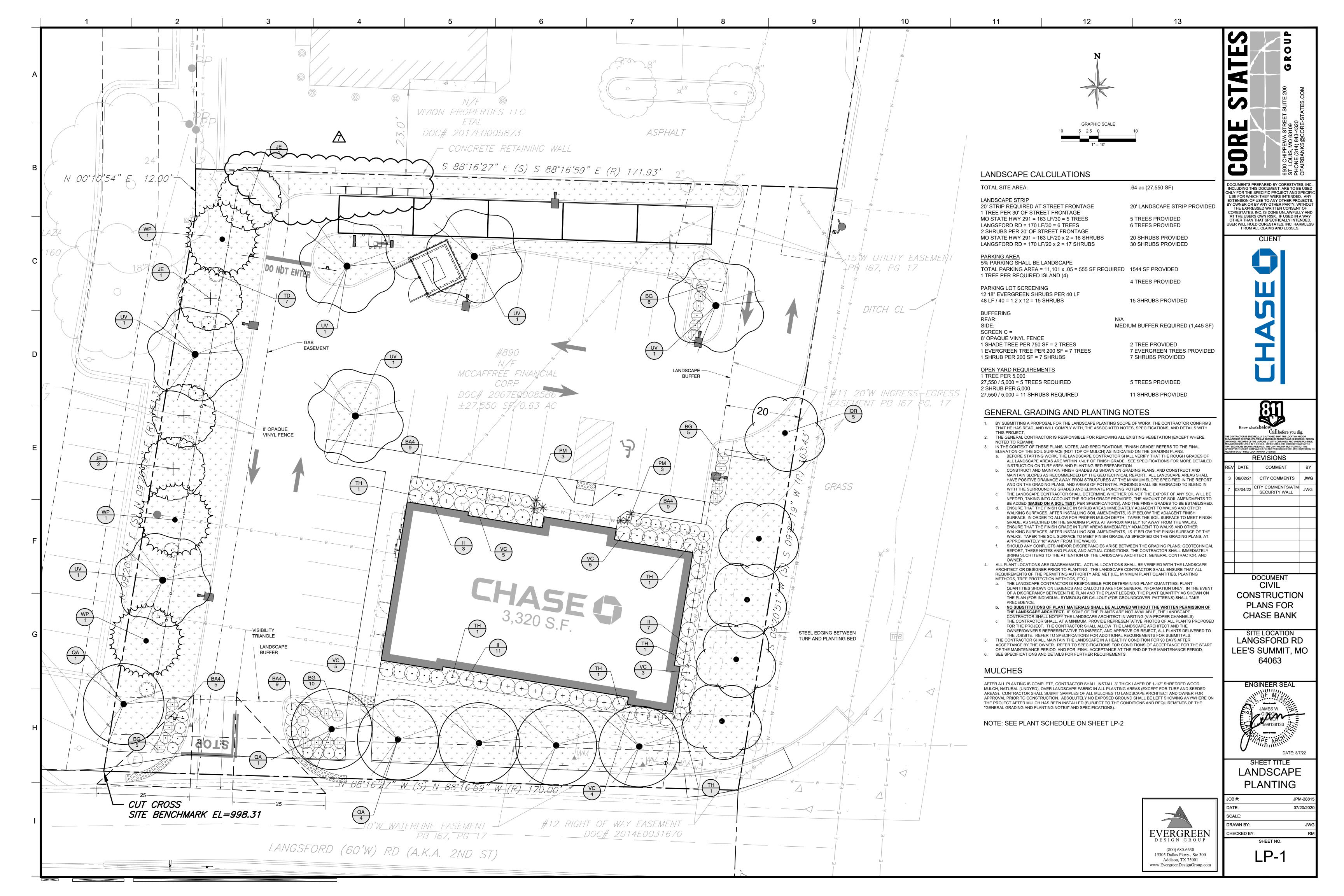
19-0118 LEE'S SUMMIT.DWG

SHEET TITLE:

SHEET NO: 1 OF 1

PROJECT NO:19-01

SHEET NUMBER



NON-CONIFEROUS 3X ROOTBALL DIA. STAKING EXAMPLES (PLAN VIEW)

> PREVAILING PREVAILING WINDS

> TREE PLANTING

(6) TRUNK FLARE.

(8) FINISH GRADE. (9) ROOT BALL. BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS. (11) UNDISTURBED NATIVE SOIL. (12) 4" HIGH EARTHEN WATERING BASIN (13) FINISH GRADE.

(1) TREE CANOPY.

2) CINCH-TIES (24" BOX/2" CAL. TREES AND SMALLER) OR

STRAPS AT TREE AND STAKE (36" BOX/2.5" CAL. TREES

AND LARGER). SECURE TIES OR STRAPS TO TRUNK

(4) GREEN STEEL T-POSTS. EXTEND POSTS 12" MIN. INTO

TREE (MIN.). BURY OUTSIDE OF PLANTING PIT AND

(5) PRESSURE-TREATED WOOD DEADMAN, TWO PER

7) MULCH, TYPE AND DEPTH PER PLANS. DO NOT

12 GAUGE GALVANIZED WIRE WITH NYLON TREE

JUST ABOVE LOWEST MAJOR BRANCHES.

(3) 24" X 3/4" P.V.C. MARKERS OVER WIRES.

18" MIN. INTO UNDISTURBED SOIL.

PLACE MULCH WITHIN 6" OF TRUNK.

UNDISTURBED SOIL.

SCARIFY SIDES OF PLANTING PIT PRIOR TO SETTING TREE. REMOVE EXCESS SOIL APPLIED ON TOP OF THE ROOTBALL THAT COVERS THE ROOT FLARE. THE PLANTING HOLE DEPTH SHALL BE SUCH THAT THE ROOTBALL RESTS ON UNDISTURBED SOIL, AND THE ROOT FLARE IS 2"-4" ABOVE FINISH GRADE. FOR B&B TREES, CUT OFF BOTTOM 1/3 OF WIRE BASKET BEFORE PLACING TREE IN HOLE, CUT OFF AND REMOVE REMAINDER OF BASKET AFTER TREE IS SET IN HOLE, REMOVE ALL NYLON TIES, TWINE, ROPE, AND OTHER PACKING MATERIAL. REMOVE AS MUCH BURLAP FROM AROUND ROOTBALL AS IS PRACTICAL.

REMOVE ALL NURSERY STAKES AFTER PLANTING.

5. FOR TREES 36" BOX/2.5" CAL. AND LARGER, USE THREE STAKES OR DEADMEN (AS APPROPRIATE), SPACED EVENLY AROUND TREE. 6. STAKING SHALL BE TIGHT ENOUGH TO PREVENT TRUNK FROM BENDING, BUT LOOSE ENOUGH TO ALLOW SOME TRUNK MOVEMENT

(1) SHRUB, PERENNIAL, OR ORNAMENTAL GRASS. MULCH TYPE AND DEPTH PER PLANS. PLACE NO. MORE THAN 1" OF MULCH WITHIN 6" OF PLANT

CENTER. 3) FINISH GRADE

 $(ext{ 4 })$ ROOT BALL.

(5) BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS

(6) UNDISTURBED NATIVE SOIL.

(7) 3" HIGH EARTHEN WATERING BASIN.

 $(\ 8\)\ \ \mathsf{WEED}$ FABRIC UNDER MULCH.

SHRUB AND PERENNIAL PLANTING

OHEDO						
CODE	BOTANICAL NAME	COMMON NAME	CALIPER	ROOT	HEIGHT	QTY
JE	Juniperus virginiana	Eastern Red Cedar	B & B		8` minimum	4
WP	Pinus strobus	White Pine	B & B	3" Cal	8` minimum	3
QA	Quercus acutissima	Sawtooth Oak	B & B	3" Cal	8` minimum	6
QR	Quercus rubra	Red Oak	B & B	3" Cal	8` minimum	5
UV	Ulmus americana `Valley Forge`	American Elm	B & B	3" Cal	8` minimum	6
CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER		
BA4	Berberis thunbergii `Aurea Nana`	Japanese Barberry	2 gal.	CONT.		32
BG	Buxus x `Green Gem`	Green Gem Boxwood	2 gal.	CONT.		26
II	llex glabra `Compacta`	Compact Inkberry	5 gal	CONT.		21
PM	Pennisetum alopecuroides `Moudry`	Oriental Fountain Grass	1 gal	CONT.		6
TD	Taxus x media `Densiformis`	Dense Yew	5 gal	CONT.		7
TH	Taxus x media `Hicksii`	Hicks Yew	5 gal	CONT.		6
VC	Viburnum carlesii `Compactum`	Korean Spice Viburnum	5 gal	CONT.		22
RS CODE	BOTANICAL NAME	COMMON NAME	QTY			
	CODE JE WP QA QR UV CODE BA4 BG II PM TD TH VC	CODE BOTANICAL NAME JE Juniperus virginiana WP Pinus strobus QA Quercus acutissima QR Quercus rubra UV Ulmus americana `Valley Forge` CODE BOTANICAL NAME BA4 Berberis thunbergii `Aurea Nana` BG Buxus x `Green Gem` II Ilex glabra `Compacta` PM Pennisetum alopecuroides `Moudry` TD Taxus x media `Densiformis` TH Taxus x media `Hicksii` VC Viburnum carlesii `Compactum`	CODE BOTANICAL NAME JE Juniperus virginiana Eastern Red Cedar WP Pinus strobus White Pine QA Quercus acutissima Sawtooth Oak QR Quercus rubra Red Oak UV Ulmus americana `Valley Forge` American Elm CODE BOTANICAL NAME COMMON NAME BA4 Berberis thunbergii `Aurea Nana` Japanese Barberry BG Buxus x `Green Gem` Green Gem Boxwood II Ilex glabra `Compacta` Compact Inkberry PM Pennisetum alopecuroides `Moudry` Oriental Fountain Grass TD Taxus x media `Densiformis` Dense Yew TH Taxus x media `Hicksii` Hicks Yew VC Viburnum carlesii `Compactum` Korean Spice Viburnum	CODE BOTANICAL NAME JE Juniperus virginiana Eastern Red Cedar B & B WP Pinus strobus White Pine B & B QA Quercus acutissima Sawtooth Oak B & B UV Ulmus americana `Valley Forge` American Elm B & B CODE BOTANICAL NAME COMMON NAME SIZE BA4 Berberis thunbergii `Aurea Nana` Japanese Barberry 2 gal. BG Buxus x `Green Gem` Green Gem Boxwood 2 gal. II llex glabra `Compacta` Compact Inkberry 5 gal TD Taxus x media `Densiformis` Dense Yew 5 gal VC Viburnum carlesii `Compactum` Korean Spice Viburnum 5 gal	CODE BOTANICAL NAME COMMON NAME CALIPER ROOT JE Juniperus virginiana Eastern Red Cedar B & B WP Pinus strobus White Pine B & B 3" Cal QA Quercus acutissima Sawtooth Oak B & B 3" Cal QR Quercus rubra Red Oak B & B 3" Cal UV Ulmus americana 'Valley Forge' American Elm B & B 3" Cal CODE BOTANICAL NAME COMMON NAME SIZE CONTAINER BA4 Berberis thunbergii 'Aurea Nana' Japanese Barberry 2 gal. CONT. BG Buxus x 'Green Gem' Green Gem Boxwood 2 gal. CONT. II Ilex glabra 'Compacta' Compact Inkberry 5 gal CONT. PM Pennisetum alopecuroides 'Moudry' Oriental Fountain Grass 1 gal CONT. TD Taxus x media 'Densiformis' Dense Yew 5 gal CONT. TH Taxus x media 'Hicksii' Hicks Yew 5 gal CONT. VC Viburnum carlesii 'Compactum' Korean Spice Viburnum 5 gal CONT. <td>CODE BOTANICAL NAME COMMON NAME CALIPER ROOT HEIGHT JE Juniperus virginiana Eastern Red Cedar B & B 3" Cal 8' minimum WP Pinus strobus White Pine B & B 3" Cal 8' minimum QA Quercus acutissima Sawtooth Oak B & B 3" Cal 8' minimum QR Quercus rubra Red Oak B & B 3" Cal 8' minimum UV Ulmus americana 'Valley Forge' American Elm B & B 3" Cal 8' minimum CODE BOTANICAL NAME COMMON NAME SIZE CONTAINER BA4 Berberis thunbergii 'Aurea Nana' Japanese Barberry 2 gal. CONT. BG Buxus x 'Green Gem' Green Gem Boxwood 2 gal. CONT. II Ilex glabra 'Compacta' Compact Inkberry 5 gal CONT. TD Taxus x media 'Densiformis' Dense Yew 5 gal CONT. TH Taxus x media 'Hicksii' Hicks Yew 5 gal CONT. VC Viburnum carlesii 'Compactum' Korean Spice Viburnum 5 gal C</td>	CODE BOTANICAL NAME COMMON NAME CALIPER ROOT HEIGHT JE Juniperus virginiana Eastern Red Cedar B & B 3" Cal 8' minimum WP Pinus strobus White Pine B & B 3" Cal 8' minimum QA Quercus acutissima Sawtooth Oak B & B 3" Cal 8' minimum QR Quercus rubra Red Oak B & B 3" Cal 8' minimum UV Ulmus americana 'Valley Forge' American Elm B & B 3" Cal 8' minimum CODE BOTANICAL NAME COMMON NAME SIZE CONTAINER BA4 Berberis thunbergii 'Aurea Nana' Japanese Barberry 2 gal. CONT. BG Buxus x 'Green Gem' Green Gem Boxwood 2 gal. CONT. II Ilex glabra 'Compacta' Compact Inkberry 5 gal CONT. TD Taxus x media 'Densiformis' Dense Yew 5 gal CONT. TH Taxus x media 'Hicksii' Hicks Yew 5 gal CONT. VC Viburnum carlesii 'Compactum' Korean Spice Viburnum 5 gal C



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CLIENT

REVISIONS 06/02/21 CITY COMMENTS

> DOCUMENT CIVIL CONSTRUCTION PLANS FOR

SITE LOCATION LANGSFORD RD LEE'S SUMMIT, MO 64063

CHASE BANK

ENGINEER SEAL

LANDSCAPE DETAILS AND

SPECIFICATION 07/20/202 SCALE: DRAWN BY: CHECKED BY:

INSTALLATION GENERAL NOTES

- 1. THE SYSTEM DESIGN ASSUMES A MINIMUM DYNAMIC PRESSURE FOR THE IRRIGATION SYSTEM OF 60 PSI (DOWNSTREAM OF THE IRRIGATION BACKFLOW PREVENTER), AT A MAXIMUM DISCHARGE OF 12 GPM AT THE 1-INCH IRRIGATION POINT-OF-CONNECTION (POC). VERIFY PRESSURE AND FLOW ON SITE PRIOR TO CONSTRUCTION.
- 2. READ THOROUGHLY AND BECOME FAMILIAR WITH THE SPECIFICATIONS AND INSTALLATION DETAILS FOR THIS AND RELATED WORK PRIOR TO CONSTRUCTION.
- 3. COORDINATE UTILITY LOCATES ("CALL BEFORE YOU DIG") OF UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
- 4. DO NOT PROCEED WITH THE INSTALLATION OF THE IRRIGATION SYSTEM WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTIONS OR GRADE DIFFERENCES EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. IF DISCREPANCIES IN CONSTRUCTION DETAILS, LEGEND, NOTES, OR SPECIFICATIONS ARE DISCOVERED, BRING ALL SUCH OBSTRUCTIONS OR DISCREPANCIES TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE.
- 5. THE DRAWINGS ARE DIAGRAMMATIC. THEREFORE, THE FOLLOWING SHOULD BE NOTED:
- A. ALTHOUGH IRRIGATION COMPONENTS MAY BE SHOWN OUTSIDE PLANTING AREAS FOR CLARITY, INSTALL IRRIGATION PIPE AND WIRING IN LANDSCAPED AREAS WHENEVER POSSIBLE.
- 3. TREE AND SHRUB LOCATIONS AS SHOWN ON LANDSCAPE PLANS TAKE PRECEDENCE OVER IRRIGATION EQUIPMENT LOCATIONS. AVOID CONFLICTS BETWEEN THE IRRIGATION SYSTEM, PLANTING MATERIALS, AND ARCHITECTURAL FEATURES.
- C. USE ONLY STANDARD TEES AND ELBOW FITTINGS. USE OF TEES IN THE BULLNOSE CONFIGURATION, OR USE OF CROSS TYPE FITTINGS IS NOT ALLOWED.

THE WEATHERMATIC IRRIGATION CONTROLLER

MEETS CHASE REQUIREMENTS AND WILL

PROVIDE UNIQUE CONNECTION TO THE BANK

BUILDING MONITORING SYSTEM, LONG-TERM

COMMUNICATIONS, AND MANAGED SERVICES.

CONTACT THE DISTRIBUTOR FOR ALL

IRRIGATION EQUIPMENT ORDERING.

REQUIRED: AFTER INSTALLATION AND ONLINE

SET UP OF THE SMARTLINK CONTROL SYSTEM

USING THE PRODUCT INSTRUCTIONS

INCLUDED, CONTACT WEATHERMATIC TO

PROVIDE THE SITE NAME AND CONTROLLER

NAME IN SMARTLINK FOR FINAL ACTIVATION.

EMAIL: JPMCsupport@weathermatic.com

- 6. PROVIDE THE FOLLOWING COMPONENTS TO THE OWNER PRIOR TO THE COMPLETION OF THE PROJECT:
- A. TWO (2) OPERATING KEYS FOR EACH TYPE OF MANUALLY OPERATED VALVES.
- B. TWO (2) OF EACH SERVICING WRENCH OR TOOL NEEDED FOR COMPLETE ACCESS, ADJUSTMENT, AND REPAIR OF ALL ROTARY SPRINKLERS.
- 7. SELECT NOZZLES FOR SPRAY AND ROTARY SPRINKLERS WITH ARCS WHICH PROVIDE COMPLETE AND ADEQUATE COVERAGE WITH MINIMUM OVERSPRAY FOR THE SITE CONDITIONS. CAREFULLY ADJUST THE RADIUS OF THROW AND ARC OF COVERAGE OF EACH ROTARY SPRINKLER TO PROVIDE THE BEST PERFORMANCE.
- 8. THE IRRIGATION CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF IRRIGATION SLEEVING. SLEEVES ARE REQUIRED FOR BOTH PIPING AND ELECTRICAL WIRING AT EACH HARDSCAPE CROSSING. COORDINATE INSTALLATION OF SLEEVING WITH OTHER TRADES. ANY PIPE OR WIRE WHICH PASSES BENEATH EXISTING HARDSCAPE WHERE SLEEVING WAS NOT INSTALLED WILL REQUIRE HORIZONTAL BORING BY THE IRRIGATION CONTRACTOR. PIPE SLEEVES SHALL BE SIZED TWICE THE NOMINAL SIZE OF THE PIPE PASSING THROUGH.
- 9. INSTALL ALL ELECTRICAL POWER TO THE IRRIGATION CONTROL SYSTEM IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE AND ALL APPLICABLE LOCAL ELECTRIC UTILITY CODES.
- 10. THE FOLLOWING SHOULD BE NOTED REGARDING PIPE SIZING: IF A SECTION OF UNSIZED PIPE IS LOCATED BETWEEN TWO IDENTICALLY SIZED SECTIONS, THE UNSIZED PIPE IS THE SAME NOMINAL SIZE AS THE TWO SIZED SECTIONS. THE UNSIZED PIPE SHOULD NOT BE CONFUSED WITH THE DEFAULT PIPE SIZE NOTED IN THE LEGEND.
- 11. INSTALL TWO (2) #14 AWG CONTROL WIRES ON STANDARD WIRE SYSTEMS FOR USE AS SPARES. INSTALL SPARE WIRES FROM CONTROLLER LOCATION TO EACH DEAD-END OF MAINLINE. COIL 3 FEET OF WIRE IN VALVE BOX.

CONSTRUCTION NOTES

- THE IRRIGATION SYSTEM POINT-OF-CONNECTION (POC) SHALL BE TO THE 1-INCH IRRIGATION SERVICE INSTALLED TO THIS APPROXIMATE LOCATION BY OTHERS. MAKE CONNECTION AND INSTALL IRRIGATION COMPONENTS AS SHOWN. VERIFY EXACT LOCATION OF POC WITH OWNER'S REPRESENTATIVE.
- WALL MOUNT THE IRRIGATION CONTROLLER AND CELLULAR AIRCARD AT THE APPROXIMATE LOCATION SHOWN ON EXTERIOR OF BUILDING AND ACCORDING TO CHASE BANK STANDARDS. COORDINATE ELECTRICAL POWER WITH THE OWNER'S REPRESENTATIVE. CARE SHOULD BE TAKEN TO INSTALL THE IRRIGATION CONTROLLER IN A LOCATION THAT IS ACCESSIBLE FOR MAINTENANCE, AND SCREENED FROM VIEW EITHER BEHIND ENTRY WALLS, NEXT TO BUILDINGS, OR BEHIND PLANT MATERIAL. FINAL LOCATION TO BE APPROVED BY OWNER'S REPRESENTATIVE.

IRRIGATION PIPE SCHEDULE

SIZE	FLOW (GPM)
 1"	0-15
1-1/4"	16-25
1-1/2"	26-35
2"	36-55
2-1/2"	56-80
3"	81-110
4"	111-200

IF THERE IS A DISCREPANCY BETWEEN PIPE SIZES SHOWN ON THE DRAWINGS AND THIS PIPE SCHEDULE, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT THE IRRIGATION DESIGNER FOR CLARIFICATION.

IRRIGATION LEGEND

SLEEVES: CLASS 200 PVC

POINT-OF-CONNECTION ASSEMBLY

MAINLINE PIPE: CLASS 200 PVC
1 1/4-INCH SIZE UNLESS OTHERWISE INDICATED

— LATERAL PIPE TO SPRINKLERS: CLASS 200 PVC 1-INCH SIZE UNLESS OTHERWISE INDICATED

LATERAL PIPE TO DRIP EMITTERS: UV RADIATION RESISTANT POLYETHYLENE 3/4-INCH SIZE UNLESS OTHERWISE INDICATED, ROUTING IS DIAGRAMMATIC

REMOTE CONTROL VALVE ASSEMBLY FOR SPRINKLER LATERALS: WEATHERMATIC MAX-DW (SIZED PER PLAN)

REMOTE CONTROL DRIP VALVE ASSEMBLY: WEATHERMATIC SCZ-MAX-DW-10

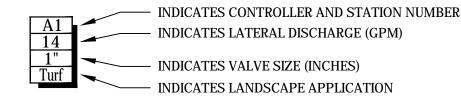
MASTER VALVE ASSEMBLY: 1-INCH WEATHERMATIC MAX-DW

F FLOW SENSOR ASSEMBLY: WEATHERMATIC SLFSI-T10

QUICK COUPLING VALVE ASSEMBLY: RAIN BIRD 5RC

ISOLATION GATE VALVE ASSEMBLY: MATCO 514

── UNCONNECTED PIPE CROSSING



- (C) IRRIGATION CONTROLLER UNIT BUNDLE WITH WEATHERSTATION: WEATHERMATIC SL1616-10YR-BDL-FLOW-CHASE
- ♦ POP-UP SPRAY SPRINKLER: WEATHERMATIC MAX6PRS30-CV W/ MPR SERIES NOZZLES PRESSURE: 30 PSI RADIUS: 8 FEET FLOW (GPM): Q-0.40 H-0.80 F-1.60
- Ø POP-UP SPRAY SPRINKLER: WEATHERMATIC MAX6PRS30-CV W/ MPR SERIES NOZZLES PRESSURE: 30 PSI RADIUS: 10 FEET FLOW (GPM): Q-0.40 H-0.80 F-1.60
- △ ▲ POP-UP SPRAY SPRINKLER: WEATHERMATIC MAX6PRS30-CV W/ MPR SERIES NOZZLES PRESSURE: 30 PSI RADIUS: 12 FEET FLOW (GPM): Q-0.70 H-1.30 F-2.60
- POP-UP SPRAY SPRINKLER: WEATHERMATIC MAX6PRS30-CV W/ MPR SERIES NOZZLES PRESSURE: 30 PSI RADIUS: 15 FEET FLOW (GPM): Q-0.90 H-1.90 F-3.70
- POP-UP SPRAY SPRINKLER: WEATHERMATIC MAX6PRS30-CV W/ MPR SERIES NOZZLE PRESSURE: 30 PSI RADIUS: 4 FEET X 15 FEET FLOW (GPM): EST-0.60 SST-1.20
- □ ♥ △ POP-UP SPRAY SPRINKLER: WEATHERMATIC MAX6PRS30-CV W/RAIN BIRD HE-VAN SERIES NOZZLE PRESSURE: 30 PSI RADIUS: VARIES FLOW (GPM): HEVAN08-1.17 HEVAN10-1.78 HEVAN12-2.37 HEVAN15-3.70
- © © POP-UP ROTATING SPRAY SPRINKLER:WEATHERMATIC MAX6PRS40-CV W/HUNTER MP2000 NOZZLES PRESSURE: 40 PSI RADIUS: 13 FEET TO 21 FEET FLOW (GPM): K-0.77 G-1.10 R-1.48
- POP-UP ROTATING SPRAY SPRINKLER: WEATHERMATIC MAX6PRS40-CV W/HUNTER MP3000 NOZZLES PRESSURE: 40 PSI RADIUS: 22 FEET TO 30 FEET FLOW (GPM): B-1.82 Y-2.73 A-3.64

SOO CHIPPEWA STREET SUITE 200 GROU

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CLIENT



Know what's below.

Call before you dig.

ECONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION ANDOR

EVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON DESIGN

ANAIMINES, RECORDS OF THE VARIOUS UTILITY COMPANIES, AND VHERE POSSIBLE.

ASJUREMENTS TAKEN IN THE FIELD. CORESTATES, INC. DOES NOT GUARANTEE

ASJUREMENTS TAKEN IN THE FIELD. CORESTATES, INC. DOES NOT GUARANTEE

PROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO

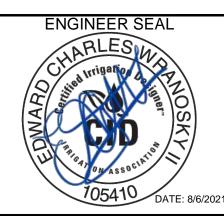
QUEST EXACT FIELD LOCATIONS OF UTILITIES.

REVISIONS

REV DATE COMMENT BY

DOCUMENT
CIVIL
CONSTRUCTION
PLANS FOR
CHASE BANK

SITE LOCATION LANGSFORD RD LEE'S SUMMIT, MO 64063



IRRIGATION
LEGEND & NOTES

OB #: JPM-28815

DATE: 08/06/2021

SCALE:

IR-1.0

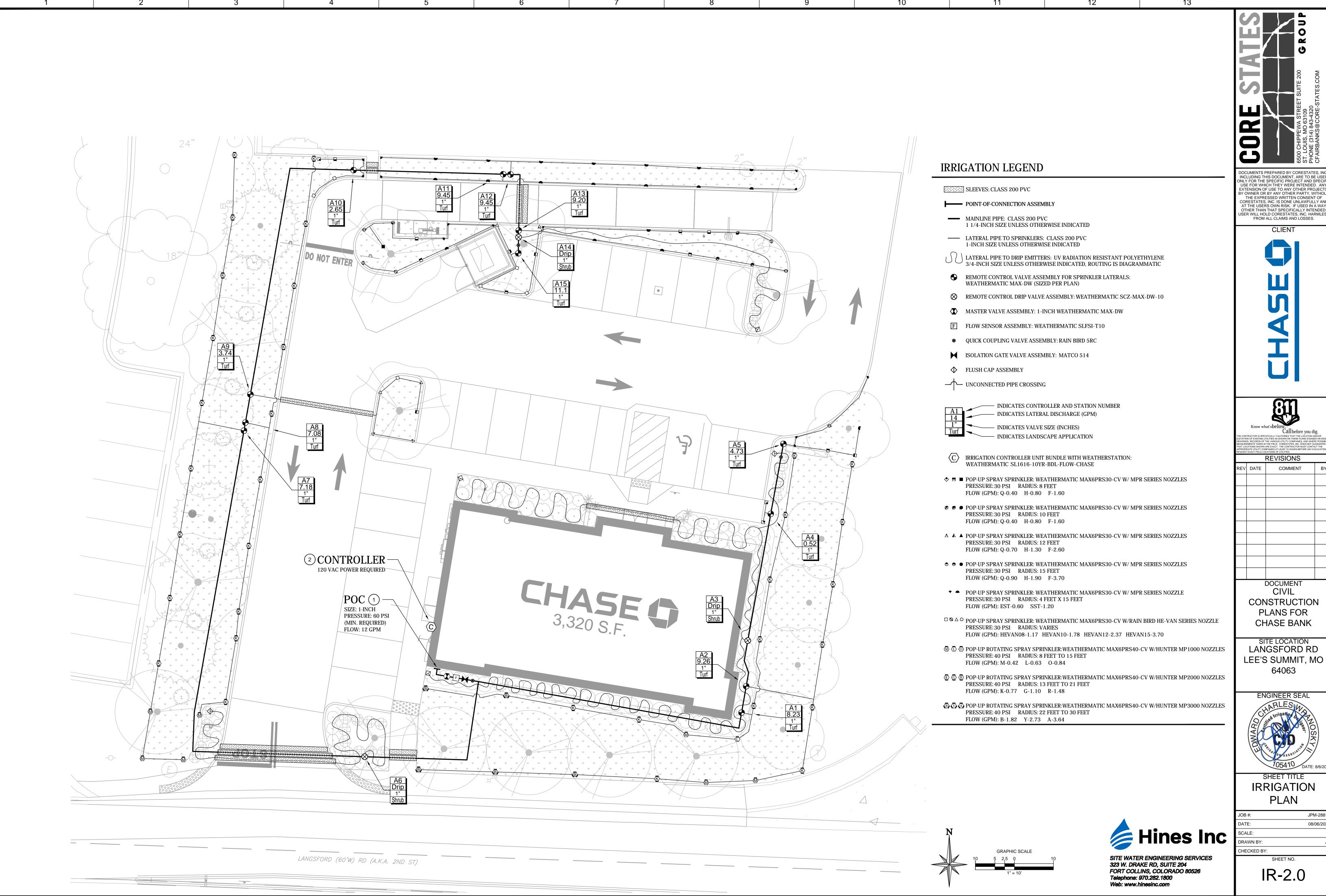


Web: www.hinesinc.com

CHASE BANK DESIGN NOTE

THESE IRRIGATION PLANS HAVE BEEN DESIGNED IN ACCORDANCE WITH CHASE BANK PROTOCOL 20.3 AND THE CHASE BANK WATER CONSERVATION APPROACH. THE IRRIGATION SYSTEM SHALL BE CONSTRUCTED ACCORDING TO THE PLANS AND SPECIFICATIONS INCLUDED IN THIS CONSTRUCTION DOCUMENT PACKAGE WITH NO EXCEPTION.

EQUIPMENT SUBSTITUTIONS OF ANY KIND ARE NOT PERMITTED.



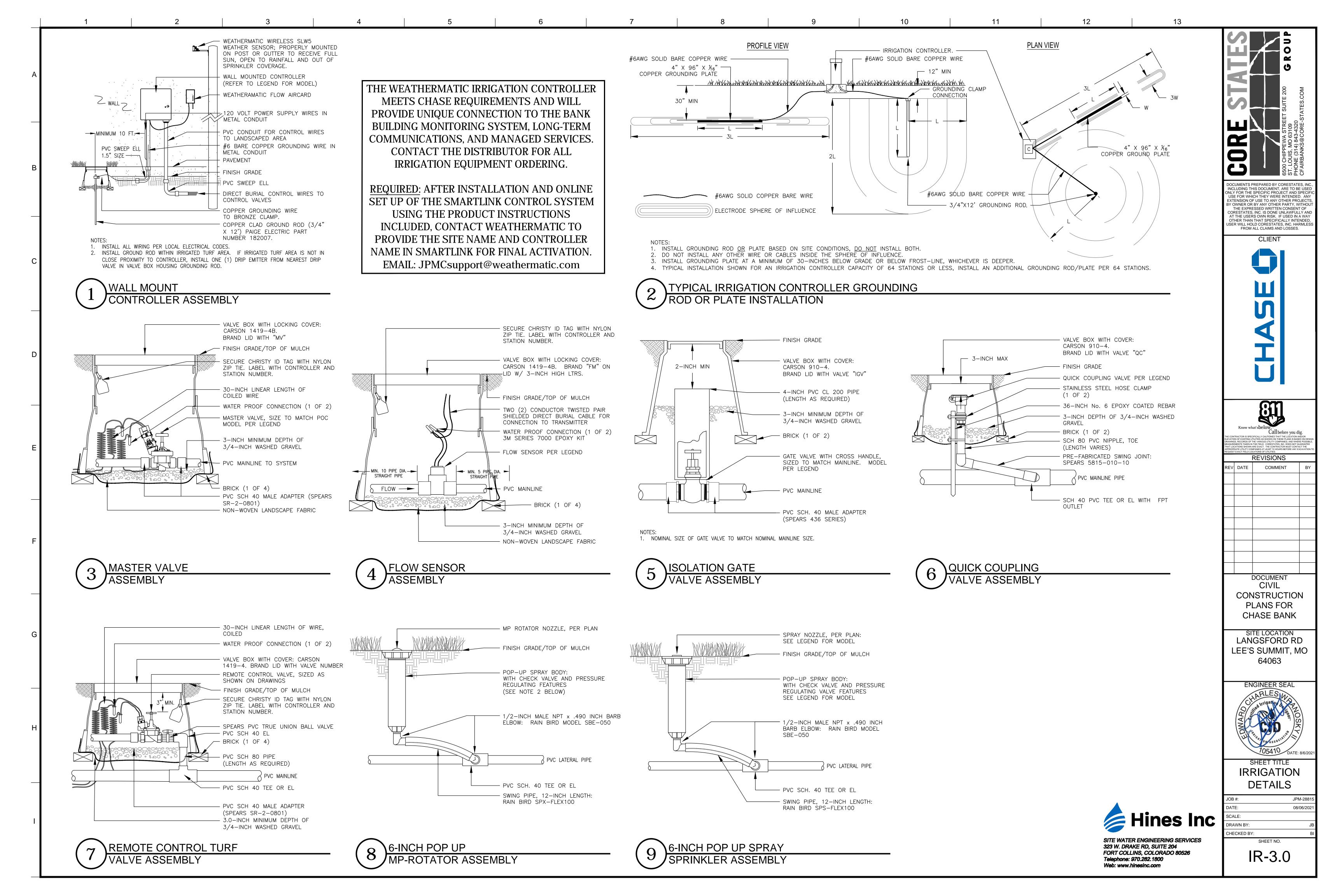
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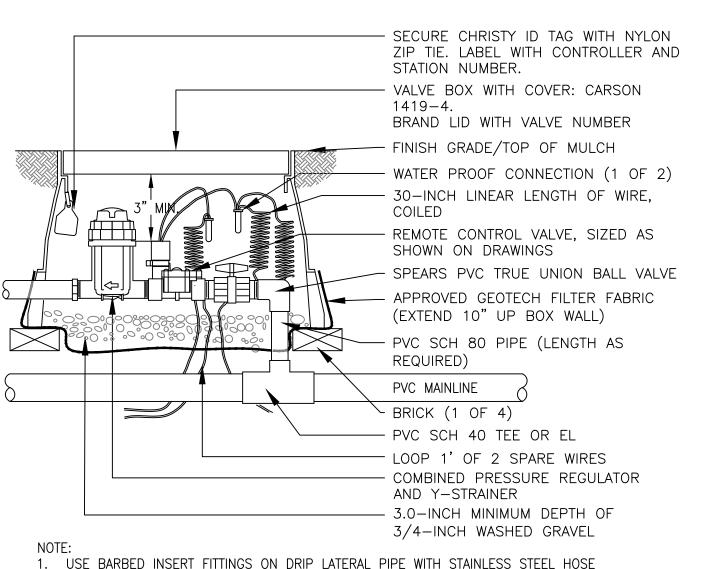
CONSTRUCTION PLANS FOR CHASE BANK

SITE LOCATION LANGSFORD RD LEE'S SUMMIT, MO



IRRIGATION





CLAMPS. PLACE CLAMPS ON DRIP TUBING DIRECTLY OVER BARBED AREA OF FITTING.

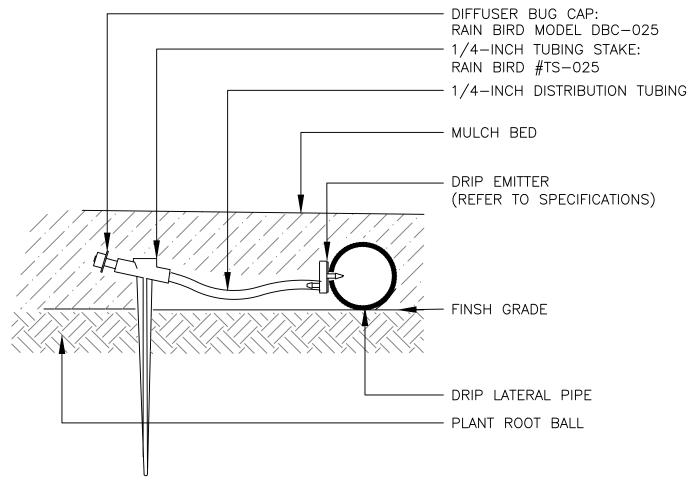
REMOTE CONTROL DRIP VALVE ASSEMBLY

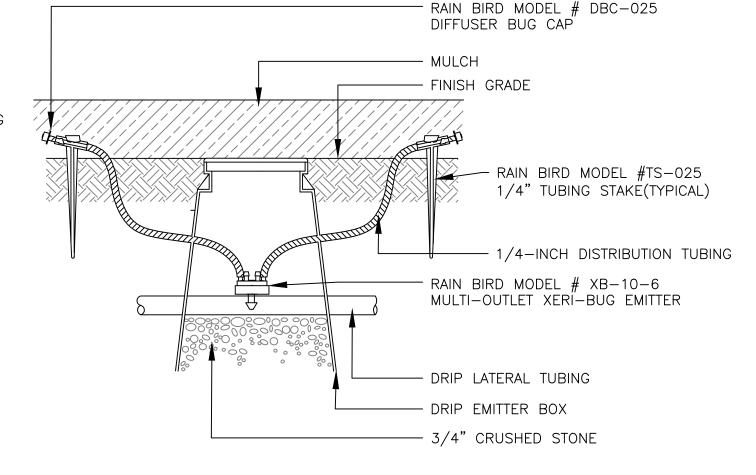
PINCH CLAMPS ARE NOT ACCEPTABLE.

PLANT TYPE	EMITTERS PER PLANT	GPH PER EMITTER	TOTAL GPH PER PLANT
TREES 2" CAL	4 SINGLE	1 GPH	4 GPH
LARGE SHRUBS 5 GAL	2 SINGLE	1 GPH	2 GPH
SMALL SHRUBS 1 GAL	1 SINGLE	1 GPH	1 GPH
GC/PERENNIAL	1 SINGLE	1 GPH	1 GPH
CACTI	1 SINGLE	0.5 GPH	0.5 GPH

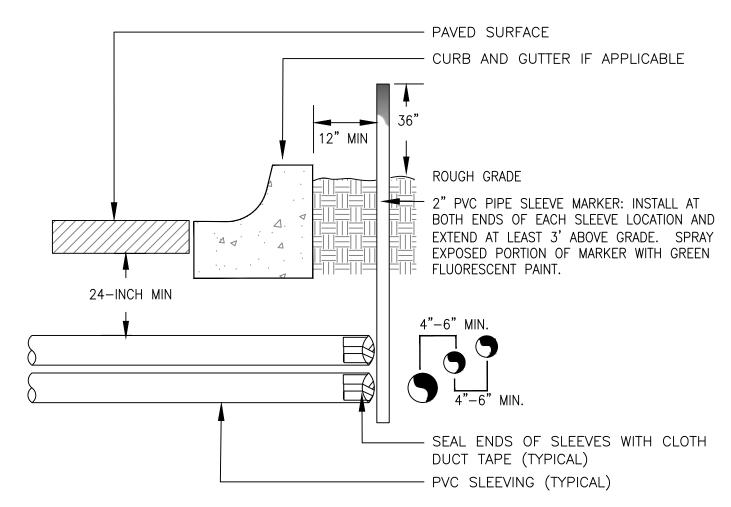
- 1. ALL EMISSION POINTS TO BE LOCATED ON THE UPHILL SIDE OF PLANT MATERIAL.
- 2. ALL EMITTER QUANTITIES AND FLOW RATES ARE FOR RECOMMENDATION ONLY. THE CONTRACTOR SHALL CONSULT AND CONFIRM WITH LOCAL PRACTICE PRIOR TO INSTALLATION.





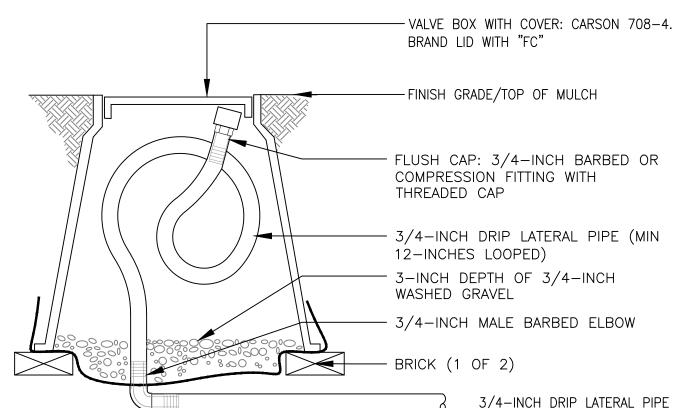


MULTI-OUTLET DRIP EMITTER ASSEMBLY FOR TREES IN BEDS



1) ALL SLEEVING TO BE CLASS 200 BE PVC, SIZED AS NOTED. 2) INSTALL SLEEVES IN SIDE-BY-SIDE CONFIGURATION WHERE MULTIPLE SLEEVES ARE TO BE INSTALLED. SPACE SLEEVES 4" TO 6" APART. DO NOT STACK SLEEVES

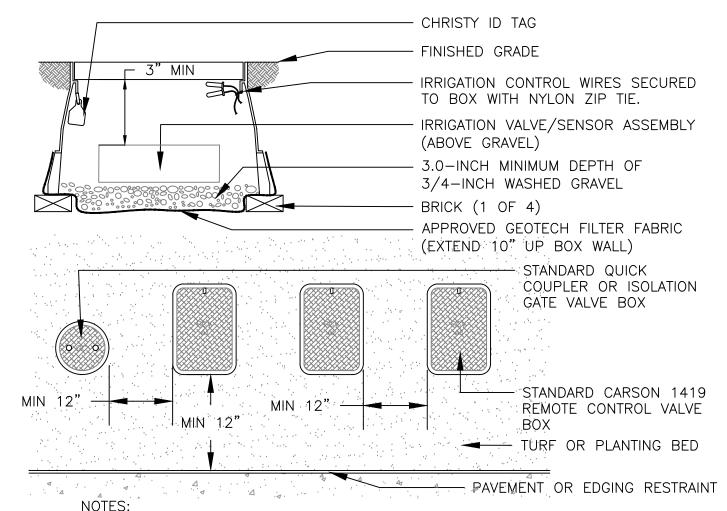
TYPICAL SLEEVING



12

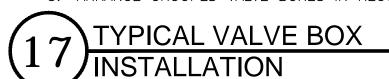
1. LOOP IRRIGATION DRIP TUBING INSIDE VALVE BOX FOR EXTENSION OUTSIDE OF BOX DURING BLOWOUT.

DRIP FLUSH CAP



1. INSTALL ONLY ONE RCV TO VALVE BOX. LOCATE AT LEAST 12-INCHES FROM AND ALIGN WITH NEARBY WALLS OR EDGES OF PAVED AREAS. GROUP RCV ASSEMBLIES TOGETHER WHERE PRACTICAL. 4. GROUP RCV ASSEMBLIES TOGETHER WHERE PRACTICAL, BUT AVOID GROUPING

MORE THAN THREE (3) STANDARD VALVE BOXES TOGETHER IN A SERIES. 5. ARRANGE GROUPED VALVE BOXES IN RECTANGULAR PATTERNS.





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FROM ALL CLAIMS AND LOSSES. CLIENT

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CIVIL CONSTRUCTION PLANS FOR **CHASE BANK**

SITE LOCATION LANGSFORD RD LEE'S SUMMIT, MO 64063

ENGINEER SEAL

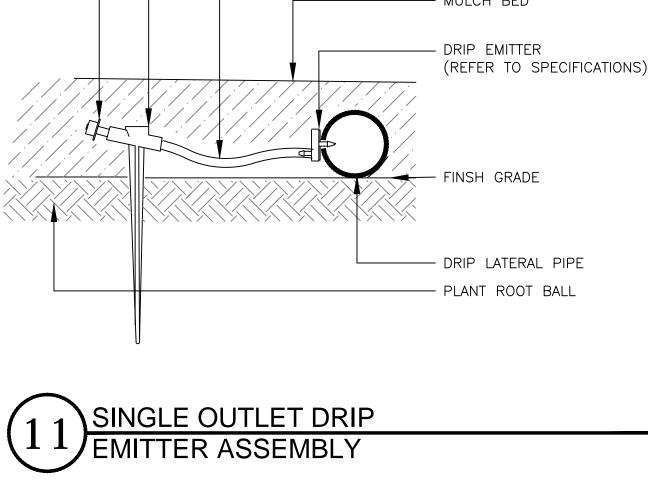
IRRIGATION DETAILS

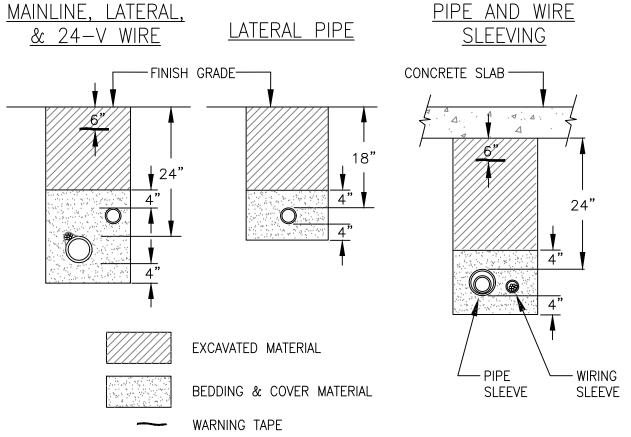
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IR-3.1

CHECKED BY:

Hines Inc SITE WATER ENGINEERING SERVICES 323 W. DRAKE RD, SUITE 204 FORT COLLINS, COLORADO 80526





1. SLEEVE ALL PIPE AND WIRE SEPARATELY.

2. ALL PIPE TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS."SNAKE" UNSLEEVED PLASTIC PIPE IN TRENCH. PROVIDE A MINIMUM OF 2" CLEARANCE TO SIDE OF TRENCH AND BETWEEN PIPES. 3. ALL 120-V WIRING SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL CODE

REQUIREMENTS. TAPE AND BUNDLE 24-V WIRE EVERY 10' AND PROVIDE LOOSE 20" LOOP AT ALL CHANGES OF DIRECTION OVER 30 DEGREES.





Telephone: 970.282.1800 Web: www.hinesinc.com