

AN ORDINANCE APPROVING A PRELIMINARY DEVELOPMENT PLAN FOR EAGLE CREEK VILLAS ON LAND LOCATED AT 2101 SW EAGLE VIEW DR AND 2250 SW PRYOR RD, ALL IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 33, THE UNIFIED DEVELOPMENT ORDINANCE, OF THE CODE OF ORDINANCES FOR THE CITY OF LEE'S SUMMIT, MISSOURI.

WHEREAS, Application #PL2022-151 submitted by Hunt Midwest Real Estate Development, Inc, requesting approval of a preliminary development plan on land located at 2101 SW Eagle View Dr. and 2250 SW Pryor Rd. was referred to the Planning Commission to hold a public hearing; and,

WHEREAS, the Unified Development Ordinance provides for the approval of a preliminary development plan by the City following public hearings by the Planning Commission and City Council; and,

WHEREAS, after due public notice in the manner prescribed by law, the Planning Commission held public hearings for the consideration of the preliminary development plan on July 14, 2022, and rendered a report to the City Council recommending that the preliminary development plan be approved; and,

WHEREAS, after due public notice in the manner prescribed by law, the City Council held a public hearing on July 26, 2022, and rendered a decision to approve the preliminary development plan for said property.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF LEE'S SUMMIT, MISSOURI, as follows:

SECTION 1. That a preliminary development plan is hereby approved on the following described property:

NORTH AREA LEGAL DESCRIPTION:

PART OF THE NE 1/4 OF SECTION 23, TOWNSHIP 47 NORTH, RANGE 32 WEST: BEGINNING AT THE NORTHEAST CORNER THENCE WEST ALONG NORTH LINE OF SAID SECTION 75' MORE OR LESS TO THE TRUE POINT OF BEGINNING THENCE SOUTH 2 DEGREES 46 MINUTES 08 SECONDS WEST 636.07' THENCE ALONG CURVE RIGHT RADIUS 25' DISTANCE 39.27' THENCE NORTH 87 DEGREES 13 MINUTES 52 SECONDS WEST; 291.02' THENCE NORTH 88 DEGREES 8 MINUTES 52 SECONDS WEST 132' MORE OR LESS THENCE NORTH 0 DEGREES 25 MINUTES 27 SECONDS EAST 331.38' THENCE NORTH 65 DEGREES 49 MINUTES 2 SECONDS WEST 78.96' THENCE NORTH 3 DEGREES 10 MINUTES 35 SECONDS WEST 169.46' THENCE SOUTH 86 DEGREES 49 MINUTES 25 SECONDS WEST 15.68' THENCE NORTH 3 DEGREES 10 MINUTES 35 SECONDS WEST 133.02' THENCE EAST 581' MORE OR LESS TO TRUE POINT OF BEGINNING

SOUTH AREA LEGAL DESCRIPTION:

PART OF THE NE 1/4 OF SECTION 23, TOWNSHIP 47 NORTH, RANGE 32 WEST: BEGINNING AT THE NE CORNER OF LOT 206 EAGLE CREEK 5TH PLAT THENCE NORTH 87 DEGREES 41 MINUTES 31 SECONDS WEST 1965.4' THENCE NORTH 2 DEGREES 46 SECONDS 08 MINUTES EAST 197.92' THENCE NORTHEASTERLY ALONG CURVE LEFT RADIUS 830' DISTANCE 429.57' THENCE NORTH 63 DEGREES 26 MINUTES 11 SECONDS EAST 285.62' THENCE NORTHLY ALONG CURVE TO RIGHT RADIUS 1270' DISTANCE 688.40' THENCE SOUTH 85 DEGREES 30 MINUTES 24 SECONDS EAST 328.06' THENCE NORTH 87 DEGREES 13 MINUTES 52 SECONDS EAST 290.91' THENCE SOUTHEASTERLY ALONG CURVE RIGHT RADIUS 25' DISTANCE 39.27' THENCE SOUTH 2 DEGREES 46 MINUTES 08 SECONDS WEST 555.81' TO POINT OF BEGINNING.

SECTION 2. That the following conditions of approval apply:

1. Development shall be in accordance with the preliminary development plan with elevations, revised date for staff comments May 23, 2022 and revised date for elevations June 2, 2022 (attached to this ordinance as Exhibit A).
2. All right-of-way and any other easements, including temporary construction easements, necessary for the construction of the City's Pryor Road Capital Improvement Project adjacent to Eagle Creek shall be donated.
3. Any private improvements that will encroach the right-of-way following the City's Pryor Road Capital Improvement Project will require a license agreement to stay in place.

SECTION 3. Nonseverability. All provisions of this ordinance are so essentially and inseparably connected with, and so dependent upon, each other that no such provision would be enacted without all others. If a court of competent jurisdiction enters a final judgment on the merits that is not subject to appeal and that declares any provision or part of this ordinance void, unconstitutional, or unenforceable, then this ordinance, in its collective entirety, is invalid and shall have no legal effect as of the date of such judgment.

SECTION 4. That failure to comply with all of the provisions contained in this ordinance shall constitute violations of both this ordinance and Chapter 33, the City's Unified Development Ordinance, of the Code of Ordinances for the City of Lee's Summit.

SECTION 5. That this ordinance shall be in full force and effect from and after the date of its passage and adoption, and approval by the Mayor

PASSED by the City Council of the City of Lee's Summit, Missouri, this 9th day of August, 2022.

ATTEST:

Trisha Fowler Arcuri
City Clerk Trisha Fowler Arcuri



William A. Baird
Mayor William A. Baird

APPROVED by the Mayor of said city this 12th day of August, 2022.

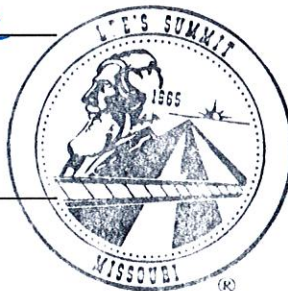
ATTEST:

Trisha Fowler Arcuri
City Clerk Trisha Fowler Arcuri

William A. Baird
Mayor William A. Baird

APPROVED AS TO FORM:

Brian W. Head
for City Attorney Brian W. Head

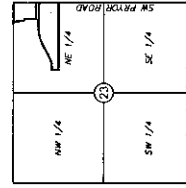


SECTION 23, TOWNSHIP 47N, RANGE 32W
IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

☒ NOT FOR CONSTRUCTION
☐ REVIEWED FOR CONSTRUCTION



PART OF THE NE 1/4 OF SECTION 23, TOWNSHIP 47 NORTH, RANGE 32 WEST BEGINNING AT THE NW CORNER OF LOT 206 EAGLE CREEK 5TH PLAT; THENCE NORTH 87 DEGREES 41 MINUTES 31 SECONDS WEST 1965.4' DISTANCE TO THE NORTHEAST CORNER OF SECTION 23; THENCE NORTH 2 DEGREES 45 MINUTES EAST 197.32' DISTANCE TO THE NORTHEASTLY ALONG CURVE LEFT RADIUS 830' DISTANCE 429.57'; THENCE NORTH 63 DEGREES 28 MINUTES EAST 286.62' DISTANCE TO THE NORTHEASTLY ALONG CURVE RIGHT RADIUS 1270' DISTANCE 688.40' THENCE SOUTH 65 DEGREES 30 MINUTES 24 SECONDS EAST 328.08' THENCE NORTH 87 DEGREES 41 MINUTES 31 SECONDS WEST 1965.4' DISTANCE TO THE NORTHEAST CORNER OF SECTION 23; THENCE NORTH 87 DEGREES 41 MINUTES 31 SECONDS WEST 1965.4' DISTANCE TO THE NORTHEAST CORNER OF SECTION 23; THENCE NORTH 87 DEGREES 41 MINUTES 31 SECONDS WEST 1965.4' DISTANCE TO THE NORTHEAST CORNER OF SECTION 23.



VICINITY MAP
SEC 23, TWP 47, RGE 32
SCALE 1"=2000'

NOTE: THIS PLAN SHALL ALSO SERVE AS A PRELIMINARY PLAN

TITLE SHEET	EAGLE CREEK VILLAS PRELIMINARY DEVELOPMENT PLAN	EE'S SUMMIT, MISSOURI 2022
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Drawn by	_____	_____
Checked by	_____	_____
Designed by	_____	_____
QC'd by	_____	_____
Printed by	_____	_____
Date	_____	_____

SHEET
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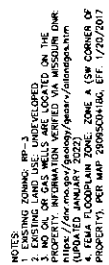
JMMIT, MISSOURI

2022

REVISIONS

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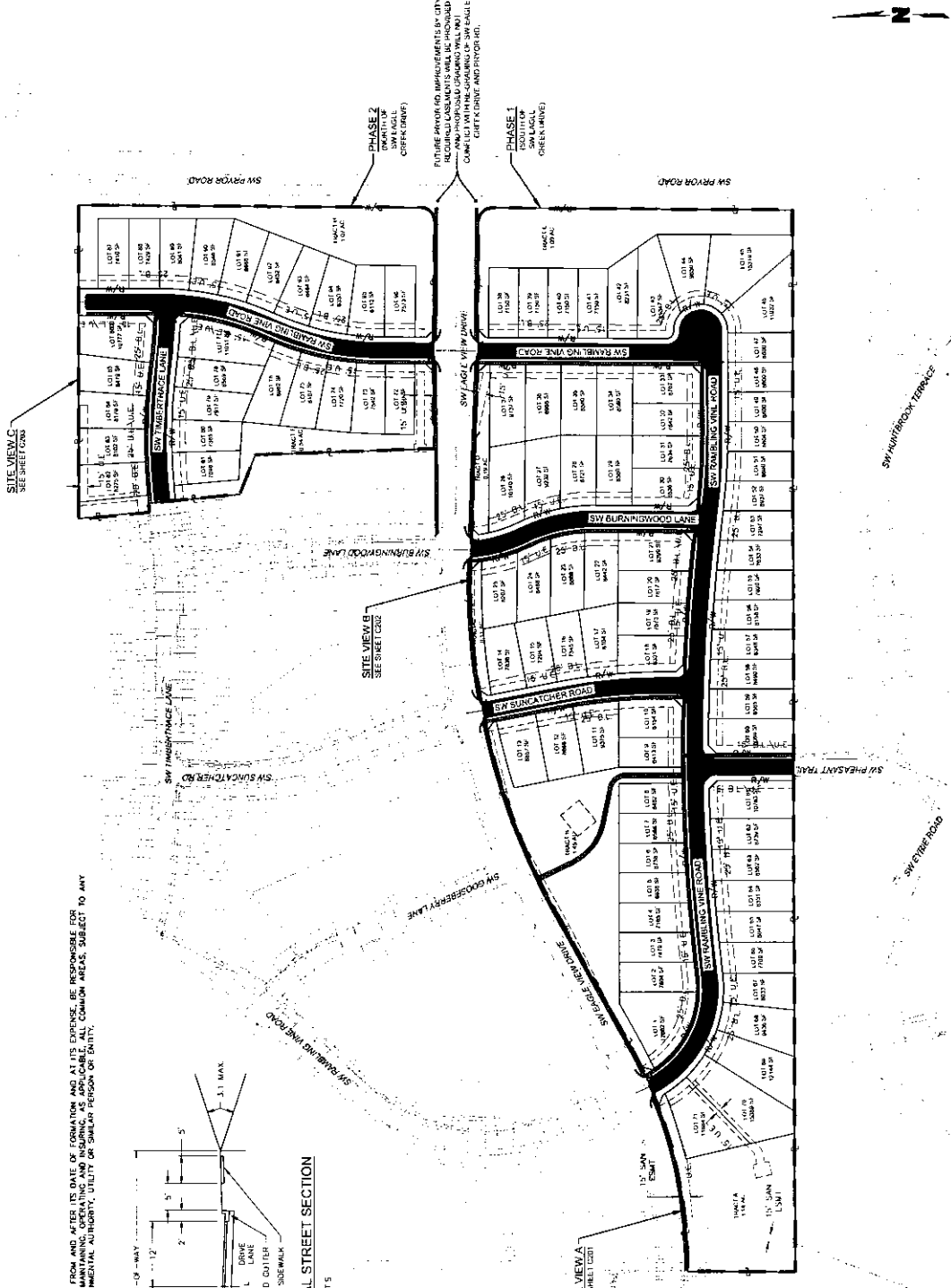
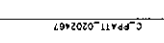
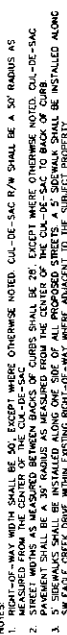
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2001-2002: 1,200,000 - 1,300,000



UTILITIES LEGEND	
EXISTING FIBER OPTIC, UNDERGROUND	
EXISTING POWER/ELECTRIC LINE, OVERHEAD	
EXISTING POWER/ELECTRIC LINE, UNDERGROUND	
EXISTING SANITARY SEWER	
EXISTING STORM SEWER	
EXISTING WATER LINE	

GRADING LEGEND	
EXISTING MEIN & CONTOURS	
EXISTING INTERMEDIATE CONTOURS	

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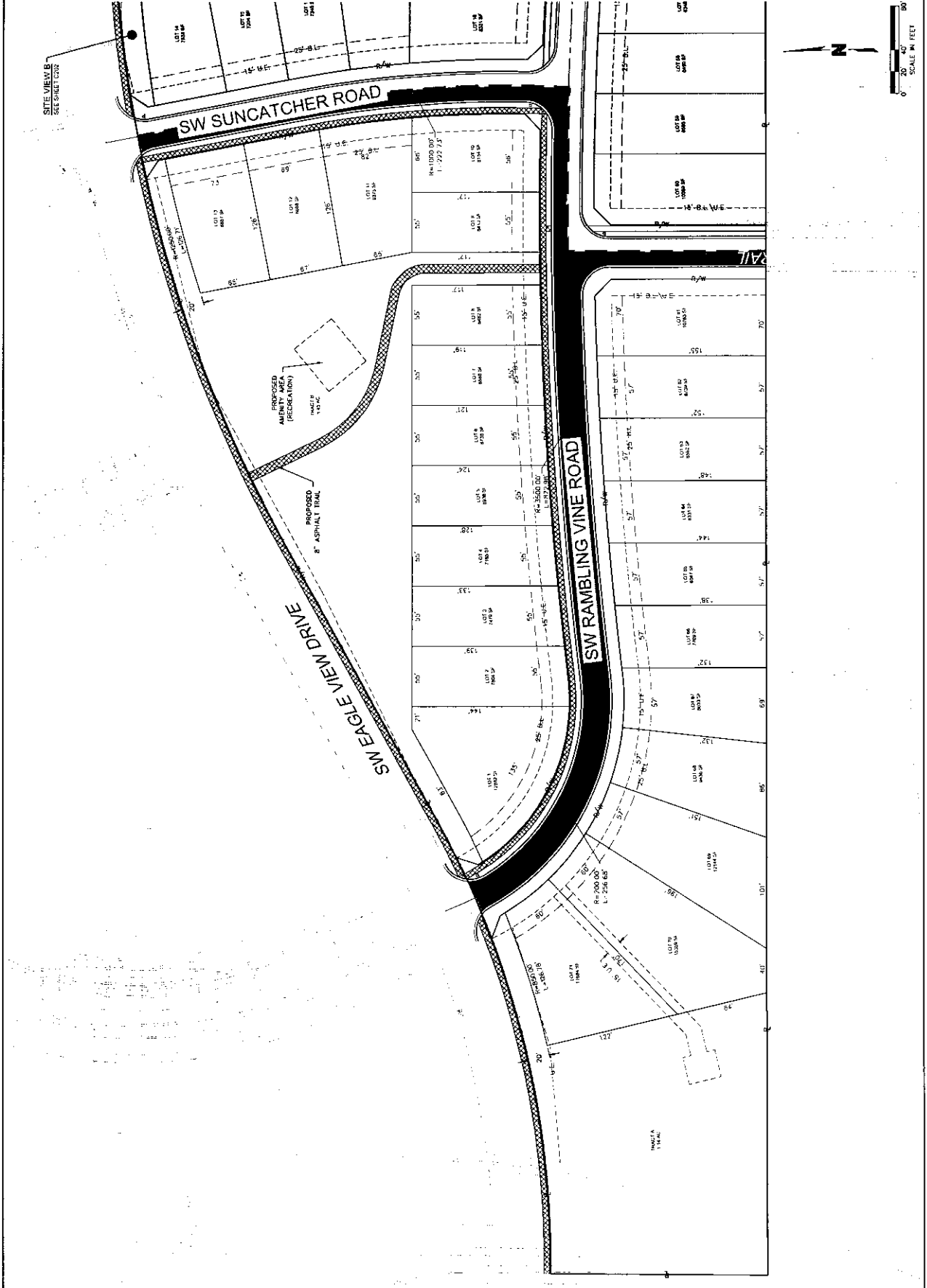


EAGLE CREEK VILLAS
PRELIMINARY DEVELOPMENT PLAN
JMMIT, MISSOURI

2022

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ALL INFORMATION CONTAINED
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DATE 08-11-2010 BY 60322 UCBAW





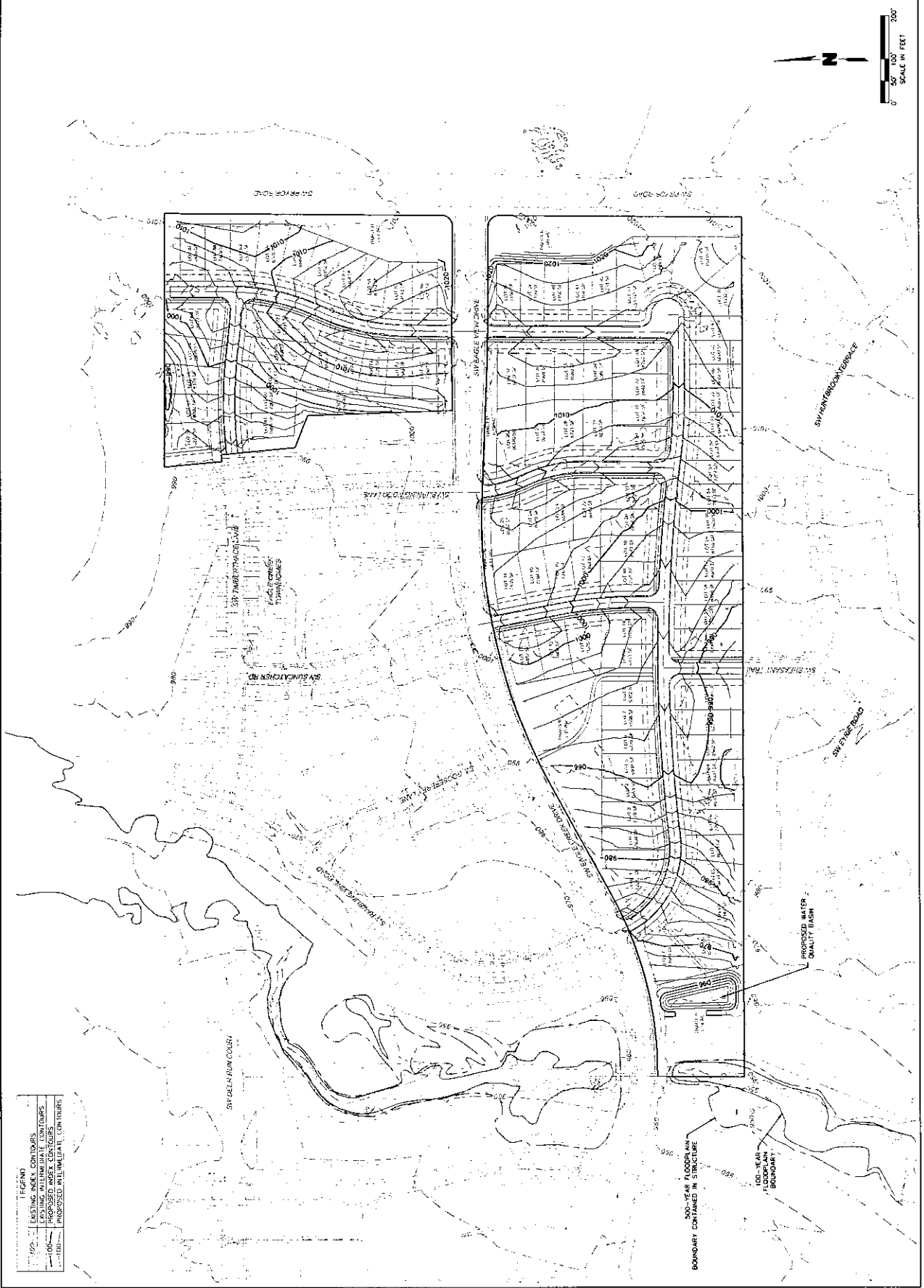
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REVISIONS		DATE	DESCRIPTION
1	2022.02.21	2022.02.21	Initial Design
2	2022.02.21	2022.02.21	Revised Design
3	2022.02.21	2022.02.21	Final Design

LEE'S SUMMIT, MISSOURI	EAGLE CREEK VILLAS	PRELIMINARY DEVELOPMENT PLAN
SITE PLAN B		

DATE	2022
BY	LEE'S SUMMIT, MISSOURI
CHECKED	LEE'S SUMMIT, MISSOURI
DESIGNED	LEE'S SUMMIT, MISSOURI
APPROVED	LEE'S SUMMIT, MISSOURI

PROJECT NO.	2022.02.21
PROJECT NAME	EAGLE CREEK VILLAS
PROJECT LOCATION	LEE'S SUMMIT, MISSOURI
PROJECT OWNER	LEE'S SUMMIT, MISSOURI
PROJECT ENGINEER	LEE'S SUMMIT, MISSOURI
PROJECT ARCHITECT	LEE'S SUMMIT, MISSOURI
PROJECT LANDSCAPE ARCHITECT	LEE'S SUMMIT, MISSOURI
PROJECT CIVIL ENGINEER	LEE'S SUMMIT, MISSOURI
PROJECT ELECTRICAL ENGINEER	LEE'S SUMMIT, MISSOURI
PROJECT MECHANICAL ENGINEER	LEE'S SUMMIT, MISSOURI
PROJECT PLUMBING ENGINEER	LEE'S SUMMIT, MISSOURI
PROJECT STRUCTURAL ENGINEER	LEE'S SUMMIT, MISSOURI
PROJECT ENVIRONMENTAL ENGINEER	LEE'S SUMMIT, MISSOURI
PROJECT GEOLOGICAL ENGINEER	LEE'S SUMMIT, MISSOURI
PROJECT HISTORIC PRESERVATION	LEE'S SUMMIT, MISSOURI
PROJECT TRAFFIC ENGINEER	LEE'S SUMMIT, MISSOURI
PROJECT UTILITIES ENGINEER	LEE'S SUMMIT, MISSOURI
PROJECT WATER ENGINEER	LEE'S SUMMIT, MISSOURI
PROJECT WASTE ENGINEER	LEE'S SUMMIT, MISSOURI
PROJECT AIR ENGINEER	LEE'S SUMMIT, MISSOURI
PROJECT SOIL ENGINEER	LEE'S SUMMIT, MISSOURI
PROJECT CLIMATE ENGINEER	LEE'S SUMMIT, MISSOURI
PROJECT ENERGY ENGINEER	LEE'S SUMMIT, MISSOURI
PROJECT SUSTAINABILITY ENGINEER	LEE'S SUMMIT, MISSOURI
PROJECT COMMUNITY ENGINEER	LEE'S SUMMIT, MISSOURI
PROJECT POLICY ENGINEER	LEE'S SUMMIT, MISSOURI
PROJECT LEGISLATION ENGINEER	LEE'S SUMMIT, MISSOURI
PROJECT ECONOMICS ENGINEER	LEE'S SUMMIT, MISSOURI
PROJECT FINANCE ENGINEER	LEE'S SUMMIT, MISSOURI
PROJECT MARKETING ENGINEER	LEE'S SUMMIT, MISSOURI
PROJECT SALES ENGINEER	LEE'S SUMMIT, MISSOURI
PROJECT CUSTOMER SERVICE ENGINEER	LEE'S SUMMIT, MISSOURI
PROJECT HUMAN RESOURCES ENGINEER	LEE'S SUMMIT, MISSOURI
PROJECT TRAINING ENGINEER	LEE'S SUMMIT, MISSOURI
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PROJECT IDENTITY ENGINEER	LEE'S SUMMIT, MISSOURI
PROJECT REPUTATION ENGINEER	LEE'S SUMMIT, MISSOURI
PROJECT IMAGE ENGINEER	LEE'S SUMMIT, MISSOURI
PROJECT VOICE ENGINEER	LEE'S SUMMIT, MISSOURI
PROJECT MESSAGE ENGINEER	LEE'S SUMMIT, MISSOURI
PROJECT STORY ENGINEER	LEE'S SUMMIT, MISSOURI
PROJECT EXPERIENCE ENGINEER	LEE'S SUMMIT, MISSOURI
PROJECT JOURNEY ENGINEER	LEE'S SUMMIT, MISSOURI
PROJECT MOMENT ENGINEER	LEE'S SUMMIT, MISSOURI
PROJECT TOUCH ENGINEER	LEE'S SUMMIT, MISSOURI
POINT ENGINEER	LEE'S SUMMIT, MISSOURI

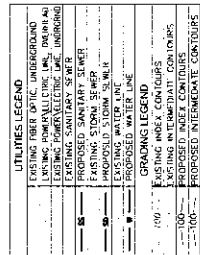


UTILITY PLAN

REVISIONS		
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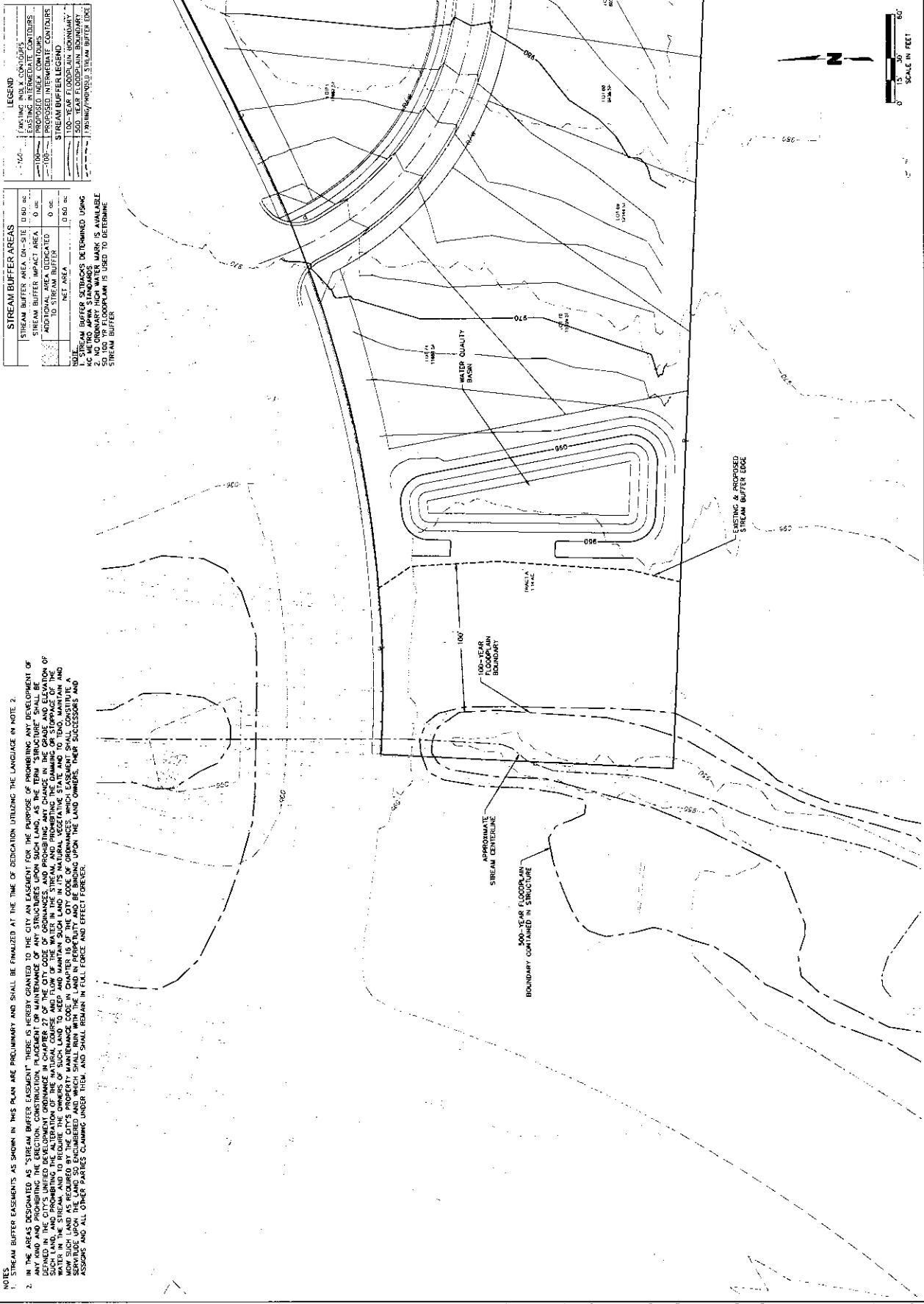


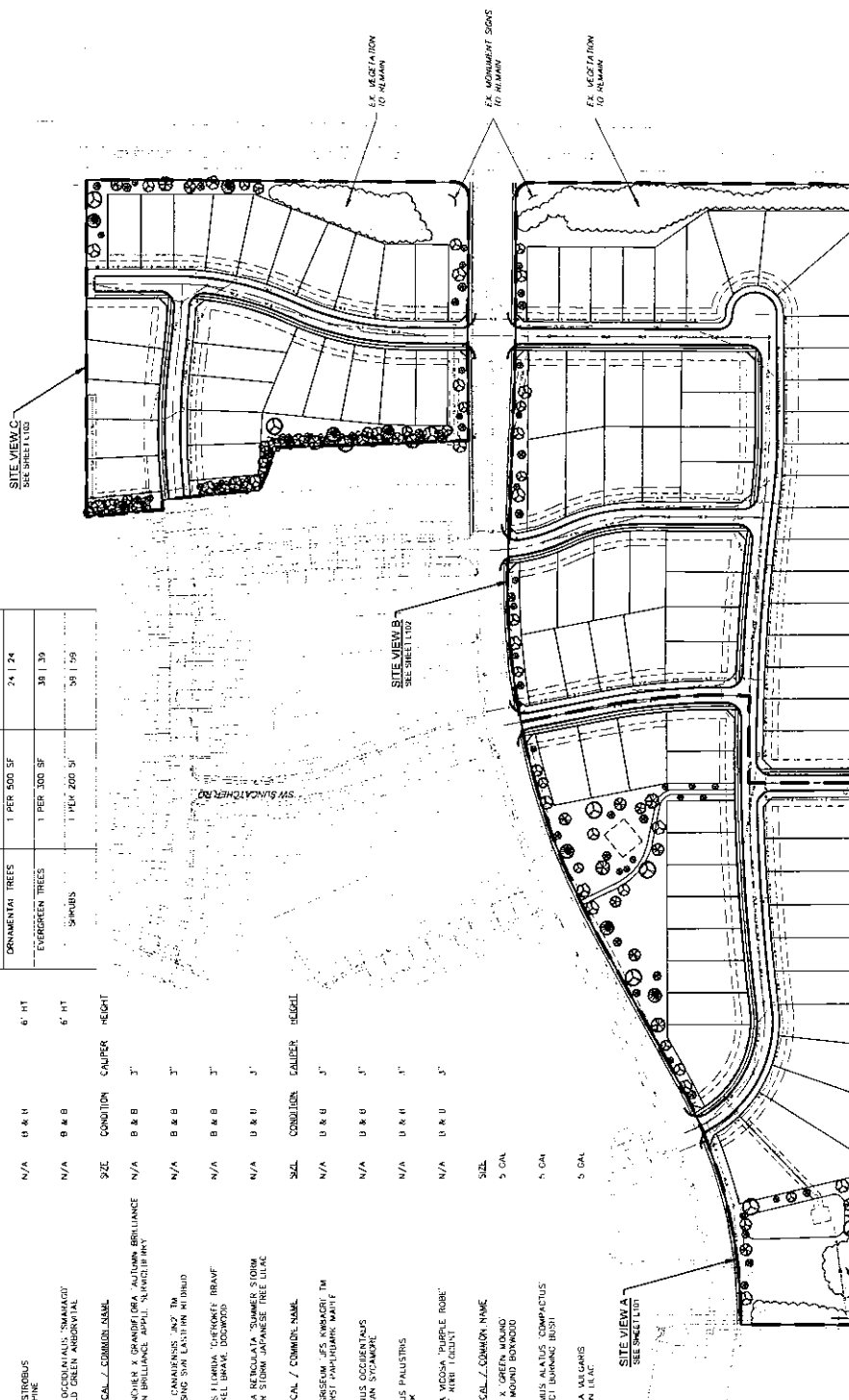
PRELIMINARY STREAM BUFFER PLAN
PRELIMINARY DEVELOPMENT PLANSEAGLE CREEK VILLAS
PRELIMINARY DEVELOPMENT PLAN

LEE'S SUMMIT, MISSOURI

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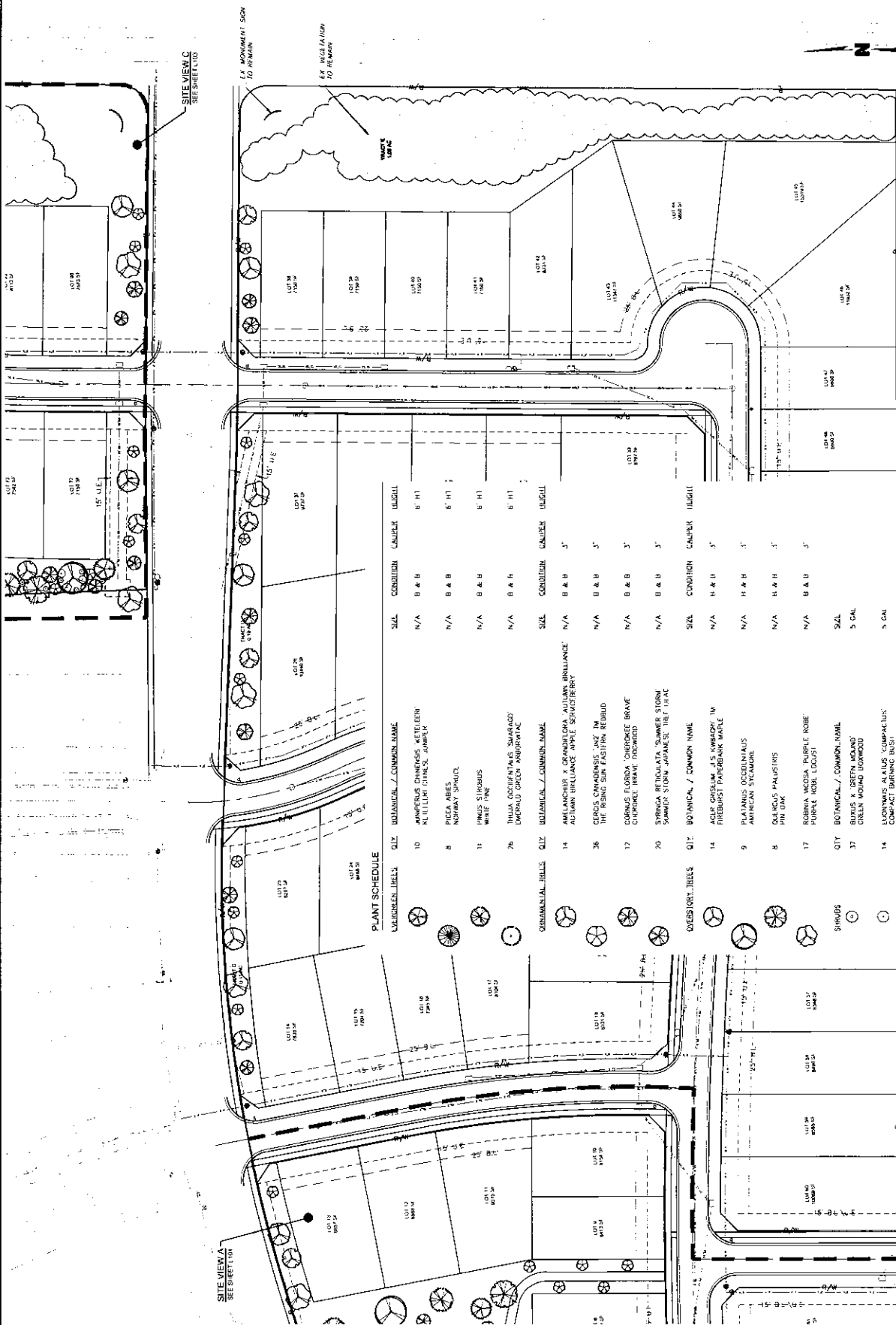


CALCULATIONS				
MEDIUM IMPACT BUFFER TYPE B (11,684 SF - TRACTS F & G)				
CATEGORY	REQUIRED RATIO	PER 1000 SF	REQUIRED	AVAILABLE
SHADE TREES	1 PER 1000 SF		17	17
ORNAMENTAL TREES	1 PER 500 SF		24	24
EVERGREEN TREES	1 PER 300 SF		38	39
SHRUBS	1 PER 200 SF		58	58

PLANT SCHEDULE			
QTY	BOTANICAL / COMMON NAME	SIZE	CONDITION CALIPER HEIGHT
10	JUNIPERUS CHINENSIS 'M TILLER' KEULEN GREEN JUMPLAR	N/A	B # B 6' HT
8	INDIA A. M. S. NUNAWAT JUNCKAL	N/A	B # B 6' HT
11	Pinus strobus white pine	N/A	U # U 6' HT
26	Thuja occidentalis 'Smaragd' Emerald Green Arborvitae	N/A	B # B 6' HT
QTY	BOTANICAL / COMMON NAME	SIZE	CONDITION CALIPER HEIGHT
14	Amelanchier x grandis 'Coral Autumn Brilliance' April 'Narcissus' HNT	N/A	B # B 3"
36	Quercus macrocarpa 'J. M. The Horse Sun Leaf' HNT	N/A	B # B 3"
12	Cornus florida 'Crimson Brave' Cherish B&W, B&W	N/A	B # B 3"
20	Shorea stenocaula 'Summer Storm' Shasta B&W, Japanese Tree Lilac	N/A	U # U 3"
QTY	BOTANICAL / COMMON NAME	SIZE	CONDITION CALIPER HEIGHT
14	Acer gresum 'Jes. Kinkadee' TM Furburst Amphibark White	N/A	U # U 3"
9	Prunus occidentalis American Starchol	N/A	U # U 3"
8	Quercus palustris PN Oak	N/A	U # U 3"
17	Rubra vicia 'Purple Robe' Purple Heart Tree	N/A	U # U 3"
QTY	BOTANICAL / COMMON NAME	SIZE	CONDITION CALIPER HEIGHT
47	Buxus x 'Green Mound' Green Mound Boxwood	5 GA	
14	Limonium alatum 'Compactus' Compact Limonium Bush	5 GA	
8	Syringa villosa Gump's Lilac	5 GA	

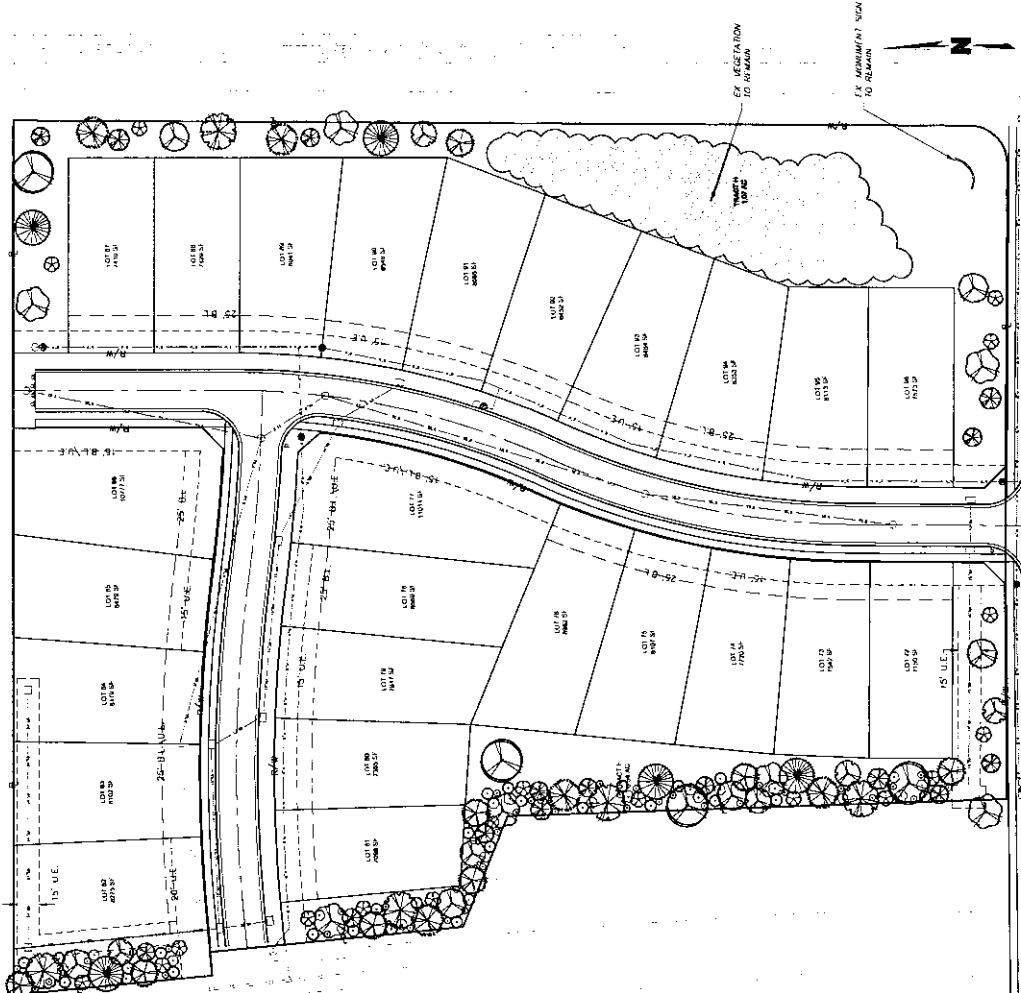
LANDSCAPE PLAN B	EAGLE CREEK VILLAS PRELIMINARY DEVELOPMENT PLAN	LEE'S SUMMIT, MISSOURI	2022
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NO.	DATE	REVISIONS DESCRIPTION	REVISIONS
1	2002.09.22	REMOVED 2001 STATE COMMENTS	
2	2002.09.25	ADDITIONAL BUILDING INFORMATION	

[illegible]

PLANT SCHEDULE		QTY	BOTANICAL / COMMON NAME	SIZE	CONDITION	CAULIF	HEIGHT
10		10	AMERICAN CANNONBALL KILLBUCK CANNONBUSH	N/A	B & B		8' H
8		8	PICTA ABIES NORWAY SPRUCE	N/A	B & B		6' H
11		11	PRINUS SPINOSUS WHITE HAW	N/A	B & B		8' H
26		26	THUJA OCCIDENTALIS 'SMARAGD' EMERALD GREEN ARBORVITAE	N/A	B & B		6' H
14		14	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE' AUTUMN BRILLIANCE APPLE SPICEBERRY	N/A	B & B	3"	
36		36	CECILE CANNONBUSH 'JAY' TM THE RESISTING SUN EASTERN REDBUD	N/A	B & B	3"	
17		17	CORNUS FLORIDA 'CHEROKEE BRAVE' CHEROKEE BRAVE DOGWOOD	N/A	B & B	3"	
20		20	SYRINGA RETICULATA 'SOMMER STORM' SOMMER STORM JAPANESE TREE LILAC	N/A	B & B	3"	
QTY	OVERSIGHT TREES	QTY	BOTANICAL / COMMON NAME	SIZE	CONDITION	CAULIF	HEIGHT
14		14	ACER GRISELUM 'J'S KIMBROUGH' TM FIREBIRCH PAPERBARK MAPLE	N/A	H & B	3"	
9		9	PLATANUS OCCIDENTALIS AMERICAN SYCAMORE	N/A	H & B	3"	
8		8	QUERCUS PAUCIFLORIS PIN OAK	N/A	H & B	3"	
17		17	ROBINIA NIGRA 'PURPLE ROBE' PURPLE ROBE LOCUST	N/A	B & B	3"	
QTY	SIRINGS	QTY	BOTANICAL / COMMON NAME	SIZE			
37		37	BIUNUS X 'GREEN MOUND' GREEN MOUND DUNWOOD	5 GAL			
14		14	LYONHUIS X ALIUS 'COMPACTUS' COMPACT BURNING BUSH	5 GAL			
8		8	SYRINGA VILGOSA	5 GAL			

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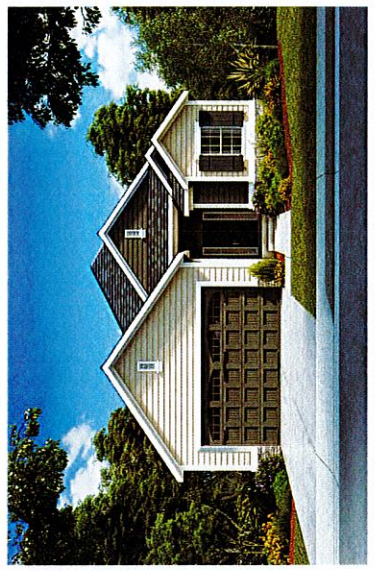
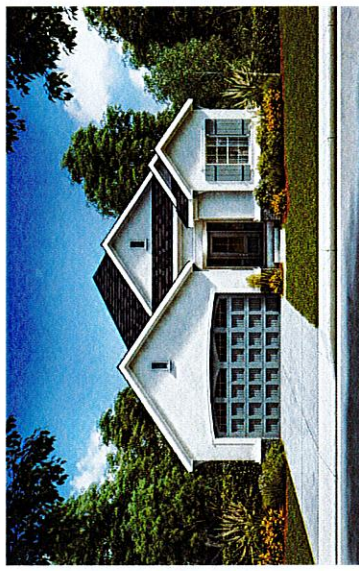


PLANT SCHEDULE		VALVE/CLIP/INCHES		COMMON NAME		SIZE		CONDITION		CALIBER		WEIGHT	
10		VALVE/CLIP/INCHES	COMMON NAME	SIZE	CONDITION	CALIBER	WEIGHT						
10		VALVE/CLIP/INCHES	COMMON NAME	SIZE	CONDITION	CALIBER	WEIGHT						
8		VALVE/CLIP/INCHES	COMMON NAME	SIZE	CONDITION	CALIBER	WEIGHT						
11		VALVE/CLIP/INCHES	COMMON NAME	SIZE	CONDITION	CALIBER	WEIGHT						
26		VALVE/CLIP/INCHES	COMMON NAME	SIZE	CONDITION	CALIBER	WEIGHT						
14		VALVE/CLIP/INCHES	COMMON NAME	SIZE	CONDITION	CALIBER	WEIGHT						
36		VALVE/CLIP/INCHES	COMMON NAME	SIZE	CONDITION	CALIBER	WEIGHT						
12		VALVE/CLIP/INCHES	COMMON NAME	SIZE	CONDITION	CALIBER	WEIGHT						
20		VALVE/CLIP/INCHES	COMMON NAME	SIZE	CONDITION	CALIBER	WEIGHT						
14		VALVE/CLIP/INCHES	COMMON NAME	SIZE	CONDITION	CALIBER	WEIGHT						
9		VALVE/CLIP/INCHES	COMMON NAME	SIZE	CONDITION	CALIBER	WEIGHT						
8		VALVE/CLIP/INCHES	COMMON NAME	SIZE	CONDITION	CALIBER	WEIGHT						
17		VALVE/CLIP/INCHES	COMMON NAME	SIZE	CONDITION	CALIBER	WEIGHT						
14		VALVE/CLIP/INCHES	COMMON NAME	SIZE	CONDITION	CALIBER	WEIGHT						
8		VALVE/CLIP/INCHES	COMMON NAME	SIZE	CONDITION	CALIBER	WEIGHT						

PLAN

[illegible]

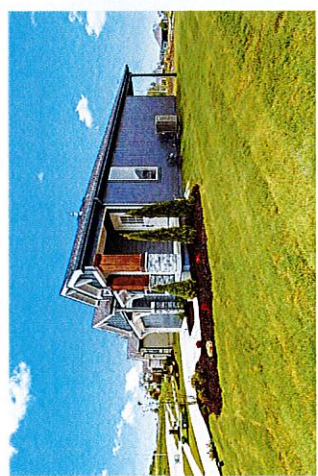
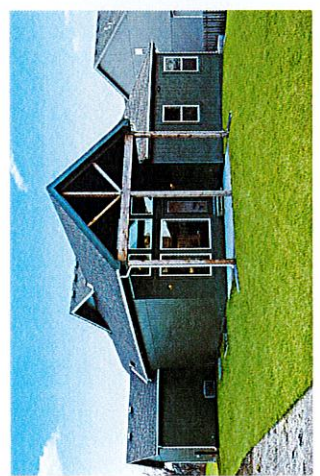
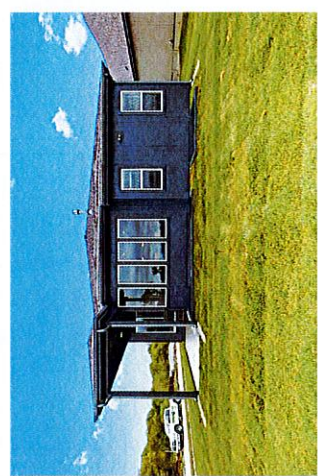
olsson



FRONT ELEVATIONS

BUILDING MATERIALS:

- FIBER-CEMENT AND/OR WOOD COMPOSITE LAP SIDING & PANEL SIDING
- SHAKE SHINGLE SIDING
- WOOD/METAL TRIM
- BOARD AND BAT
- STUCCO
- BRICK, BRICK VENEER
- MANUFACTURED STONE VENEER
- COMPOSITE SHINGLES
- TRIMMED FAUX LOUVER ACCENTS



SIDE/REAR PERSPECTIVES

Drawn by	C.L.
Checked by	C.L.
Designed by	C.L.
Date	02/02/2022

LEE'S SUMMIT, MISSOURI	
EAGLE CREEK VILLAS	
PRELIMINARY DEVELOPMENT PLAN	
2022	

NO.	DATE	REVISIONS DESCRIPTION
1	2022-02-22	Revised per client comments
2	2022-02-22	Revised per client comments
3	2022-02-22	Revised per client comments
4	2022-02-22	Revised per client comments
5	2022-02-22	Revised per client comments
6	2022-02-22	Revised per client comments
7	2022-02-22	Revised per client comments
8	2022-02-22	Revised per client comments
9	2022-02-22	Revised per client comments
10	2022-02-22	Revised per client comments

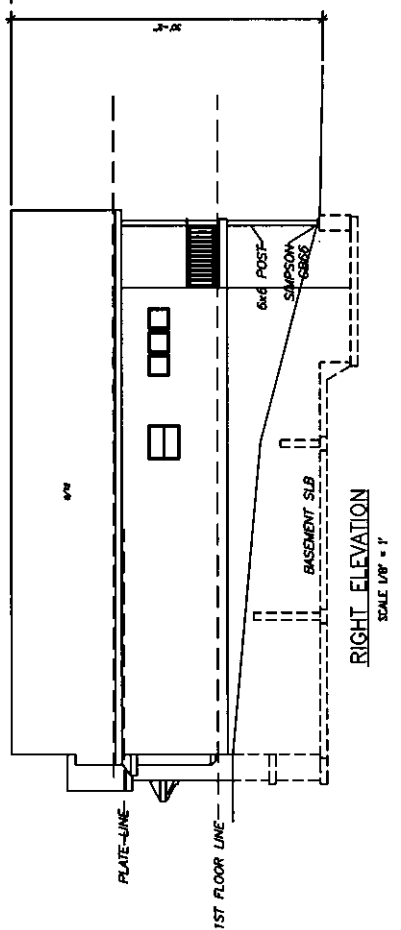
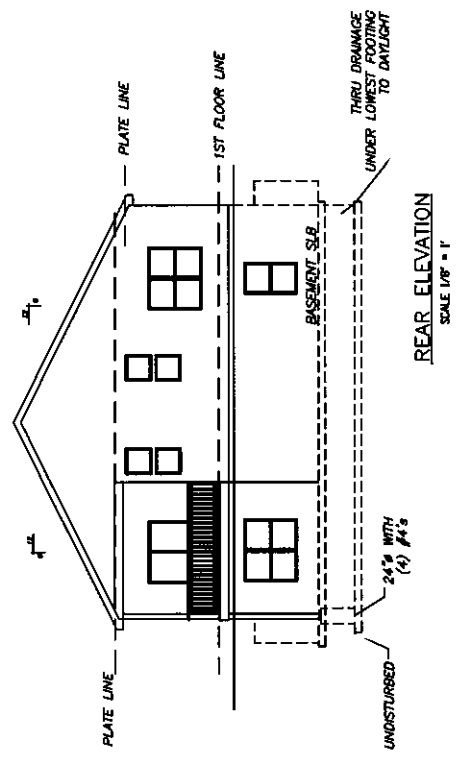
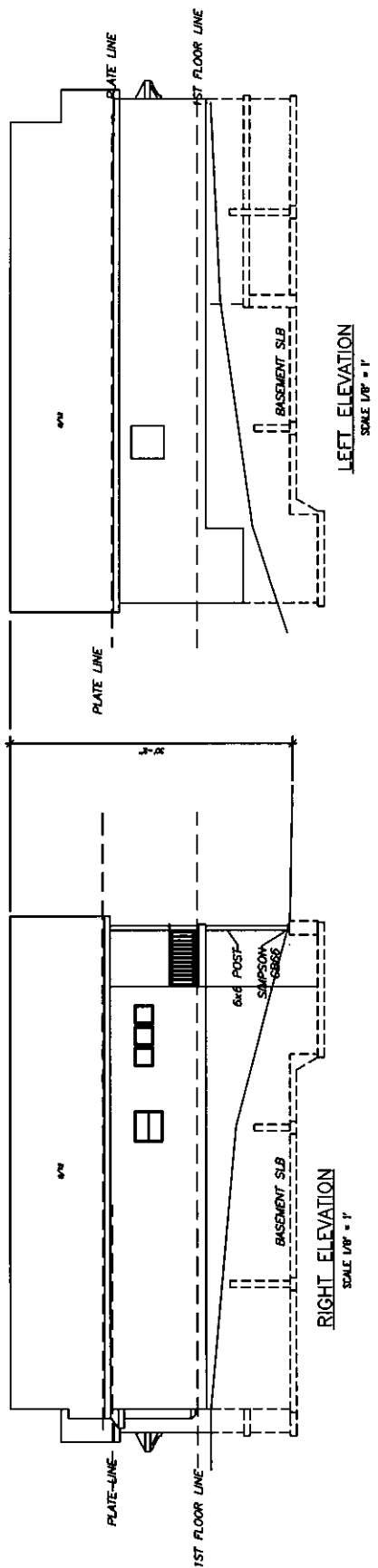
OLSSON

OLSSON, CINCINNATI, OHIO
301 BROADWAY, SUITE 100
NORTH KANSAS CITY, MO 64116
TEL: 816.361.1177
WWW.OLSSON.COM

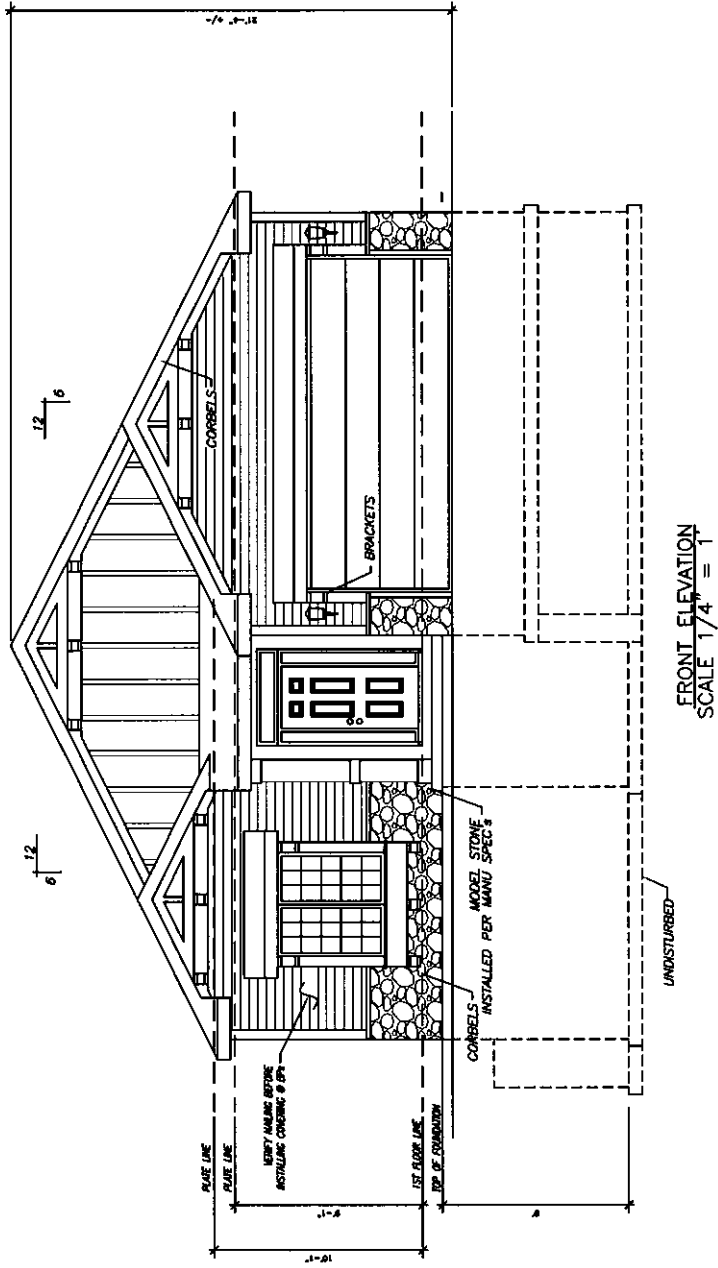
- BUILDING MATERIALS:
- FIBER-CEMENT AND/OR VINYL SIDING
 - SHAKE & PANEL SIDING
 - SHAKE SHINGLE SIDING
 - BRICK
 - BOARD AND BATT
 - STUCCO
 - BRICK VENEER
 - MANUFACTURED STONE
 - COMPOSITE SHINGLES
 - TRIMMED FAUX LOOKUP AGENTS

PROVIDED IMAGES ARE INTENDED TO BE GENERAL REPRESENTATIONS OF ARCHITECTURAL CHARACTER. FINISHES, MATERIALS, AND COLORS MAY VARY IN THE FINAL DEVELOPMENT AND MATERIAL APPEARANCE.





Revision																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																				
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FRONT ELEVATION
SCALE 1/4" = 1'

SEE ISG FOR INSULATION VALUES
COMP ROOF
ROOF & SUEFTT VENTS PER CODE

KCMD

Revision

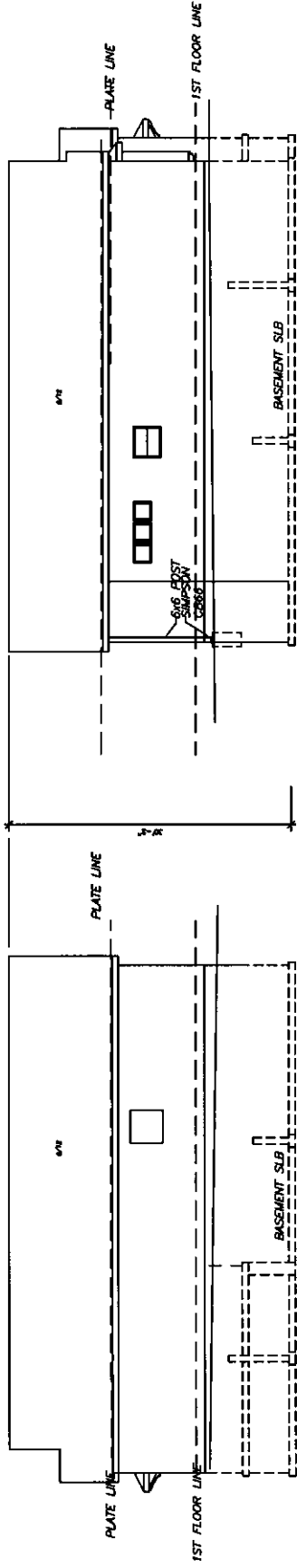
EARTHSHIDE
OMES
P.O. Box 545
Liberty, MO 64069 (816) 781-0234

CDV52

Drawing # REV40-1542-688
REVERSE 1.5 STORY
Model:

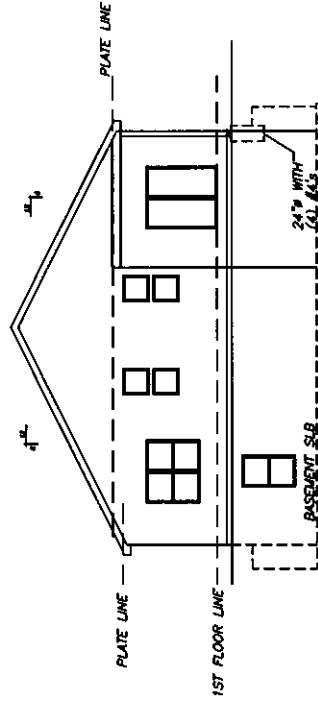
MASTER PLAN MONROE
HEATHSHIDE HOMES OF KANSAS
THIRTYFOUR
THIRTYFOUR

Drawn: DMS
Date: 5-18-77
Job #:
Sheet:



RIGHT ELEVATION
SCALE 1/8" = 1'

LEFT ELEVATION
SCALE 1/8" = 1'



REAR ELEVATION
SCALE 1/8" = 1'

UNDISTURBED

Revision

EARTHSHAKE
OMLS
P.O. Box 545
Liberty, MO 64069 (816) 781-0234

CDV52

Drawing # REV40-1542-688
REVERSE 1.5 STORY
Model:

MASTER PLAN MONROE
HEARLHIDE HOMES OF KENTUCKY, INC. 2013
COPRIGHT

Drawn: DMS
Date: 5-18-17
Job #:
Sheet:

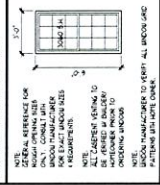
**CDV53
IN-GRADE FOUNDATION
COVERED PATIO**

ELEVATION NOTES

1. SEE ELEVATION NOTES FOR GENERAL NOTES.
2. PROVIDE 1/2" LATH WITH 7/8" x 4" COVERAGE AT ALL WALLS.
3. PROVIDE 1/2" LATH WITH 7/8" x 4" COVERAGE AT ALL WALLS.
4. PROVIDE 1/2" LATH WITH 7/8" x 4" COVERAGE AT ALL WALLS.
5. PROVIDE 1/2" LATH WITH 7/8" x 4" COVERAGE AT ALL WALLS.
6. PROVIDE 1/2" LATH WITH 7/8" x 4" COVERAGE AT ALL WALLS.
7. PROVIDE 1/2" LATH WITH 7/8" x 4" COVERAGE AT ALL WALLS.
8. PROVIDE 1/2" LATH WITH 7/8" x 4" COVERAGE AT ALL WALLS.
9. PROVIDE 1/2" LATH WITH 7/8" x 4" COVERAGE AT ALL WALLS.
10. PROVIDE 1/2" LATH WITH 7/8" x 4" COVERAGE AT ALL WALLS.

NOTE
SEE ELEVATION NOTES FOR GENERAL NOTES.

TYPICAL WINDOW DESIGNATION



NOTE
SEE ELEVATION NOTES FOR GENERAL NOTES.



9-30-21



**TK DESIGN
ASSOCIATES**

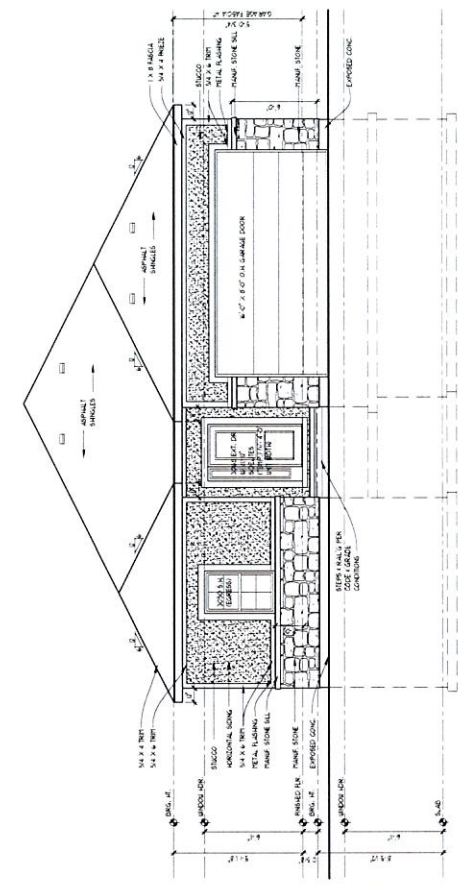
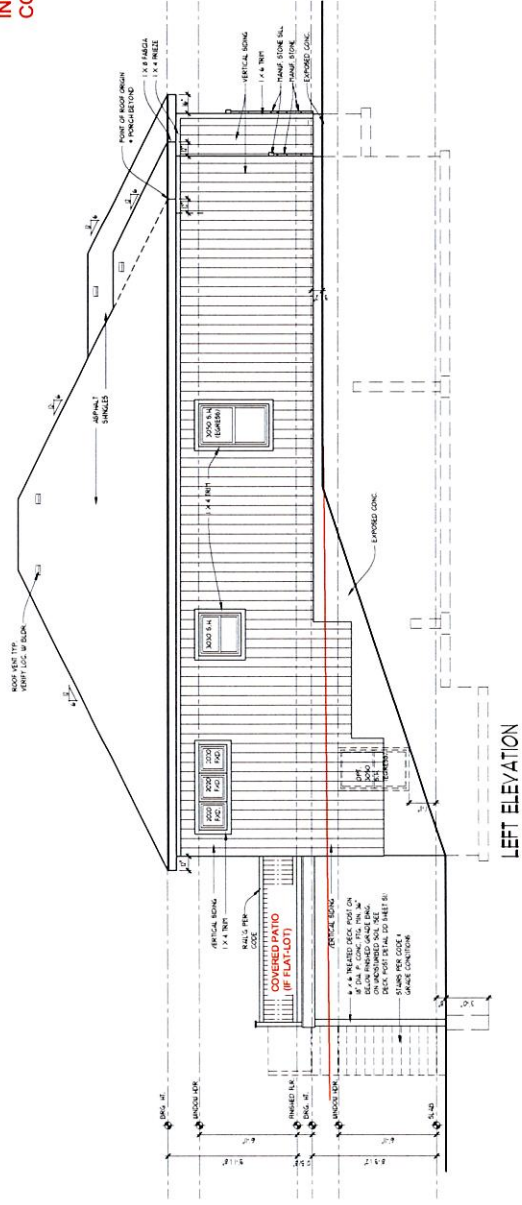
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NO. 3. 1/27/21
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NO. 6. 1/27/21
NO. 7. 1/27/21
NO. 8. 1/27/21
NO. 9. 1/27/21
NO. 10. 1/27/21

CLIENT / PROJECT
HEARTHSIDE HOMES
MEG PLAN
MASTER ELEVATION

DRAWN: AG
CHECKED: HF
REVIEW: RS-21
FINAL: 9-30-21
REVISION: 9-30-21

SCALE:
PER PLAN

SHEET #
A-3



ELEVATION NOTES

Diagram of a window unit with a height of 3'-0" and a width of 2'-0". The unit is divided into a grid of 12 panes (3 rows by 4 columns). A note below the diagram reads: "NOTE: GENERAL REFERENCE FOR WINDOW OPENING SIZES ONLY. CONSULT WITH WINDOW MANUFACTURER FOR EXACT WINDOW SIZES & REQUIREMENTS."

NOTE:
ALL WINDOW SILLS OVER 4" ABOVE EXTERIOR GRADE OR SURFACE BELOW TO BE FINISHED 2" ABOVE FINISHED FLOOR ON HAVE SAME LIMITS PER CODE REQUIREMENTS.

WINDOW FALL PROTECTION SHALL BE PROVIDED PER INC. SECTION 302.2

9-30-21

TK DESIGN
•
ASSOCIATES

WWW.TKNOVDESIGN.COM
2000 PINEHURST TRAIL
SOUTH LYN, MI 48178
PHONE: (248)-446-1960
FAX: (248)-446-1961

 $(\log_e W(t)) - (\log_e W(0)) = \log_e W(t) - \log_e W(0)$

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CT	MEMBERS	NO.
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E HORN
LAN
EVAT
PLAN

NT / Pl

CLIENT

	JOB No.	WO 1779-21
H	M	

DRAWN: AG	REVIEW: 8-5-21
CHECKED: BF	DATE: 8-1-21

REVISION: 9-16-21
REVISION: 9-30-21

SCALE:
PER PLAN

SHEET #

NOTE:
ELEVATIONS RELEVANT FOR
WALKOUT & FLAT-LOT BUILDINGS



ROOF NOTE:
ROOF SHALL BE DESIGNED FOR 30
P.S.F. ROOF SNOW LOAD

ATTIC VENTILATION CALCULATIONS

AREA OF ATTIC OVER HEATED SPACE = 609 SQ. FT.

609 SQ. FT. $\div$ 10 IN. REQ. FT. REQ'D)

10 IN. $\times$ 14" = 140" (NO. INCH REQ'D)

140" $\times$ 0.45 = 63" (NO. INCHES REQ'D)

63" $\div$ 30 = 2 (NOOF. VENTS REQ'D.)

EAVE OR CORNICE VENTING

609 SQ. FT. $\div$ 10 IN. REQ. FT. REQ'D)

10 IN. $\times$ 14" = 140" (NO. INCHES REQ'D)

140" $\times$ 0.45 = 63" (NO. INCHES REQ'D)

63" $\div$ 30 = 2 (NOOF. VENTS REQ'D.)

ELEVATION NOTES

1. ALL ROOF SADDLES TO BE PLWOOD SHEATHED WITH ICE & WATER SHIELD AND SHINGLES.
2. PROVIDE ICE & WATER SHIELD MIN. 6" OF COVERAGE AT ALL VALLEYS.

1. ALL ROOF SADDLES TO BE PLWOOD SHEATHED WITH ICE & WATER SHIELD AND SHINGLES.

2. PROVIDE 1/2" WATER SHIELD MIN. 4" OF COVERAGE AT ALL FAULTS
3. FINISH: SEE SPEC. TO BE DETERMINED PER MANUFACTURER'S SPECIFICATION
4. METAL FINISHING AS REQUIRED BY CODE
5. ROOF / SOFFIT VENTS AS REQUIRED BY CODE
6. PROVIDE GUTTERS / DOWNSPOUTS FOR DRAINAGE OF ROOF WATER. COMPONENTS ARE TO BE LOCATED SO THAT THE DOWNSPOUTS WILL NOT SPILL ON OR FLOW ACROSS ANY PORTABLE WALLS OR DECKS

NOTE.
1. The distance between the two points is 1.0°.



NOTE:
BROOK MANUFACTURER TO VERIFY ALL BROOKS GIRD
PATTERNS WITH HOME OWNER.

NOTE:
OVERLAPPING DIMENSIONS (O.D.) ARE
FROM SHEATHING I.D.

NOTE:
ALL WINDOW SILLS OVER 6'-0" ABOVE EXTERIOR GRADE ON SURFACE BELOW TO BE FINISH 24" ABOVE FINISHED FLOOR ON HAVE SLOPE LINTERS PER CODE REQUIREMENTS
WINDOW FALL PROTECTION SHALL BE PROVIDED PER IRC SECTION 303.2



4-1-21

TK DESIGN
ASSOCIATES

ACQUINTEGRITÀ MONDIALE
TELEVISIONE
RILEVARE IL MONDO IN UNO
SOLTO COUNTRIES

Figure 2: The (non-adjacent) result of $\text{adjoint}(\text{adjoint}(A))$

Journal of Interpersonal Violence 25(12) 2010, doi:10.1177/0886260510382222
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JOB No. WO 1341-19

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REVIEW: -

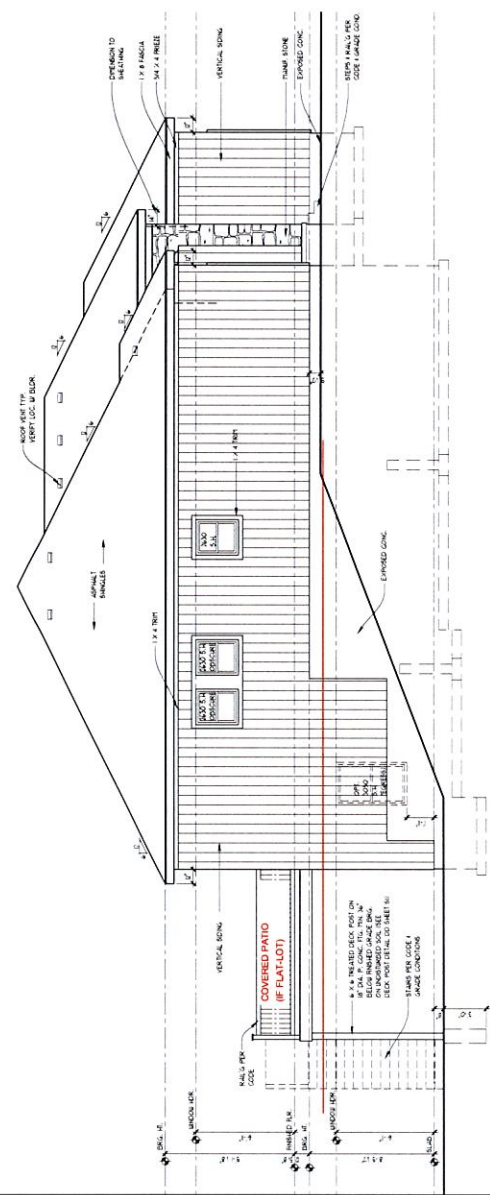
FINAL: 10-14-19
WE / MON 24-2019
2018 CODE CON FIRMED ON 8-10-2018

NEWTON 1-21-21
NEWTON 1-21-21
NEWTON 1-21-21
NEWTON 1-21-21

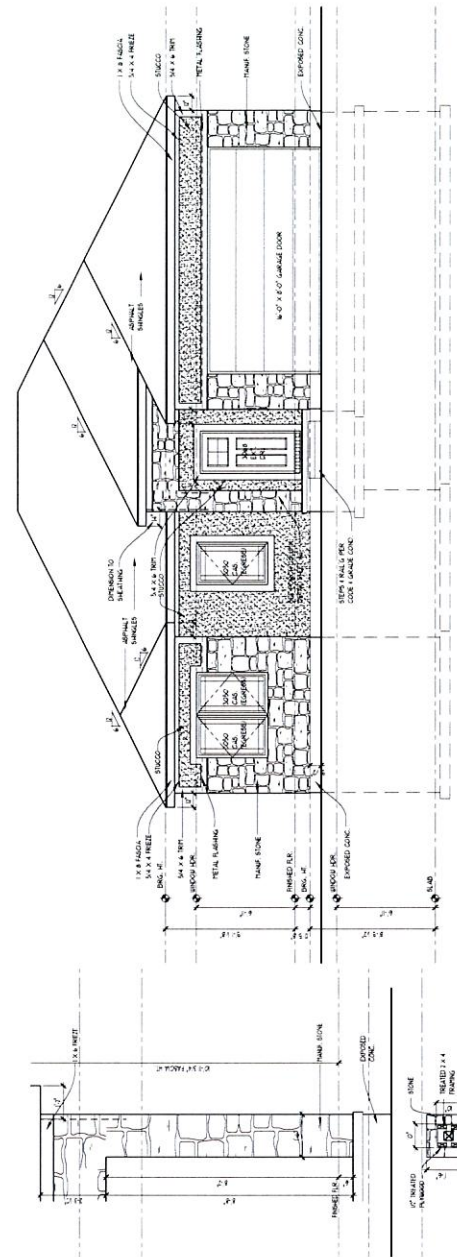
SCALE:
PER PLAN

SHEET #

A-3



LEFT ELEVATION



PORCH COLUMN DETAIL

FRONT ELEVATION

ELEVATION NOTES

1. ALL ROOF SADDLES TO BE PLUMBED SEALED WITH ICE & WATER SHIELD AND SHINGLES.
2. PROVIDE ICE & WATER SHIELD PM 6" OF COVERAGE AT ALL VALLEYS

The diagram shows a rectangular window unit. The overall height is labeled as 1'-0" and the overall width is labeled as 2'-0". Inside the unit, there is a grid of panes. The top-left pane is labeled "SOLID 8 ft". Below the grid, there is a label "2'-0\"".

NOTE: GENERAL REFERENCE FOR WINDOW OPENING SIZES ONLY. CONSULT WITH WINDOW MANUFACTURER FOR EXACT WINDOW SIZES & REQUIREMENTS.

NOTE: ALL CASTPET VENTING TO BE PROVIDED BY DILIVERY/HOT-CONCRETE PRIOR TO ORDERING WINDOWS.

NOTE: WINDOW MANUFACTURER TO VERIFY ALL WINDOW SIZES PATTERNS WITH NOTE, ORDER.

NOTE:
ALL WINDOW SILLS OVER 4'-0" ABOVE EXTERIOR GRADE OR SURFACE BELOW TO BE FINISHED ABOVE FINISHED FLOOR OR HAVE RAMP LITTERS PER CODE REQUIREMENTS.
WINDOW FALL PROTECTION SHALL BE PROVIDED PER IBC SECTION 707.2

4-1-21



TK DESIGN
A
ASSOCIATES

CLIENT / PROJECT

JOB NO.	WO 1341-19
DRAWN:	AG
CHECKED:	HF
REVIEW:	-
FINAL:	10.14.19
REVISION	14.10.20
2018 CODE CONVERSION ON 04-03-2020	
REVISION 17/11	
REVISION 17/11 OPT 1 (NO OF CHANNEL	
REVISION 4/12 (PUMPING CLASSIFICATION	
SCALE:	
PER PLAN	

SHEET #

A-4

NOTE:
ELEVATIONS RELEVANT FOR
WALKOUT & FLAT-LOT BUILDINGS



ATTIC VENTILATION CALCULATIONS:

AREA OF ATTIC OVER HEATED SPACE = 400 SQ. FT.
400 SQ. FT. / 3.3 SQ. FT. REQ'D = 121
121 X 44" = 5324" (140" HIGH CONVERSION)
5324" X .045" = 239" (50" HIGH REQ'D)
239" / 50" = 5 (5 INDOOR VENTS REQ'D.)

EAVE OR GUTTER VENTING:
400' X .035" = 140" (50" HIGH REQ'D!)