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0.38491
MICHAEL KILLEEN

PARAGON STAR VILLAGE

3200 NW Paragon Parkway, Lee's Summit, MO

August 12, 2022

North Village Package - Final Development Plans - RESUBMITTAL

SHEET INDEX

- CIVIL
- C001

GENERAL SITE PLAN
- C002

EXISTING CONDITIONS
- C003

FDP LOT PLAN
- C004

OVERALL GRADING PLAN
- C005

GRADING PLAN
- C006

GRADING PLAN
- C007

GRADING PLAN
- C008

DIMENSION PLAN
- C009

DIMENSION PLAN
- C010

DIMENSION PLAN
- C011

UTILITY PLAN
- C012

UTILITY PLAN
- C013

UTILITY PLAN
- C014

STORM SEWER PROFILES
- C015

DRAINAGE MAP
- C016

UTILITY DETAILS
- C017

STORM SEWER DETAILS
- C018

CONSTRUCTION DETAILS
- C019

CONSTRUCTION DETAILS
- C020

STREETSCAPE DETAILS
- C021

EROSION CONTROL PLAN
- C022

EROSION CONTROL NOTES
- C023

EROSION CONTROL DETAILS
- C024

EROSION CONTROL DETAILS
- C025

TURNING MOVEMENTS

- LANDSCAPE
- L000

KEYPLAN & GENERAL INFORMATION
- L501

PLANTING PLAN
- L502

PLANTING PLAN
- L503

PLANTING PLAN
- L504

PLANTING PLAN
- L520

PLANTING DETAILS

- ELECTRICAL
- E000

LIGHTING SYMBOLS AND LEGENDS
- E100

NORTH VILLAGE SITE LIGHTING PLAN
- E200

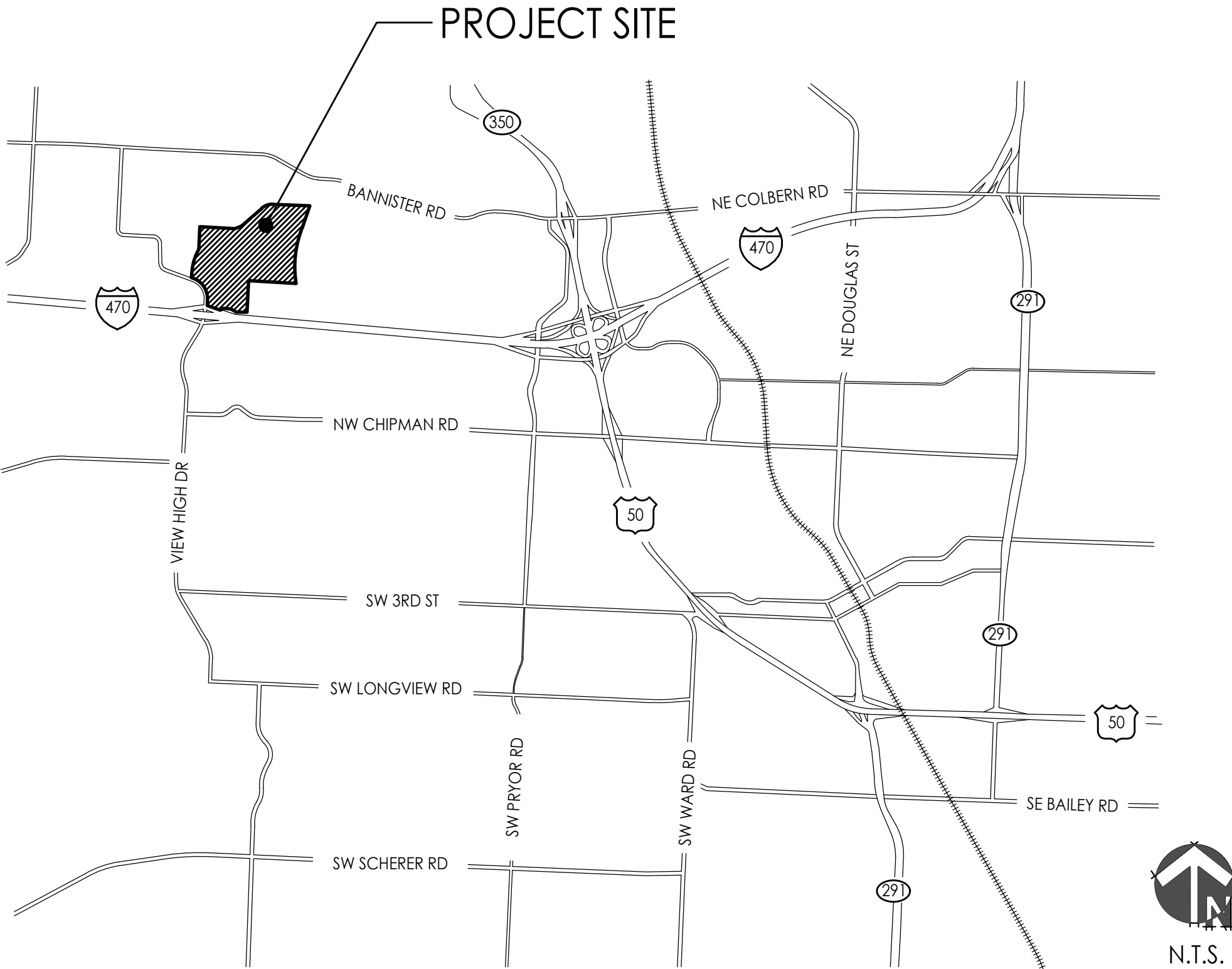
ELECTRICAL SPECIFICATIONS
- E300

SITE LIGHTING PHOTOMETRICS

- ARCHITECTURE
- A101

FLOOR PLANS
- A102

BUILDING ELEVATIONS



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PROJECT:

Paragon Star North Village
3200 NW Paragon Parkway, Lee's Summit, MO 64081
Final Development Plan

ISSUE:

1	FDP RESUBMITTAL	08.12.2022

PROFESSIONAL SEAL:

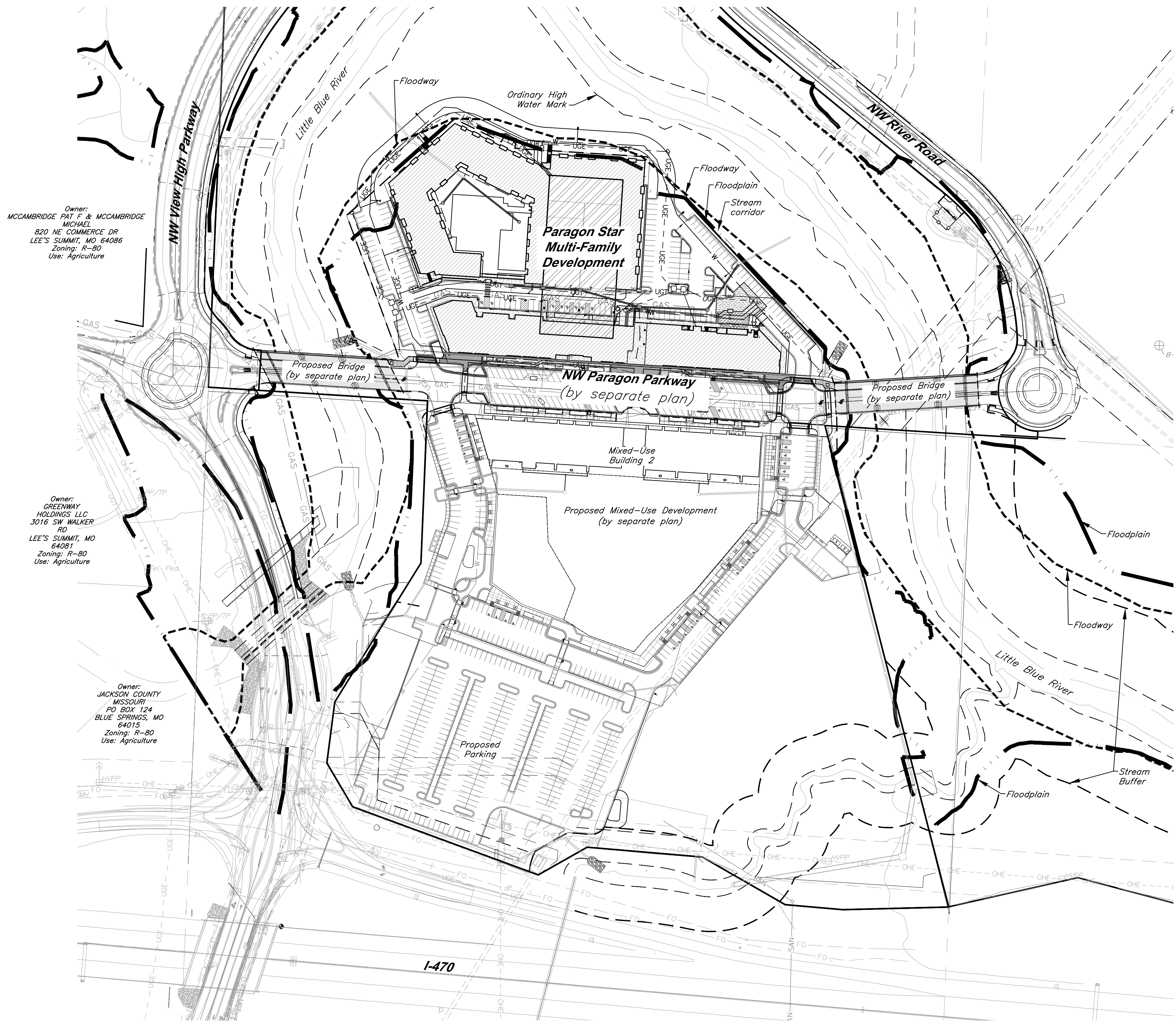
DRAWING TITLE:

FDP
COVERSHEET

JOB NO: 1249 SCALE:
DATE: 01.28.2022 DRAWN BY: MRK

SHEET NO:

G:\127201 Civil 3D\Production Drawings\LS Multifamily FDP\1272020200.dwg Layout: C001 General Site Plan --- Thursday, August 11, 2022, 9:30am --- Copyright 2022, George Butler Associates, Inc. THE PROFESSIONAL WHOSE SEAL, SIGNATURE, AND PERSONAL SEAL APPEARS ON THE PAGE ASSUMES RESPONSIBILITY ONLY FOR WHAT APPEARS ON THE PAGE, AND DISCLAIMS (PERSUANT TO SECTION 327.411, RSMo) ANY RESPONSIBILITY FOR ALL OTHER PLANS, SPECIFICATIONS, ESTIMATES, REPORTS OR OTHER DOCUMENTS OR INSTRUMENTS NOT SEALED BY THE UNDERSIGNED PROFESSIONAL BEATING TO, OR INTENDING TO BE USED FOR, ANY PART OR PARTS OF THE PROJECT TO WHICH THIS PAGE REFERS.



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Floodplain:

According to FEMA Flood Insurance Rate Map (FIRM) Community Panel No. 29095C0404G, effective Date 1/20/17, the tract lies partially within an area designated as Special Flood Hazard Areas. Special Flood Hazard Areas defined on portions of the site include regulatory floodway, Zone AE (with depths identified on site from 810 to 811), and 0.2% Annual Chance Flood Hazard Areas.

A CLOMR has been issued for this project, case number 20-07-0520R, dated 2/14/20. Proposed Floodplain/ Floodway refers to boundary set by this CLOMR.

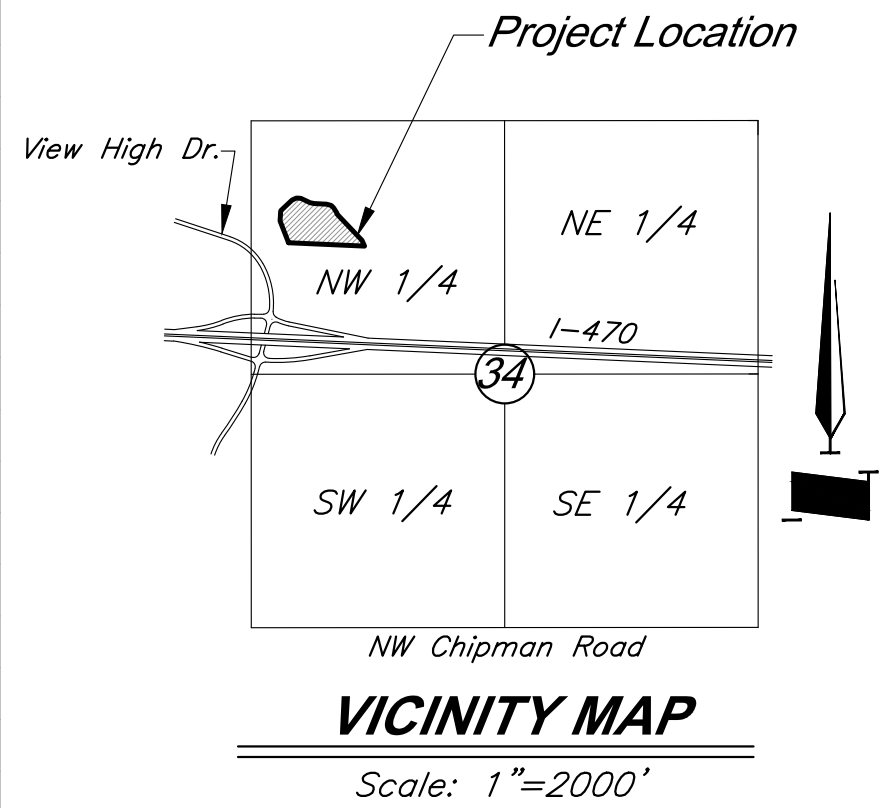
Zoning:

PMIX - Planned Mixed Use

Notes:

1. No oil or gas wells are located on site per Missouri Department of Natural Resources.

Land Use	
Total Site Area (AC)	19.63
Lot 5 Area (AC)	14.20
Lot 6 Area (AC)	0.72
Lot 7A Area (AC)	1.11
Lot 7B Area (AC)	0.69
Lot 7C Area (AC)	1.78
Lot 8 Area (AC)	1.13
Residential Building Area (SF)	344,995
Retail Building Area (SF)	35,232
Garage Area (SF)	168,460
Use	Mixed Use
Zoning	PMIX
Setback	0
Dwelling Units	374
Bedroom Count	426
Total Parking Spaces	660
Regular Parking Spaces	647
ADA Parking Spaces	13

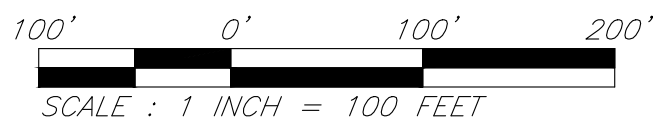


Legend	
	Power Pole
	Guy Anchor
	Electric Meter
	Electrical Transformer
	Electric Pedestal
	Power Pole/Telephone Pole
	Power Pole/Light Pole
	Gas Meter
	Gas Valve
	Curb Inlet
	Junction Box
	Sanitary Sewer Manhole
	Light Pole
	Boring Hole
	Sign
	Property Corner
	Telephone Manhole
	Telephone Pedestal
	Telephone Pole
	Proposed Building
	Barbed Wire Fence
	Centerline
	Fiber Optic Line
	Gas Line
	Guard Rail
	Over Head Electric
	Over Head Telephone
	Property Line
	Right-of-Way Line
	Sanitary Sewer Line
	Stream
	Underground Electric
	Underground Telephone
	Underground Cable TV
	Water Line
	Proposed Grades
	Proposed Storm Sewers
	Existing Grades
	Existing Storm Sewers
	Tree Deciduous
	Fire Hydrant
	Water Meter
	Proposed Floodway
	Proposed Floodplain
	Stream Corridor

PROJECT BENCHMARK

BM #11 - Chiseled "L" on top Northeast corner of concrete guardrail at the Northeast corner of I470 and Cedar Creek Bridge. Coordinates: N=1008590.33', E=2803864.07', EL=833.80

BM #13 - Chiseled "L" on NE corner of Interstate 470 and Cedar Creek Bridge. Coordinates: N=1008342.79', E=2806758.22', EL=852.04'



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PROJECT:

Paragon Star North Village
3200 NW Paragon Parkway, Lee's Summit, MO 64081

FDP Resubmittal

ISSUE:

PROFESSIONAL SEAL:



DRAWING TITLE:

General Site Plan

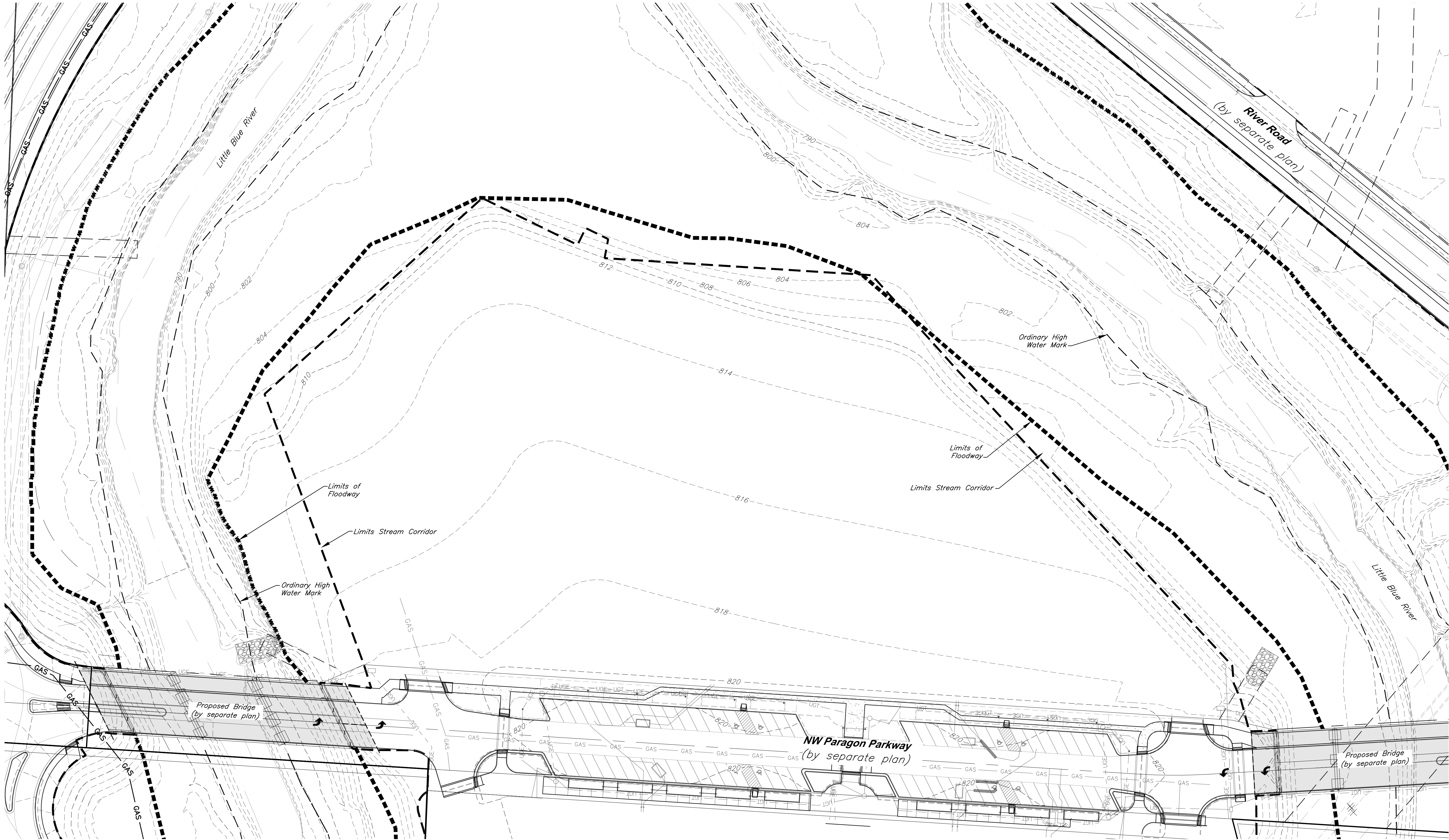
JOB NO: 18017, 19050.07, 19050.08

DATE: 08.12.2022 DRAWN BY: JRH

SHEET NO:

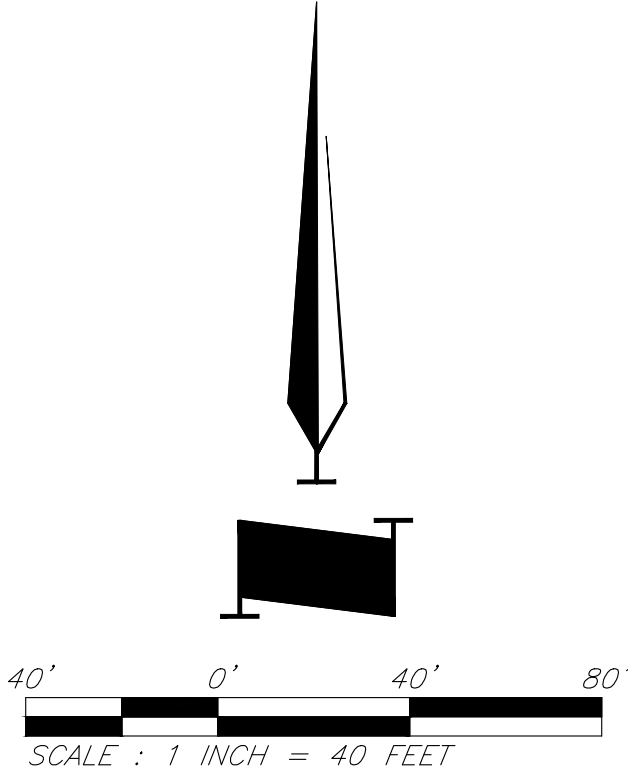
C001

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CAUTION!
Numerous Utilities on site. Contractor to verify location and elevation of all utilities prior to commencing construction.

- LEGEND**
- Existing Contour
 - Existing Flood Zone AE
 - Existing Flood Zone X
 - Stream Corridor
 - Proposed Floodplain
 - Proposed Floodway



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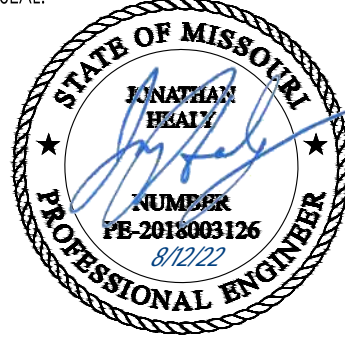
PROJECT:

Paragon Star North Village
3200 NW Paragon Parkway, Lee's Summit, MO 64081

FDP Resubmittal

ISSUE:

PROFESSIONAL SEAL:



DRAWING TITLE:

Existing Conditions

JOB NO: 18017, 19050.07, 19050.08
DATE: 08.12.2022 DRAWN BY: JRH

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C002

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FDP BOUNDARY DESCRIPTION

A tract of land being all of Lot 2, Paragon Star First Plat, a subdivision in the North Half of Northwest Quarter of Section 34, Township 48 North, Range 32 West of the Fifth Principal Meridian, in the City of Lee's Summit, Jackson County, Missouri, more particularly described as follows:

Commencing at the Northwest Corner of the Northwest Quarter of said Section 34; thence South 02°25'47" West, along the West line of said Section, a distance of 895.66 feet, to a point on a non-tangent curve, said point also being the Point of Beginning; thence Northeasterly, departing said West line, along a curve to the right, having a radius of 648.00 feet, a central angle of 54°41'08", and an initial tangent bearing of North 15°06'40" East, a distance of 618.48 feet, to a point of tangency; thence North 69°47'48" East, a distance of 235.03 feet, to a point of curvature; thence Northeasterly and Southeasterly, along a curve to the right, having a radius of 84.00 feet, and a central angle of 91°10'09", a distance of 133.66 feet, to a point of tangency; thence South 19°02'03" East, a distance of 13.19 feet, to a point of curvature; thence Southeasterly, along a curve to the left, having a radius of 616.00 feet, a central angle of 18°21'00", a distance of 197.28 feet, to a point of compound curvature; thence Southeasterly, along a curve to the left, having a radius of 540.00 feet, a central angle of 13°19'41", a distance of 125.61 feet, to a point of tangency; thence South 50°42'44" East, a distance of 438.70 feet, to a point of curvature; thence Southeasterly, along a curve to the right, having a radius of 370.00 feet, and a central angle of 21°49'29", a distance of 140.94 feet, to a point of compound curvature; thence Southeasterly and Southerly, along a curve to the right, having a radius of 264.00 feet, and a central angle of 12°30'46", a distance of 57.65 feet, to a point of compound curvature; thence Southerly, along a curve to the right, having a radius of 368.00 feet, and a central angle of 13°59'23", a distance of 89.85 feet; thence South 01°25'13" East, a distance of 3.16 feet, to a point on a non-tangent curve; thence Southerly and Southwesterly, along a curve to the right, having a radius of 48.98 feet, a central angle of 56°47'34", and whose initial tangent bearing is South 01°25'22" East, a distance of 48.55 feet, to a point of compound curvature; thence Southwesterly and Westerly, along a curve to the right, having a radius of 112.00 feet, and a central angle of 31°18'53", a distance of 61.21 feet, to a point of tangency; thence South 86°41'02" West, a distance of 214.11 feet; thence North 78°36'20" West, a distance of 41.68 feet; thence North 86°20'31" West, a distance of 743.41 feet; thence South 83°16'48" West, a distance of 64.46 feet; thence North 84°23'47" West, a distance of 159.95 feet, to a point of curvature; thence Westerly and Northwesterly, along a curve to the right, having a radius of 111.50 feet, and a central angle of 31°18'53", a distance of 61.21 feet, to a point of tangency; thence South 86°41'02" West, a distance of 214.11 feet; thence North 78°36'20" West, a distance of 41.68 feet; thence North 86°20'31" West, a distance of 743.41 feet; thence South 83°16'48" West, a distance of 64.46 feet; thence North 84°23'47" West, a distance of 159.95 feet, to a point of curvature; thence Westerly and Northwesterly, along a curve to the right, having a radius of 111.50 feet, and a central angle of 31°18'53", a distance of 61.21 feet, to a point of tangency; thence South 86°41'02" West, a distance of 214.11 feet; thence North 78°36'20" West, a distance of 41.68 feet; thence North 86°20'31" West, a distance of 743.41 feet; thence South 83°16'48" West, a distance of 64.46 feet; thence North 84°23'47" West, along said West line, a distance of 280.21 feet, to the Point of Beginning, containing 854,869.97 square feet or 19.63 acres, more or less.

Coordinates Shown Hereon:

Modified State Plane (Project Ground Coordinates) NAD83 - U.S. Feet

2403 - Missouri West, U.S. Feet Vertical - NAVD83, U.S. Feet

CAF=0.99990648

Coordinates x CAF = State Plane

CP #100 - 1/4" rebar with GBA cap on South side of View High Drive, 18' West of asphalt field entrance, approximately 975' North along the centerline of View High Drive from the ramp to West bound I-470, East of asphalt field entrance
Coordinates: N: 1009568.88' E: 2803498.54' EL: 819.37'
Ties: 1) North 4.15' to the South edge of asphalt of View High Drive
2) East 18.00' to West edge of asphalt field entrance
3) South 27.50' to west end of 18" cmp culvert for field entrance

CP #102 - 1/4" rebar with GBA cap along South side of East bound I-470, East of Bridge spanning View High Drive.
Coordinates: N: 1009463.46' E: 2803878.88' EL: 829.94'
Ties: 1) ENE 38.90' to centerline of steel highway reflector post, 1st post E. of bridge
2) North 9.50' to South edge of asphalt shoulder of East bound I-470
3) WNW 53.65' to top SE corner of concrete guardrail for I-470 bridge spanning View High Drive

CP #104 - 1/4" rebar with GBA cap along South edge of off ramp from East bound I-470 to View High Drive.
Coordinates: N: 1008447.60' E: 2803180.41' EL: 822.96'
Ties: 1) North 3.10' to South edge of asphalt of off ramp
2) WNW 3.00' to SE corner of concrete pad around state lighting control box
3) North 47.20' to SE corner of concrete pad around state lighting control box, North side of off ramp
4) East 530 1/2 to centerline of View High Drive

CP #105 - 1/4" rebar with GBA cap in grass between South edge of asphalt of East bound I-470 and the North edge of asphalt of East bound on ramp from View High Drive, at East end of grass area.
Coordinates: N: 1008400.01' E: 2804608.18' EL: 833.34'
Ties: 1) ENE 38.90' to centerline of steel highway reflector post, 1st post E. of bridge
2) North 9.50' to South edge of asphalt shoulder of East bound I-470
3) WNW 53.65' to top SE corner of concrete guardrail for I-470 bridge spanning View High Drive

CP #106 - Set 1/2" rebar with GBA cap, West of View High Drive, South of entrance to substation at 10528 View High Drive
Coordinates: N: 1006295.09' E: 2803203.41' EL: 844.66'
Ties: 1) NE 62.75' to front face of curb inlet

CP #107 - 1/4" rebar with GBA cap along South edge of off ramp from East bound I-470 to View High Drive.
Coordinates: N: 1008447.60' E: 2803180.41' EL: 822.96'
Ties: 1) North 3.10' to South edge of asphalt of off ramp
2) WNW 3.00' to SE corner of concrete pad around state lighting control box
3) North 47.20' to SE corner of concrete pad around state lighting control box, North side of off ramp
4) East 530 1/2 to centerline of View High Drive

CP #108 - 1/4" rebar with GBA cap on NW corner of View High Drive and access road "Future View High Drive Pkwy"
Coordinates: N: 1009573.66' E: 2803729.57' EL: 811.46'
Ties: 1) NW 3.60' to East edge of asphalt
2) West 51.44' to back of curb at nose of island
3) NE 56.30' to center of MH lid

CP #109 - 1/4" rebar with GBA cap approximately 1430 ± ENE of access road "Future View High Drive Pkwy" from View High Drive, near MH #1055
Coordinates: N: 1009788.28' E: 2805047.90' EL: 806.65'
Ties: 1) SW 3.65' to center of MH lid
2) WNW 14 ± to power pole
3) NW 35.65' to NE corner of chain link fence area

CP #110 - 1/4" rebar with GBA cap on NW corner of View High Drive and access road "Future View High Drive Pkwy" from View High Drive, near MH #1055
Coordinates: N: 1009788.28' E: 2805047.90' EL: 806.65'
Ties: 1) SW 3.65' to center of MH lid
2) WNW 14 ± to power pole
3) NW 35.65' to NE corner of chain link fence area

CP #111 - 1/4" rebar with GBA cap approximately 1380 ± NE of access road "Future View High Drive Pkwy" from View High Drive
Coordinates: N: 1010126.48' E: 2804884.88' EL: 813.20'
Ties: 1) West 298 ± to center of MH lid
2) South 199 ± to center of MH lid

CP #112 - 1/4" rebar with GBA cap approximately 1380 ± NE of access road "Future View High Drive Pkwy" from View High Drive
Coordinates: N: 1010126.48' E: 2804884.88' EL: 813.20'
Ties: 1) West 298 ± to center of MH lid
2) South 199 ± to center of MH lid

CP #113 - 1/4" rebar with GBA cap approximately 1380 ± NE of access road "Future View High Drive Pkwy" from View High Drive
Coordinates: N: 1010126.48' E: 2804884.88' EL: 813.20'
Ties: 1) West 298 ± to center of MH lid
2) South 199 ± to center of MH lid

CP #114 - 1/4" rebar with GBA cap approximately 1380 ± NE of access road "Future View High Drive Pkwy" from View High Drive
Coordinates: N: 1010126.48' E: 2804884.88' EL: 813.20'
Ties: 1) West 298 ± to center of MH lid
2) South 199 ± to center of MH lid

CP #115 - 1/4" rebar with GBA cap approximately 1380 ± NE of access road "Future View High Drive Pkwy" from View High Drive
Coordinates: N: 1010126.48' E: 2804884.88' EL: 813.20'
Ties: 1) West 298 ± to center of MH lid
2) South 199 ± to center of MH lid

CP #116 - 1/4" rebar with GBA cap approximately 1380 ± NE of access road "Future View High Drive Pkwy" from View High Drive
Coordinates: N: 1010126.48' E: 2804884.88' EL: 813.20'
Ties: 1) West 298 ± to center of MH lid
2) South 199 ± to center of MH lid

CP #117 - 1/4" rebar with GBA cap approximately 1380 ± NE of access road "Future View High Drive Pkwy" from View High Drive
Coordinates: N: 1010126.48' E: 2804884.88' EL: 813.20'
Ties: 1) West 298 ± to center of MH lid
2) South 199 ± to center of MH lid

CP #118 - 1/4" rebar with GBA cap approximately 1380 ± NE of access road "Future View High Drive Pkwy" from View High Drive
Coordinates: N: 1010126.48' E: 2804884.88' EL: 813.20'
Ties: 1) West 298 ± to center of MH lid
2) South 199 ± to center of MH lid

CP #119 - 1/4" rebar with GBA cap approximately 1380 ± NE of access road "Future View High Drive Pkwy" from View High Drive
Coordinates: N: 1010126.48' E: 2804884.88' EL: 813.20'
Ties: 1) West 298 ± to center of MH lid
2) South 199 ± to center of MH lid

CP #120 - 1/4" rebar with GBA cap approximately 1380 ± NE of access road "Future View High Drive Pkwy" from View High Drive
Coordinates: N: 1010126.48' E: 2804884.88' EL: 813.20'
Ties: 1) West 298 ± to center of MH lid
2) South 199 ± to center of MH lid

CP #121 - 1/4" rebar with GBA cap approximately 1380 ± NE of access road "Future View High Drive Pkwy" from View High Drive
Coordinates: N: 1010126.48' E: 2804884.88' EL: 813.20'
Ties: 1) West 298 ± to center of MH lid
2) South 199 ± to center of MH lid

CP #122 - 1/4" rebar with GBA cap approximately 1380 ± NE of access road "Future View High Drive Pkwy" from View High Drive
Coordinates: N: 1010126.48' E: 2804884.88' EL: 813.20'
Ties: 1) West 298 ± to center of MH lid
2) South 199 ± to center of MH lid

CP #123 - 1/4" rebar with GBA cap approximately 1380 ± NE of access road "Future View High Drive Pkwy" from View High Drive
Coordinates: N: 1010126.48' E: 2804884.88' EL: 813.20'
Ties: 1) West 298 ± to center of MH lid
2) South 199 ± to center of MH lid

CP #124 - 1/4" rebar with GBA cap approximately 1380 ± NE of access road "Future View High Drive Pkwy" from View High Drive
Coordinates: N: 1010126.48' E: 2804884.88' EL: 813.20'
Ties: 1) West 298 ± to center of MH lid
2) South 199 ± to center of MH lid

CP #125 - 1/4" rebar with GBA cap approximately 1380 ± NE of access road "Future View High Drive Pkwy" from View High Drive
Coordinates: N: 1010126.48' E: 2804884.88' EL: 813.20'
Ties: 1) West 298 ± to center of MH lid
2) South 199 ± to center of MH lid

CP #126 - 1/4" rebar with GBA cap approximately 1380 ± NE of access road "Future View High Drive Pkwy" from View High Drive
Coordinates: N: 1010126.48' E: 2804884.88' EL: 813.20'
Ties: 1) West 298 ± to center of MH lid
2) South 199 ± to center of MH lid

CP #127 - 1/4" rebar with GBA cap approximately 1380 ± NE of access road "Future View High Drive Pkwy" from View High Drive
Coordinates: N: 1010126.48' E: 2804884.88' EL: 813.20'
Ties: 1) West 298 ± to center of MH lid
2) South 199 ± to center of MH lid

CP #128 - 1/4" rebar with GBA cap approximately 1380 ± NE of access road "Future View High Drive Pkwy" from View High Drive
Coordinates: N: 1010126.48' E: 2804884.88' EL: 813.20'
Ties: 1) West 298 ± to center of MH lid
2) South 199 ± to center of MH lid

CP #129 - 1/4" rebar with GBA cap approximately 1380 ± NE of access road "Future View High Drive Pkwy" from View High Drive
Coordinates: N: 1010126.48' E: 2804884.88' EL: 813.20'
Ties: 1) West 298 ± to center of MH lid
2) South 199 ± to center of MH lid

CP #130 - 1/4" rebar with GBA cap approximately 1380 ± NE of access road "Future View High Drive Pkwy" from View High Drive
Coordinates: N: 1010126.48' E: 2804884.88' EL: 813.20'
Ties: 1) West 298 ± to center of MH lid
2) South 199 ± to center of MH lid

CP #131 - 1/4" rebar with GBA cap approximately 1380 ± NE of access road "Future View High Drive Pkwy" from View High Drive
Coordinates: N: 1010126.48' E: 2804884.88' EL: 813.20'
Ties: 1) West 298 ± to center of MH lid
2) South 199 ± to center of MH lid

CP #132 - 1/4" rebar with GBA cap approximately 1380 ± NE of access road "Future View High Drive Pkwy" from View High Drive
Coordinates: N: 1010126.48' E: 2804884.88' EL: 813.20'
Ties: 1) West 298 ± to center of MH lid
2) South 199 ± to center of MH lid

CP #133 - 1/4" rebar with GBA cap approximately 1380 ± NE of access road "Future View High Drive Pkwy" from View High Drive
Coordinates: N: 1010126.48' E: 2804884.88' EL: 813.20'
Ties: 1) West 298 ± to center of MH lid
2) South 199 ± to center of MH lid

CP #134 - 1/4" rebar with GBA cap approximately 1380 ± NE of access road "Future View High Drive Pkwy" from View High Drive
Coordinates: N: 1010126.48' E: 2804884.88' EL: 813.20'
Ties: 1) West 298 ± to center of MH lid
2) South 199 ± to center of MH lid

CP #135 - 1/4" rebar with GBA cap approximately 1380 ± NE of access road "Future View High Drive Pkwy" from View High Drive
Coordinates: N: 1010126.48' E: 2804884.88' EL: 813.20'
Ties: 1) West 298 ± to center of MH lid
2) South 199 ± to center of MH lid

CP #136 - 1/4" rebar with GBA cap approximately 1380 ± NE of access road "Future View High Drive Pkwy" from View High Drive
Coordinates: N: 1010126.48' E: 2804884.88' EL: 813.20'
Ties: 1) West 298 ± to center of MH lid
2) South 199 ± to center of MH lid

CP #137 - 1/4" rebar with GBA cap approximately 1380 ± NE of access road "Future View High Drive Pkwy" from View High Drive
Coordinates: N: 1010126.48' E: 2804884.88' EL: 813.20'
Ties: 1) West 298 ± to center of MH lid
2) South 199 ± to center of MH lid

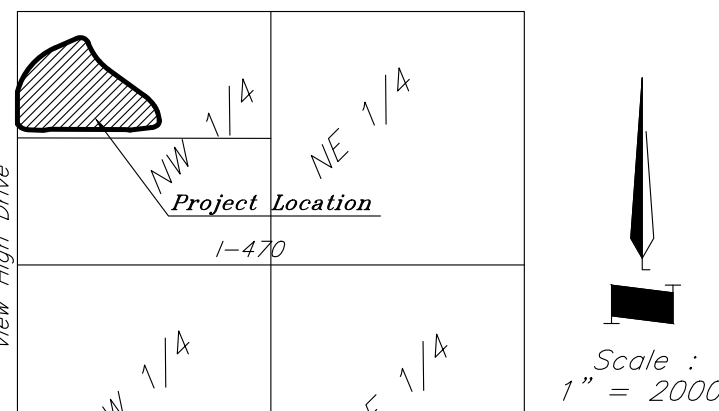
CP #138 - 1/4" rebar with GBA cap approximately 1380 ± NE of access road "Future View High Drive Pkwy" from View High Drive
Coordinates: N: 1010126.48' E: 2804884.88' EL: 813.20'
Ties: 1) West 298 ± to center of MH lid
2) South 199 ± to center of MH lid

CP #139 - 1/4" rebar with GBA cap approximately 1380 ± NE of access road "Future View High Drive Pkwy" from View High Drive
Coordinates: N: 1010126.48' E: 2804884.88' EL: 813.20'
Ties: 1) West 298 ± to center of MH lid
2) South 199 ± to center of MH lid

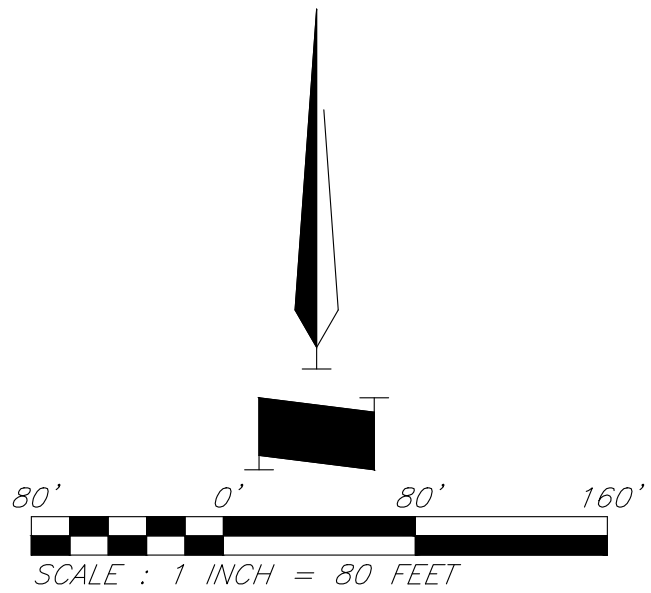
CP #140 - 1/4" rebar with GBA cap approximately 1380 ± NE of access road "Future View High Drive Pkwy" from View High Drive
Coordinates: N: 1010126.48' E: 2804884.88' EL: 813.20'
Ties: 1) West 298 ± to center of MH lid
2) South 199 ± to center of MH lid

CP #141 - 1/4" rebar with GBA cap approximately 1380 ± NE of access road "Future View High Drive Pkwy" from View High Drive
Coordinates: N: 1010126.48' E: 2804884.88' EL: 813.20'
Ties: 1) West 298 ± to center of MH lid
2) South 199 ± to center of MH lid

COORDINATE TABLE					
Point	Northing	Easting	Point	Northing	Easting
1A-96	1000821.54	2794091.51	12	1009512.58	2804874.77
1	1009849.40	2803493.77	13	1009471.07	2804853.64
2	1010288.56	2803895.54	14	1009451.41	2804796.48
3	1010369.72	2804116.09	15	1009439.03	2804582.75
4	1010318.29	2804224.49	16	1009447.26	2804541.89
5	1010305.83	2804228.80	17	1009494.69	2803800.06
6	1010132.73	2804321.64	18	1009487.14	2803736.05
7	1010042.66	2804408.77	19	1009502.76	2803576.88
8	1009764.89	2804748.29	20	1009526.89	2803517.83
9	1009657.27	2804837.95	21	1009543.96	2803501.83
10	1009604.17	2804860.09	22	1009555.40	2803492.53
11	1009515.74	2804874.69	23	1009569.47	2803481.89



VICINITY MAP
Section 34, Township 48, Range 32



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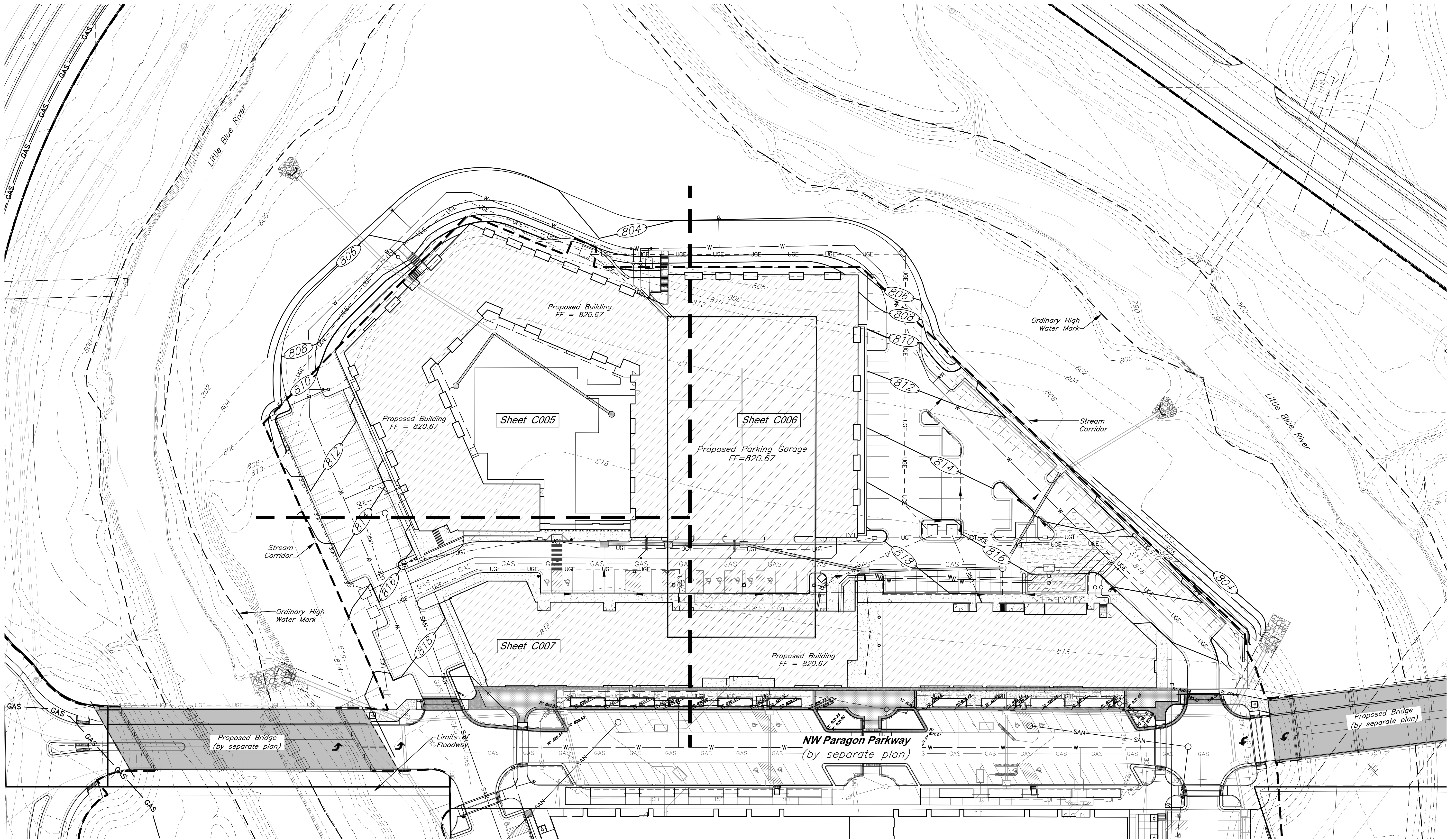
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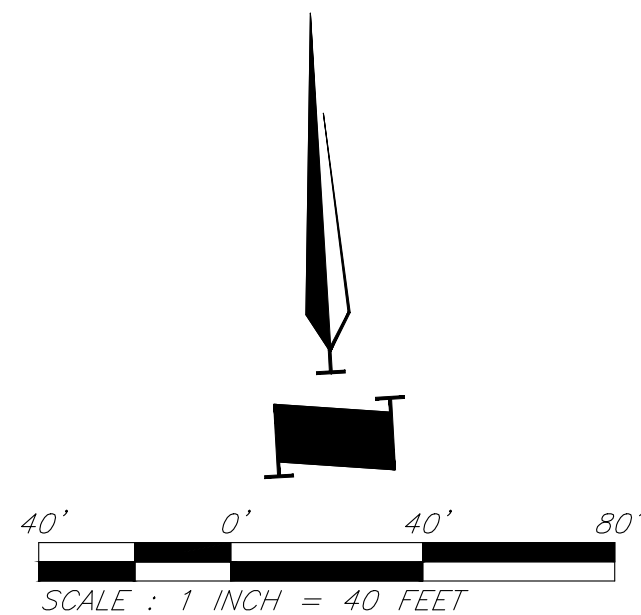
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CAUTION!
Numerous Utilities on site. Contractor
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utilities prior to commencing
construction.

LEGEND			
---XXX---	Existing Contour	---	Existing Flood Zone AE
---XXX---	Proposed Contour	---	Existing Flood Zone X
---TC XXX.XX---	Proposed Top of Curb	---	Stream Corridor
---XXX.XX---	Proposed Spot Grade	---	Proposed Floodplain
---	Drainage Flow Arrow	---	Proposed Floodway



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PROJECT:

Paragon Star North Village
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DRAWING TITLE:

**Overall Grading
Plan**

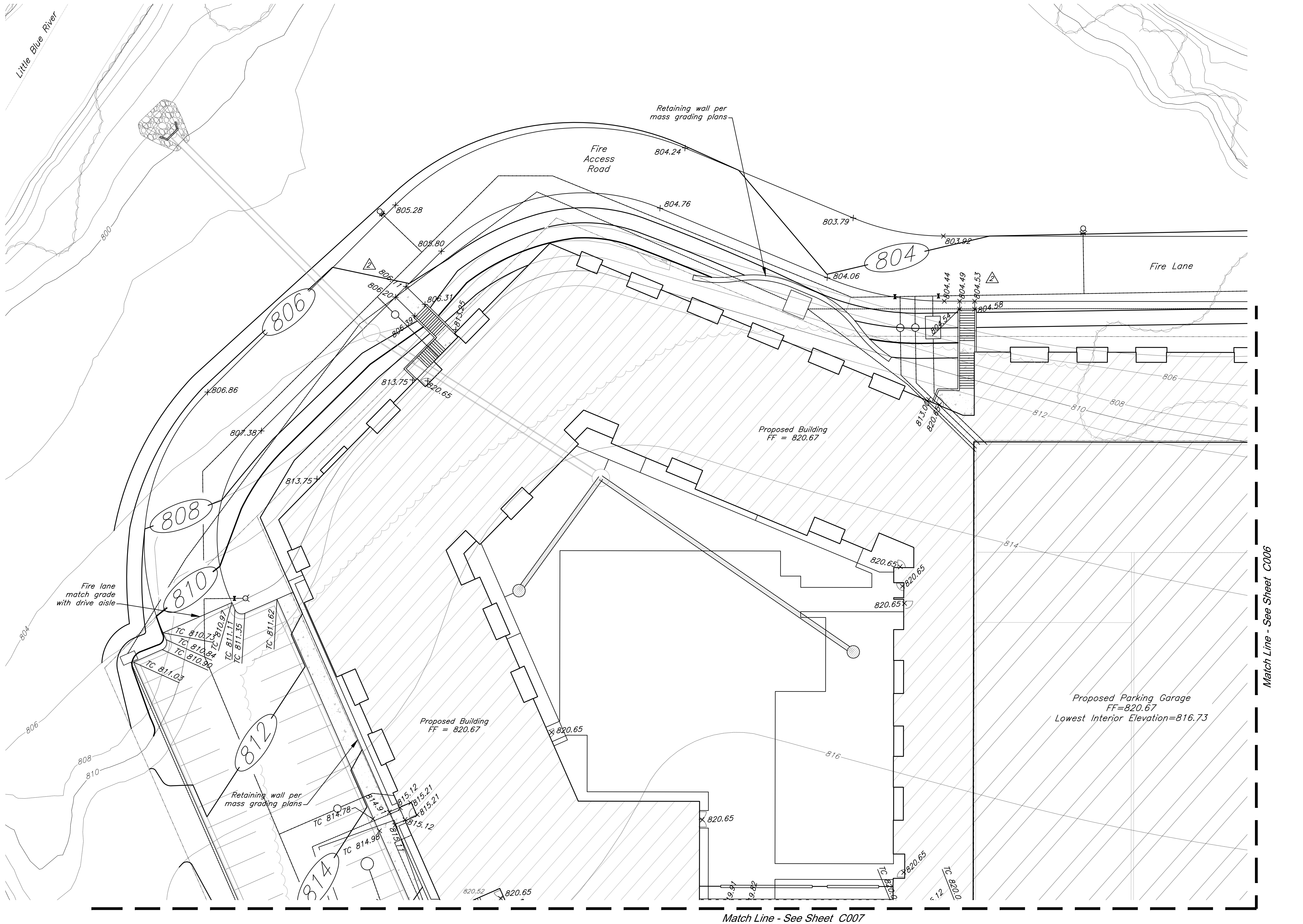
JOB NO: 18017, 19050.07, 19050.08

DATE: 08.12.2022 DRAWN BY: JRH

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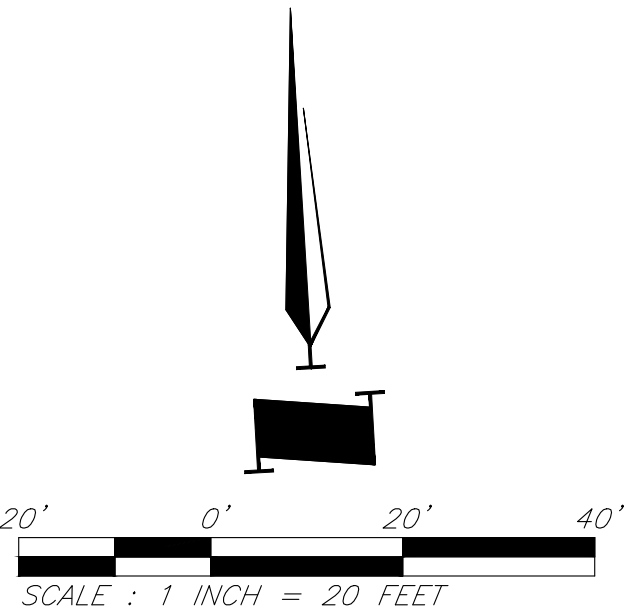
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LEGEND			
---XXX---	Existing Contour	---	Existing Flood Zone AE
---XXX---	Proposed Contour	---	Existing Flood Zone X
TC XXX.XX	Proposed Top of Curb	---	Stream Corridor
xxx.xx	Proposed Spot Grade	---	Proposed Floodplain
➔	Drainage Flow Arrow	---	Proposed Floodway



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DRAWING TITLE:

Grading Plan

JOB NO: 18017, 19050.07, 19050.08

DATE: 08.12.2022 DRAWN BY: JRH

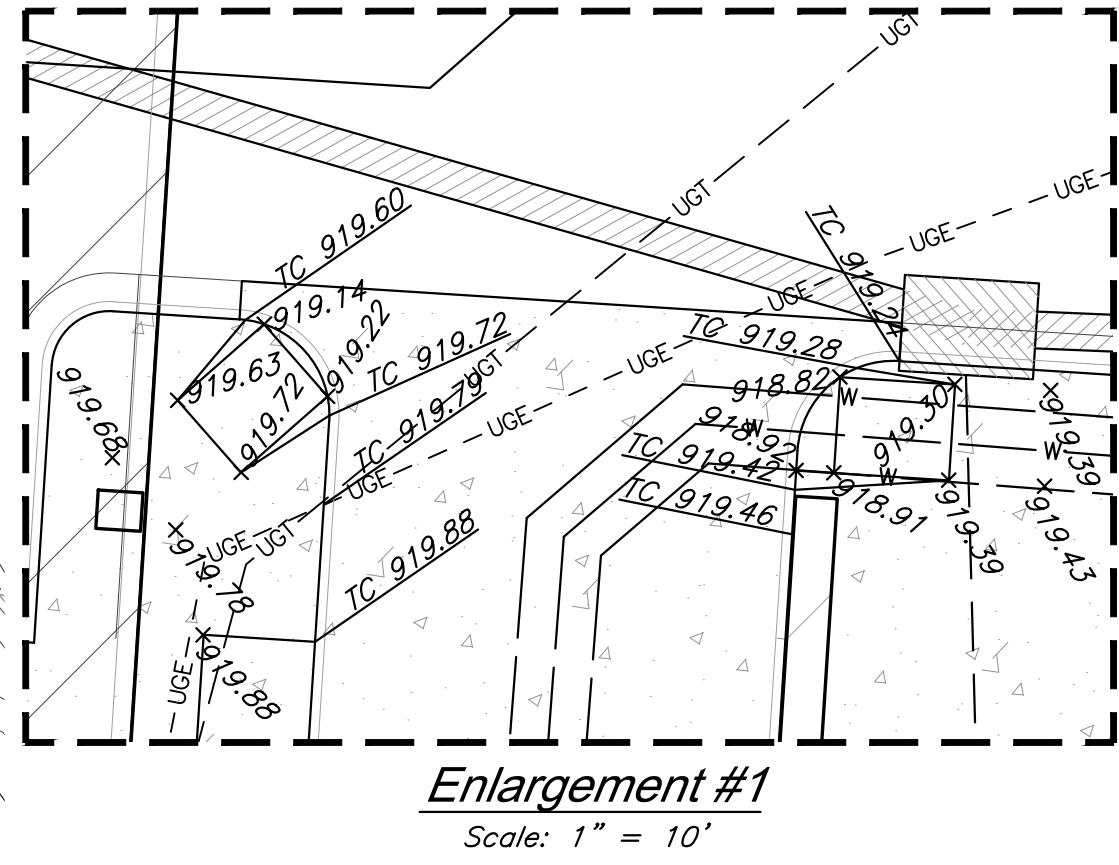
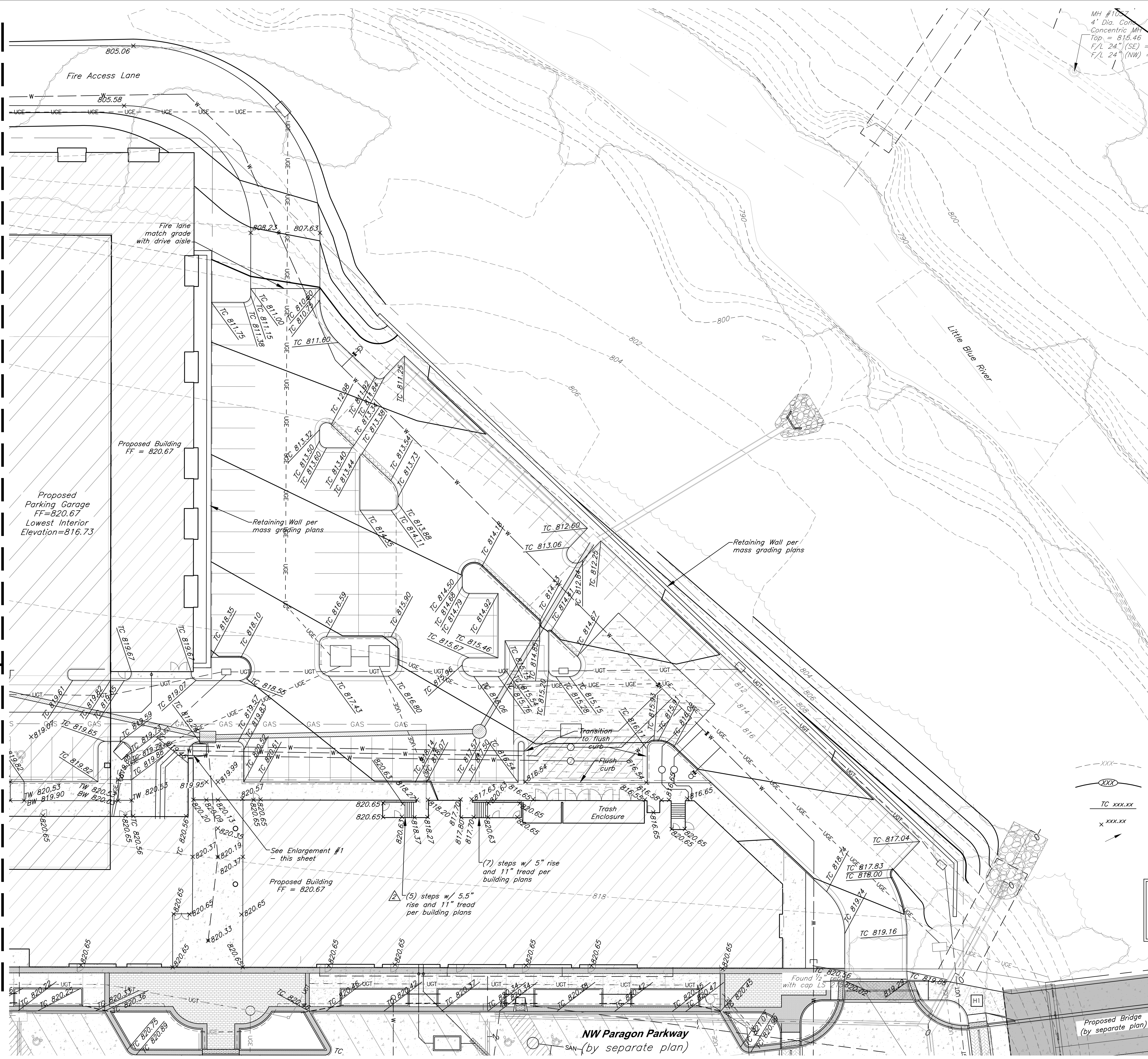
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Match Line - See Sheet C008

Match Line - See Sheet C007

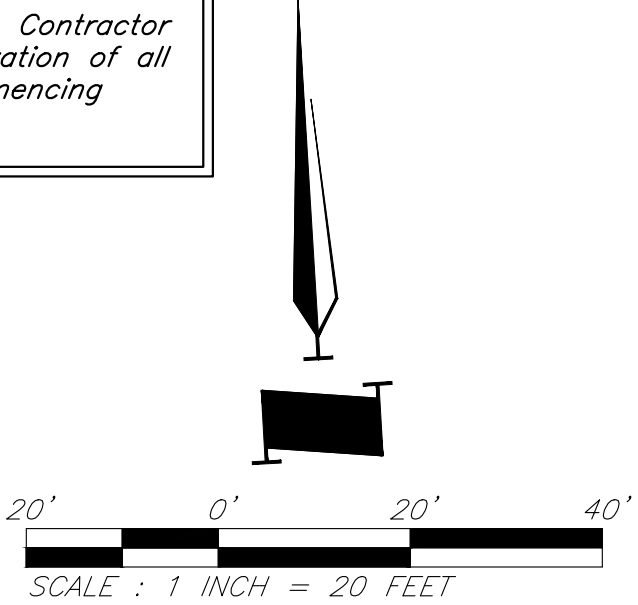


LEGEND

---XXX---	Existing Contour	---	Existing Flood Zone AE
---XXX---	Proposed Contour	---	Existing Flood Zone X
TC xxx.xx	Proposed Top of Curb	---	Stream Corridor
x xxx.xx	Proposed Spot Grade	---	Proposed Floodplain
→	Drainage Flow Arrow	---	Proposed Floodway

CAUTION!

Numerous Utilities on site. Contractor to verify location and elevation of all utilities prior to commencing construction.



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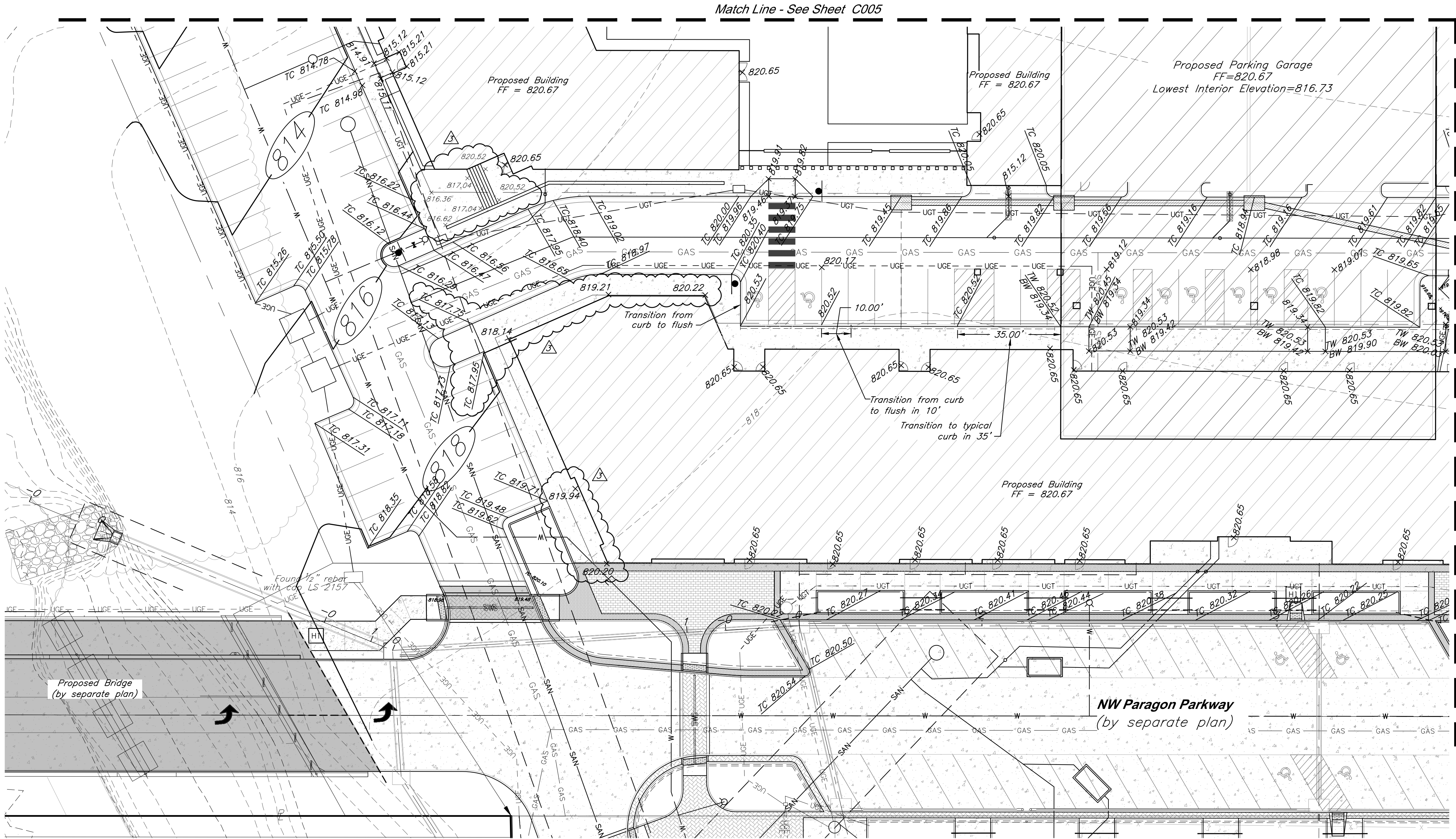
JOB NO: 18017, 19050.07, 19050.08

DATE: 08.12.2022 DRAWN BY: JRH

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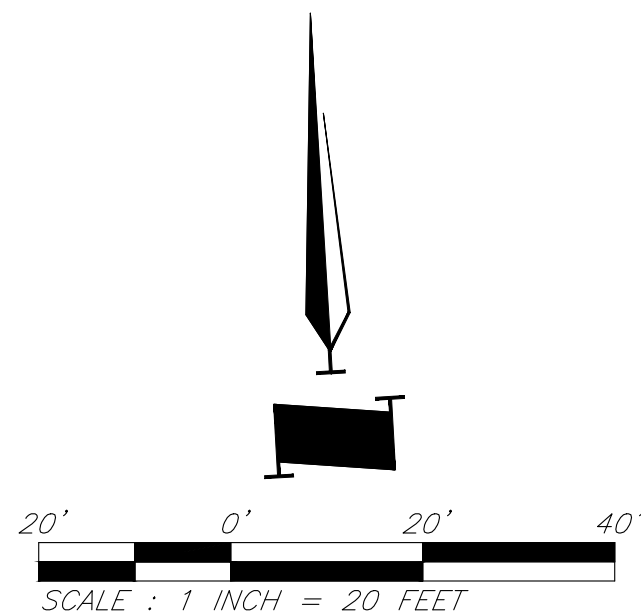
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CAUTION!
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construction.

LEGEND			
---	Existing Contour	---	Existing Flood Zone AE
---	Proposed Contour	---	Existing Flood Zone X
TC xxx.xx	Proposed Top of Curb	---	Stream Corridor
xxx.xx	Proposed Spot Grade	---	Proposed Floodplain
→	Drainage Flow Arrow	---	Proposed Floodway



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PROFESSIONAL SEAL:



DRAWING TITLE:

Grading Plan

JOB NO: 18017, 19050.07, 19050.08

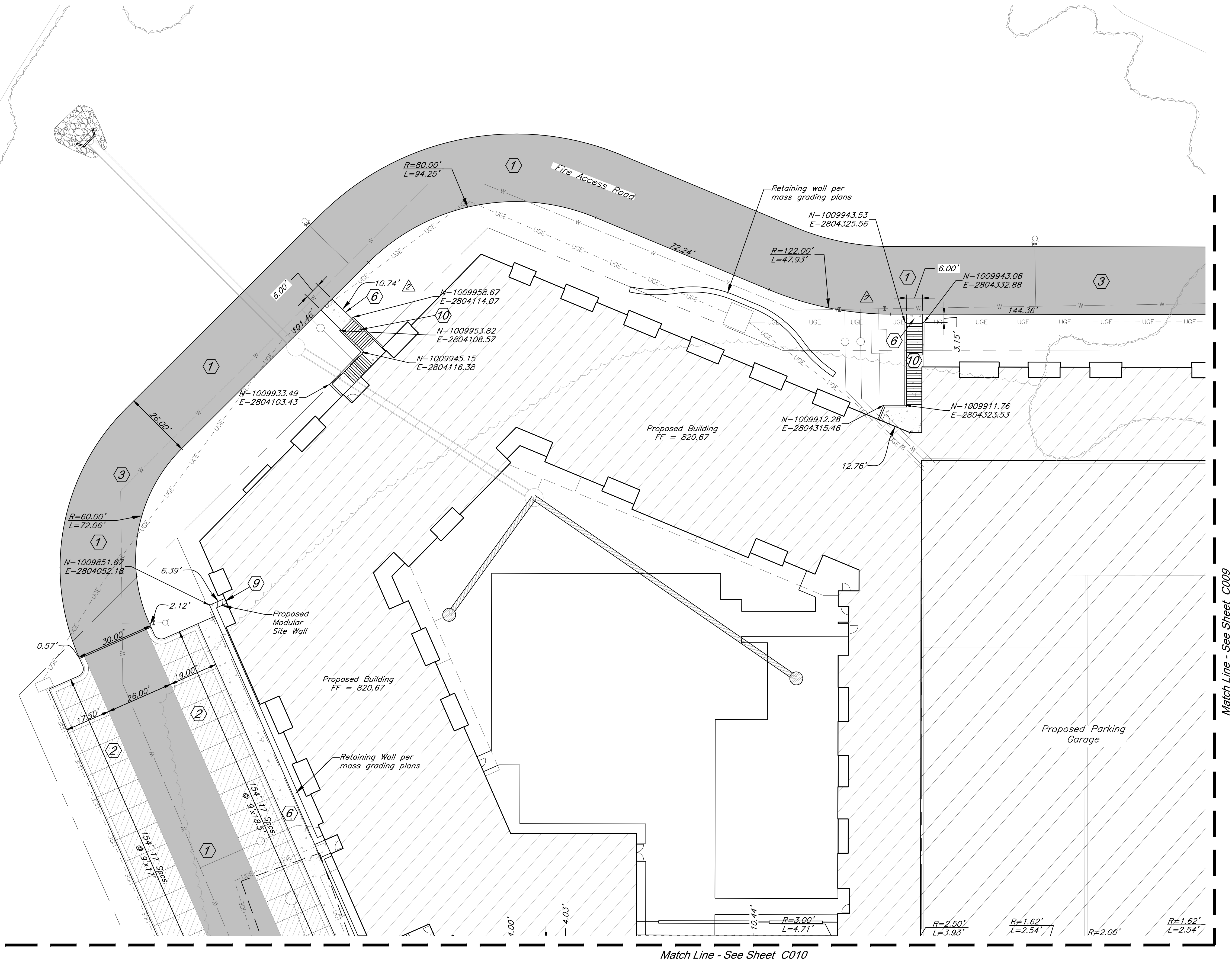
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C007

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Little Blue River



CONSTRUCTION NOTES:

- 1 Proposed HD Asphalt Pavement
- 2 Proposed LD Asphalt Pavement
- 3 Proposed Fire Access Road
- 4 Type CG-1 Curb & Gutter
- 6 Construct Concrete Sidewalk
- 9 Construct Modular Site Walls per Architectural and Structural Plans
- 10 Construct Stairs per Architectural and Structural Plans

DIMENSION NOTES:

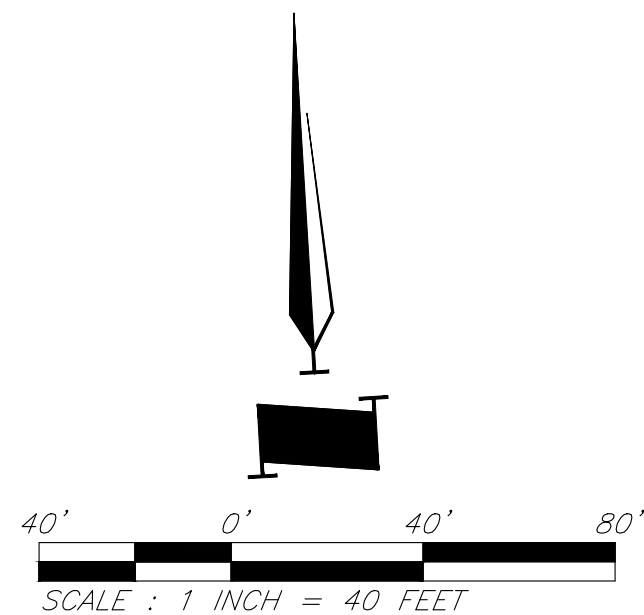
1. All curbs are to be Type CG-1 or Type CG-1 Dry unless shown otherwise.
2. Unless otherwise specified, all dimensions are to the back of curb and dimension ties to property line are measured at right angles to property lines.
3. See Sheets C018-C019 for construction details.

CAUTION!

Numerous Utilities on site. Contractor to verify location and elevation of all utilities prior to commencing construction.

LEGEND

- | | | | |
|--|-----------------------------|--|----------------------------------|
| | Proposed HD Asphalt Surface | | Proposed Water Line |
| | Proposed LD Asphalt Surface | | Proposed Storm Sewer |
| | Type CG-1 "Dry Curb" | | Existing Sanitary Sewer |
| | Proposed Modular Site Wall | | Crosswalk Sign / Stop Sign (Typ) |
| | Proposed Concrete Walk | | Proposed Grass Paver |



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7/11/22 Addendum 1

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Dimension Plan

JOB NO: 18017, 19050.07, 19050.08

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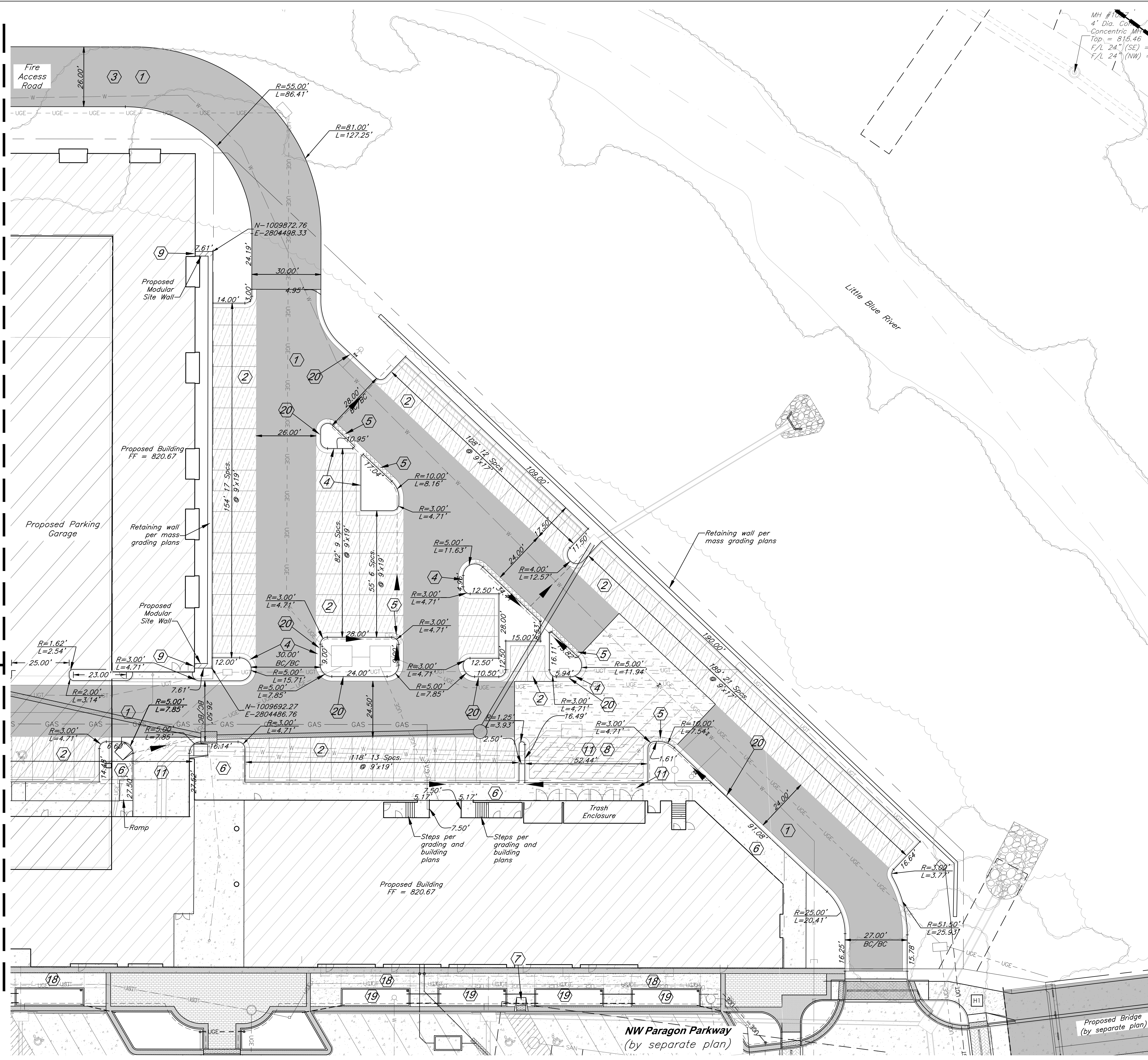
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Match Line - See Sheet C008

Match Line - See Sheet C010



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CONSTRUCTION NOTES:

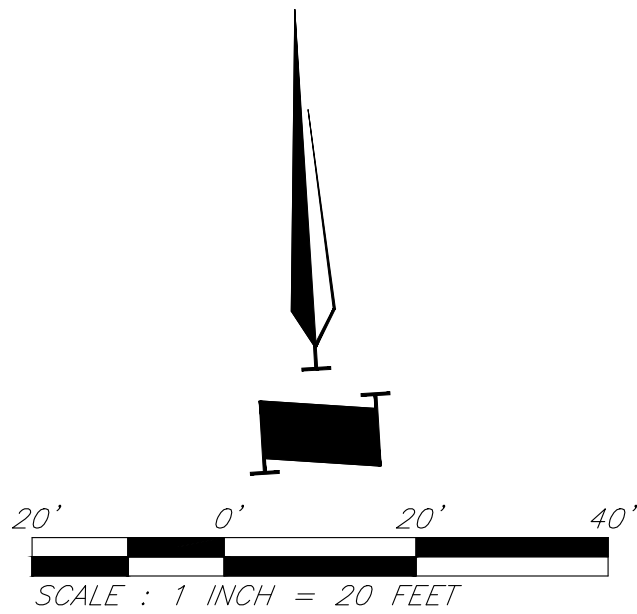
- 1 Proposed HD Asphalt Pavement
- 2 Proposed LD Asphalt Pavement
- 3 Proposed Fire Access Road
- 4 Type CG-1 Curb & Gutter
- 5 Type CG-1 "Dry" Curb & Gutter
- 6 Construct Concrete Sidewalk
- 7 Construct ADA Ramp
- 8 No Parking Pavement Striping for Trash Enclosure
- 9 Construct Modular Site Walls per Architectural and Structural Plans
- 11 Proposed HD Concrete Pavement
- 18 Construct typical sidewalk per streetscape details
- 19 Construct raised planter per streetscape details
- 20 Paint each edge of paved fire lane per Lee's Summit Code Chapter 13, Article III, Section 13-44-503.3. Paint 6 inch wide stripe on asphalt with 4 inch white lettering stating "FIRE LANE-NO PARKING". Wording shall not be spaced greater than 15 feet apart.

DIMENSION NOTES:

1. All curbs are to be Type CG-1 or Type CG-1 Dry unless shown otherwise.
2. Unless otherwise specified, all dimensions are to the back of curb and dimension ties to property line are measured at right angles to property lines.
3. See Sheet C018-C019 for construction details.

LEGEND

- Proposed HD Asphalt Surface
- Proposed LD Asphalt Surface
- Proposed Concrete Pavement
- Proposed HD Concrete Pavement (Trash Enclosure)
- Proposed Grass Paver
- Type CG-1 "Dry Curb"
- Proposed Water Line
- Proposed Storm Sewer
- Existing Sanitary Sewer



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PROJECT:

Paragon Star North Village
3200 NW Paragon Parkway, Lee's Summit, MO 64081

FDP Resubmittal

ISSUE:

PROFESSIONAL SEAL:



DRAWING TITLE:

Dimension Plan

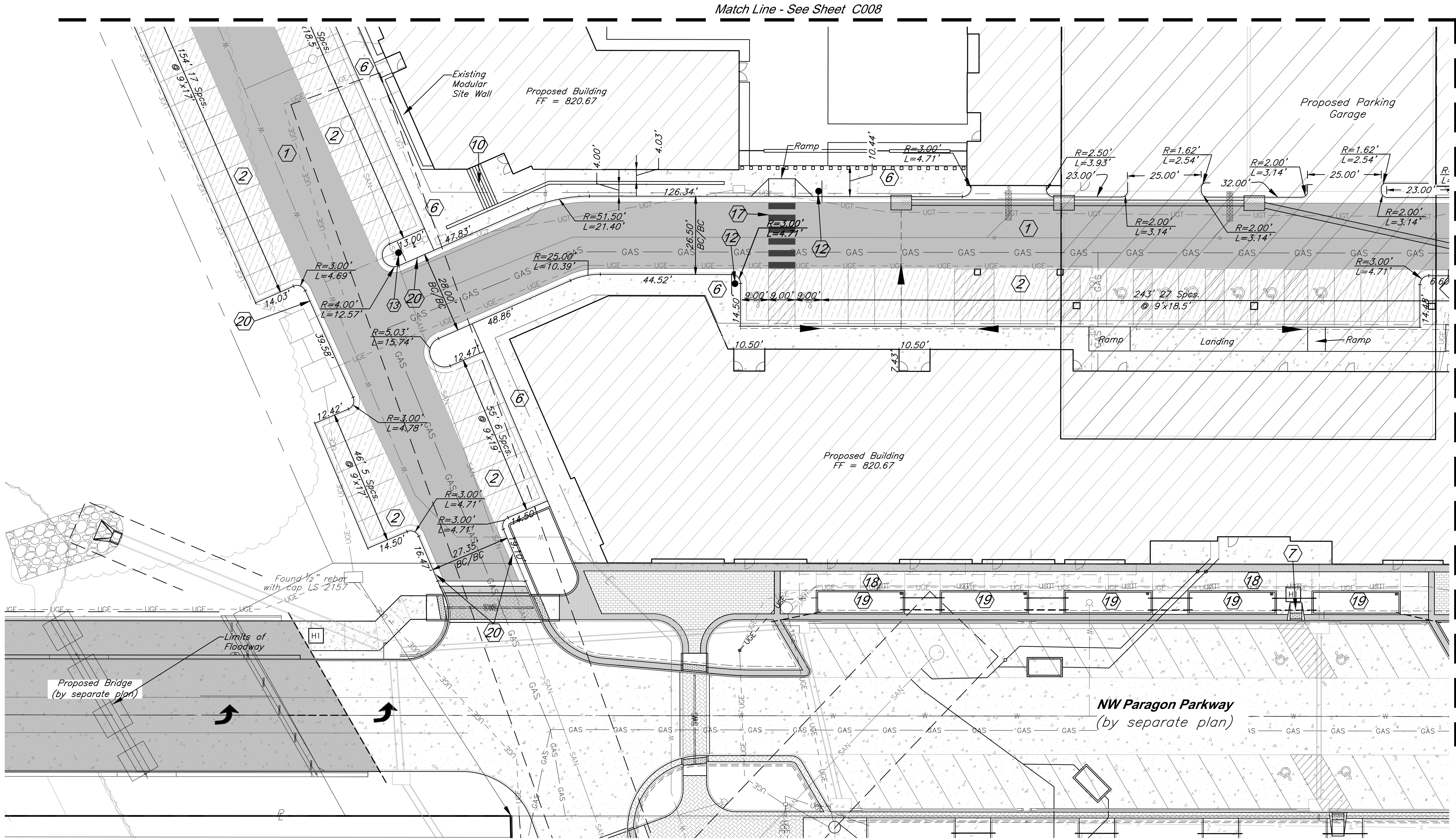
JOB NO: 18017, 19050.07, 19050.08

DATE: 08.12.2022 DRAWN BY: JRH

SHEET NO:

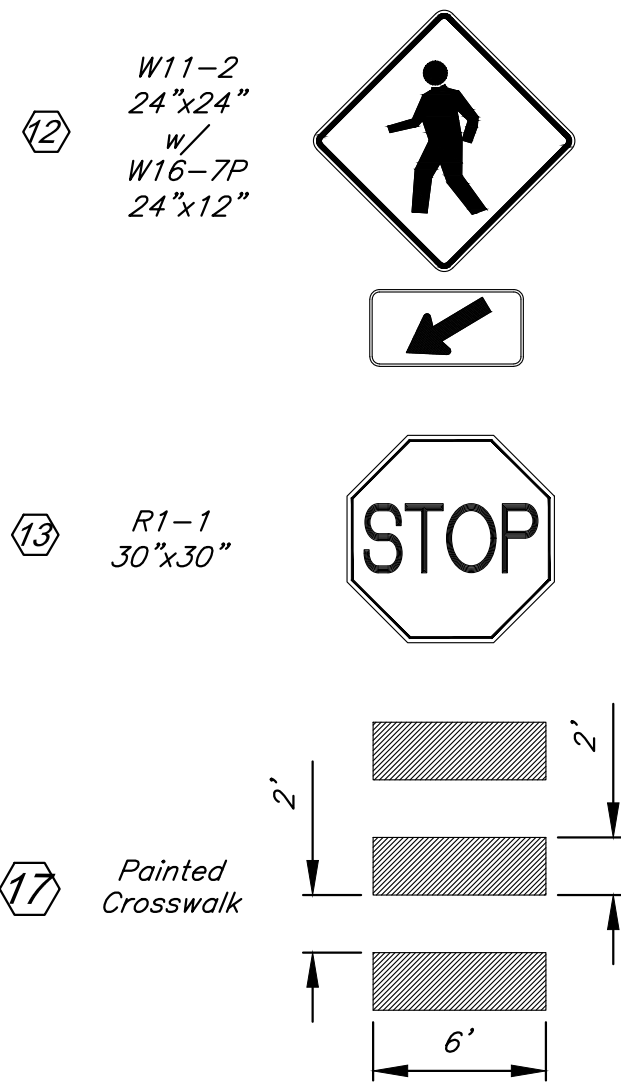
C009

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Notes:

1. All signs shall be placed 2' behind back of curb unless otherwise noted.
2. All ADA accessible parking stalls to be painted in accordance with U.S. Dept. of Justice specifications.
3. All pavement markings on private property shall be waterborne paint.
4. All pavement markings in public Right of Way shall be preformed Thermoplastic conforming to AASHTO M249-79.



CONSTRUCTION NOTES:

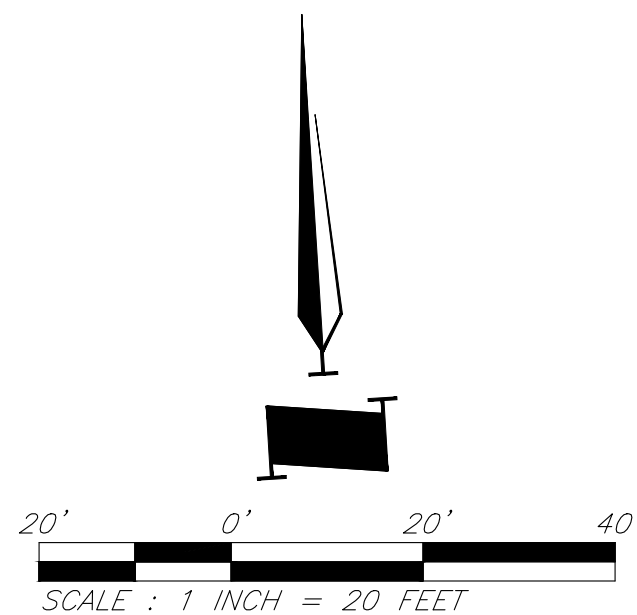
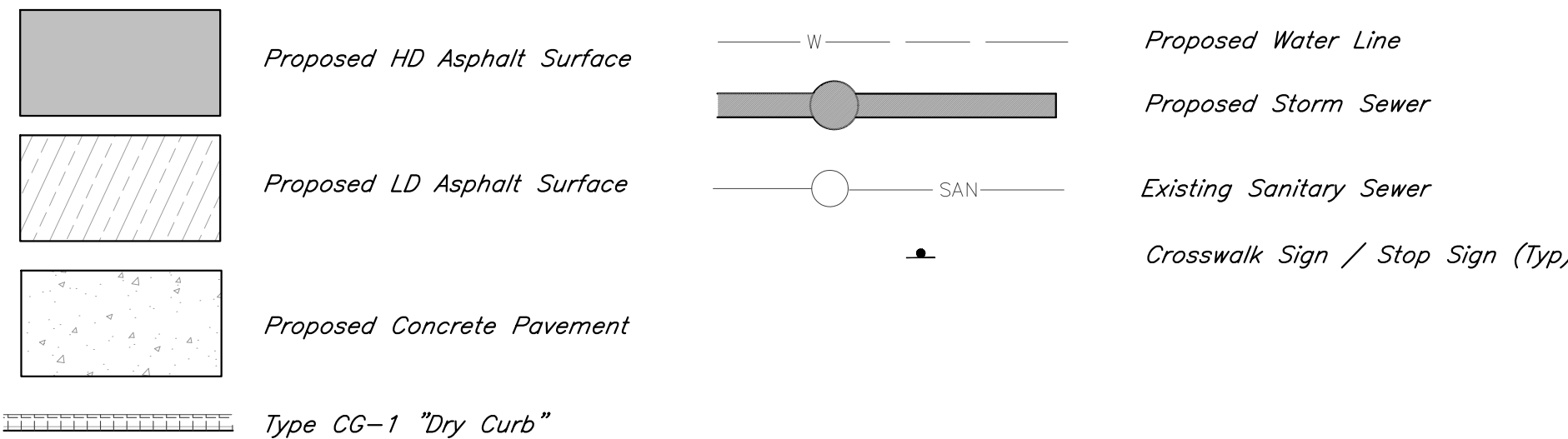
- 1 Proposed HD Asphalt Pavement
- 2 Proposed LD Asphalt Pavement
- 4 Type CG-1 Curb & Gutter
- 5 Type CG-1 "Dry" Curb & Gutter
- 6 Construct Concrete Sidewalk
- 7 Construct ADA Ramp
- 10 Construct Stairs per Architectural and Structural Plans
- 12 Crosswalk Signage (See Detail this Sheet)
- 13 Stop Sign Signage (See Detail this Sheet)
- 17 White Traffic Paint Crosswalk
- 18 Construct typical sidewalk per streetscape details
- 19 Construct raised planter per streetscape details
- 20 Paint each edge of paved fire lane per Lee's Summit Code Chapter 13, Article III, Section 13-44-503.3. Paint 6 inch wide stripe on asphalt with 4 inch white lettering stating "FIRE LANE-NO PARKING". Wordings shall not be spaced greater than 15 feet apart.

DIMENSION NOTES:

1. All curbs are to be Type CG-1 or Type CG-1 Dry unless shown otherwise.
2. Unless otherwise specified, all dimensions are to the back of curb and dimension ties to property line are measured at right angles to property lines.
3. See Sheet C018 - C019 for construction details.

CAUTION!
Numerous Utilities on site. Contractor to verify location and elevation of all utilities prior to commencing construction.

LEGEND



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C010

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Sanitary Sewer Construction Notes

- S1** Connect 6" Service Line to Sanitary Sewer Line A with cut-in wye, Sta=14+8.41, ℓ =809.26. ℓ @ End of wye=809.93. Install 67 LF 6" Dia. SDR26 PVC Pipe @ 7.07% to S3.
- S2** Install Cleanout
- S3** Connect to 6" building stub, ℓ =814.67. See MEP plan for continuation.
- S4** Connect 6" Service Line to Sanitary Sewer Line A with cut-in wye, Sta=14+8.20, ℓ =809.17. ℓ @ End of Tee=809.84. Install 200 LF 6" Dia. SDR26 PVC Pipe @ 1% to S5.
- S5** Install wye connection, ℓ =811.84. Install 21 LF 6" Dia. SDR26 PVC Pipe @ 1% to S6. Install 77 LF 6" Dia. SDR26 PVC Pipe @ 1% to S7.
- S6** Connect to 6" building stub, ℓ =812.05. See MEP plan for continuation.
- S7** Install wye connection, ℓ =812.61. Install 19 LF 6" Dia. SDR26 PVC Pipe @ 1% to S8. Install 109 LF 6" Dia. SDR26 PVC Pipe @ 1% to S9.
- S8** Connect to 6" building stub, ℓ =812.80. See MEP plan for continuation.
- S9** Connect to 6" building stub, ℓ =813.70. See MEP plan for continuation.
- S10** 45° Bend
- S11** 22.5° Bend
- S12** Sanitary line crosses under storm sewer. Construct 10 LF Reinforced Concrete Encasement, centered on crossing.
- S13** Sanitary line crosses under storm sewer. Construct 30 LF Reinforced Concrete Encasement, centered on crossing.

- S14** Connect 6" Service Line to existing Sanitary Sewer Service Stub, ℓ =811.41±. Install 6 LF 6" dia. SDR26 PVC north to building stub, ℓ =813.67.
- S15** Connect 4" Service Line to existing Sanitary Sewer Service Stub, ℓ =811.41±. Install 6 LF 4" dia. SDR26 PVC north to building stub (grease line), ℓ =813.67.
- S16** Connect 6" Service Line to existing Sanitary Sewer Service Stub, ℓ =813.20±.
- S17** Connect 4" Service Line to existing Sanitary Sewer Service Stub (grease line), ℓ =813.20±.

Storm Sewer Construction Notes

- ST1** Connect roof drain line to Structure 5002, ℓ =813.00. Install 6 LF 10" Dia. SDR 26 PVC @ 2% to ST2.
- ST2** Install tee connection, ℓ =813.12. Install 14 LF 10" Dia. SDR26 PVC @ 2% to ST3. Install 14 LF 10" Dia. SDR26 PVC @ 2% to ST4.
- ST3** Connect to building stub, ℓ =813.40. See MEP Plan for continuation.
- ST4** Install tee connection, ℓ =813.40. Install 6.5 LF 10" Dia. SDR26 PVC @ 2% to ST5. Install 50 LF 10" Dia. SDR26 PVC @ 2% to ST6.
- ST5** Connect to building stub, ℓ =813.53. See MEP Plan for continuation.
- ST6** Install tee connection, ℓ =814.40. Install 2.5 LF 10" Dia. SDR26 PVC @ 2% to ST7. Install 59 LF 10" Dia. SDR26 PVC @ 2% to ST8.
- ST7** Connect to building stub, ℓ =814.45. See MEP Plan for continuation.
- ST8** Connect to building stub, ℓ =815.58. See MEP Plan for continuation.
- ST9** Connect roof drain line to Structure 5901, ℓ =813.00. Install 4 LF 12" Dia. SDR 26 PVC @ 2% to ST10.
- ST10** Install tee connection, ℓ =813.08. Install 23.5 LF 12" Dia. SDR26 PVC @ 2% to ST11. Install 16 LF 12" Dia. SDR26 PVC @ 2% to ST12.
- ST11** Connect to building stub, ℓ =813.55. See MEP Plan for continuation.
- ST12** Install tee connection, ℓ =813.40. Install 6 LF 12" Dia. SDR26 PVC @ 2% to ST13. Install 52.5 LF 12" Dia. SDR26 PVC @ 2% to ST14.
- ST13** Connect to building stub, ℓ =813.52. See MEP Plan for continuation.
- ST14** Connect to building stub, ℓ =814.45. See MEP Plan for continuation.

- ST15** Connect roof drain line to Structure 4301, ℓ =813.71. Install 18 LF 8" Dia. SDR 26 PVC @ 2% to ST16. Install tee connection, ℓ =814.07.
- ST16** Install 4 LF 8" Dia. SDR26 PVC @ 2% to ST17. Install 57 LF 8" Dia. SDR26 PVC @ 2% to ST18.
- ST17** Connect to building stub, ℓ =814.15. See MEP Plan for continuation.
- ST18** Install tee connection, ℓ =815.21. Install 4 LF 8" Dia. SDR26 PVC @ 2% to ST19. Install 62 LF 8" Dia. SDR26 PVC @ 2% to ST20.
- ST19** Connect to building stub, ℓ =815.29. See MEP Plan for continuation.
- ST20** Connect to building stub, ℓ =816.45. See MEP Plan for continuation.
- ST21** Connect roof drain line to Structure 4302, ℓ =815.53. Install 22 LF 8" Dia. SDR 26 PVC @ 2% to ST22.
- ST22** Connect to building stub, ℓ =815.97. See MEP Plan for continuation.

- ST23** Connect roof drain line to Structure 5401, ℓ =815.03. Install 18 LF 8" Dia. SDR 26 PVC @ 2% to ST24.
- ST24** Install tee connection, ℓ =815.39. Install 18 LF 8" Dia. SDR26 PVC @ 2% to ST25. Install 33 LF 8" Dia. SDR26 PVC @ 2% to ST28.
- ST25** Install tee connection, ℓ =815.75. Install 4 LF 8" Dia. SDR26 PVC @ 2% to ST26. Install 16 LF 8" Dia. SDR26 PVC @ 2% to ST27.
- ST26** Connect to building stub, ℓ =815.83. See MEP Plan for continuation.
- ST27** Connect to building stub, ℓ =816.95. See MEP Plan for continuation.
- ST28** Install tee connection, ℓ =816.05. Install 4 LF 8" Dia. SDR26 PVC @ 2% to ST29. Install 52 LF 8" Dia. SDR26 PVC @ 2% to ST30.
- ST29** Connect to building stub, ℓ =816.13. See MEP Plan for continuation.
- ST30** Connect to building stub, ℓ =817.09. See MEP Plan for continuation.

- ST31** Connect 8" HDPE pipe to structure 5702, ℓ =815.44. Install 49.67 LF 8" HDPE pipe @ 2% to ST32.
- ST32** Construct 12" Nyloplast Drain Basin with Pedestrian Grate Top elev.=820.19
 ℓ 8" In (S)=816.93
 ℓ 8" Out (N)=816.43
Install 36.5 LF 8" HDPE pipe @ 2% to ST33.
- ST33** Construct 12" Nyloplast Inline Drain with Pedestrian Grate Top elev.=820.33
 ℓ 8" Out (N)=817.66

Gas Construction Notes

- G1** Gas service line per service provider
- G2** Retail Gas Meter
- G3** Retail Gas Meter

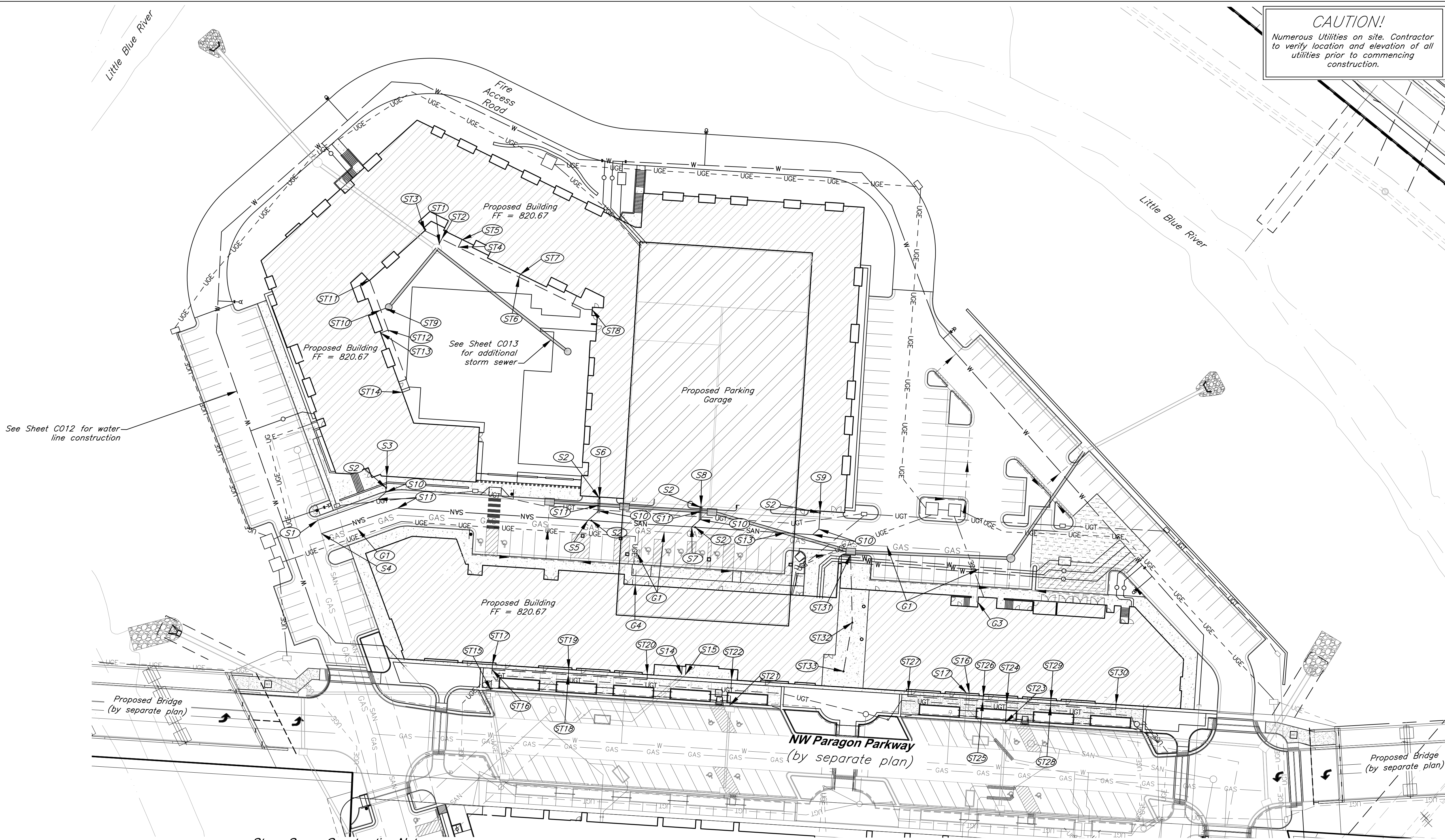
General Utility Notes

- See Sheet C018 for Construction Details.
- Contractor to deflect conduits as necessary to avoid conflicts with other utilities.
- Contractor shall coordinate with the Surveyor to leave trenches open for collecting survey data for record drawings.
- Water line minimum burial depth shall be 42 inches.

Notes:

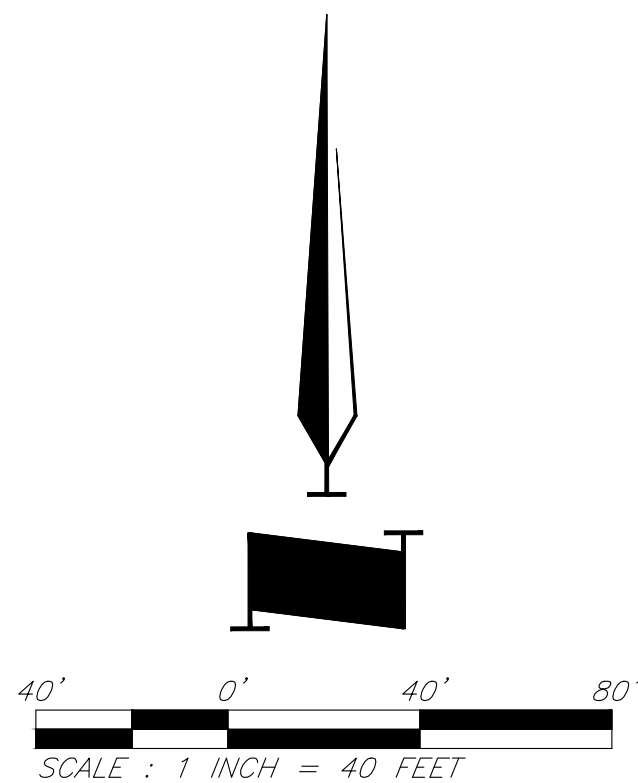
- Pipe length called out is from center of structure to center of structure. Payment for pipe length is from inside face to inside face of structure.
- Storm Sewer Structure Station offset and coordinates based on center of structure. Top elevations are top center of lid.
- Taps on all in grade inlets shall maintain street slope, low point inlets to be set level.
- Fire department connection locations are preliminary and subject to change upon final design. IFC distance requirements for FDCs shall be met with final design.

CAUTION!
Numerous Utilities on site. Contractor to verify location and elevation of all utilities prior to commencing construction.



Legend

- W ————— Proposed Water Line
- Proposed Storm Sewer
- SAN ————— Proposed Sanitary Sewer
- GAS— GAS ————— Proposed Gas Line
- UGE— — UGE— ————— Proposed Underground Electric
- UGT— ————— Proposed Telecom



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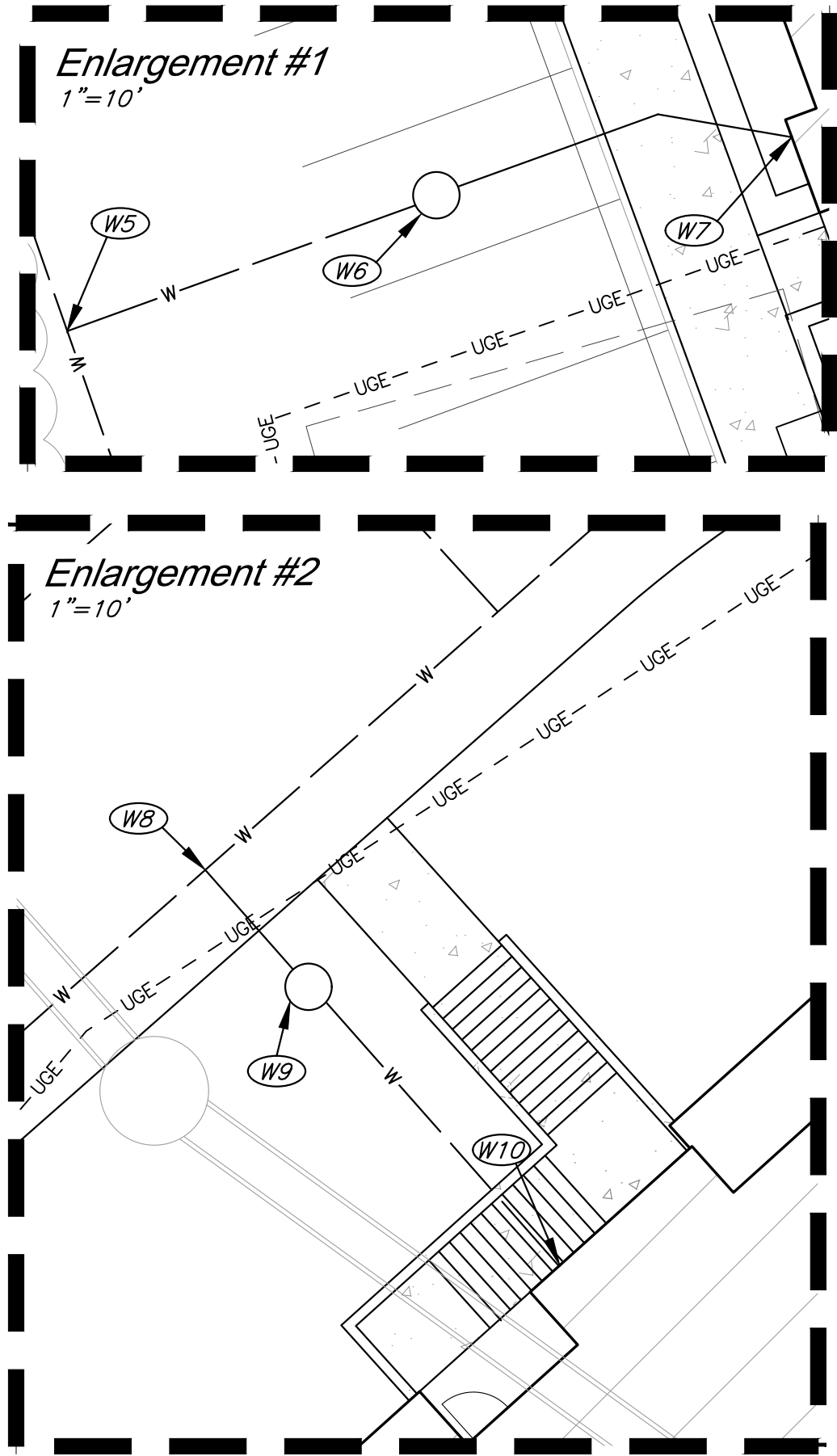
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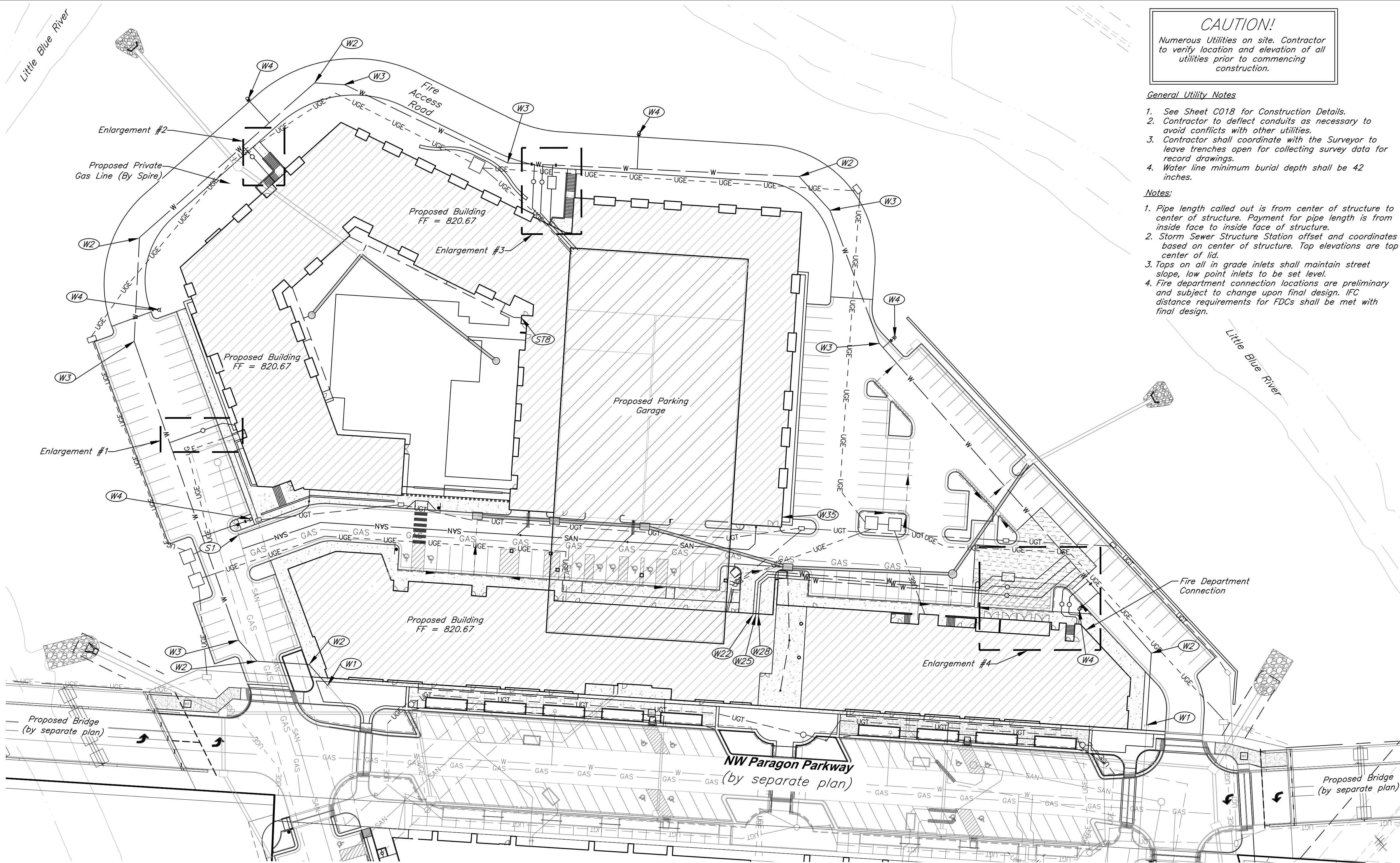
C011

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Water Line Construction Notes

- (W1) Connect to 12" water main. Install 8" Dia. Class 305 C900 PVC.
(W2) Install 45° Bend with Thrust Block
(W3) Install 22.5° Bend with Thrust Block
(W4) Install Fire Hydrant Assembly
(W5) Connect to water main via 8"x8"x8" tee with 2" reducer E for domestic water service. Install 2" dia. C901 HDPE E to W6.
(W6) Install 2" Water Meter in City provided vault. Install 2.5" dia. C901 HDPE to W7.
(W7) 2.5" Domestic Water Line Building Connection. Utilize 6" casing pipe installed per mass grading plans. See casing pipe detail, sheet C016. See MEP Plan for Continuation.
(W8) Connect to water main via 8"x8"x8" tee with 2" reducer SE for domestic water service. Install 2" dia. C901 HDPE SE to W9.
(W9) Install 2" Water Meter in City provided vault. Install 2.5" dia. C901 HDPE to W10.
(W10) 2.5" Domestic Water Line Building Connection. See MEP Plan for Continuation.
(W11) Connect to water main via 8"x8"x8" tee with 2" reducer S for domestic water service. Install (1) gate valve W. Install 2" dia. C901 HDPE S to W12.
(W12) Install 2" Water Meter in City provided vault. Install 2.5" dia. C901 HDPE to W13.
(W13) 2.5" Domestic Water Line Building Connection. See MEP Plan for Continuation.
(W14) Connect to water main via 8"x8"x8" tee with 2" reducer S for domestic water service. Install 2" dia. C901 HDPE S to W15.
(W15) Install 2" Water Meter in City provided vault. Install 2.5" dia. C901 HDPE to W16.
(W16) 2.5" Domestic Water Line Building Connection. See MEP Plan for Continuation.
(W17) Connect to water main via 8"x8"x8" tee w/ thrust block for fire protection service. Install (1) gate valve E. Install 8" dia. C900 PVC S to W18.
(W18) Install Double Check Detector Assembly in Concrete Vault. Install 8" dia. C900 PVC to W19.
(W19) 8" Fire Protection Line Building Connection. See MEP Plan for Continuation.
(W20) Connect to water main via 8"x8"x8" tee w/ thrust block for fire protection service. Install (1) gate valve NW. Install 8" dia. C900 PVC SW to W21.
(W21) Install Double Check Detector Assembly in Concrete Vault. Install 8" dia. C900 PVC to W22.
(W22) 8" Fire Protection Line Building Connection. See MEP Plan for Continuation.
(W23) Connect to water main via 8"x8"x8" tee with 2" reducer SW for domestic water service. Install 2" dia. C901 HDPE SW to W24.
(W24) Install 2" Water Meter in City provided vault. Install 2.5" dia. C901 HDPE to W25.
(W25) 2.5" Domestic Water Line Building Connection. See MEP Plan for Continuation.
(W26) Connect to water main via 8"x8"x8" tee with 2" reducer SW for domestic water service. Install 2" dia. C901 HDPE SW to W27.
(W27) Install 2" Water Meter in City provided vault. Install 2.5" dia. C901 HDPE to W28.
(W28) 2.5" Domestic Water Line Building Connection. See MEP Plan for Continuation.



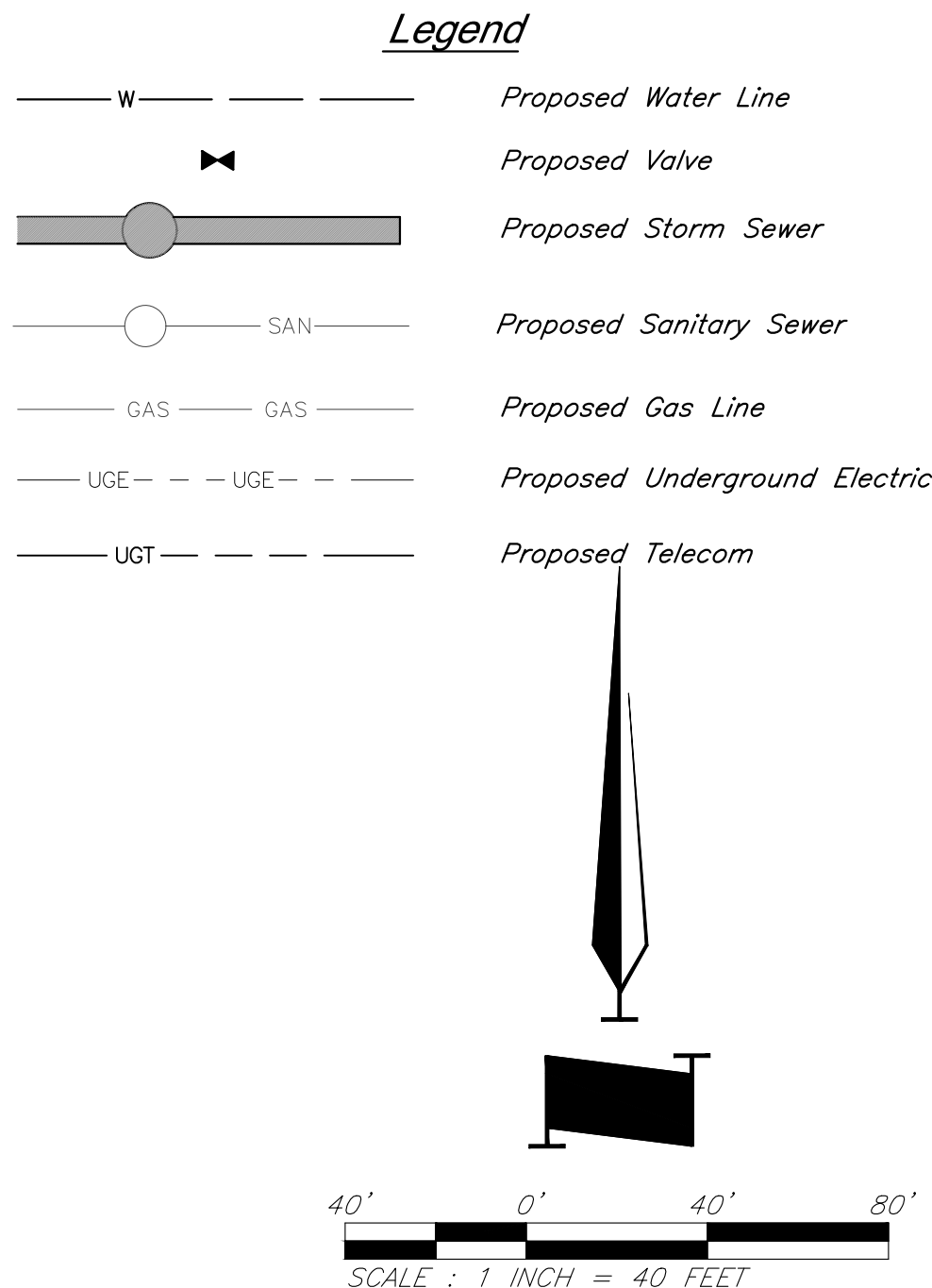
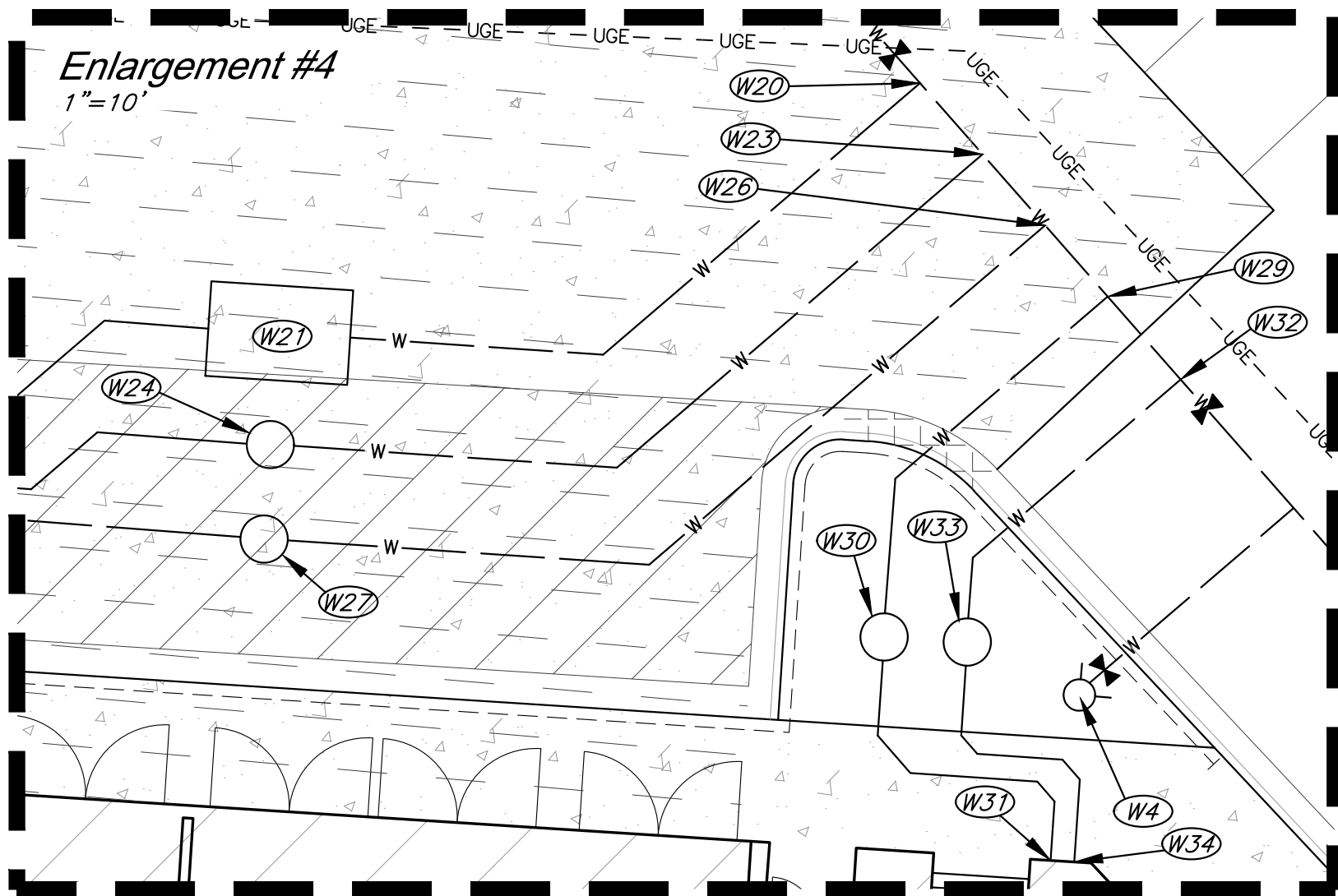
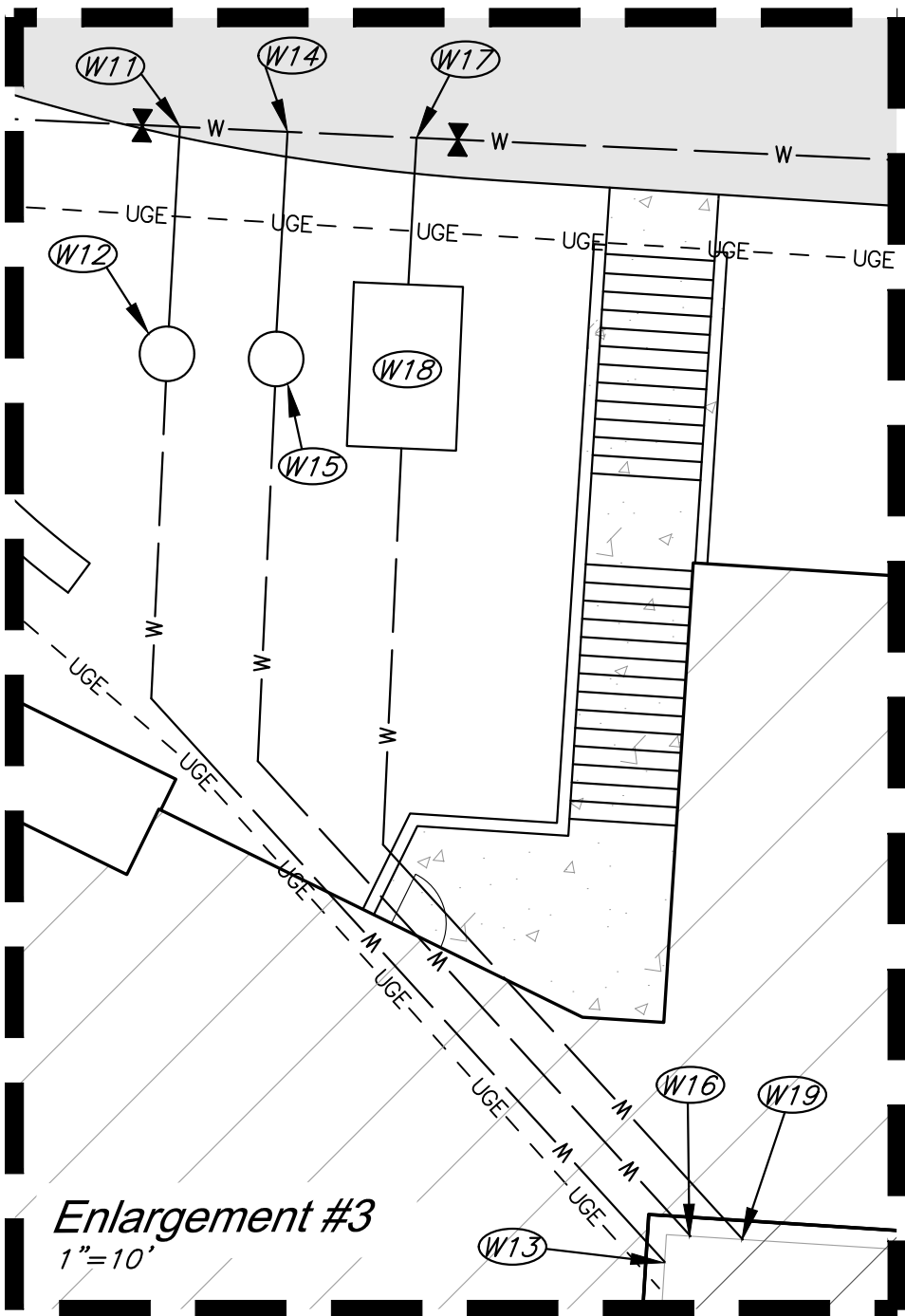
CAUTION!
Numerous Utilities on site. Contractor to verify location and elevation of all utilities prior to commencing construction.

General Utility Notes

1. See Sheet C018 for Construction Details.
2. Contractor to deflect conduits as necessary to avoid conflicts with other utilities.
3. Contractor shall coordinate with the Surveyor to leave trenches open for collecting survey data for record drawings.
4. Water line minimum burial depth shall be 42 inches.

Notes:

1. Pipe length called out is from center of structure to center of structure. Payment for pipe length is from inside face to inside face of structure.
2. Storm Sewer Structure Station offset and coordinates based on center of structure. Top elevations are top center of lid.
3. Tops on all in grade inlets shall maintain street slope, low point inlets to be set level.
4. Fire department connection locations are preliminary and subject to change upon final design. IFC distance requirements for FDCs shall be met with final design.



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ISSUE:

7/11/22 Addendum 1

PROFESSIONAL SEAL:



DRAWING TITLE:

Utility Plan

JOB NO: 18017, 19050.07, 19050.08

DATE: 08.12.2022 DRAWN BY: JRH

SHEET NO:

C012

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Electrical Service Construction Notes

- (E1) Install 9'x9' Building Transformer Pad per Every Standards
(E2) Install 200 Amp Sectionalizer Furnished by Every per Detail 760.1-3
(E3) Connect to existing 200 Amp Sectionalizer constructed per Paragon Parkway Plans
(E4) Install 64 LF 4" Dia. Sch. 40 PVC Conduit.
(E5) Install 300 LF (8) 3" Dia. Sch. 40 PVC Conduit to building electrical room. Continue per MEP Plans.
(E6) Install 9 LF 4" Dia. Sch. 40 PVC Conduit.
(E7) Install 122 LF (8) 3" Dia. Sch. 40 PVC Conduit to building electrical room. Continue per MEP Plans.
(E8) Install 168 LF 4" Dia. Sch. 40 PVC Conduit.
(E9) Install 356 LF 4" Dia. Sch. 40 PVC Conduit.
(E10) See MEP Plan for electrical service conduit.
(E11) Install 266 LF 4" Dia. Sch. 40 PVC Conduit.
(E12) Install 242 LF 4" Dia. Sch. 40 PVC Conduit.
(E13) Install 8 LF 4" Dia. Sch. 40 PVC Conduit.
(E14) See MEP Plan for electrical service conduit.
(E15) See MEP Plan for electrical service conduit.
(E16) Install 287 LF 4" Dia. Sch. 40 PVC Conduit.
(E17) Connect to existing 4" Dia. PVC Conduit installed per the Multifamily Mass Grading Plans.
(E18) Connect to existing 3" Dia. PVC Conduit installed per the Multifamily Mass Grading Plans.

Amenity Zone Electrical Construction Notes

- (AE1) Install 35 LF 1" HDPE Conduit from existing connection to Planter Box
(AE2) Install 39 LF 1" HDPE Conduit from existing connection to Planter Box

Telecom Construction Notes

- (T1) Install Telecom Utility Pull Box.
(T2) Connect to existing Telecom Pull Box installed per Paragon Parkway Plans
(T3) Install 119 LF (3) 5" HDPE Conduit. Two conduits shall have (4) 2" fabric innerducts.
(T4) Install 108 LF (3) 5" HDPE Conduit. Two conduits shall have (4) 2" fabric innerducts.
(T5) Install 109 LF (3) 5" HDPE Conduit. Two conduits shall have (4) 2" fabric innerducts.
(T6) Install 82 LF (2) 5" HDPE Conduit to building mail room. Two conduits shall have (4) 2" fabric innerducts.
(T7) Install 285 LF (3) 5" HDPE Conduit. Two conduits shall have (4) 2" fabric innerducts.
(T8) Install 98 LF (3) 5" HDPE Conduit. Two conduits shall have (4) 2" fabric innerducts.
(T9) Install 98 LF (3) 5" HDPE Conduit to IT Room. Two conduits shall have (4) 2" fabric innerducts.

Amenity Zone Telecom Construction Notes

- (AT1) Install Digital Display with Power/Data Connections, Unswitched Hot Power
(AT2) Install Telecom Utility 12"x12" Quazite Box
(AT3) Install 281 LF 2" PVC Conduit
(AT4) Install 15 LF 2" PVC Conduit
(AT5) Install 215 LF 2" PVC Conduit
(AT6) Install 19 LF 2" PVC Conduit

Underdrain Construction Notes

- (UD1) Install 4" Dia. Perforated HDPE @ 0.5% minimum slope.
(UD2) Install 4" Dia. HDPE Tee
(UD3) Connect to Storm Structure 5705, $\ell=817.50$.
(UD4) Connect to Storm Structure 5702, $\ell=816.60$.
(UD5) Connect to Storm Structure 5701, $\ell=813.28$.
(UD6) Connect to Storm Structure 5101, $\ell=809.75$.
(UD7) Connect to Storm Structure 5102, $\ell=808.75$.
(UD8) Connect to Storm Structure 4301, $\ell=817.70$.
(UD9) Connect to Storm Structure 4302, $\ell=817.80$.
(UD10) Connect to Storm Structure 5401, $\ell=817.50$.

General Utility Notes

- See Sheet C018 for Construction Details.
- Contractor to deflect conduits as necessary to avoid conflicts with other utilities.
- Contractor shall coordinate with the Surveyor to leave trenches open for collecting survey data for record drawings.
- Water line minimum burial depth shall be 42 inches.

Electrical Service General Notes

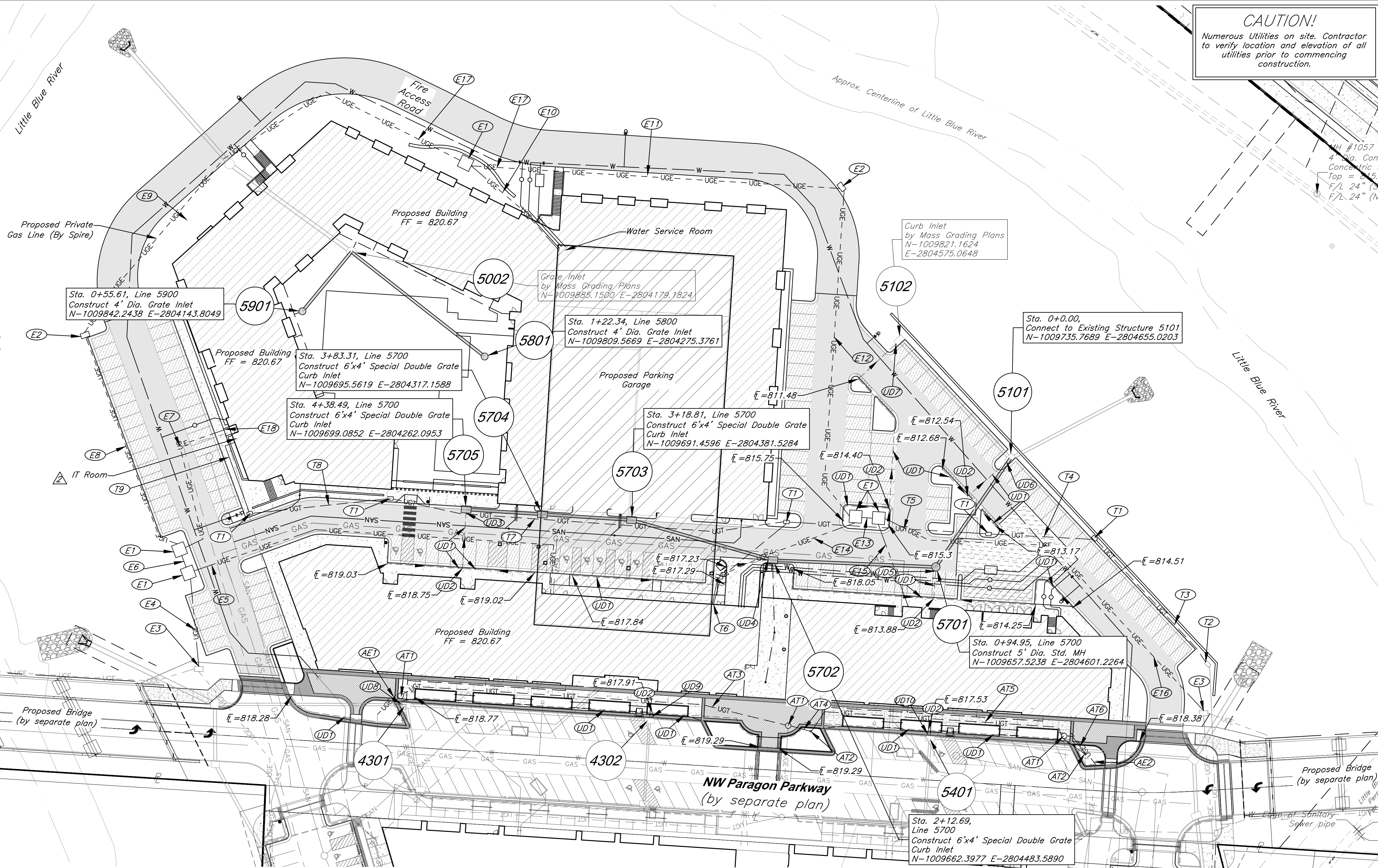
- Electrical routing reflects the latest, although preliminary designs from Every. Final routing of conduit shall match final design from Every.
- Electrical conduit shall be NEC approved schedule 40 gray PVC.
- Electrical trench, conduit, and backfill per Every Standards (Typ. All).

Legend

— W —	Proposed Water Line		Proposed Building
	Proposed Storm Sewer		Proposed HD Asphalt Surface
— SAN —	Proposed Sanitary Sewer		Proposed LD Asphalt Surface
— GAS — GAS —	Proposed Gas Line		Proposed Concrete
— UGE — — UGE — —	Proposed Underground Electric		
— UGT — — UGT — —	Proposed Telecom		
	Flow Path		

Notes:

- Pipe length called out is from center of structure to center of structure. Payment for pipe length is from inside face to inside face of structure.
- Storm Sewer Structure Station offset and coordinates based on center of structure. Top elevations are top center of lid.
- Tops on all in grade inlets shall maintain street slope, low point inlets to be set level.
- Fire department connection locations are preliminary and subject to change upon final design. IFC distance requirements for FDCs shall be met with final design.



CAUTION!

Numerous Utilities on site. Contractor to verify location and elevation of all utilities prior to commencing construction.

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PROJECT:

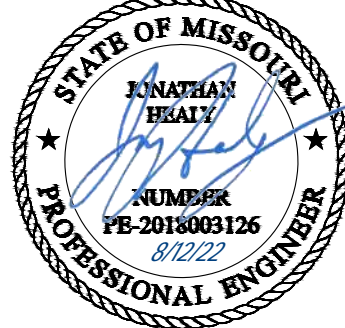
Paragon Star North Village
3200 NW Paragon Parkway, Lee's Summit, MO 64081

FDP Resubmittal

ISSUE:

	7/11/22	Addendum 1
	TBD	Addendum 3

PROFESSIONAL SEAL:



DRAWING TITLE:

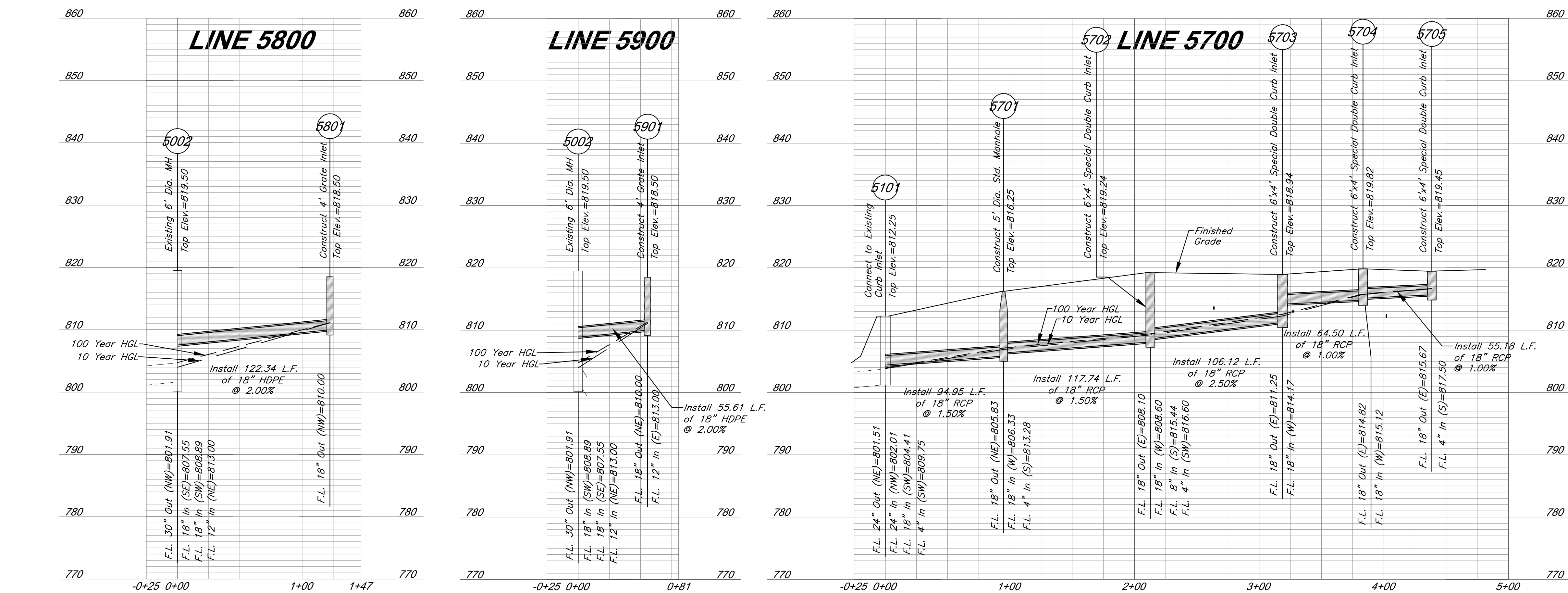
Utility Plan

JOB NO: 18017, 19050.07, 19050.08

DATE: 08.12.2022 DRAWN BY: JRH

SHEET NO:

C013



10 Year Storm																																
Structures													Pipe Design										Design Checks									
From	To	Direct Area (acre)	Line In (acre)	Total Area (acre)	C	K	Tc (min)	Flow Time (min)	Intensity (in/hr)	Design Q (cfs)	Description	Pipe length (lin ft)	Pipe Slope, %	Pipe dia (in)	Manning's n	Q full (cfs)	Pipe Area, sf	V full f/s	Design V f/s	Hw/D	outlet head, ft	Hw/ Inlet Control, (ft)	Hw/ Outlet Control, (ft)	Inlet Top Elevation	Upstream flowline	Downstream flowline	Inlet Drop (ft)	Downstream Water Elevation	Hydraulic Grade Elev (Calculated)	Hydraulic Grade Elev (Allowable)	Comments	
Line 5700	5705	0.13		0.90	1.00	5.00			7.35	0.9	Curb Inlet														819.45	815.67	815.12			816.68	818.95	
	5704		0.13	0.90	1.00	5.00	0.25		7.35	0.9	RCP	55.18	1.00	18	0.013	10.53	1.77	5.96	3.63	0.7	0.01	816.68	815.85							816.68	818.95	
	5704	0.05		0.90	1.00	5.00			7.35	0.3	Curb Inlet													819.82	815.67		0.3		815.84	819.32		
	5703		0.18	0.90	1.00	5.00	0.27		7.35	1.2	RCP	64.50	1.00	18	0.013	10.53	1.77	5.96	3.95	0.7	0.03	815.84	812.35			814.17			812.32	818.44		
	5703	0.16		0.90	1.00	5.00			7.35	1.1	Curb Inlet													818.94	811.25		2.92		812.32	818.44		
	5702		0.34	0.90	1.00	5.00	0.27		7.35	2.3	RCP	106.12	2.50	18	0.013	16.65	1.77	9.42	6.61	0.7	0.14	812.32	809.35			808.60			809.21	818.74		
	5702	0.09		0.90	1.00	5.00			7.35	0.6	Junction Box													819.24	811.25		0.5		809.21	818.74		
	5701		0.43	0.90	1.00	5.00	0.34		7.35	2.8	RCP	117.74	1.50	18	0.013	12.90	1.77	7.30	5.82	0.7	0.24	809.21	807.18			806.33			806.94	815.75		
5701	0.00		0.90	1.00	5.00			7.35	0.0	Junction Box														816.25	808.10		0.5		806.94	815.75		
5701	5101		0.43	0.90	1.00	5.34	0.27		7.25	2.8	RCP	94.95	1.50	18	0.013	12.90	1.77	7.30	5.82	0.7	0.20	806.94	805.36			805.83	804.41		805.16			
Line 5800	5801	0.25		0.90	1.00	5.00			7.35	1.7	Curb Inlet														818.50					811.04	818.00	
	5002		0.25	0.90	1.00	5.00	0.36		7.35	1.7	RCP	122.34	2.00	18	0.013	14.90	1.77	8.43	5.59	0.7	0.08	811.04	808.38		810.00	807.55		808.30		808.30		
Line 5900	5901	0.14	0.32		0.90	1.00	5.00		7.35	0.9	Curb Inlet														818.50					811.13	818.00	
	5002		0.46	0.90	1.00	5.00	0.14		7.35	3.0	RCP	55.61	2.00	18	0.013	14.90	1.77	8.43	6.58	0.7	0.16	811.13	809.80		810.00	808.89		809.64		809.64		

100 Year Storm																																
Structures			Runoff Calculations								Pipe Design										Design Checks											
From	To	Direct Area (acre)	Line In (acre)	Total Area (acre)	C	K	Tc (min)	Flow Time (min)	Intensity (in/hr)	Design Q (cfs)	Description	Pipe length (in ft)	Pipe Slope, %	Pipe dia (in)	Manning's n	Q full (cfs)	Pipe Area, sf	V full fps	Design V	Hw/D	outlet head, ft	H/W, Inlet Control, (ft)	H/W, Outlet Control, (ft)	Inlet Top Elevation	Upstream flowline	Downstream flowline	Inlet Drop (ft)	Downstream Water Elevation	Hydraulic Grade Elevation (Calculated)	Hydraulic Grade Elevation (Allowable)	Comments	
Line 5700	5705	0.13		0.13	0.90	1.25	5.00		10.32	1.5	RCP														819.45					816.70	818.95	
	5702		0.13		0.90	1.25	5.00	0.25	10.32	1.5	RCP	55.18	1.00	18	0.013	10.53	1.77	5.96	3.63	0.7	0.04	816.70	815.92		815.67	815.12			815.88			
	5704	0.05			0.90	1.25	5.00		10.32	0.6	Curb Inlet													819.82			0.3		815.88	819.32		
	5703	0.16			0.90	1.25	5.00	0.27	10.32	2.1	RCP	64.50	1.00	18	0.013	10.53	1.77	5.96	3.95	0.7	0.08	815.88	812.54		814.82	814.17			812.46			
	5702	0.09	0.34		0.90	1.25	5.00	0.27	10.32	1.9	Curb Inlet	106.12	2.50	18	0.013	16.65	1.77	9.42	6.61	0.8	0.42	812.46	809.85		818.94	811.25	2.92		809.42	812.46	818.44	
					0.90	1.25	5.00		10.32	3.9	RCP														819.24			0.5		809.42		
	5701			0.43	0.90	1.25	5.00	0.34	10.32	5.0	RCP	117.74	1.50	18	0.013	12.90	1.77	7.30	5.82	0.9	0.74	809.42	807.89		808.10	805.33			807.15			
	5701	0.00			0.90	1.25	5.00		10.32	0.0	RCP														816.25			0.5		807.15	815.75	
	5101			0.43	0.90	1.25	5.34	0.27	10.18	4.9	Junction Box	94.95	1.50	18	0.013	12.90	1.77	7.30	5.82	0.9	0.61	807.15	805.77		805.63	804.41			805.16			
Line 5800	5801	0.25			0.90	1.25	5.00		10.32	2.9	Curb Inlet														818.50					811.11	818.00	
	5002			0.25	0.90	1.25	5.00	0.36	10.32	2.9	RCP	122.34	2.00	18	0.013	14.90	1.77	8.43	5.59	0.7	0.26	811.11	808.56		810.00	807.55			808.30			
Line 5900	5901	0.14	0.32		0.90	1.25	5.00		10.32	1.6	Curb Inlet														818.50					811.37	818.00	
	5002			0.46	0.90	1.25	5.00	0.14	10.32	5.3	RCP	55.61	2.00	18	0.013	14.90	1.77	8.43	6.58	0.9	0.49	811.37	810.13		810.00	808.89			809.64			

PROJECT

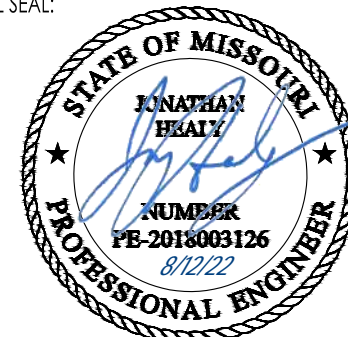
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FDP Resubmittal

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Storm Sewer Profiles

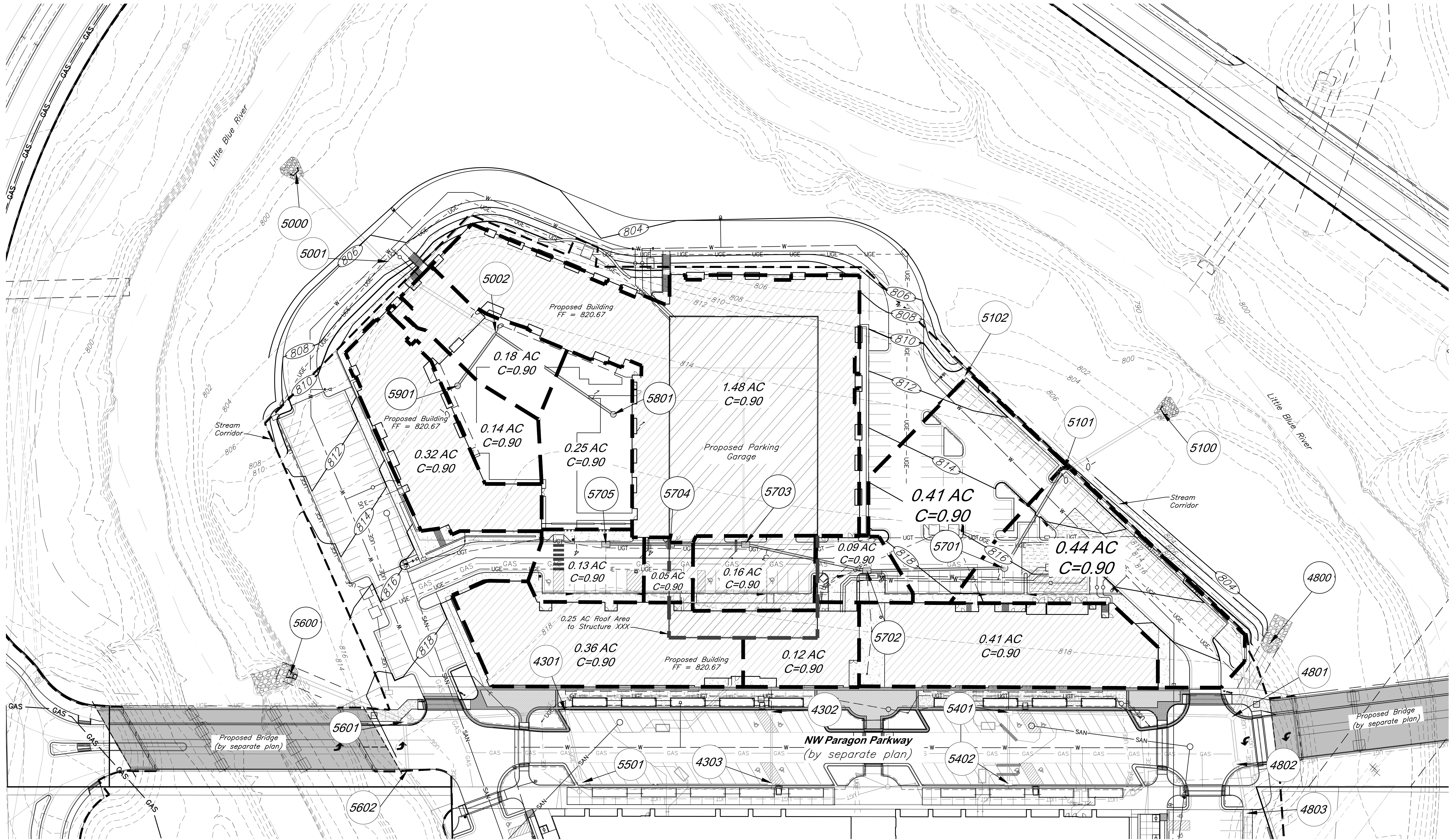
IOR NO: 18017 19050 07 19050 08

DATE: 08.12.2022 DRAWN BY: JRH

SHEET NO.

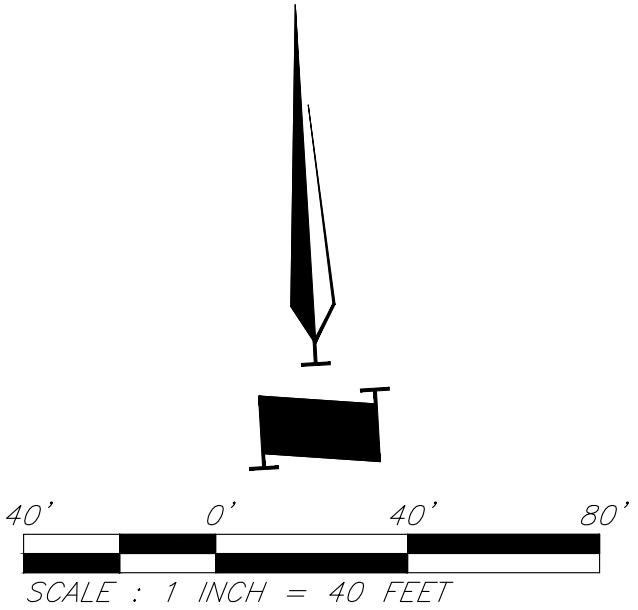
C014

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CAUTION!
Numerous Utilities on site. Contractor to verify location and elevation of all utilities prior to commencing construction.

- LEGEND**
- XXX--- Existing Contour
 - XXX--- Proposed Contour
 - Proposed Drainage Area
 - 0.28 Acres Drainage Area
 - Proposed Storm Sewer
 - Future Storm Sewer



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DRAWING TITLE:

Drainage Map

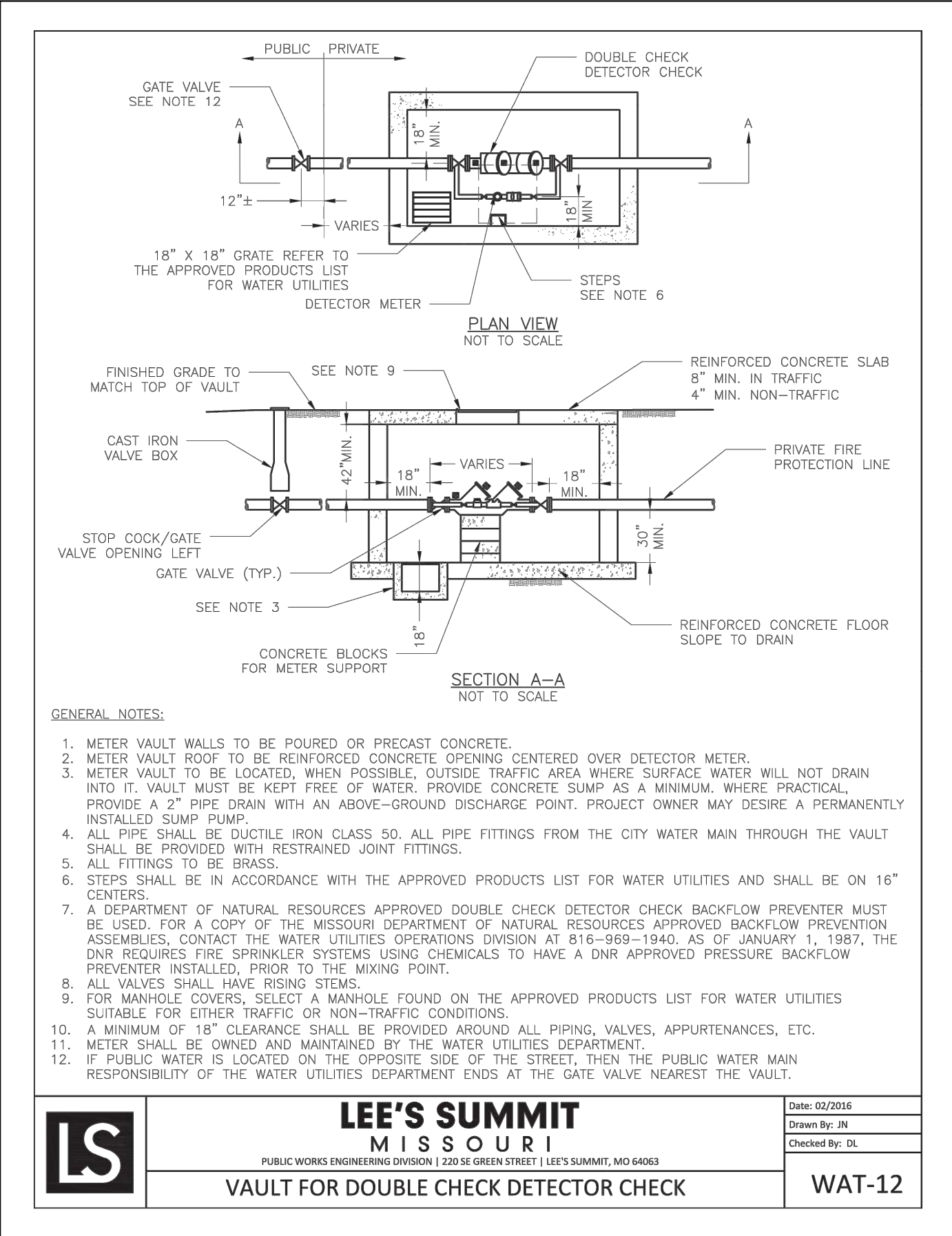
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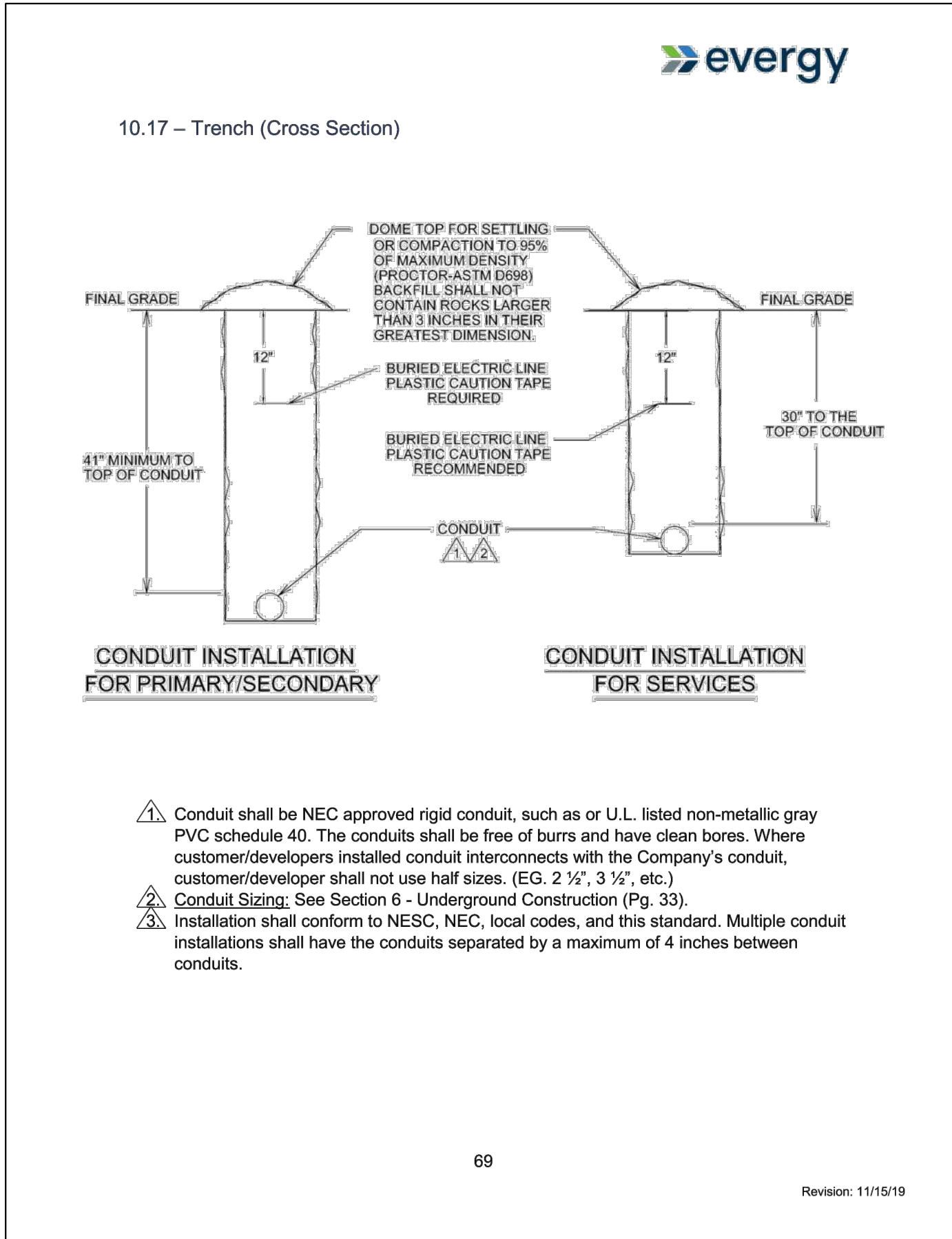
C015

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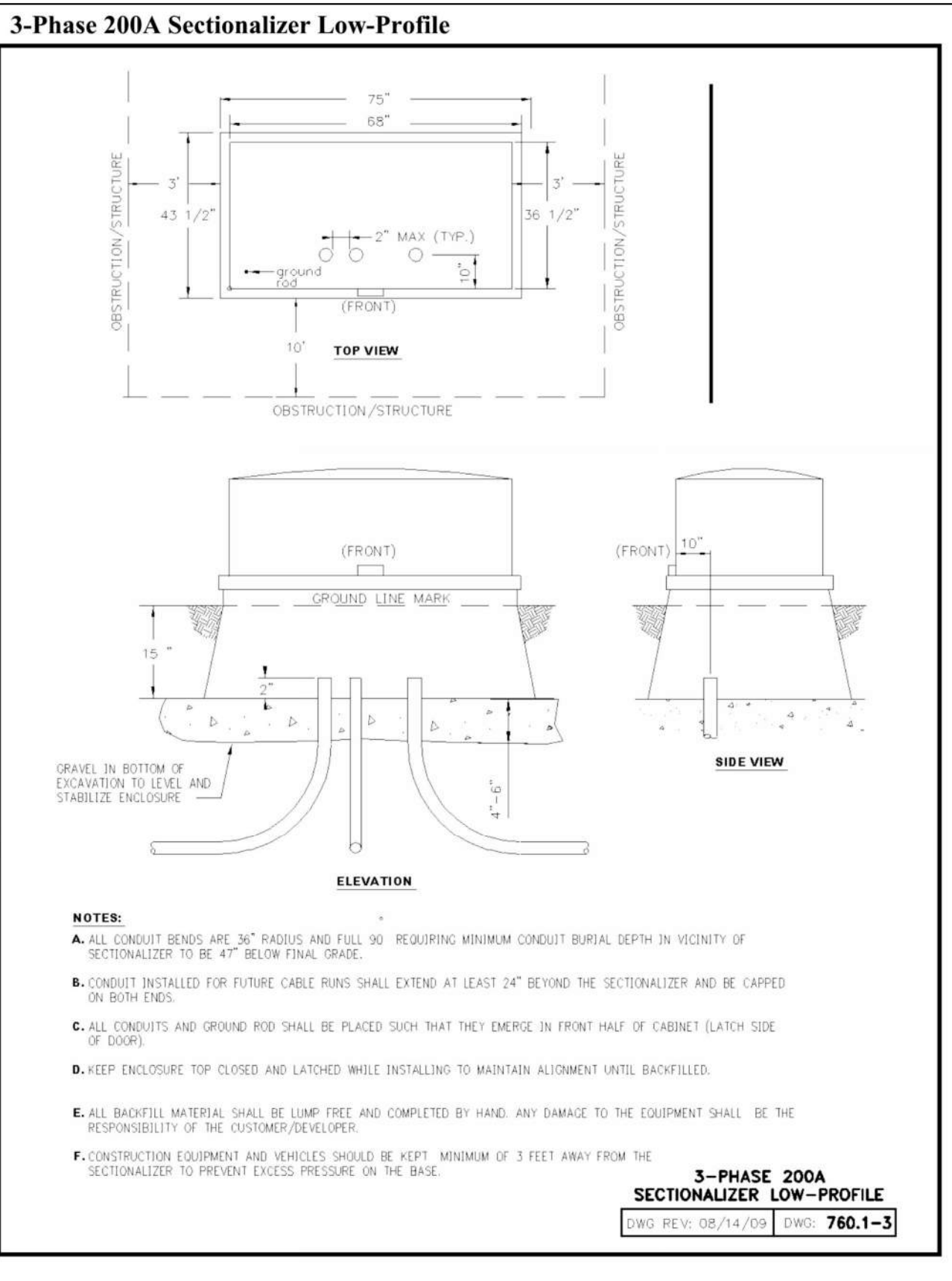
WATER METER VAULT DETAIL

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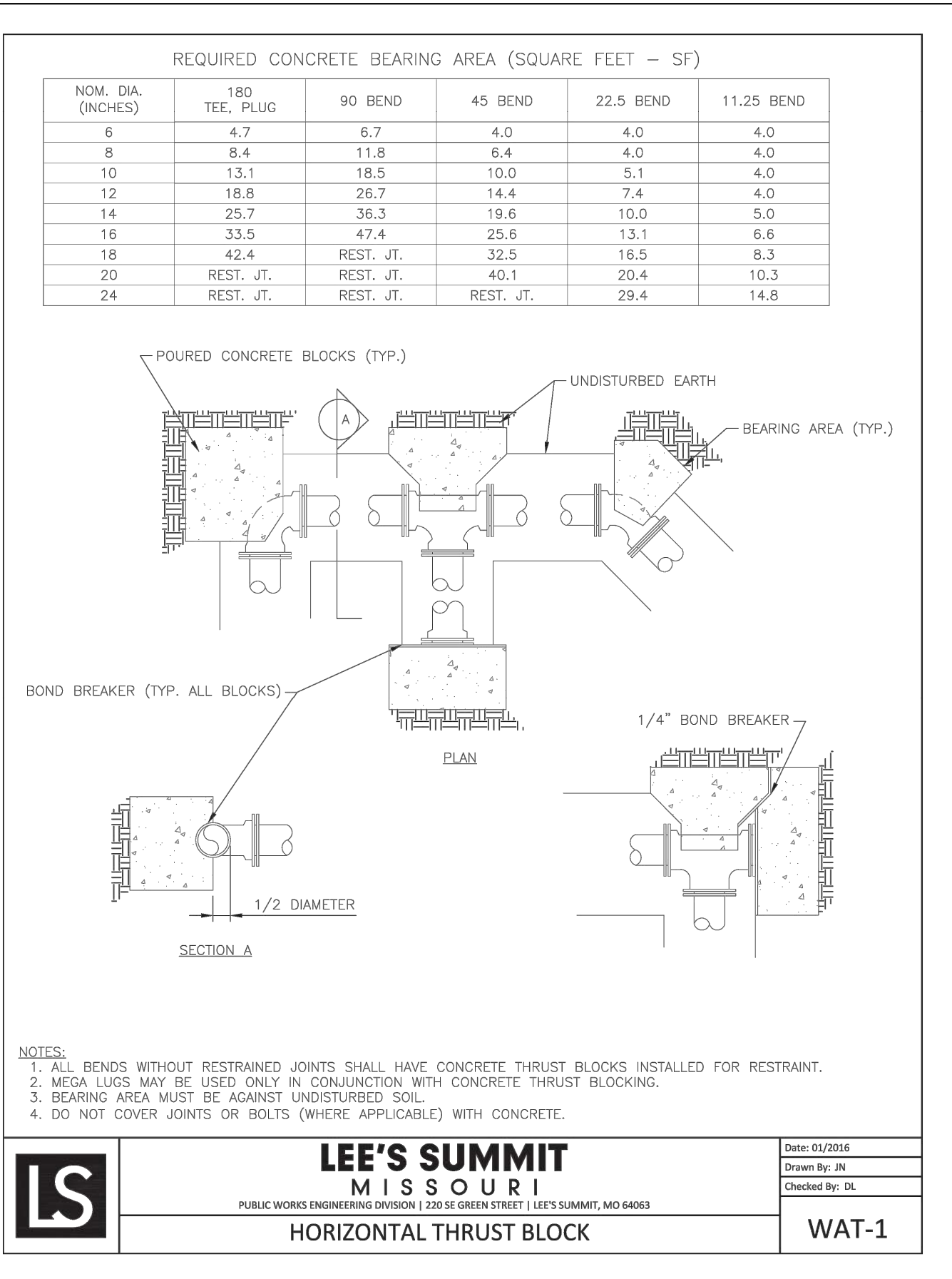
EVERGY STANDARD TRENCH DETAIL

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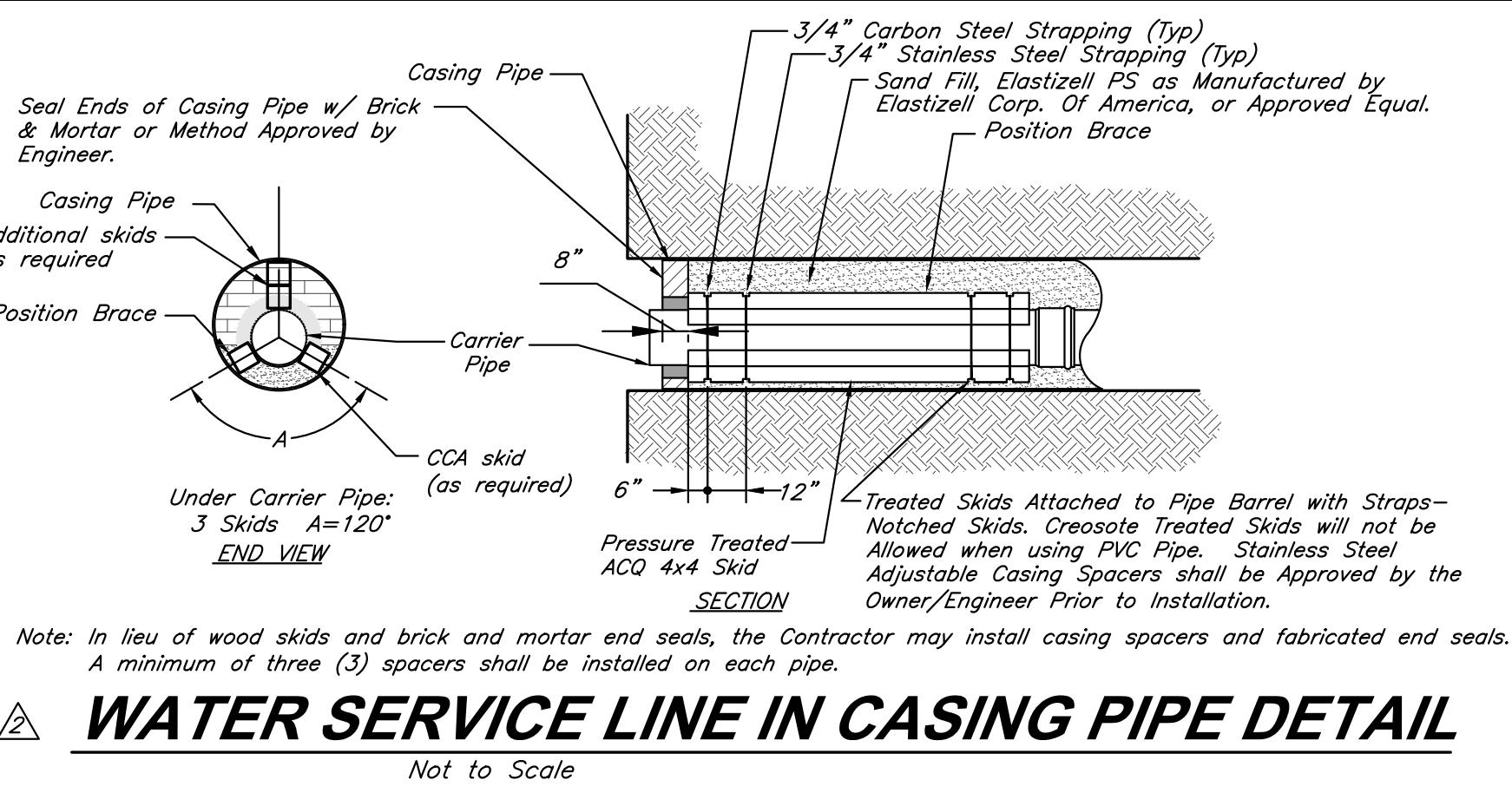
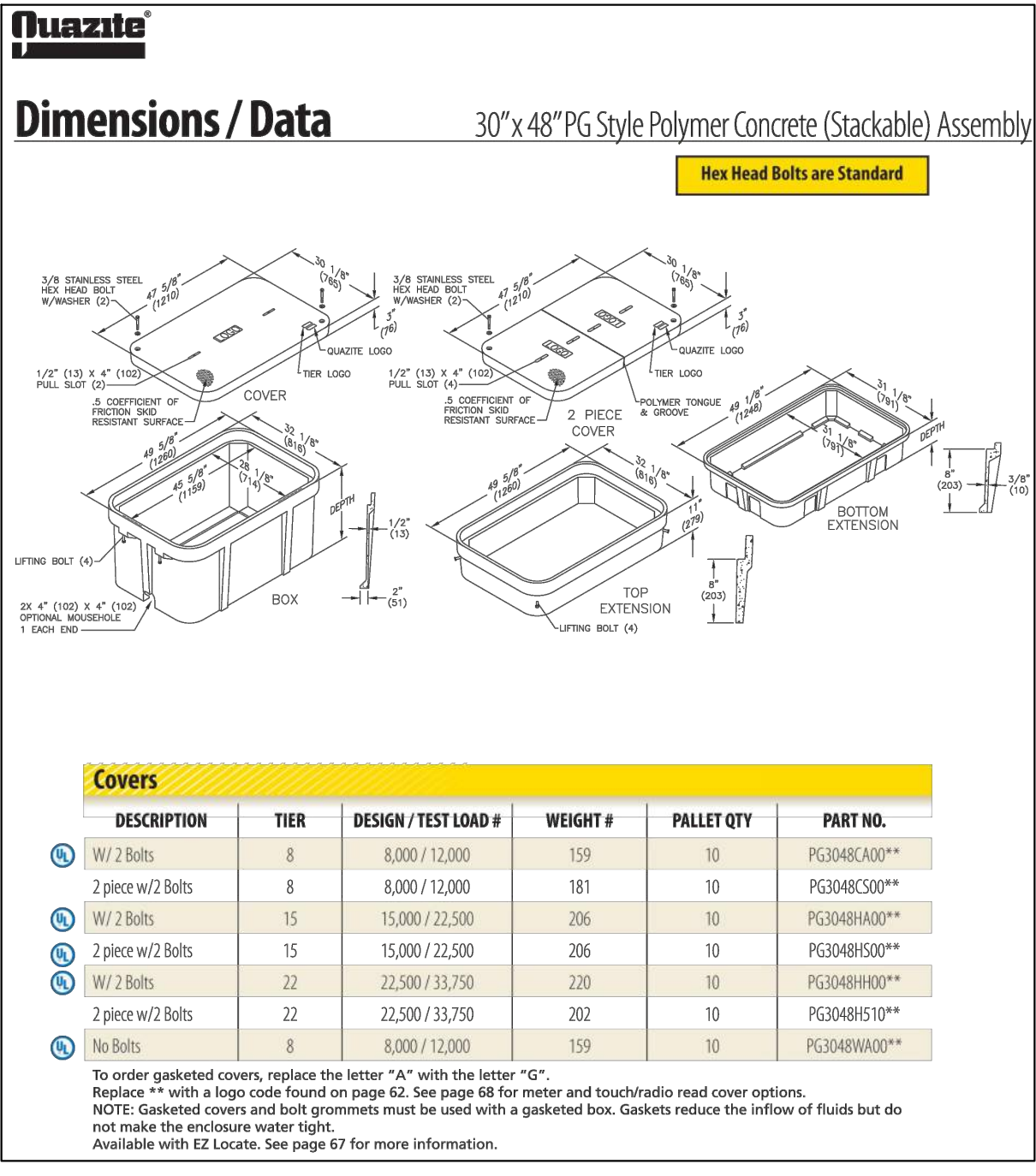
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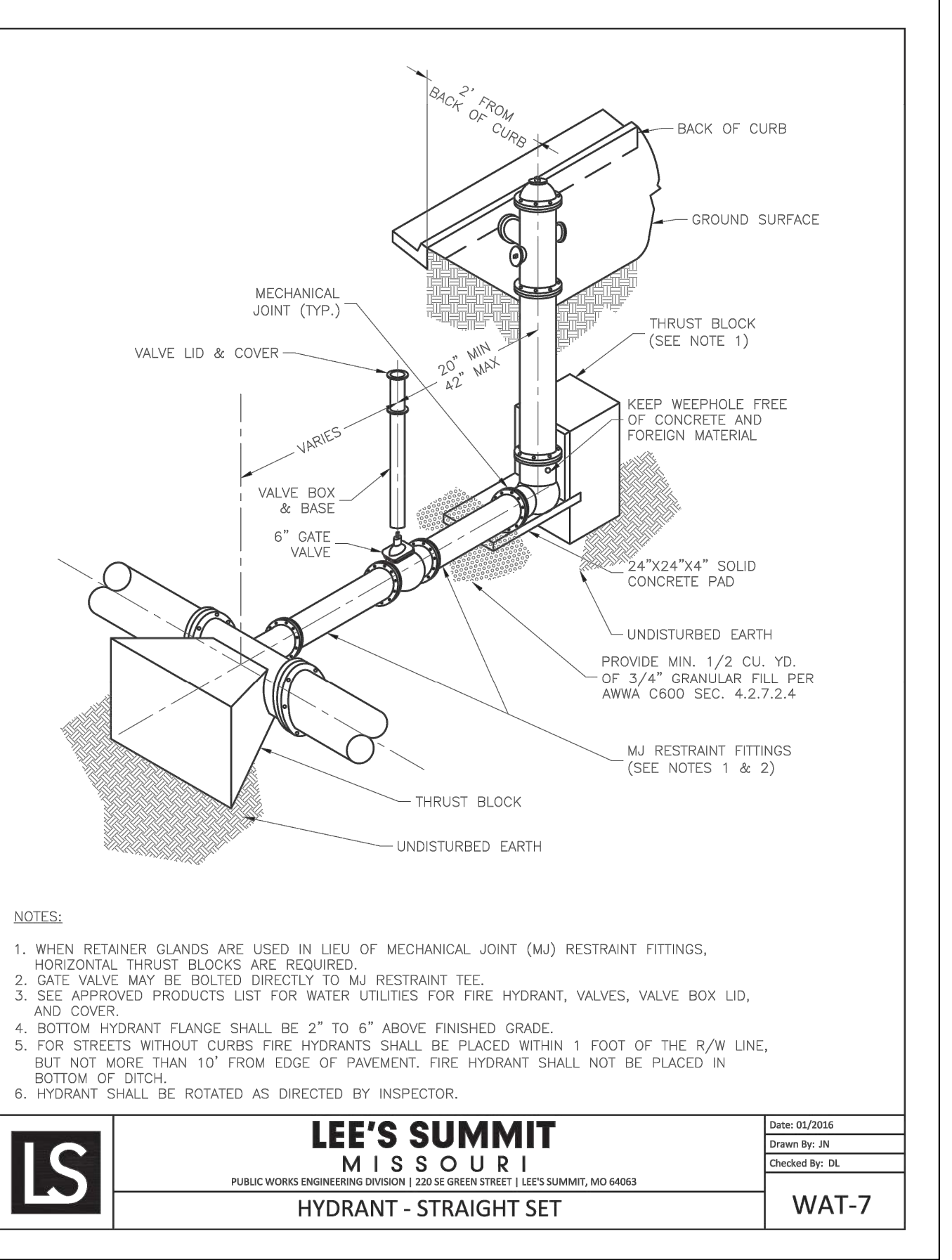
THRUST BLOCK DETAIL

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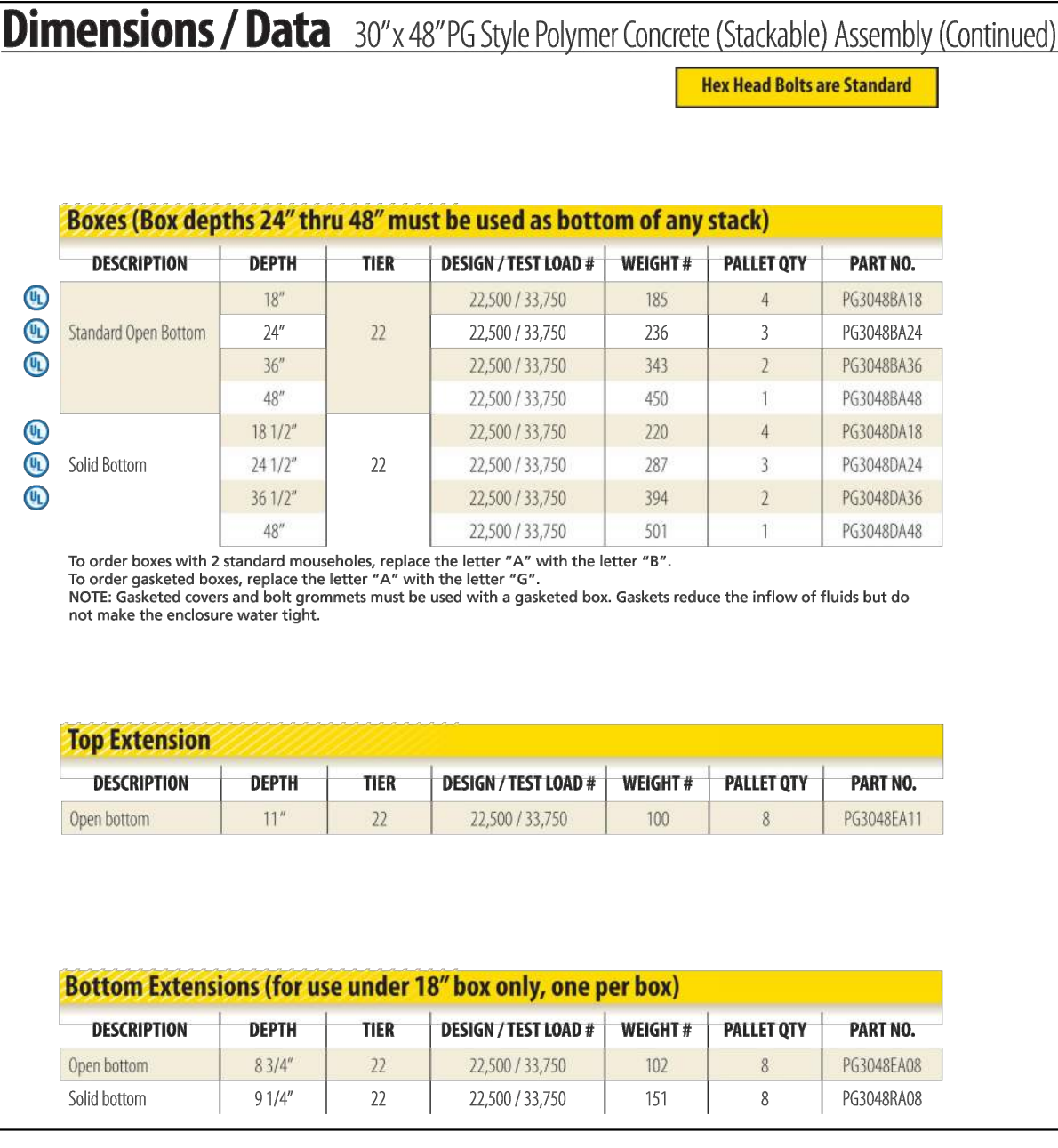
WATER SERVICE LINE IN CASING PIPE DETAIL

Not to Scale



FIRE HYDRANT DETAIL

Not to Scale



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PROJECT:

Paragon Star North Village
3200 NW Paragon Parkway, Lee's Summit, MO 64081

ISSUE:

7/11/22 Addendum 1

PROFESSIONAL SEAL:



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Utility Details

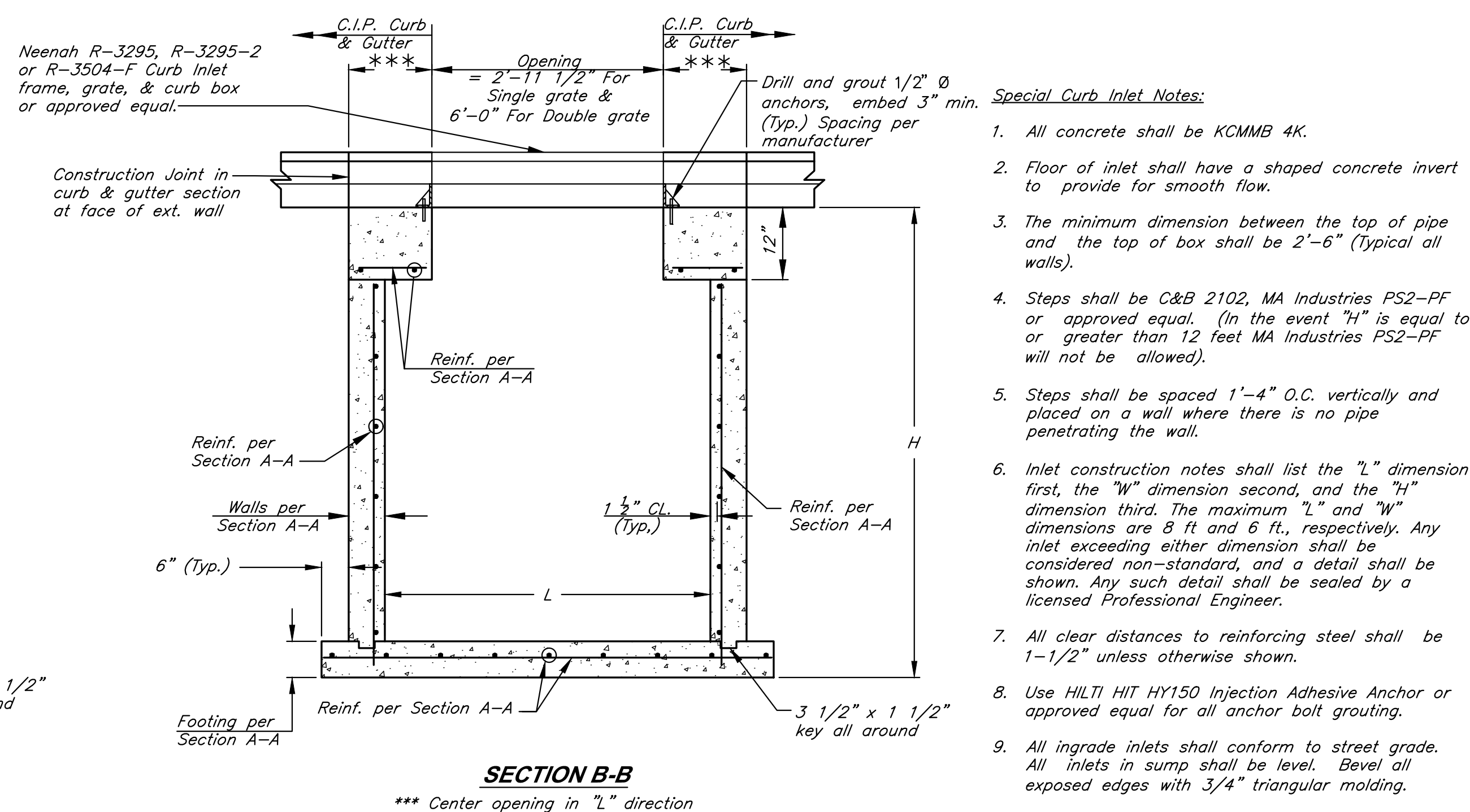
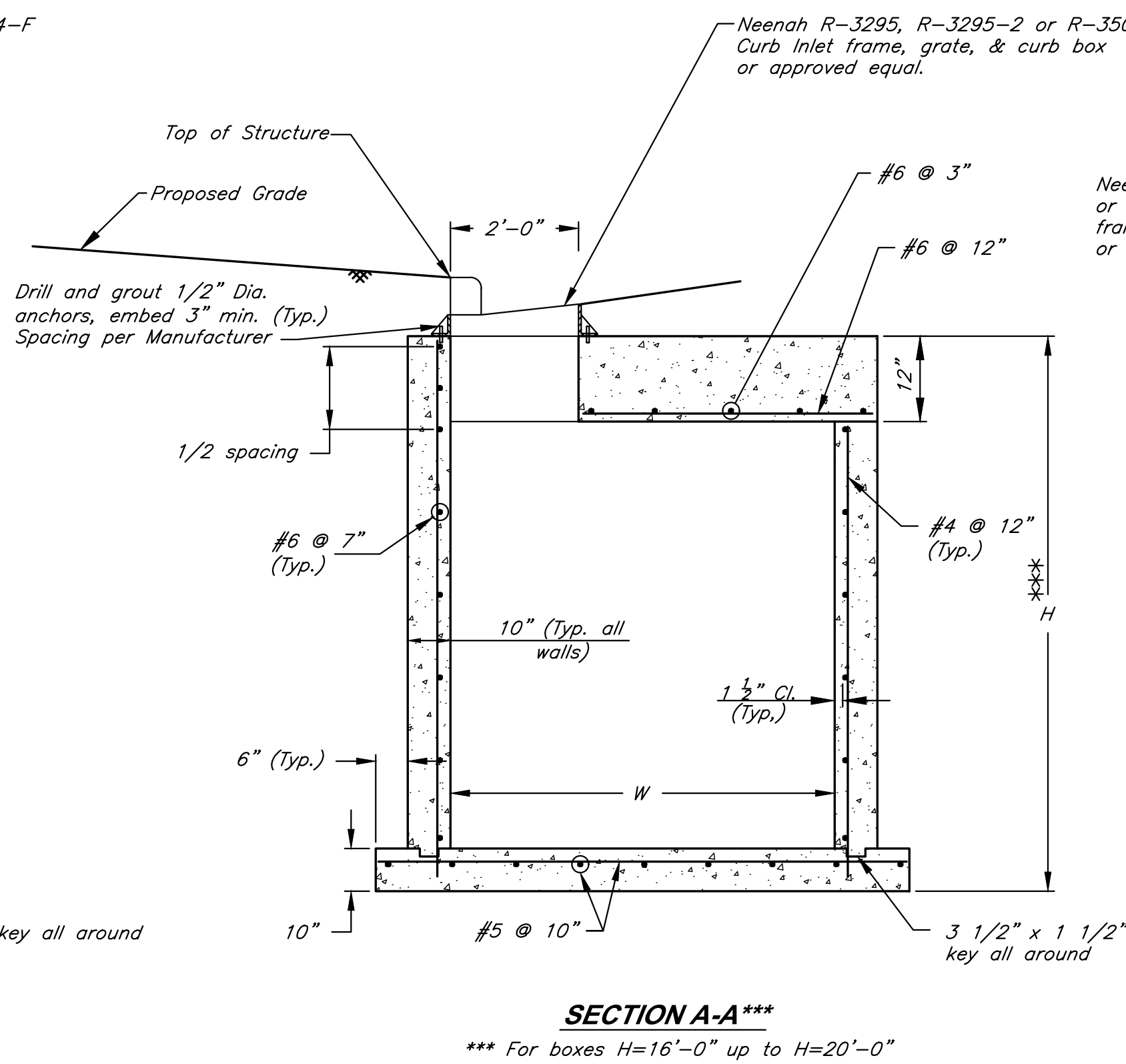
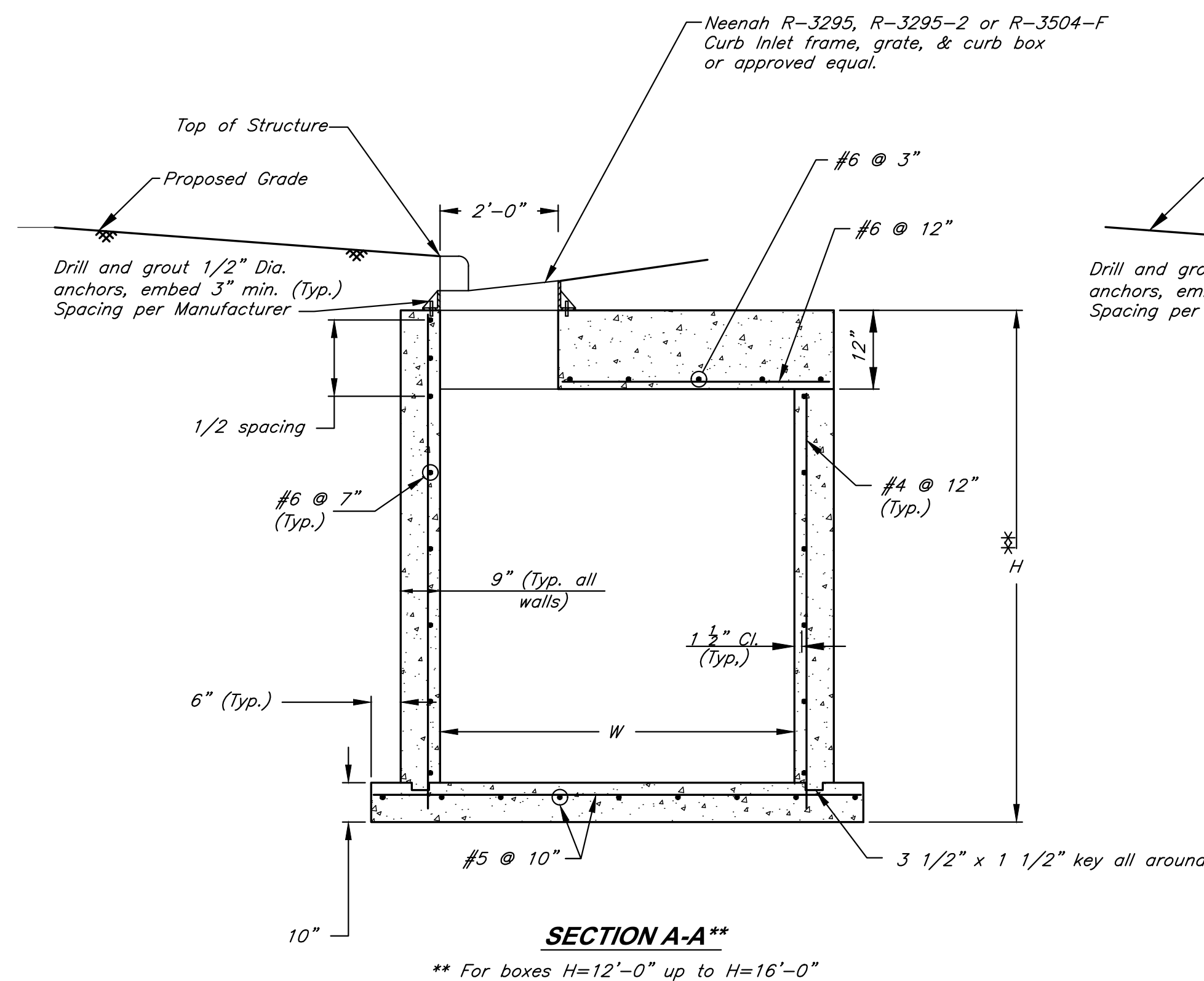
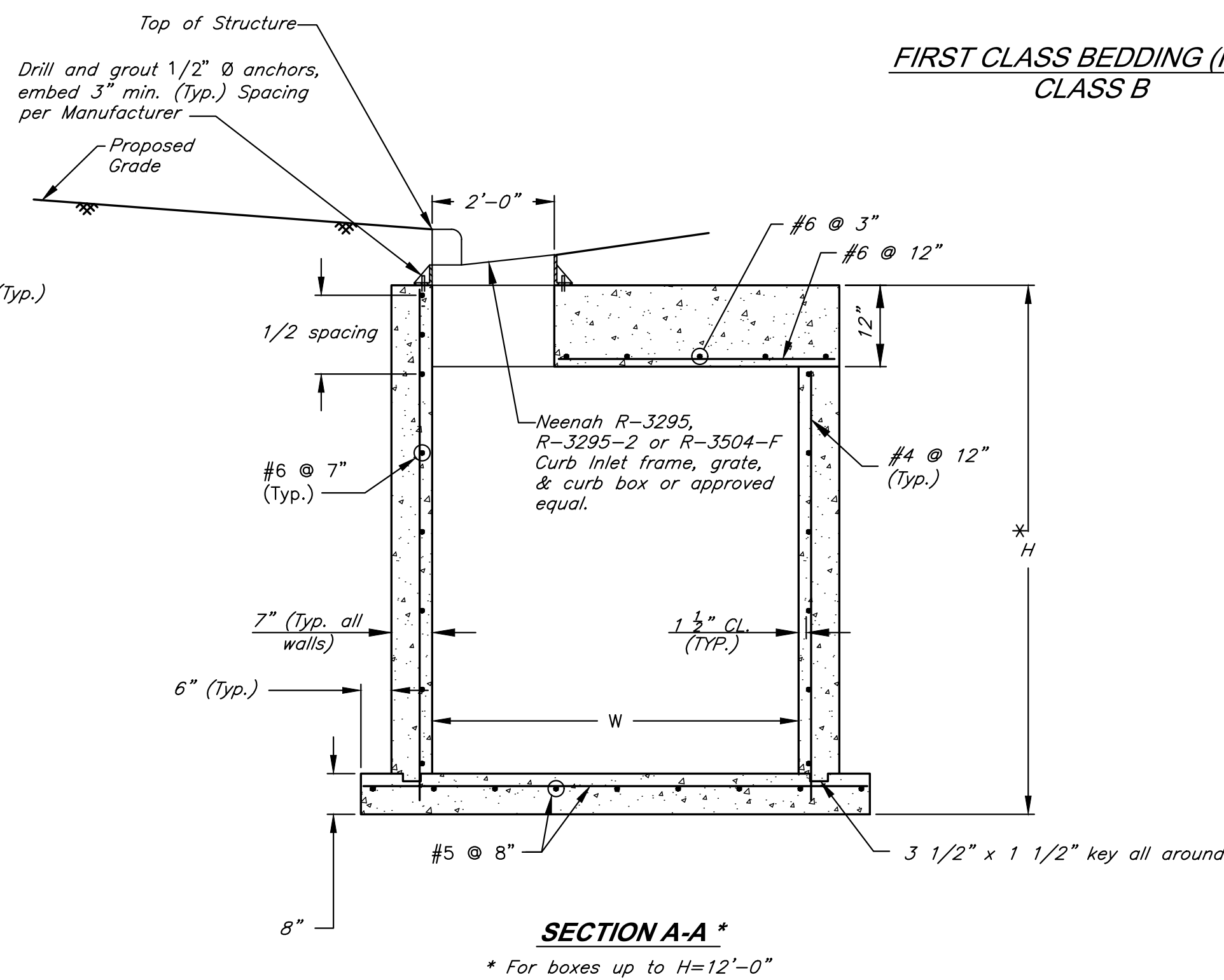
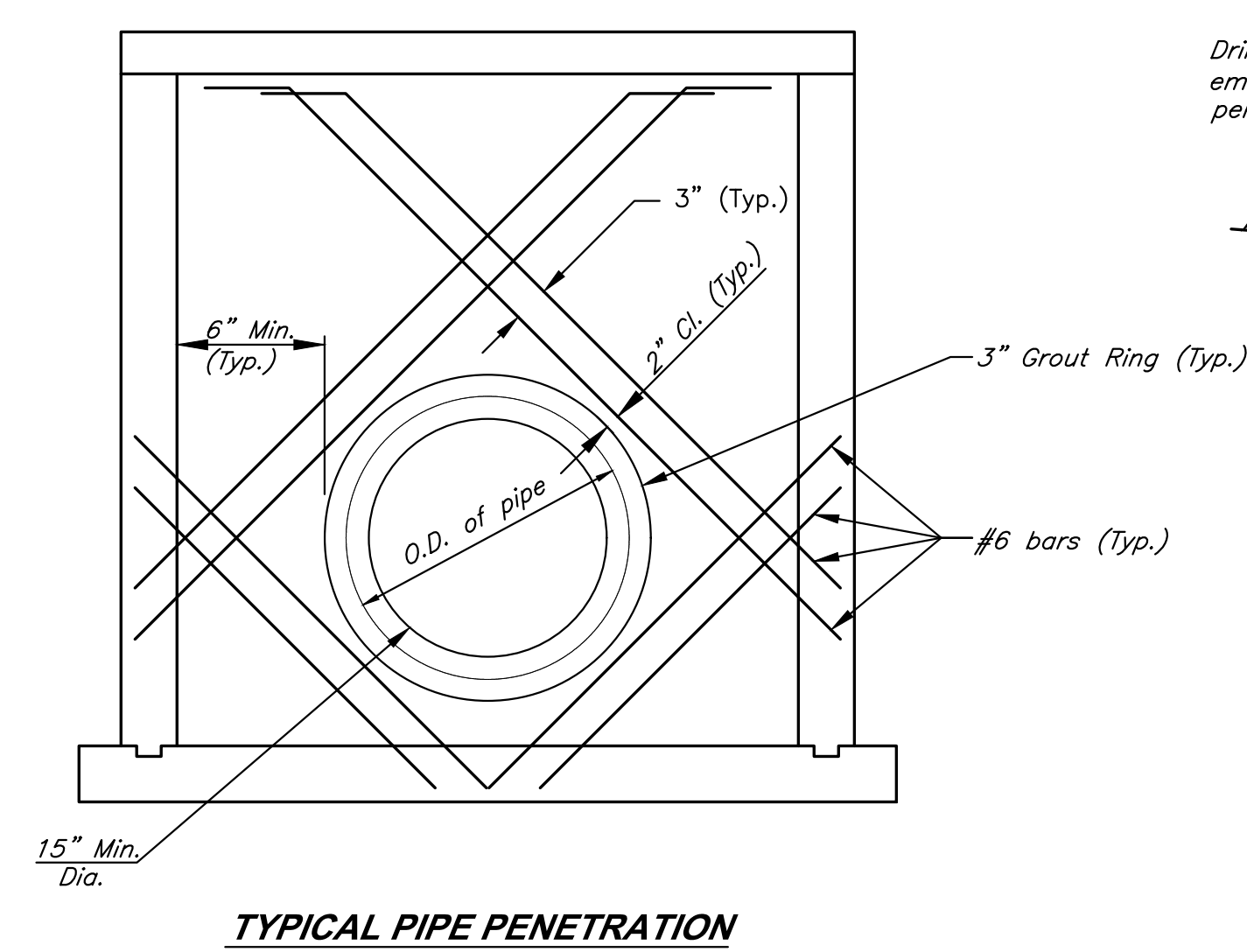
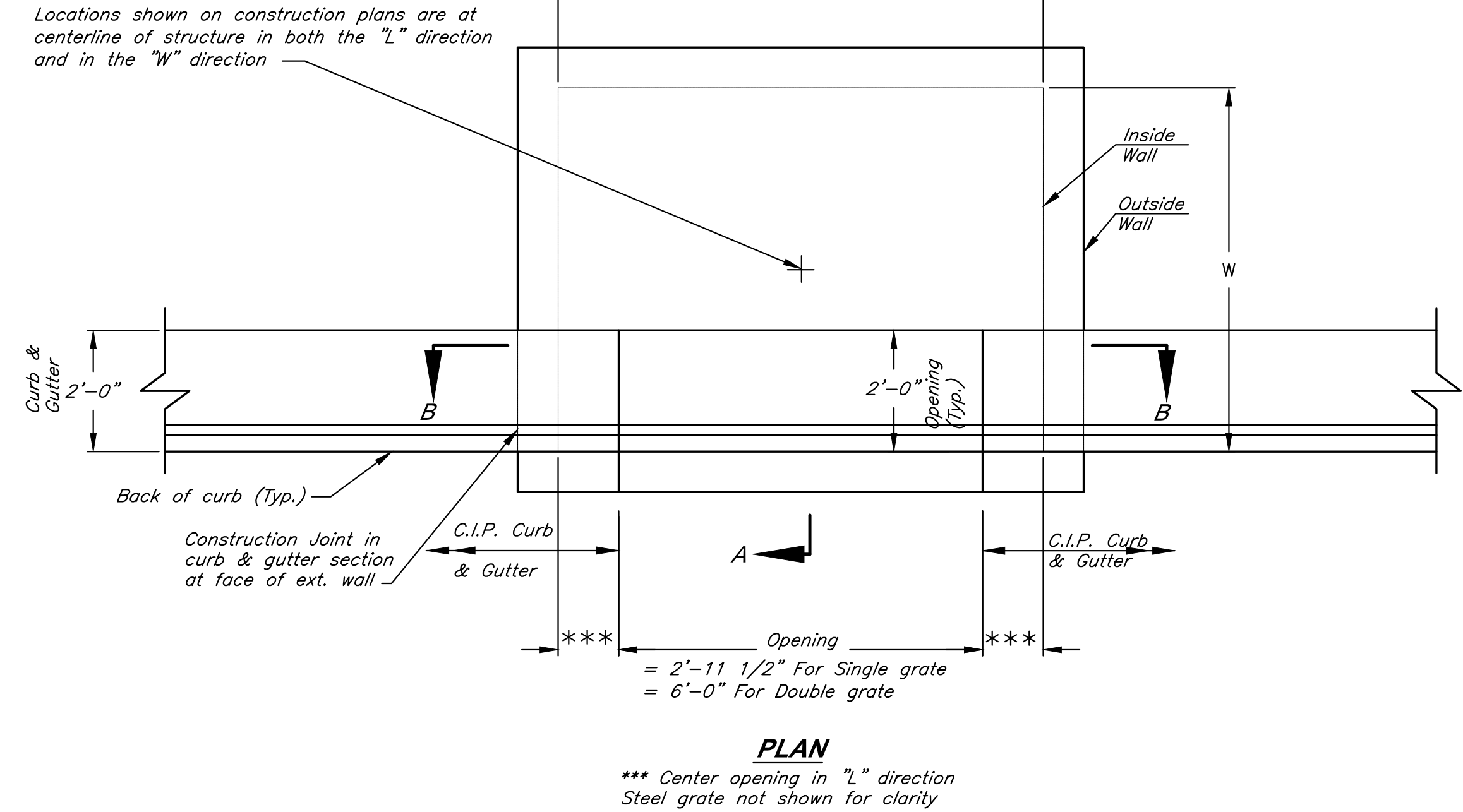
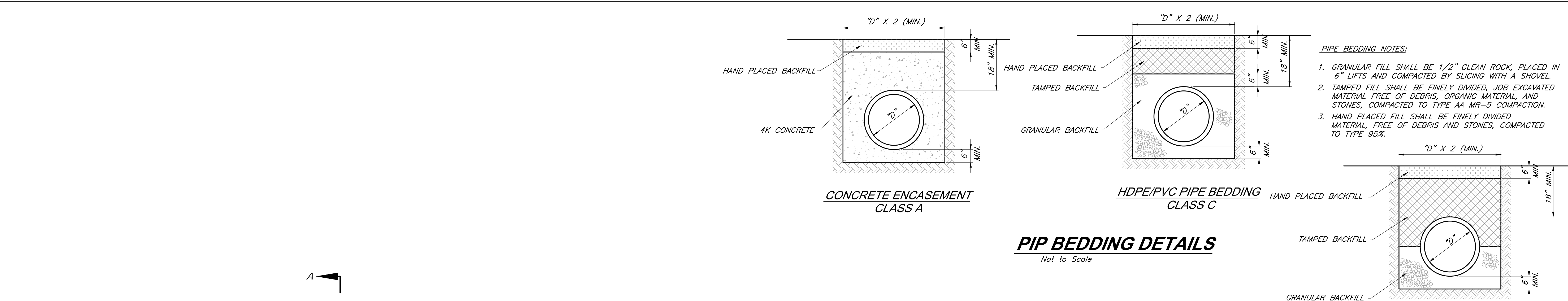
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C016

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- Special Curb Inlet Notes:**
1. All concrete shall be KOMMB 4K.
 2. Floor of inlet shall have a shaped concrete invert to provide for smooth flow.
 3. The minimum dimension between the top of pipe and the top of box shall be 2'-6" (Typical all walls).
 4. Steps shall be C&B 2102, MA Industries PS2-PF or approved equal. (In the event "H" is equal to or greater than 12 feet MA Industries PS2-PF will not be allowed).
 5. Steps shall be spaced 1'-4" O.C. vertically and placed on a wall where there is no pipe penetrating the wall.
 6. Inlet construction notes shall list the "L" dimension first, the "W" dimension second, and the "H" dimension third. The maximum "L" and "W" dimensions are 8 ft and 6 ft., respectively. Any inlet exceeding either dimension shall be considered non-standard, and a detail shall be shown. Any such detail shall be sealed by a licensed Professional Engineer.
 7. All clear distances to reinforcing steel shall be 1-1/2" unless otherwise shown.
 8. Use HILTI HIT HY150 Injection Adhesive Anchor or approved equal for all anchor bolt grouting.
 9. All ingrade inlets shall conform to street grade. All inlets in sump shall be level. Bevel all exposed edges with 3/4" triangular molding.

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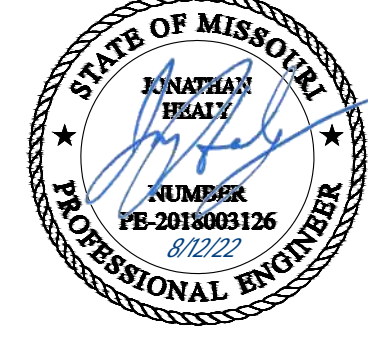
PROJECT:

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3200 NW Paragon Parkway, Lee's Summit, MO 64081

FDP Resubmittal

ISSUE:

PROFESSIONAL SEAL:



DRAWING TITLE:

**Storm Sewer
Details**

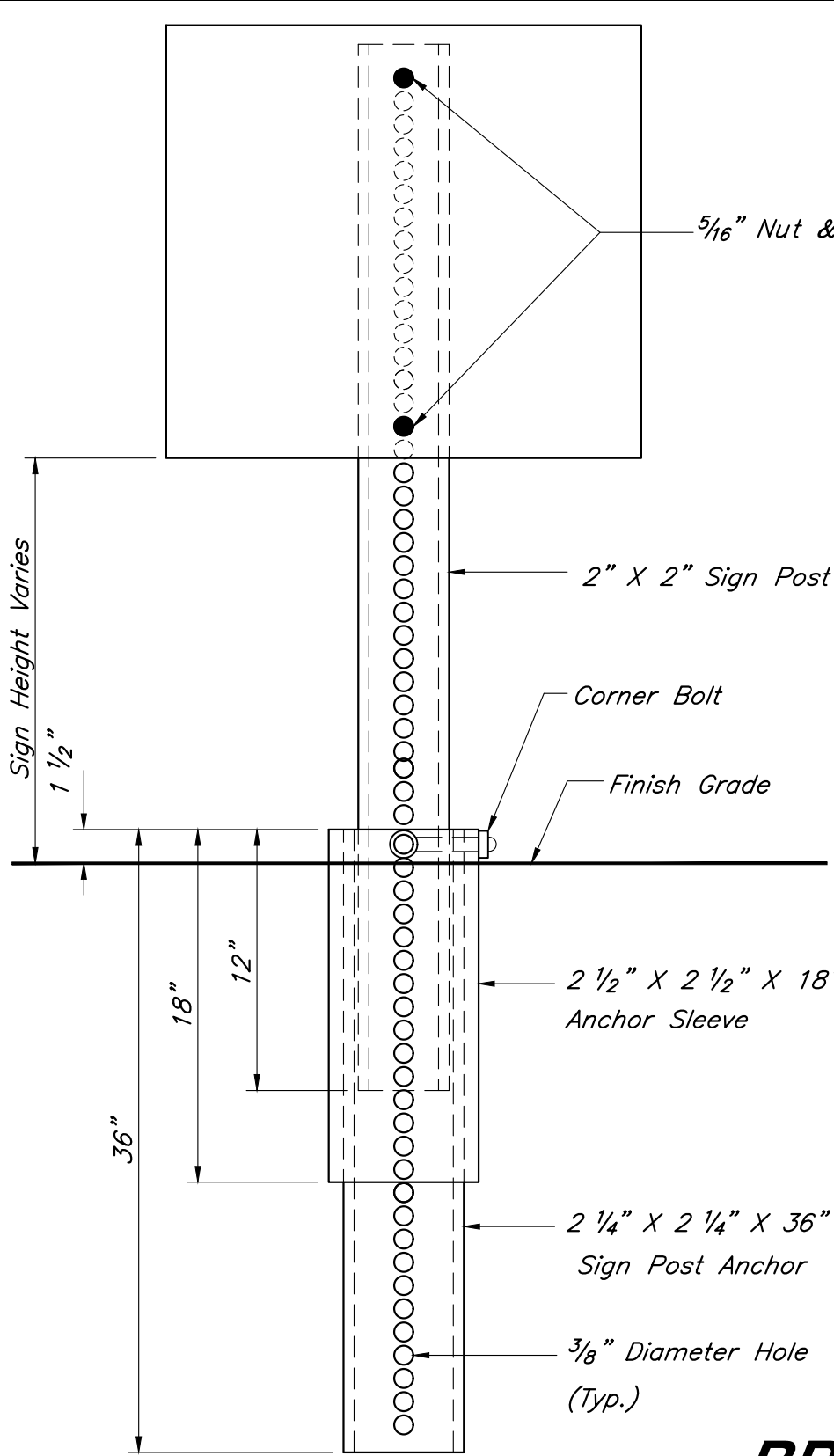
JOB NO: 18017, 19050.07, 19050.08

DATE: 08.12.2022 DRAWN BY: JRH

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C017

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BREAK-AWAY SIGN POST DETAIL

Not to Scale

- Pavement Installation Sequence
1. Sign post anchor driven into subgrade prior to the placement of the pavement.
 2. Anchor sleeve driven into subgrade over the sign post anchor prior to the placement of the pavement.
 3. Insert sign post into the sign post anchor and bolt in place.

- Ground Installation Sequence
1. Sign post anchor driven into the ground.
 2. Anchor sleeve driven into the ground over the sign post anchor.
 3. Insert sign post into the sign post anchor and bolt in place.

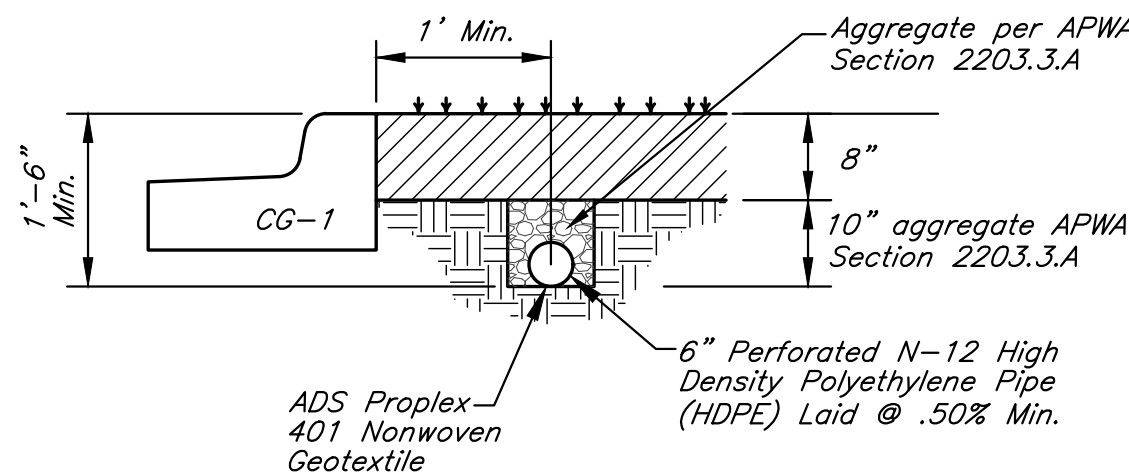
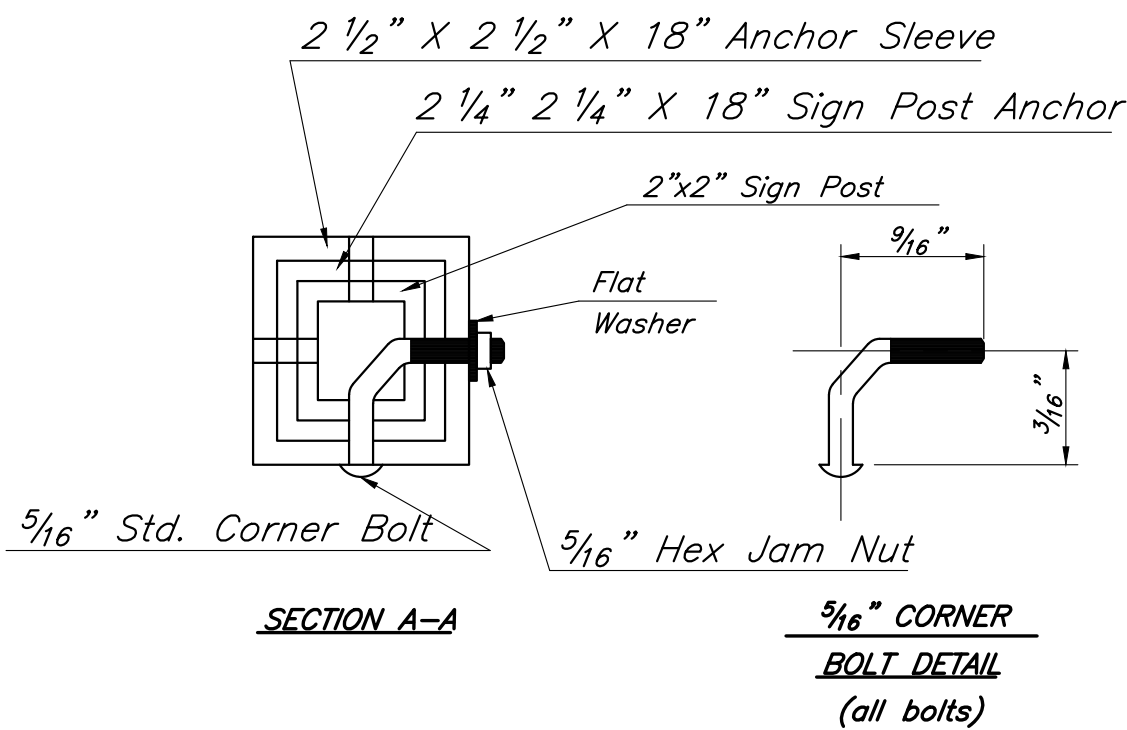
Note:
In all installations the first hole above the finished grade level in all three units must be in line for insertion of the corner bolt.

All corner bolts and nuts for fastening the signs and sign post assembly shall comply the applicable ANSI standards and ASTM testing requirements and shall be subsidiary items.

All Components shall be galvanized.

Sign Notes:

1. All letter, number & symbol sizes, spacing & colors, and the sign colors shall conform to the current "Manual On Uniform Traffic Control Devices."
2. Sign blank material shall be as follows:
Signs 36"x36" or greater 0.100" thick
Guide Signs 0.125" thick
All other signs 0.080" thick
3. All sign mounting hardware shall be galvanized.
4. All sign faces shall be fabricated using ASTM Type III Prismatic reflective sheeting.

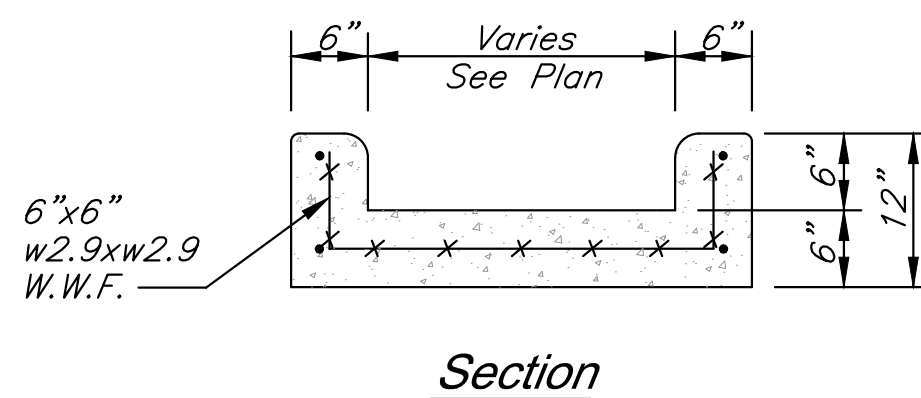


UNDERDRAIN DETAIL

Not To Scale

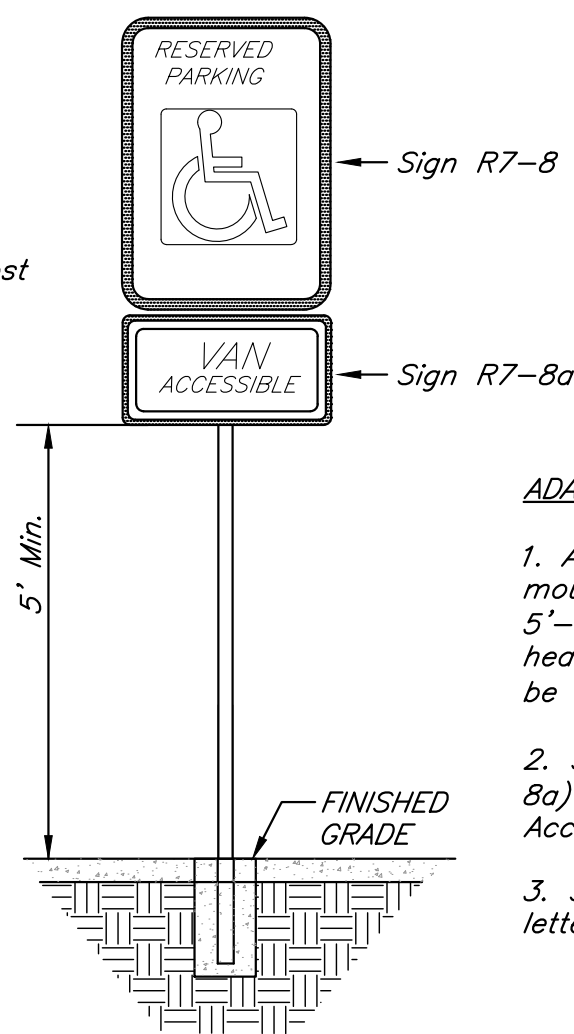
STOP SIGN DETAIL

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CONCRETE FLUME

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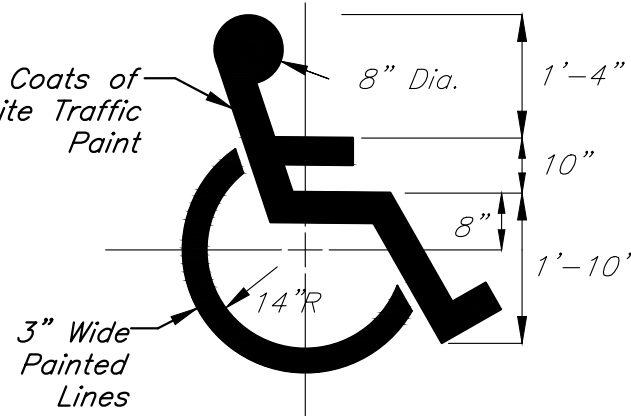


TYPICAL ACCESSIBLE SIGNAGE

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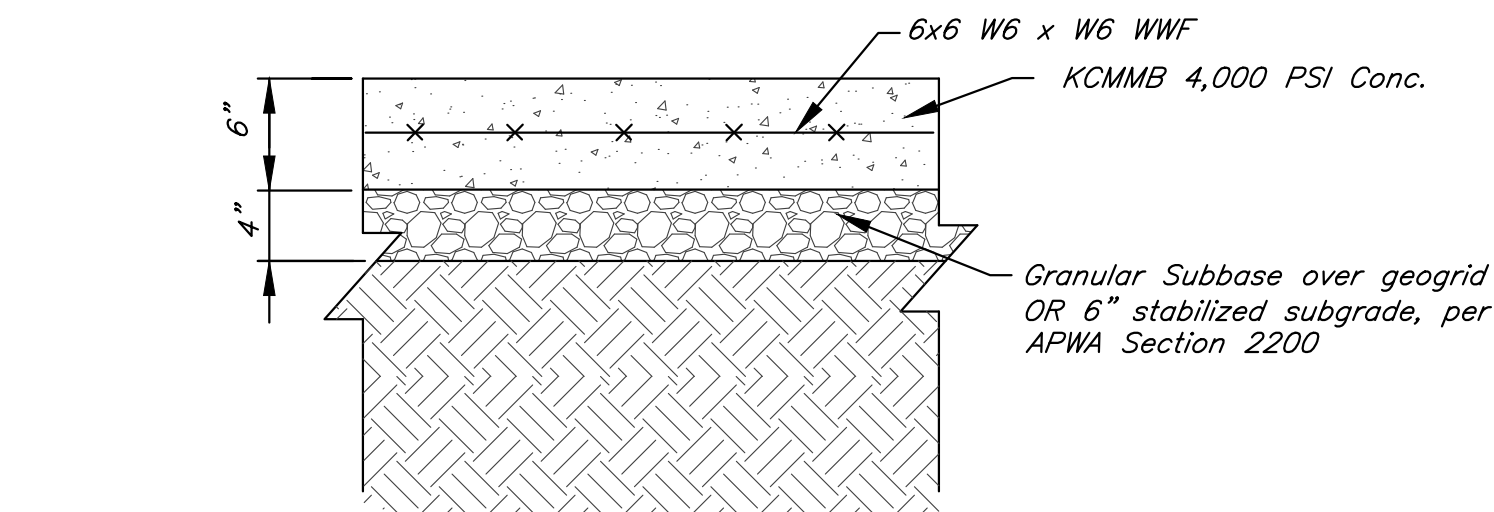
ADA Sign Notes:

1. Accessible Sign (R7-8) Shall be mounted on a pole or other structure 5'-6" above the parking surface, at the head of the parking space, and shall be at least 12"x18" in area.
2. Supplemental Accessible Sign (R7-8a) shall be used on all required Van Accessible Spaces.
3. Signs shall be blue with white lettering.



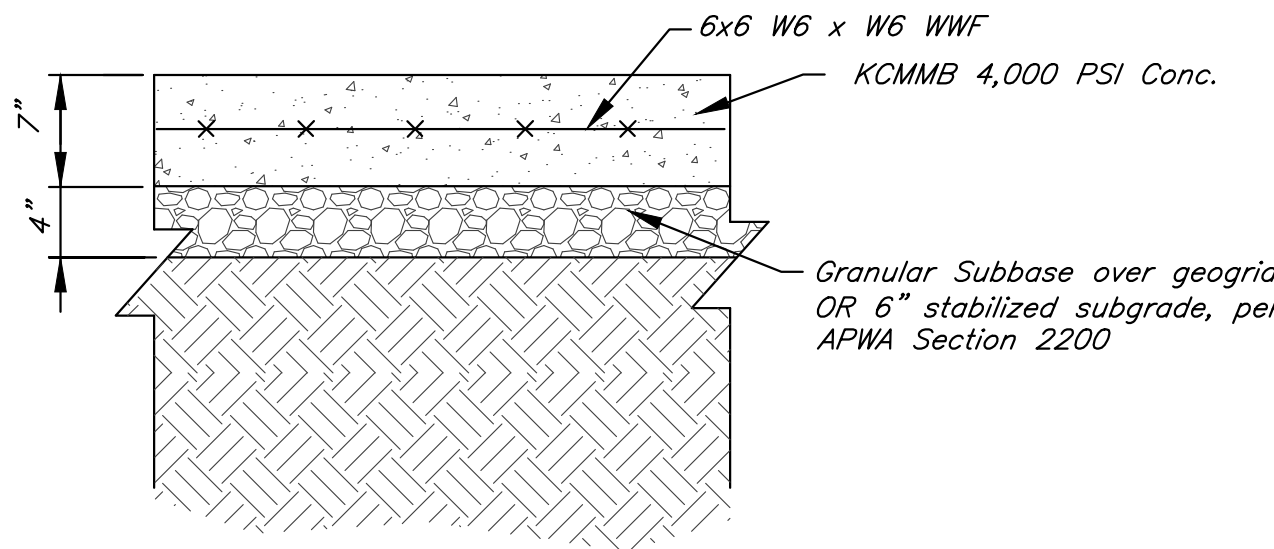
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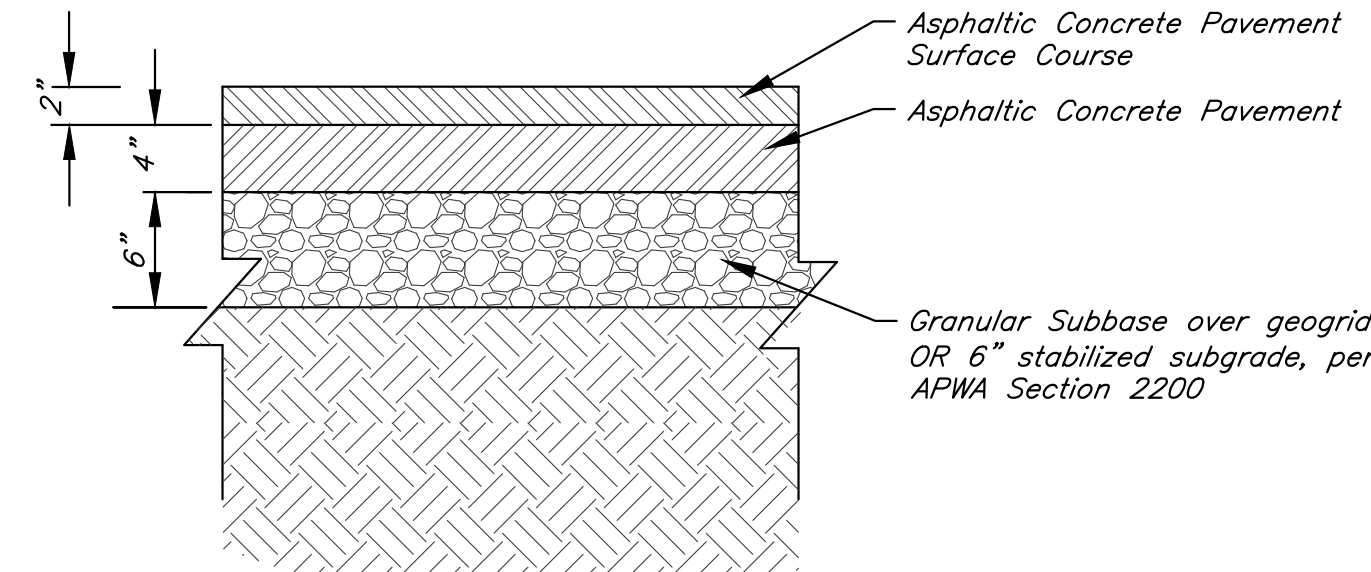
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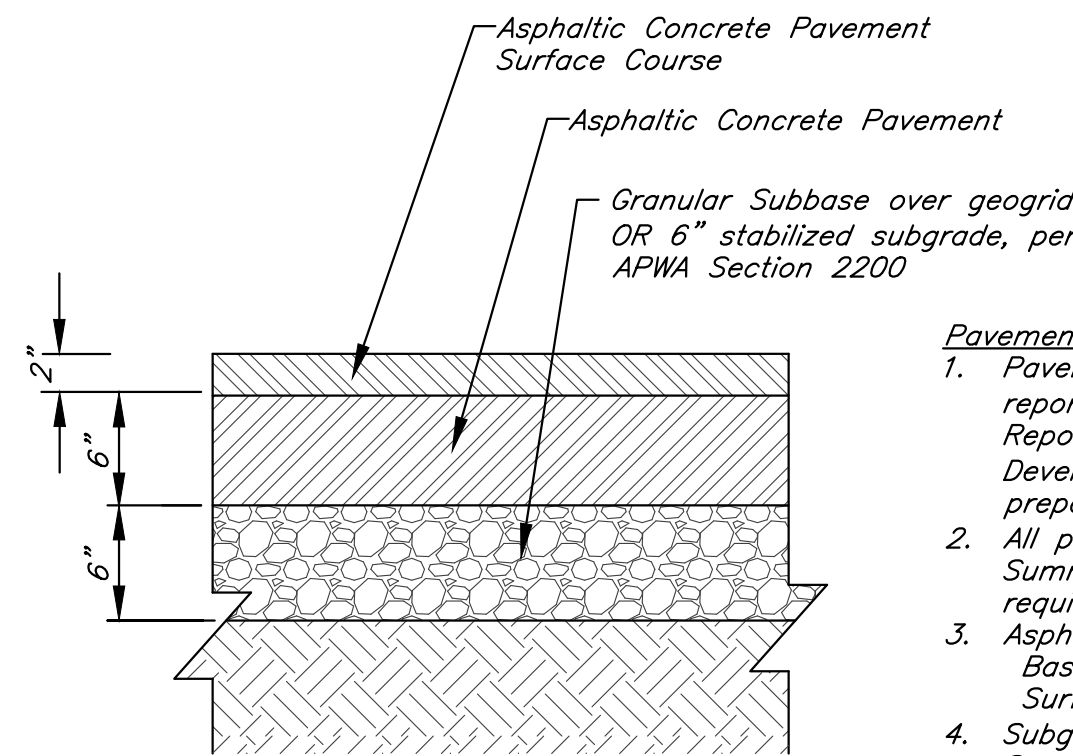
HEAVY DUTY CONCRETE PAVEMENT SECTION

Not To Scale



LIGHT DUTY ASPHALT PAVEMENT SECTION

Not To Scale

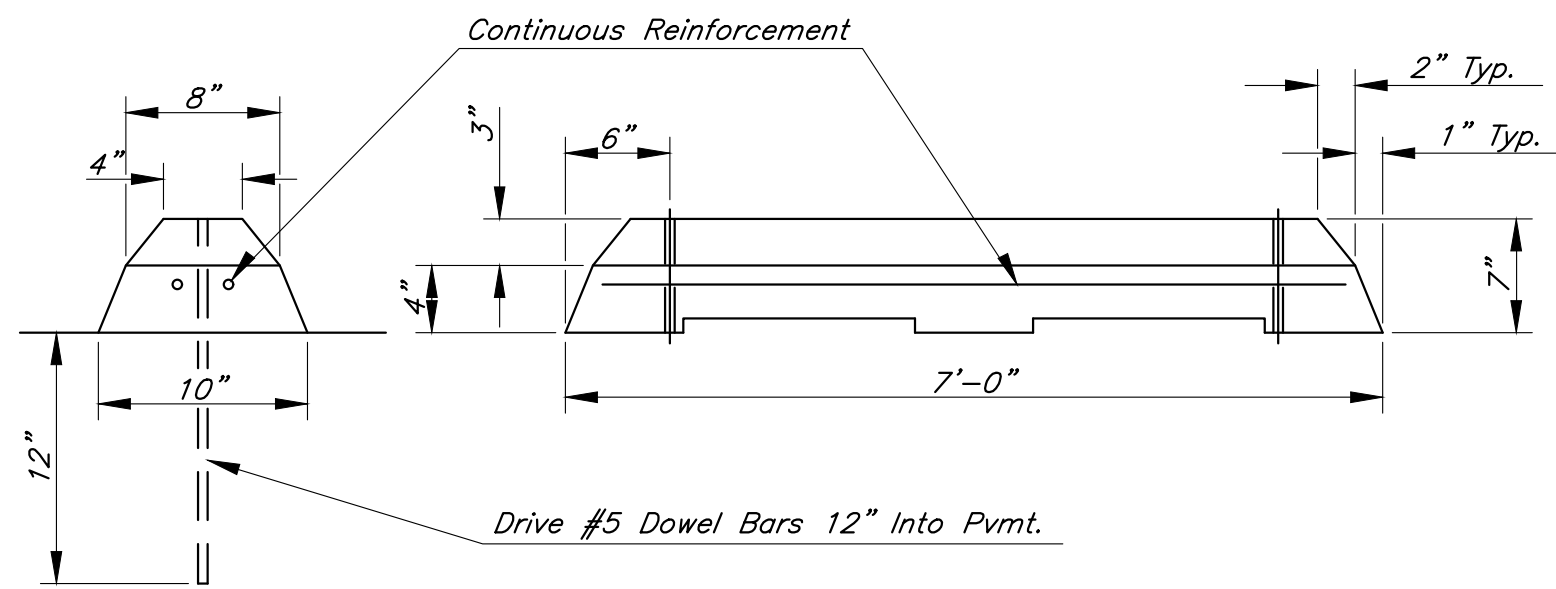


HEAVY DUTY ASPHALT PAVEMENT SECTION

Not To Scale

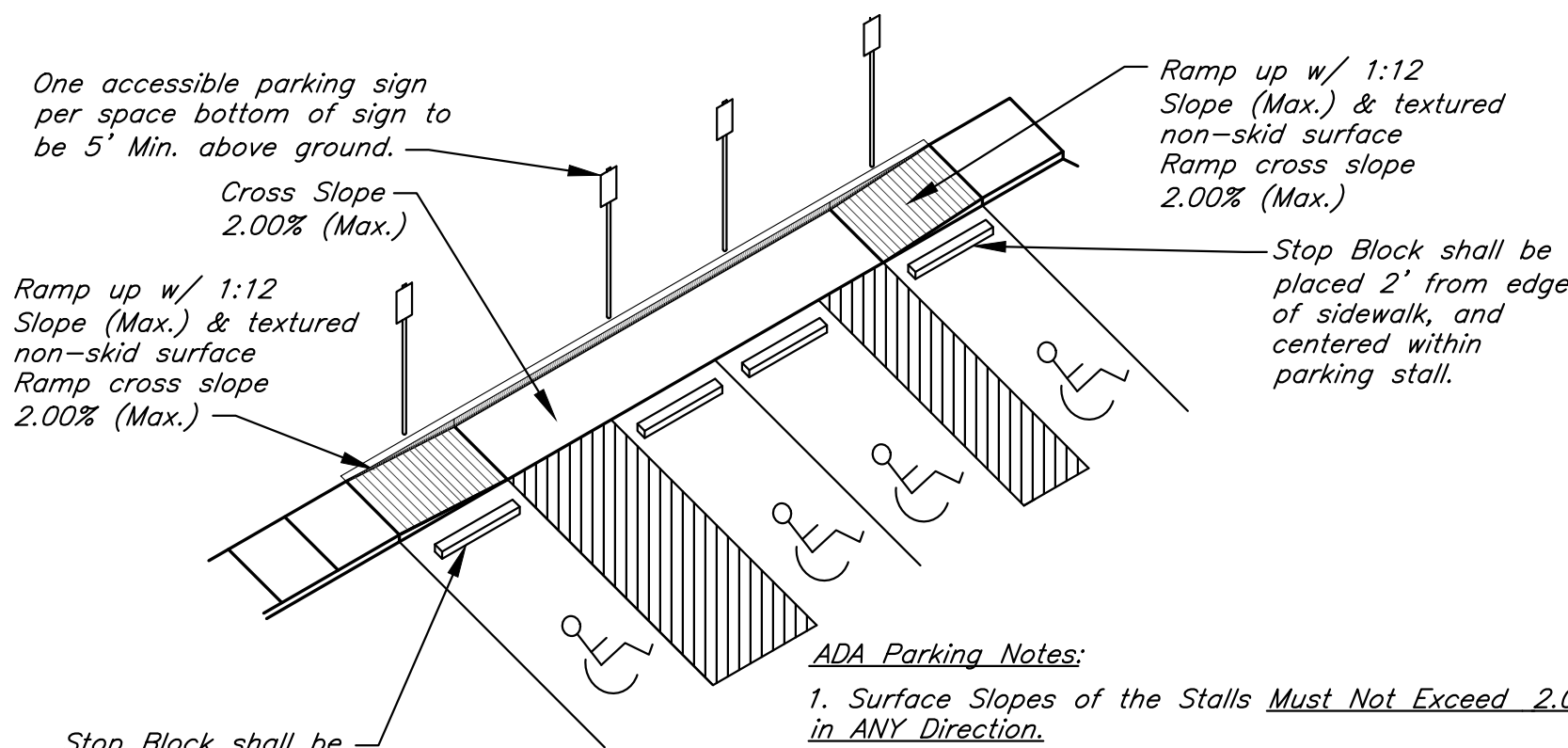
Pavement Notes:

1. Pavement sections from geotechnical report title "Geotechnical Engineering Report - Paragon Multi-Family Development", dated August 11, 2021, prepared by Terracon Consultants, Inc.
2. All pavement shall meet City of Lee's Summit UDO Section 8.620 requirements.
3. Asphalt mix shall be APWA Base: 1-01, 2-01 or 5-01 Surface: 2-01, 3-01 or 5-01
4. Subgrade stabilization shall be per Lee's Summit Standard Specifications - APWA Section 2200.



PRECAST CONCRETE STOP BLOCK

Not to Scale



ADA Parking Notes:

1. Surface Slopes of the Stalls Must Not Exceed 2.00% in ANY Direction.
2. Van Accessible Spaces are denoted on the plan.
3. Parking Blocks shall be placed 24" from edge of sidewalk to center line of parking block.

ADA PARKING DETAIL

Not to Scale

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PROJECT:

Paragon Star North Village
3200 NW Paragon Parkway, Lee's Summit, MO 64081

FDP Resubmittal

ISSUE:

PROFESSIONAL SEAL:



DRAWING TITLE:

Construction
Details

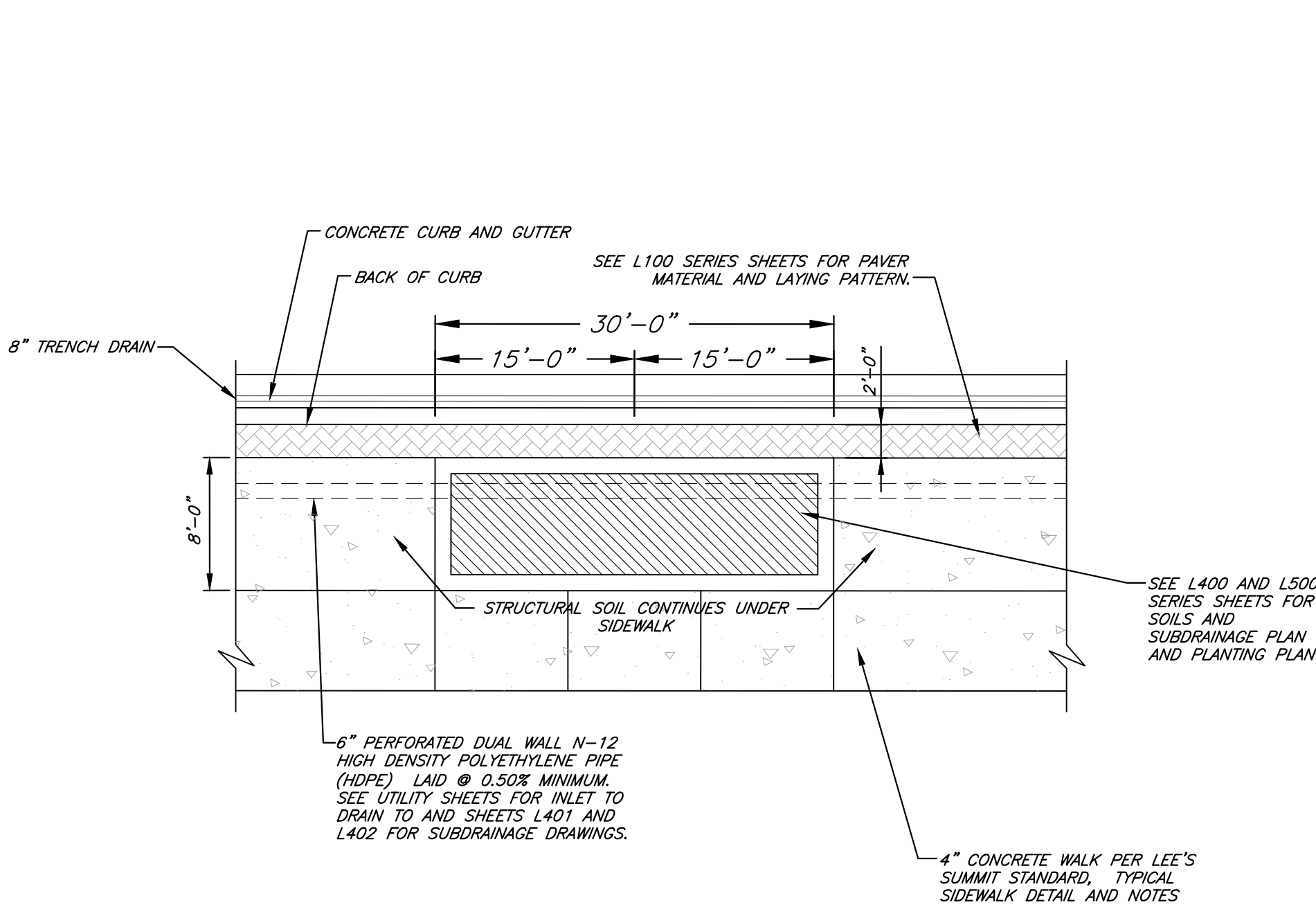
JOB NO: 18017, 19050.07, 19050.08

DATE: 08.12.2022 DRAWN BY: JRH

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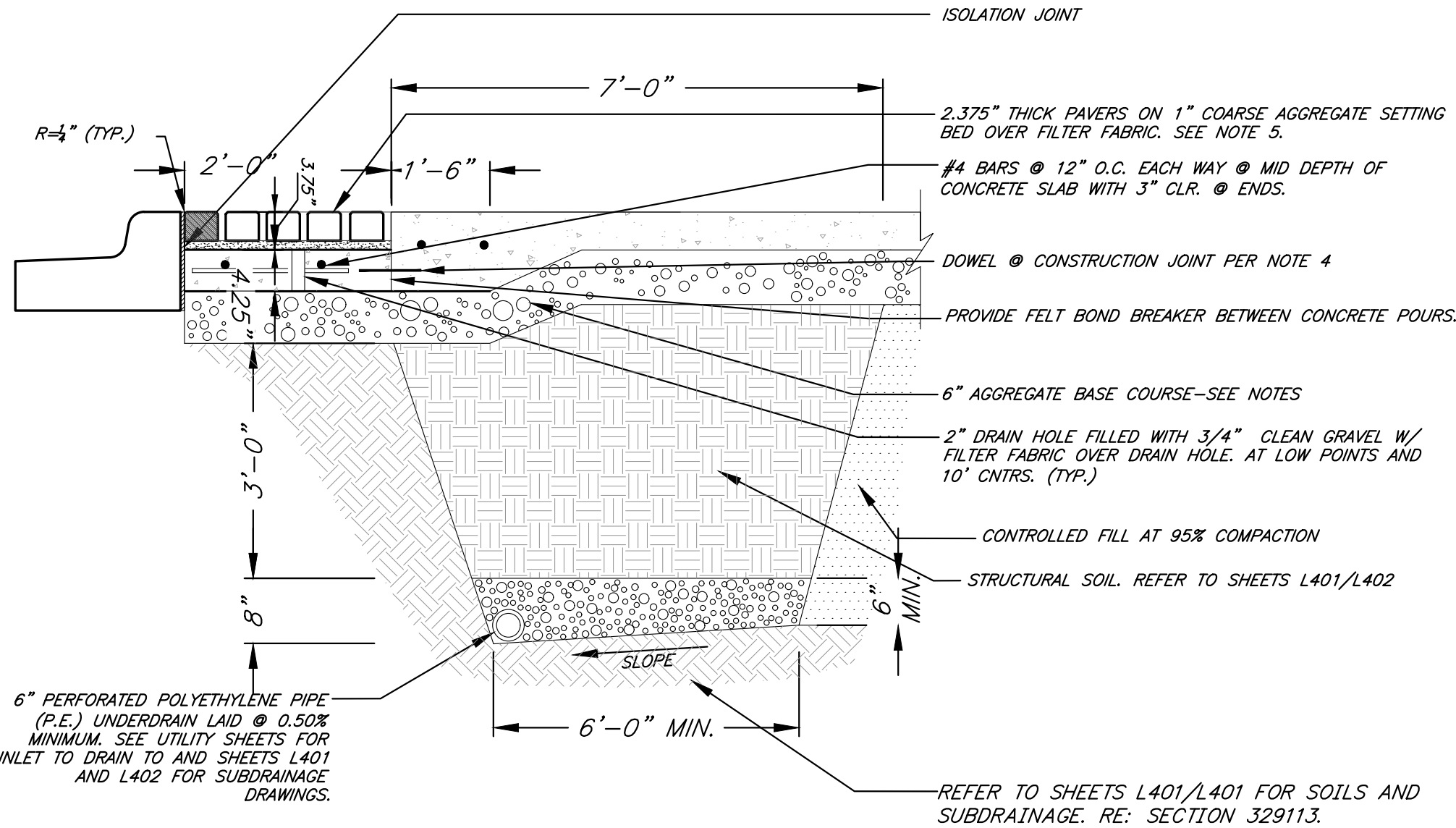
C018

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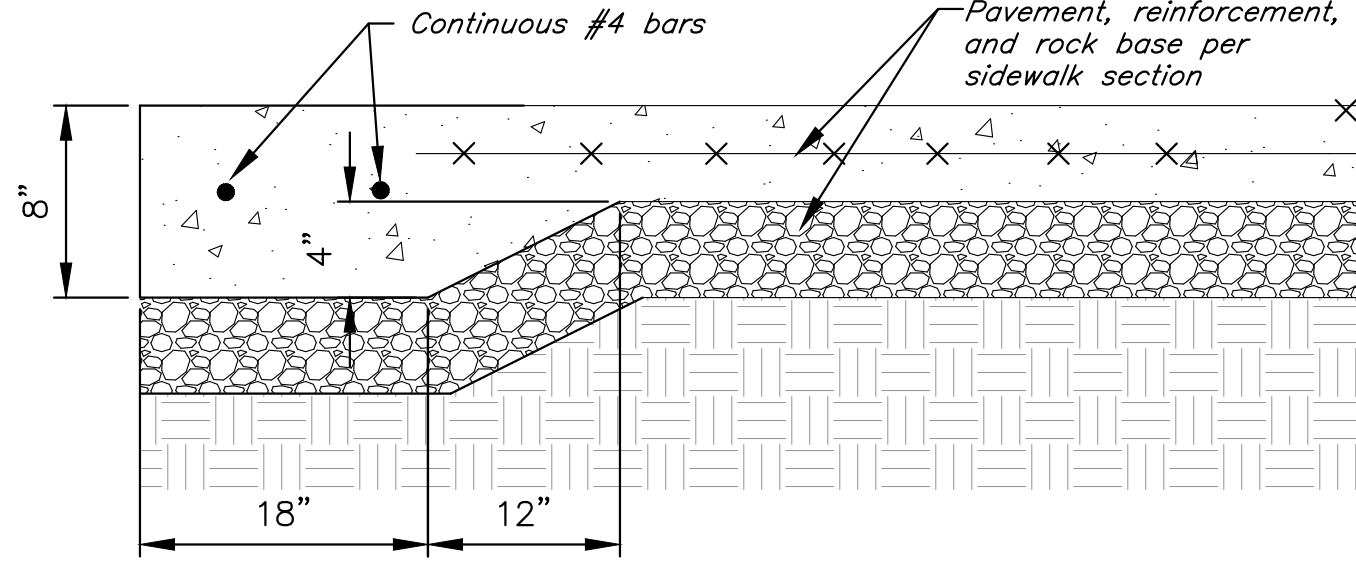
RAISED PLANTER PLAN

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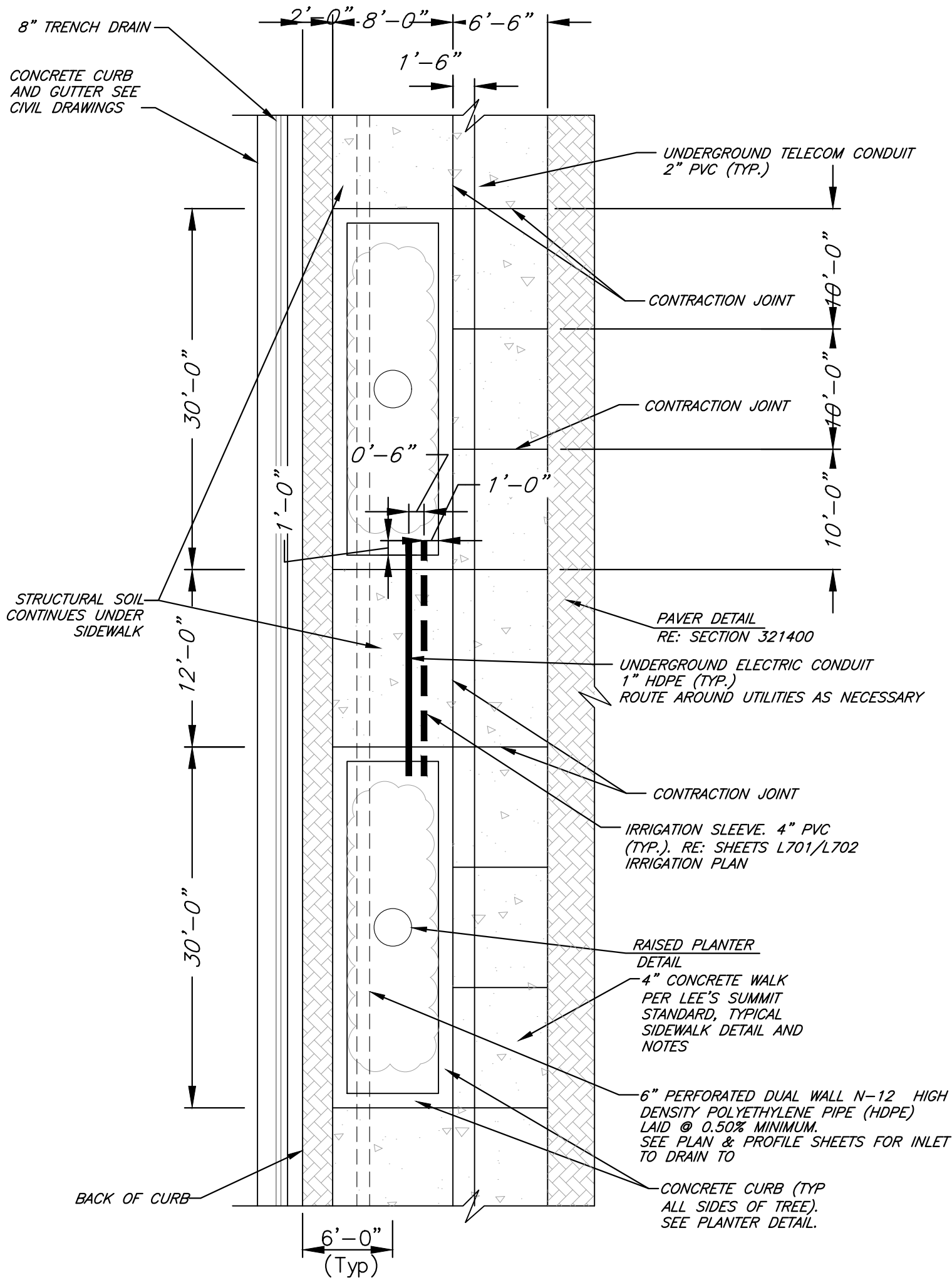
AMENITY ZONE PAVER DETAIL

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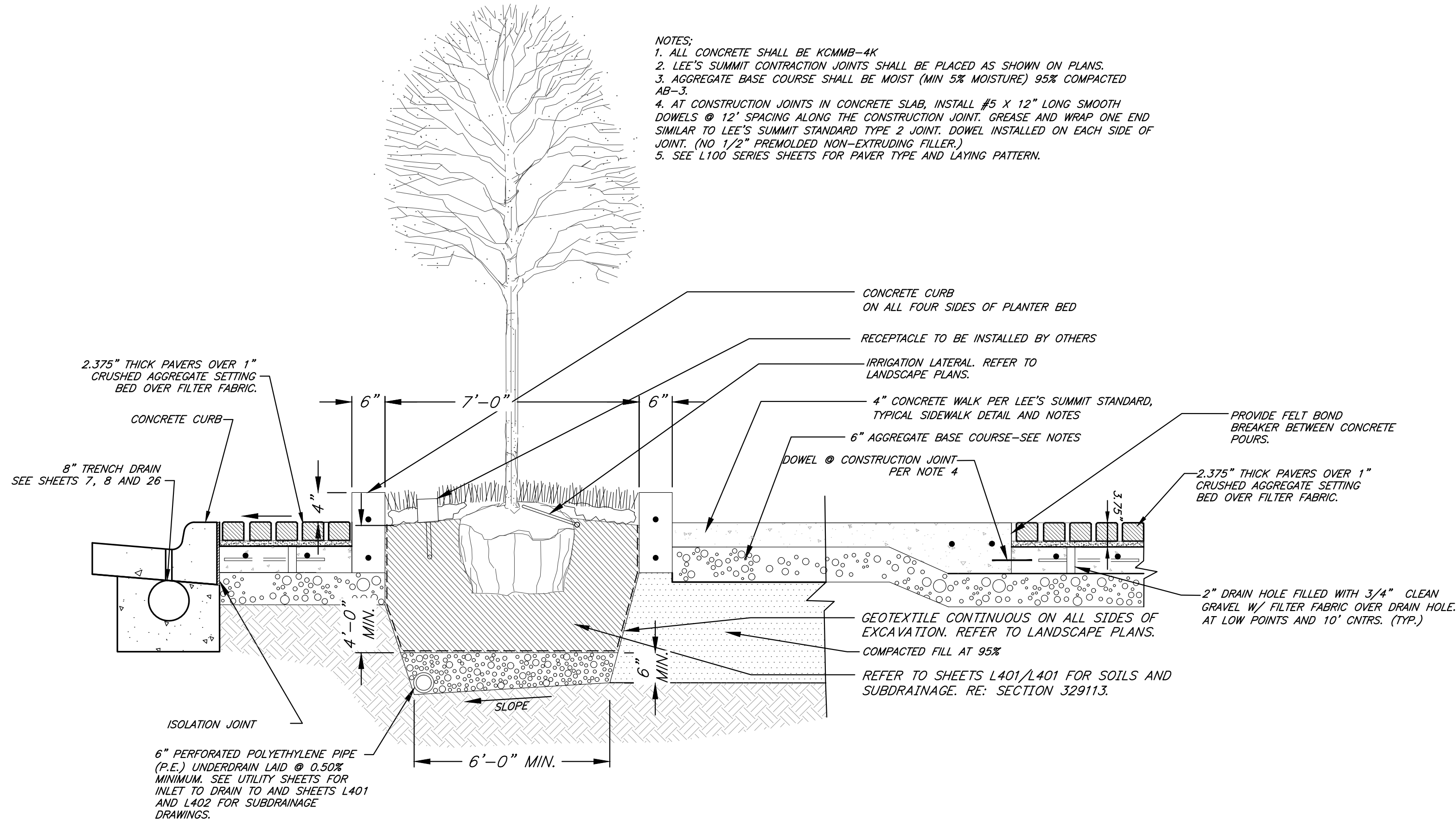
THICKENED EDGE DETAIL

Not to Scale



TYPICAL SIDEWALK LAYOUT

Not to Scale



TREE PLANTER DETAIL

Not to Scale

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PROJECT:

Paragon Star North Village
3200 NW Paragon Parkway, Lee's Summit, MO 64081

FDP Resubmittal

ISSUE:

PROFESSIONAL SEAL:



DRAWING TITLE:

Streetscape
Details

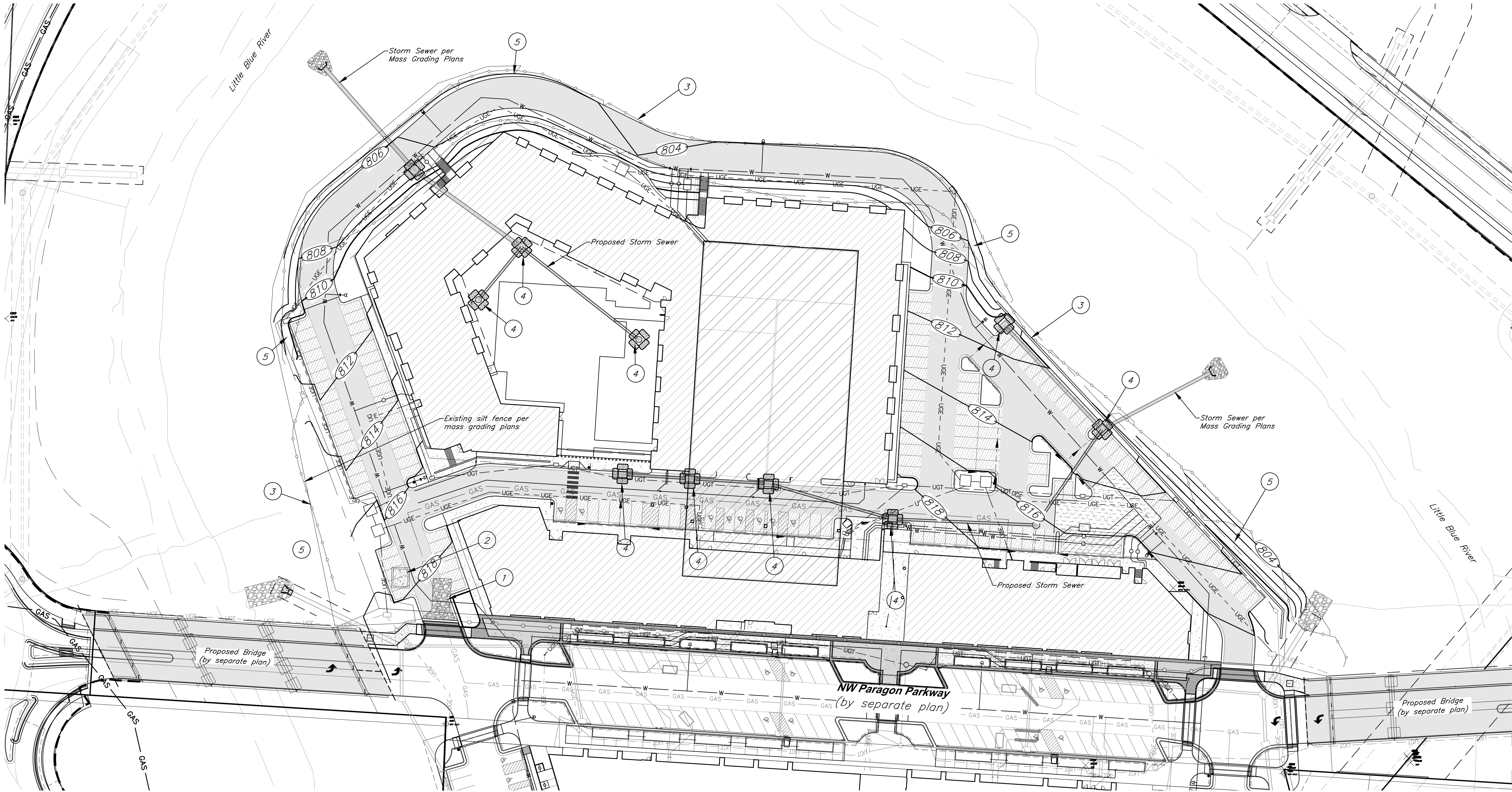
JOB NO: 18017, 19050.07, 19050.08

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C020

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EROSION & SEDIMENT CONTROL STAGING CHART

Project Stage	Ref. No.	BMP Description	May Remove after Stage	Notes
A. Place Erosion Control Prior to Land Disturbance	1	Const. Entrance & Staging Area	C	
	2	Construct Concrete Wash-out	C	
	3	Perimeter Silt Fence	C	
B. Final Grading, Paving, and Landscaping	4	Inlet Protection	C	
	5	Seed & Mulch or Blanket or Sod		Erosion control blanket to be installed w/ seed. Check approved seeding dates and install temporary stabilization if out of seeding season. Install blanket according to manufacturer's instructions and stapling pattern.

Note: Permanent Stabilization will be considered stabilized when 100% of disturbed area is established with perennial vegetation with a density of 70%.

Legend

- Proposed Contour
- Existing Contour
- Geotechnical Boring Location
- Straw Wattles
- Inlet Filter Sock
- Grading Limits
- Sediment Fence
- Exist. Sediment Fence (to be maintained on perimeter)

Scale: 1" = 40'

PROJECT BENCHMARK:
BM #11 - Chiseled "L" on top Northeast corner of concrete guardrail at the Northeast corner of 1470 bridge spanning View High Drive. EL=833.80

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PROJECT:
Paragon Star North Village
3200 NW Paragon Parkway, Lee's Summit, MO 64081

ISSUE:

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DRAWING TITLE:
Erosion Control Plan

JOB NO: 18017, 19050.07, 19050.08
DATE: 08.12.2022 DRAWN BY: JRH

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C021

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The layout of erosion control best management practices (BMPs) shown on the engineering plans is intended to control erosion and minimize, if not eliminate, the transport of sediment from the disturbed areas. The Contractor shall be responsible for the evaluation of existing surface drainage patterns and for making adjustments to the BMP locations to best control erosion and minimize, if not eliminate, the transport of sediment from the disturbed areas. The following are measures to achieve the control of erosion and sediment.

- Table 1. Temporary Seeding Dates and Minimum Application Rates

Seedbed Preparation – For broadcast seeding or drilling, loosen soil to depth of 3 inches. For no till drilling, loosen soil if it is compacted. Loosen compacted, hard or crusted soil surfaces with a disk, ripper, chisel, harrow or other tillage equipment. Avoid preparing the seedbed under excessively wet conditions. For establishment and long-term growth, apply a complete fertilizer at rates recommended by soil tests or as specified in plans and specifications. If soil pH is less than 6.0, apply lime according to soil tests. Incorporate necessary lime and fertilizer to a depth of 3 to 6 inches of soil.

b. *Temporary Mulch Stabilization* – During non-growing periods, a straw mulch cover shall be applied in unseeded areas to protect against erosion until temporary or permanent vegetation is established.

Application – Spread straw mulch uniformly over the area with a power blower, hydroseder, or by hand. No more than 25% of the ground surface should be visible after spreading. Apply straw mulch at a rate of 1.5 tons per acre as a seed cover or 2.5 tons per acre as a stand alone cover. The straw should be dry, unchopped, unweathered; free of weed seeds and rot. In areas of steep slopes or high winds, or in critical areas such as swales, mulching may need to be secured to the ground with a binder, netting, or tacking.

- Seedbed Preparation** – loosen soil to depth of 3 inches. For no till drilling, loosen soil if it is compacted. Loosen compacted, hard or crusted soil surfaces with a disk, ripper, chisel, harrow or other tillage equipment. Avoid preparing the seedbed under excessively wet conditions. For establishment and long-term growth, apply a complete fertilizer at rates recommended by soil tests or as specified in plans and specifications. If soil pH is less than 6.0, apply lime according to soil tests. Incorporate necessary lime and fertilizer to a depth of 3 to 6 inches of soil.

2. Structural Practices

- Minimum Requirements:*

Spacing of Support Posts – 10 feet maximum for fence supported by wire; 6 feet maximum for high strength fabric without supportive wire backing. Support posts should be driven into the ground a minimum of 10 inches deep.

Trench – Bottom 1 foot of fence must be buried minimum of 4 inches deep.

3. *Maintenance* – The contractor shall repair all erosion control measures or re-seed areas that are disturbed or damaged as a result of weather or other situations, within 2 days after the occurrence. This will include all areas bare of vegetation.

- Storage of construction materials away from drainage courses and low areas.

7. All erosion control measures, temporary or permanent, require maintenance to preserve their effectiveness. All erosion control devices shall be inspected immediately after each heavy rainstorm and at least daily during prolonged rainfall. Any required repairs should be made immediately. All costs associated with the repair work including related incidents will be the contractor's responsibility and shall be included in the Contractor's bid for the proposed work. Only after the project is complete and accepted can the erosion control be removed.

9. During the dates Dec. 15 through May 30 ALL lime, fertilizer, seed, and mulch shall be applied to finished slopes of disturbed areas. During the months of June, July, October, and November 1st through December 15th, lime, fertilizer, seed, and mulch shall be applied at the following rates:

10. Mulch shall be Vegetative type, cereal straw form stalks of oats, rye, or barley, or approved equal. The straw shall be free of prohibited weed seed and relatively free of all other noxious and undesirable seed. Apply straw mulch at a rate of 1.5 tons per acre as a seed cover or 2.5 tons per acre as a stand alone cover. Mulch shall be embedded by a mulch anchoring tool or disk type roller having flat serrated disks spaced not more than 10 inches apart and cleaning scrapers shall be provided.

HENDERSON ENGINEERS, Inc.

PROJECT:

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FDP Resubmittal

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Erosion Control Notes

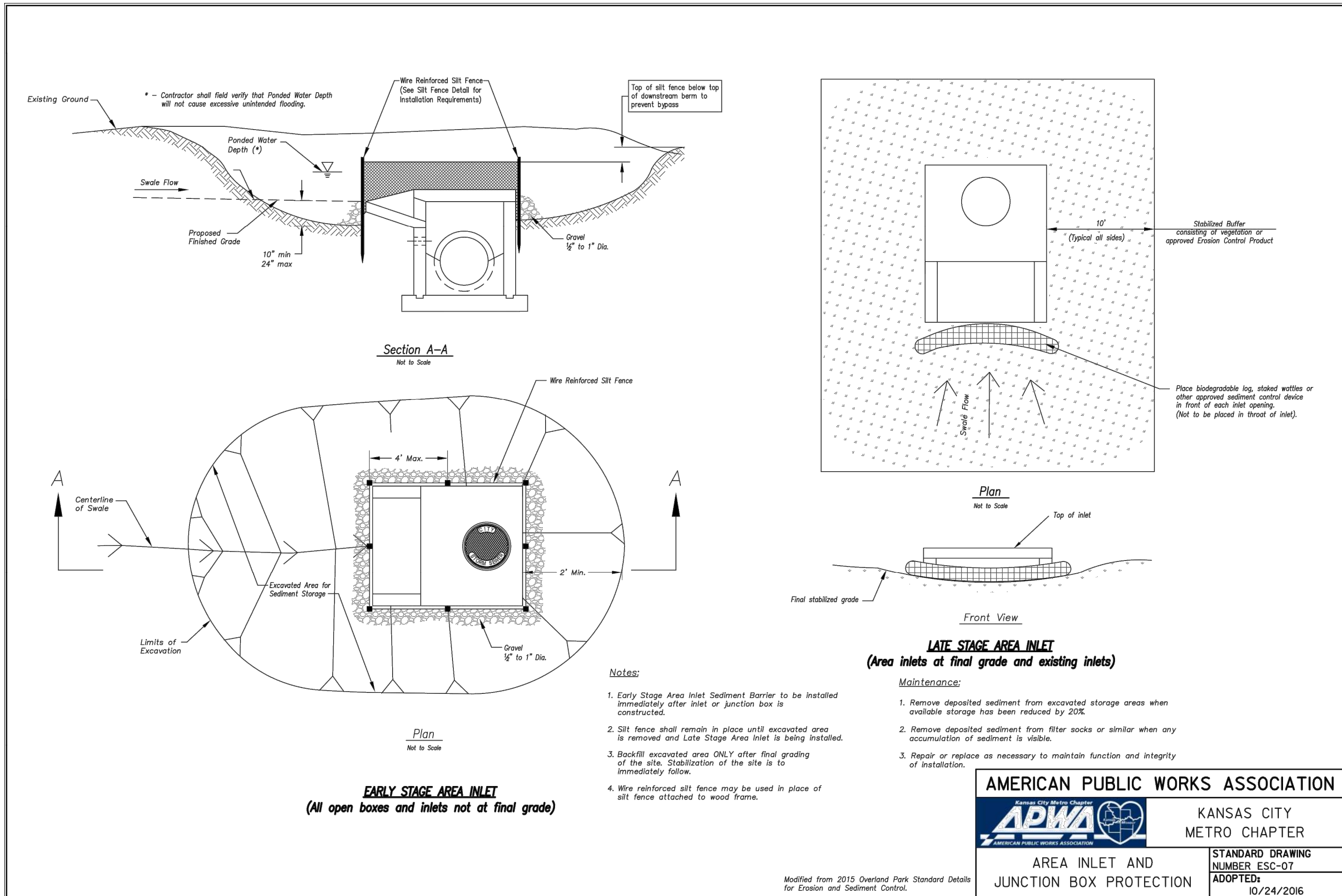
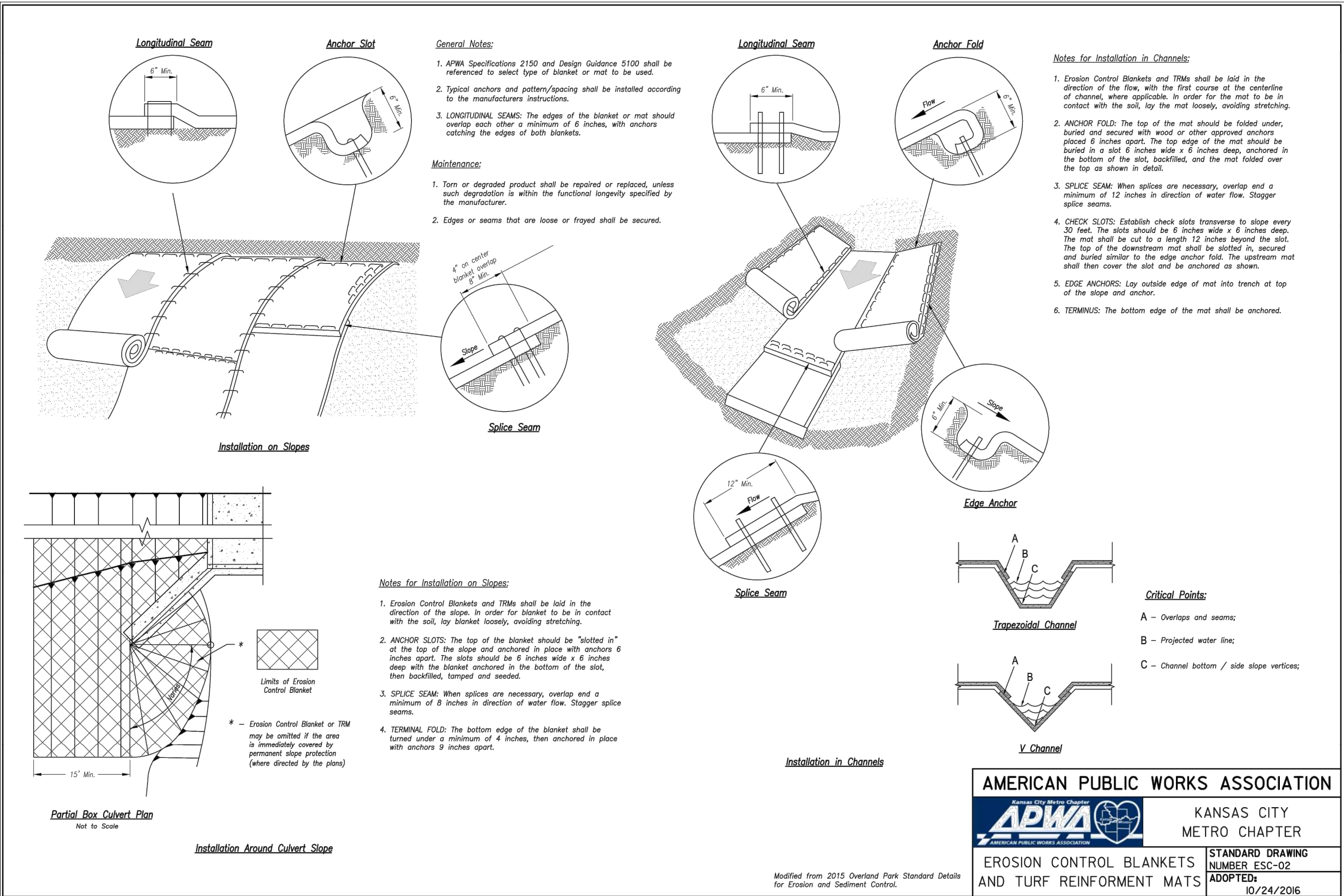
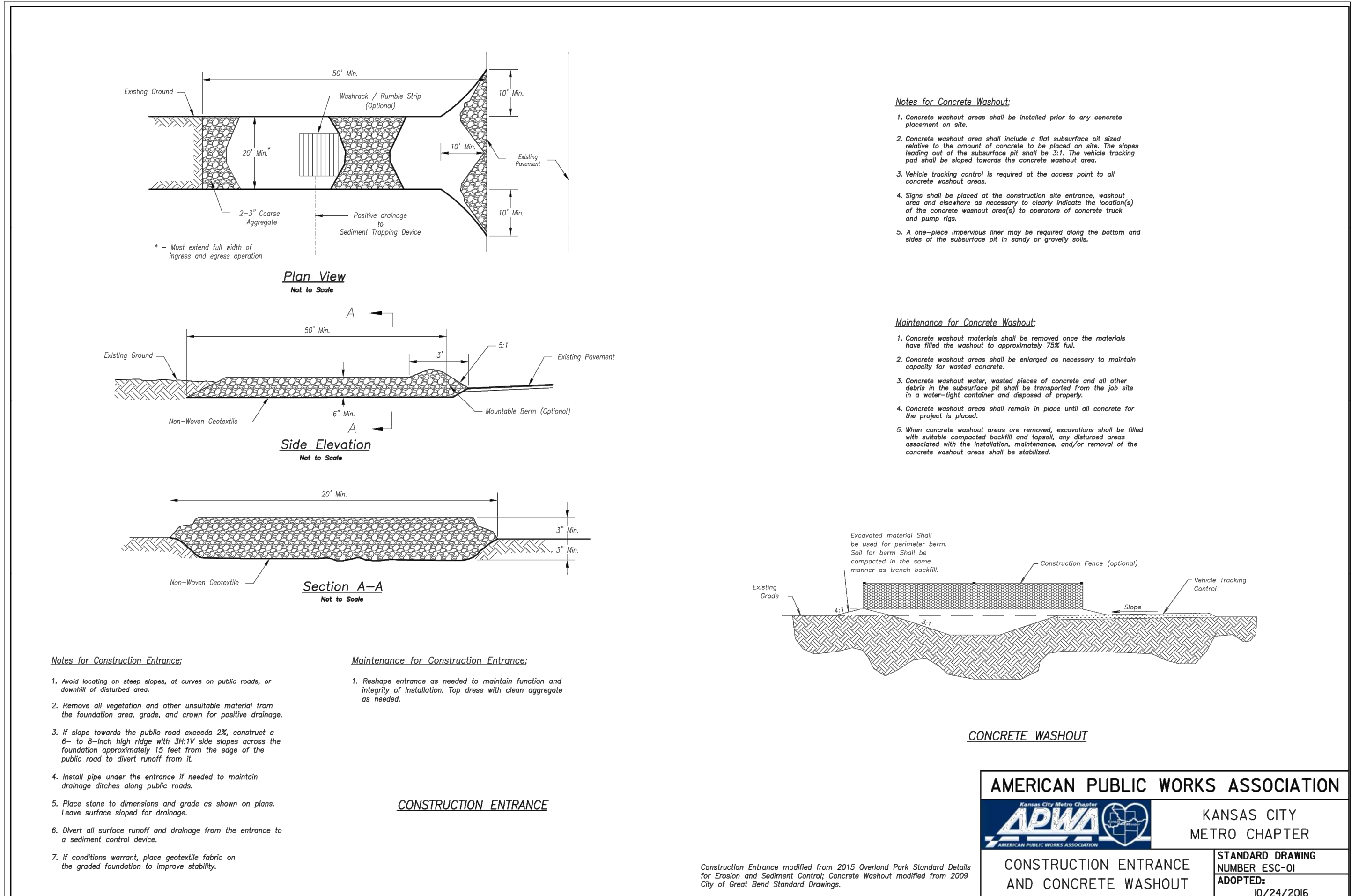
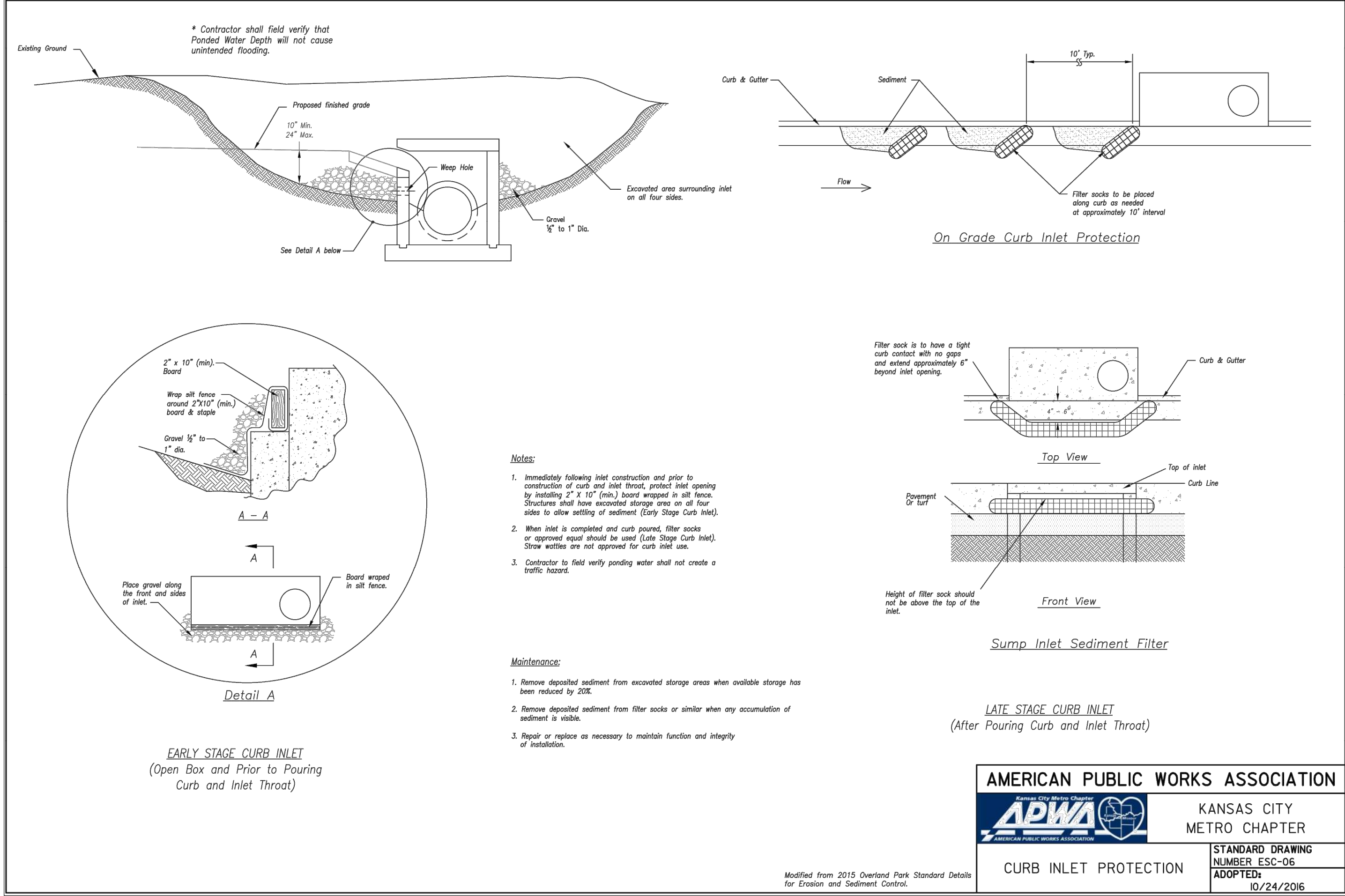
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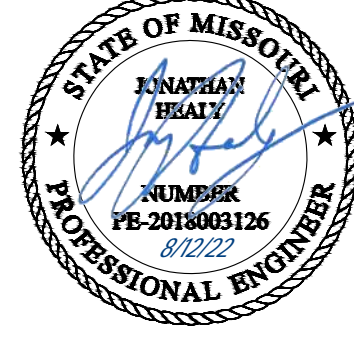
PROJECT:

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Erosion Control
Details

JOB NO: 18017, 19050.07, 19050.08

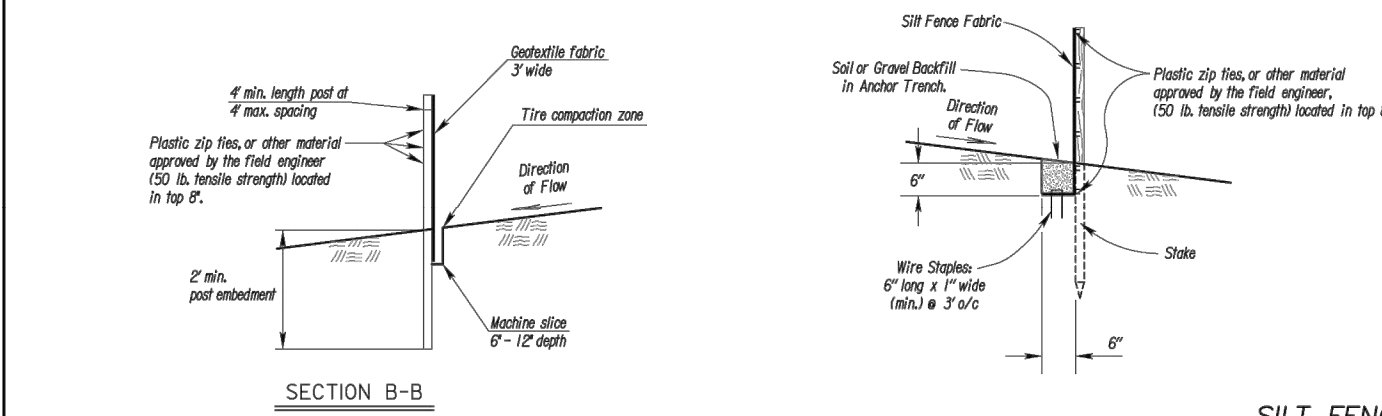
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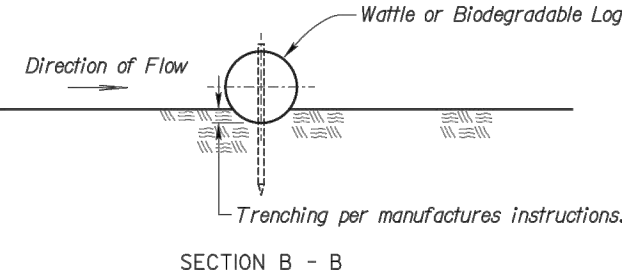
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- Notes for Silt Fence Ditch Checks:
- Stakes shall be 4' (min.) long and one of the following materials:
 - Harwood - 1 3/4" x 1 3/4"
 - Southern Pine (No. 2) - 2 3/4" x 2 3/4"
 - Steel U, L, or C Section - .85 lbs. per 1'-0"
 - Synthetic - same strength as wood stakes
 - Cross pieces shall be of same material as stakes.
 - Attach fence fabric securely on 6" centers (max.).
 - Use of high flow material is acceptable.
 - Refer to plan sheets to estimate the length of silt fence required.
 - Use support fencing when tributary area is greater than 2.4 acres or when ditch gradient is greater than 2 percent.
 - Silt fence allowed to be a 6" minimum depth.
 - Elevation of top in points shall be a minimum of 4" higher than the center.



SILT FENCE DITCH CHECK
NO SCALE

- Notes for Wattles and Biodegradable Log Ditch Checks:
- Use as many biodegradable log sections as necessary to ensure water does not flow around end of ditch check.
 - Overlap sections a minimum of 18"
 - Stakes shall be per manufacturer's instructions. Length of stakes shall be a minimum of 2 times the diameter of the log or 24" minimum.
 - Use Erosion Control (Class 1) (Type G) as the downstream apron when directed by the Engineer.
 - Use 9" diameter logs when used with Erosion Control (Class 2) (Any Type) channel lining. Smaller diameter logs may be used with Erosion Control (Class 2) (Any Type) channel lining as directed by the Engineer.

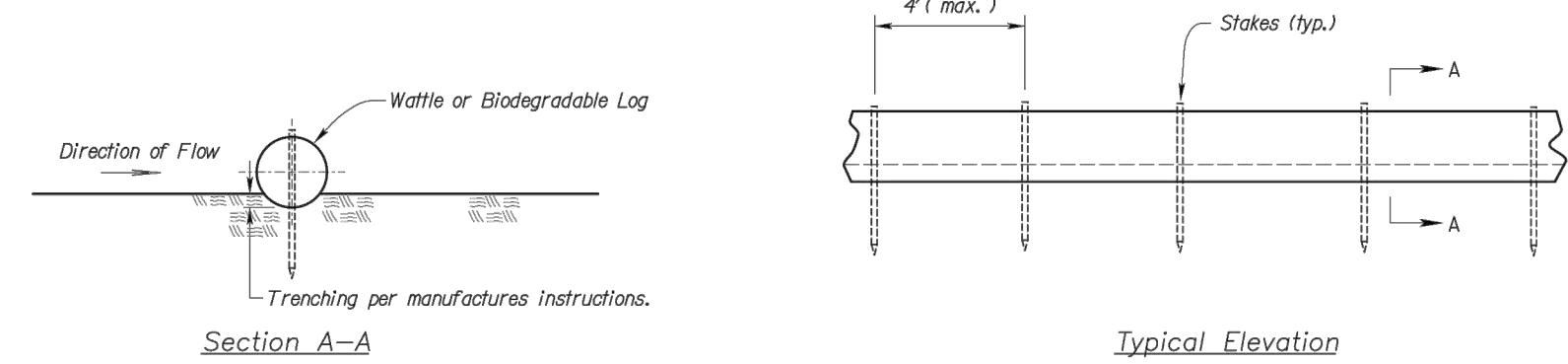


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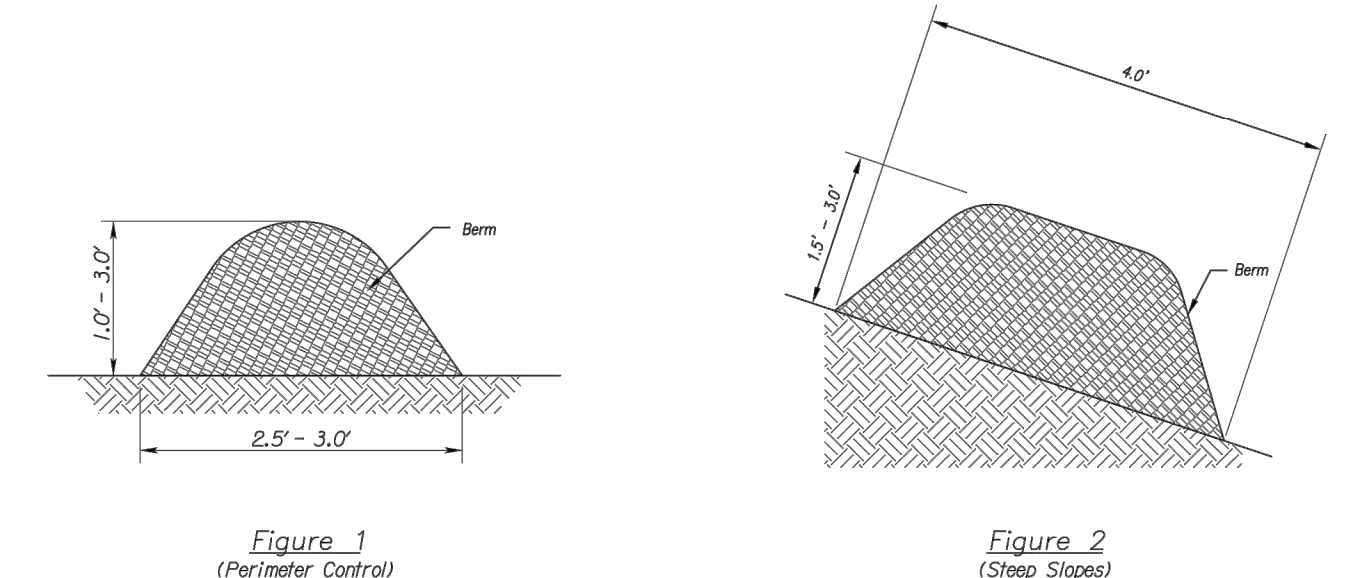
KANSAS CITY METRO CHAPTER

SILT FENCE AND WATTLE/BIODEGRADABLE LOG DITCH CHECKS

STANDARD DRAWING NUMBER ESC-09 ADOPTED: 10/24/2016



WATTLES AND BIODEGRADABLE LOG



MULCH OR COMPOST FILTER BERMS

- Notes for Wattles and Biodegradable Log Slope Protection:
- The slope barriers shall be placed along contour lines, with a short section turned upgrade at each end of the barrier. The maximum length of the slope barrier shall not exceed 250 feet, and the barrier ends need to be staggered.
 - Install wattles and biodegradable logs per manufacturer's instructions.
 - Spacing of stakes per manufacturer's instructions with 4' max. spacing. Length of stakes shall be a minimum of 2 times the diameter of the log with minimum of 24".

- Notes for Mulch and Compost Filter Berm:
- The sediment control berm shall be placed uncompacted in a windrow at locations shown on the plans or as directed by the engineer.
 - Parallel to the base of the slope, or around the perimeter of other affected areas, construct a 1 to 3 foot high by 2.5 to 3 foot wide berm (see Figure 1). For maximum water treatment ability or for steep slopes, construct a 1.5 to 3 foot high impounded berm that is a minimum of 4 feet wide of the base (see Figure 2). In extreme conditions, or where specified by the engineer, a second berm shall be constructed at the top of the slope. Engineer will specify berm requirements.
 - If berm is to be left as permanent or part of the natural landscape, the compost berm may be seeded during application for permanent vegetation.
 - Do not use compost or wood mulch berms in any runoff channels or concentrated flow areas.
 - Wood mulch shall consist of tree and shrub debris resulting from clearing and grubbing and shall be ground by the mechanical means such as a chopper, mulchmill, tub grinder or other approved method. Mulch sizing varies with a maximum width of 2" and a maximum length of 10".

- Maintenance for Mulch and Compost Filter Berm:
- Berm shall be reshaped and material added as necessary to maintain function and dimensions.
 - Branches in the berm shall be repaired promptly.

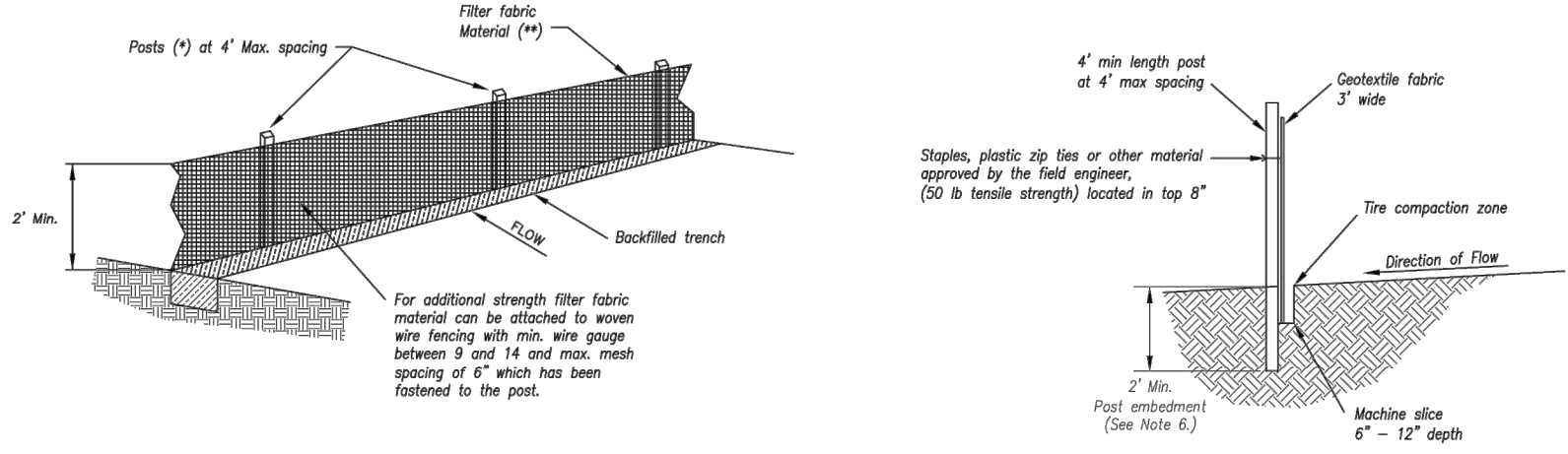
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KANSAS CITY METRO CHAPTER

WATTLES/BIODEGRADABLE LOG AND MULCH/COMPOST FILTER BERM

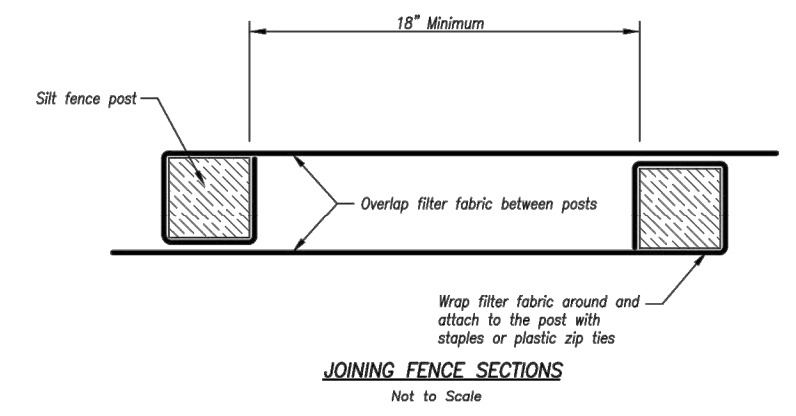
STANDARD DRAWING NUMBER ESC-04 ADOPTED: 10/24/2016

Modified from 2015 Overland Park Standard Details for Erosion and Sediment Control.

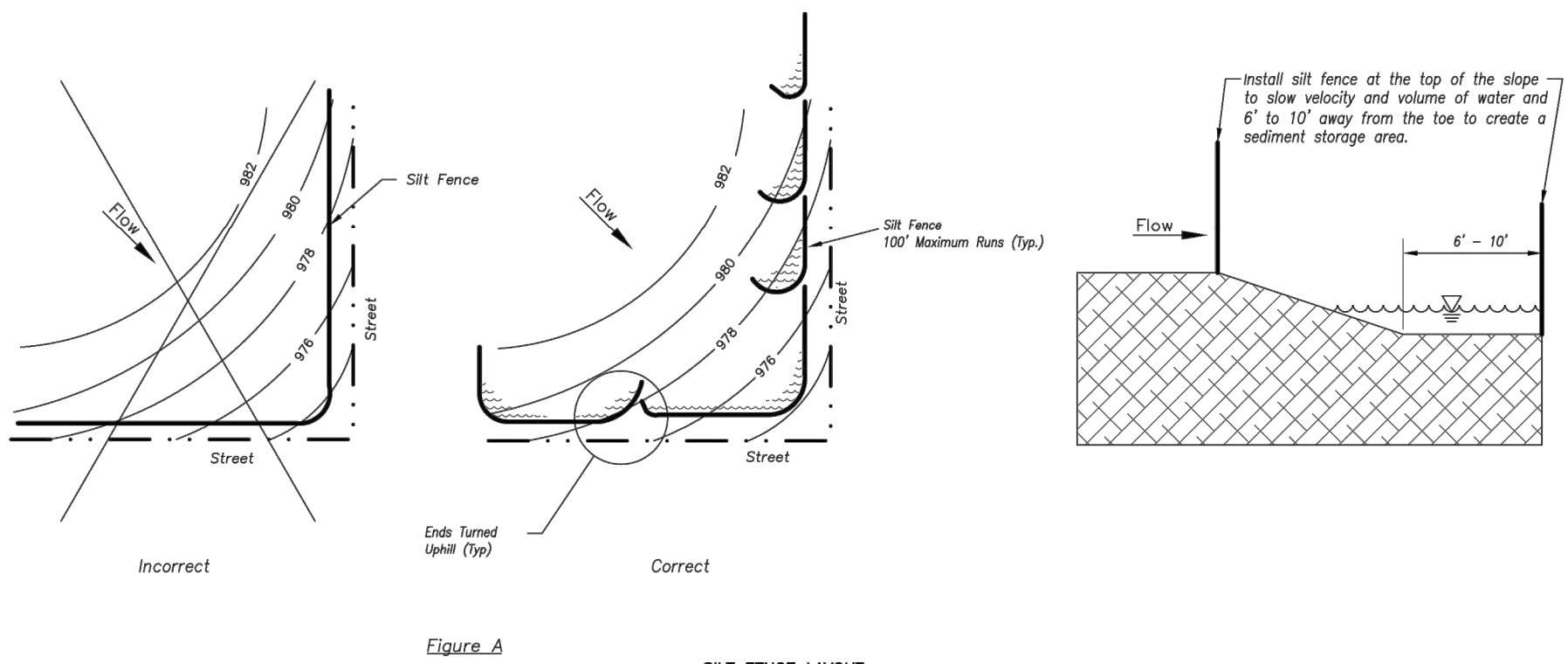


- Notes:
- In order to contain water, the ends of the silt fence must be turned uphill (Figure A).
 - Long perimeter runs of silt fence must be limited to 100'. Runs should be broken up into several smaller segments to minimize water concentrations (Figure A).
 - Long slopes should be broken up with intermediate rows of silt fence to slow runoff velocities.
 - Attach fabric to upstream side of post.
 - Install posts a minimum of 2' into the ground.
 - Trenching will only be allowed for small or difficult installation, where staking machine cannot be reasonably used.

- Maintenance:
- Remove and dispose of sediment deposits when the deposit approaches 1/2 the height of silt fence.
 - Repair as necessary to maintain function and structure.



JOINING FENCE SECTIONS



AMERICAN PUBLIC WORKS ASSOCIATION

KANSAS CITY METRO CHAPTER

SILT FENCE

STANDARD DRAWING NUMBER ESC-03 ADOPTED: 10/24/2016

Modified from 2015 Overland Park Standard Details for Erosion and Sediment Control.

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Erosion Control Details

JOB NO: 18017, 19050.07, 19050.08
DATE: 08.12.2022 DRAWN BY: JRH

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C024

FDP Resubmittal

CAUTION!
*Numerous Utilities on site. Contractor
 to verify location and elevation of all
 utilities prior to commencing
 construction.*

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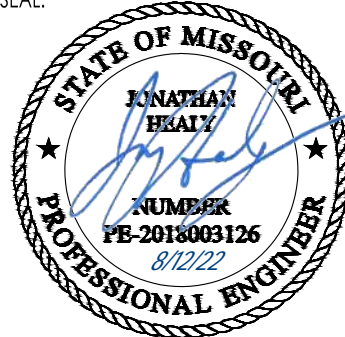
PROJECT:

Paragon Star North Village

3200 NW Paragon Parkway, Lee's Summit, MO 64081

FDP Resubmittal

ISSUE:

PROFESSIONAL SEAL: 

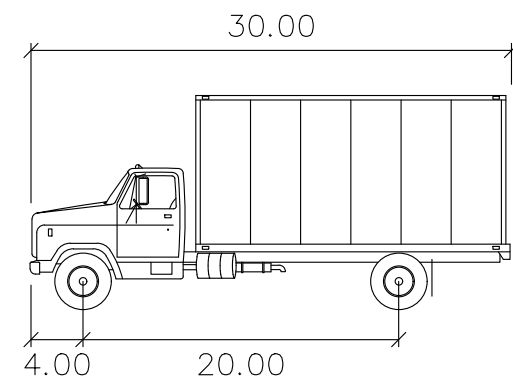
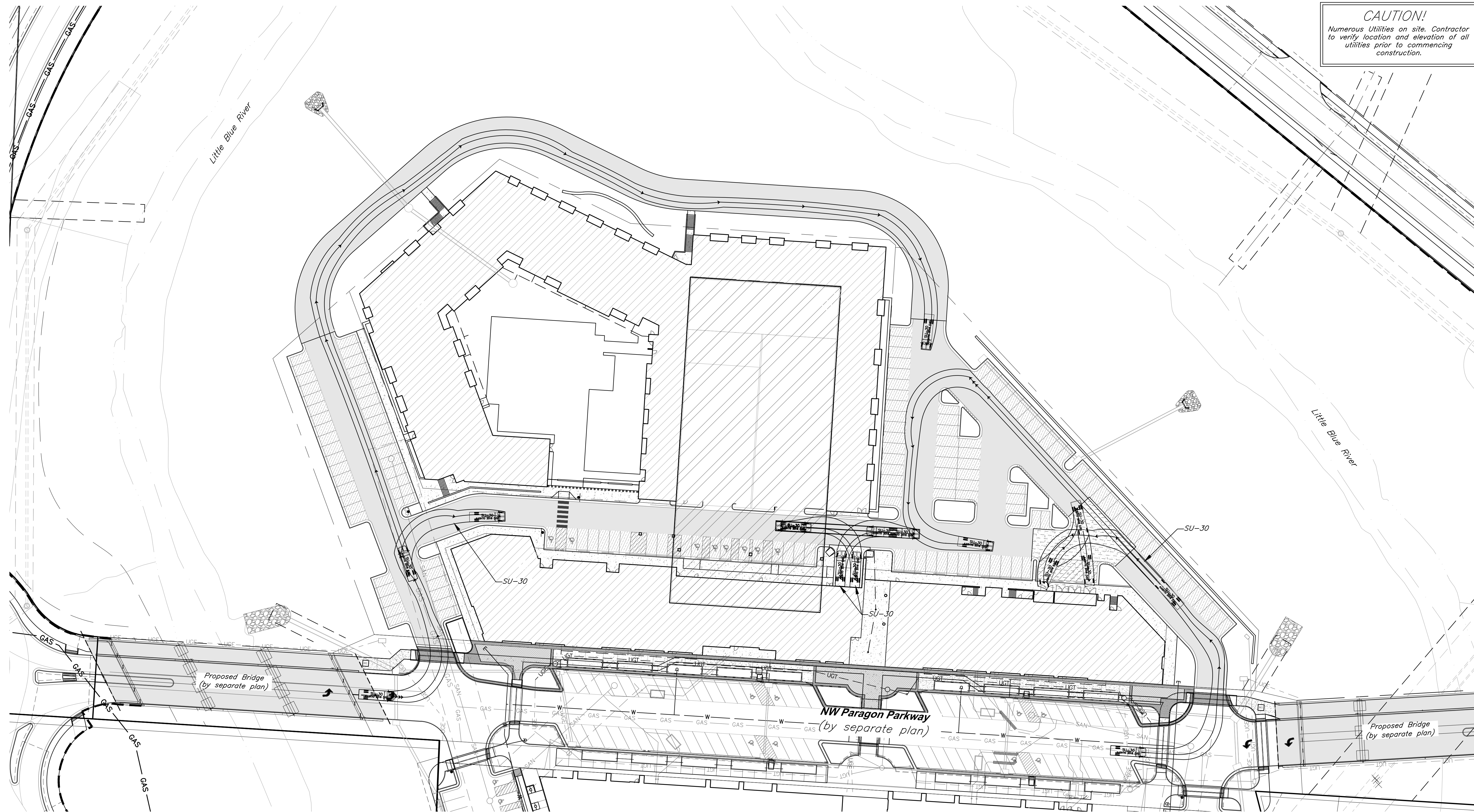
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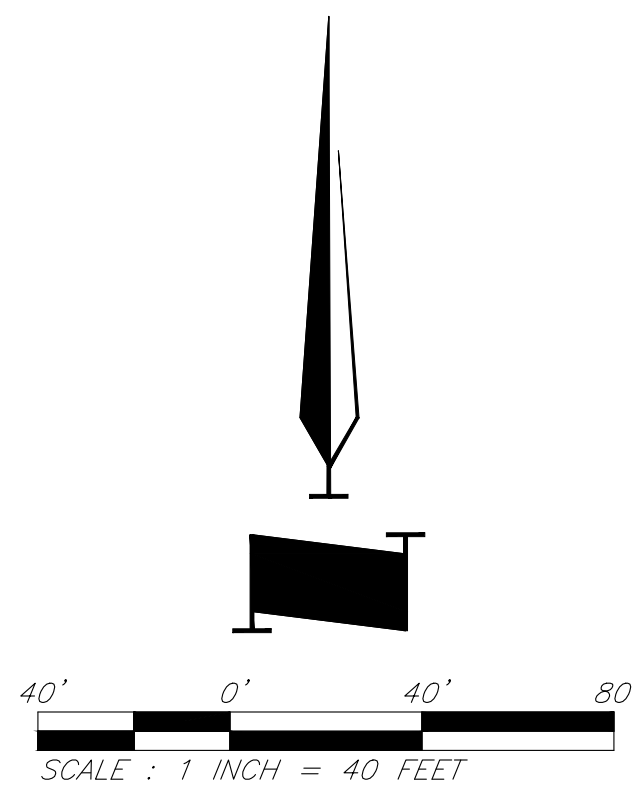
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DATE: 08.12.2022 DRAWN BY: JRH

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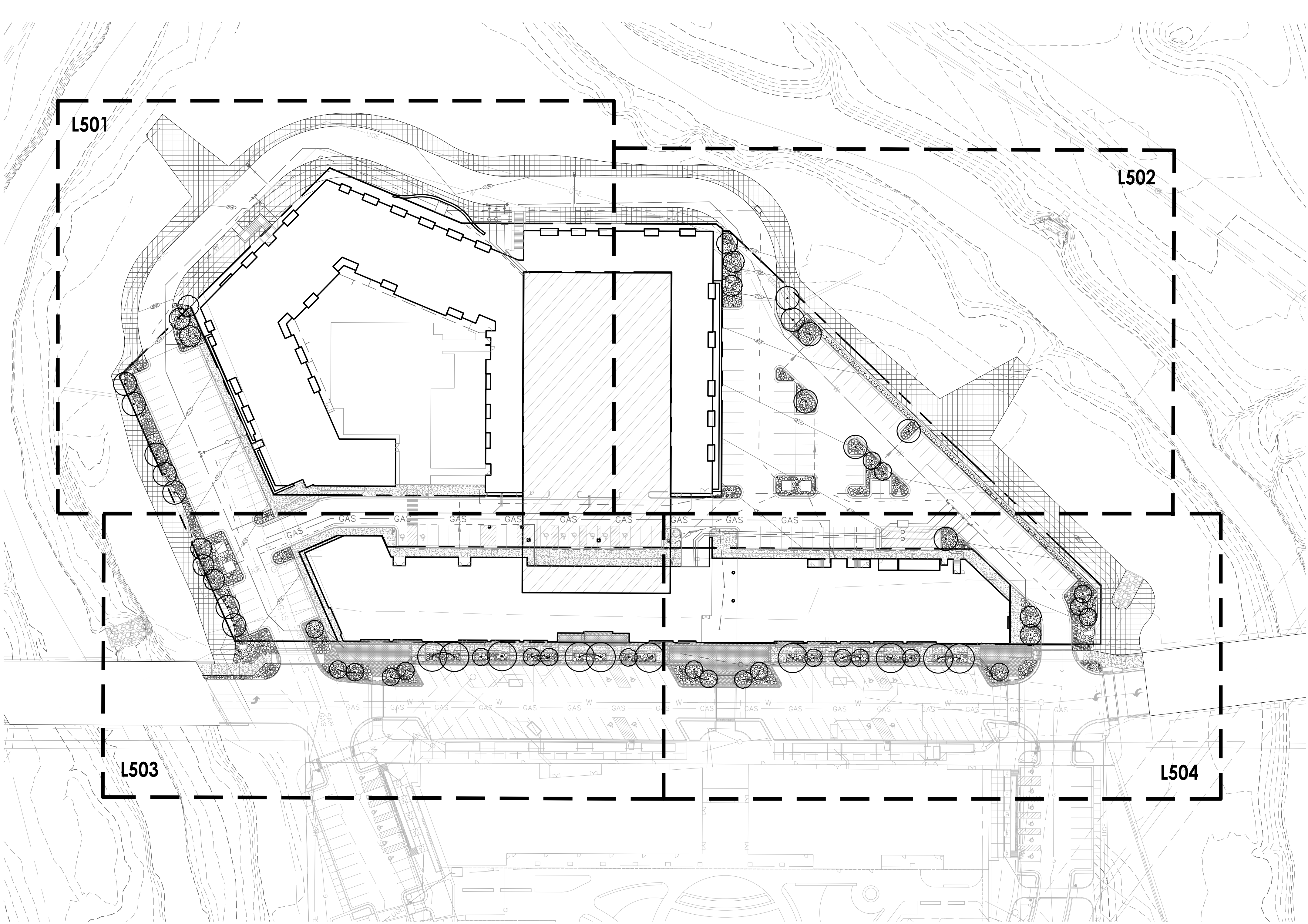


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MICHAEL KILLEN



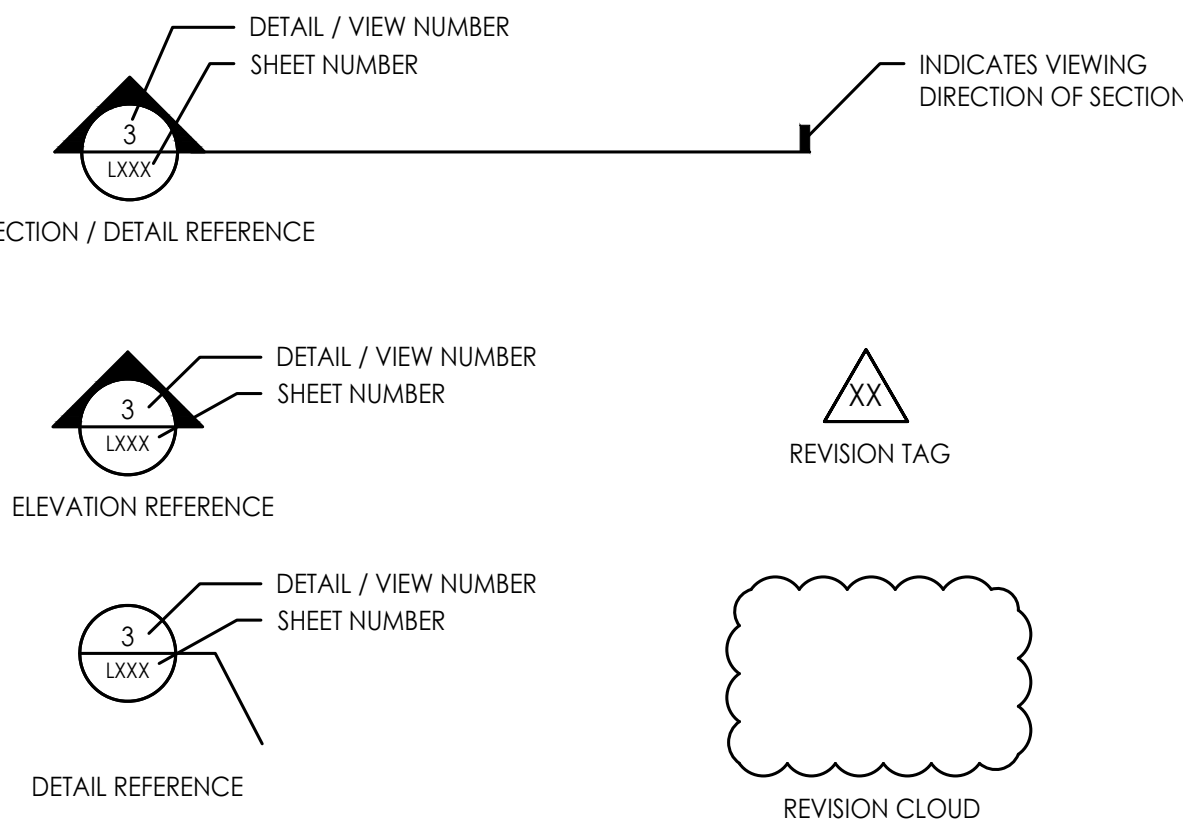
GENERAL NOTES

- ALL SITE AND UTILITY INFORMATION SHOWN IS BASED UPON INFORMATION AVAILABLE AT THE TIME OF DESIGN. VERIFY ALL SITE CONDITIONS, ELEVATIONS, UTILITY LOCATIONS AND DIMENSIONS INCLUDING NEW IMPROVEMENTS PRIOR TO COMMENCEMENT OF WORK. NOTIFY OWNER REPRESENTATIVE OF ANY DISCREPANCIES OR IRREGULAR CONDITIONS. CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES BY CONTACTING ALL OF THE RESPECTIVE UTILITY COMPANIES AND/ OR THE LOCAL "ONE-CALL"/"CALL-BEFORE-YOU-DIG" SYSTEM AND BY EXCAVATING TEST PITS IF NECESSARY.
- ALL DIMENSIONS SHOWN ARE REPRESENTED USING U.S. SURVEY DIMENSION STANDARDS.

COMMON ABBREVIATIONS

APPROX	APPROXIMATE	MH	MANHOLE
ARCH	ARCHITECT	MIN	MINIMUM
AVG	AVERAGE	MISC	MISCELLANEOUS
B&B	BALLED AND BURLAPPED	N	NORTH
BC	BOTTOM OF CURB	NIC	NOT IN CONTRACT
BLDG	BUILDING	NO	NUMBER
BM	BENCHMARK	NOM	NOMINAL
BOC	BACK OF CURB	NTS	NOT TO SCALE
BW	BOTTOM OF WALL	OC	ON CENTER
CAL	CALIPER	OD	OUTSIDE DIAMETER
CB	CATCH BASIN	PC	POINT OF CURVATURE
CF	CUBIC FEET	PE	POLYURETHANE
CIP	CAST IN PLACE	PERF	PERFORATED
CL	CENTERLINE	PI	POINT OF INTERSECTION
CLR	CLEAR, CLEARANCE	PL	PROPERTY LINE
CJ	CONTROL JOINT	PT	POINT, POINT OF TANGENCY
CM	CENTIMETER	PVC	POLYVINYL CHLORIDE
CO	CLEAN OUT	QTY	QUANTITY
CONT	CONTINUOUS	R	RADIUS
CY	CUBIC YARD	REF	REFERENCE, REFER TO
DEG	DEGREE	REINF	REINFORCED
DEMO	DEMOLISH, DEMOLITION	REQ'D	REQUIRED
DIA	DIAMETER	REV	REVISION, REVISED
DIM	DIMENSION	ROW	RIGHT OF WAY
DTL	DETAIL	S	SOUTH
DWG	DRAWING	SAN	SANITARY
E	EAST	SEC	SECTION
EA	EACH	SF	SQUARE FOOT (FEET)
EJ	EXPANSION JOINT	SHT	SHEET
EL	ELEVATION	SIM	SIMILAR
ENG	ENGINEER	SPECS	SPECIFICATIONS
EQ	EQUAL	STM	STORM SEWER
EST	ESTIMATE	SY	SQUARE YARD
E.W.	EACH WAY	STA	STATION
EXIST	EXISTING	STD	STANDARD
EXP	EXPANSION, EXPOSED	SYM	SYMMETRICAL
FFE	FINISHED FLOOR ELEVATION	T&B	TOP AND BOTTOM
FG	FINISHED GRADE	T&C	TOP OF BACK CURB
FL	FLOW LINE	TC	TOP OF CURB
FT	FOOT (FEET)	TF	TOP OF FOOTING
FIG	FOOTING	TH	THICK
GA	GAUGE	TOPO	TOPOGRAPHY
GEN	GENERAL	TW	TOP OF WALL
GR	GRADE ELEVATION	TYP	TYPICAL
HDPE	HIGH-DENSITY POLYURETHANE	VAR	VARIES
HORIZ	HORIZONTAL	VOL	VOLUME
HP	HIGH POINT	W/	WITH
HT	HEIGHT	W/O	WITHOUT
ID	INSIDE DIAMETER	WT	WEIGHT
INV	INVERT ELEVATION	WL	WATER LEVEL
IN	INCH(ES)	WWF	WELED WIRE FABRIC
INCL	INCLUDE(D)	YD	YARD
JT	JOINT	@	AT
LF	LINEAR FEET		
LP	LOW POINT		
MAX	MAXIMUM		

SYMBOLS LEGEND



1 KEY PLAN

Scale: 1:50

LANDSCAPE REQUIREMENTS - Paragon Star North Village Final Development Plan

CITY: LEE'S SUMMIT, MISSOURI

Code	Requirement	Location	Dimension	Required	Provided	Additional Notes
8.790.A.1 Street Frontage Trees	One (1) tree shall be planted for each 30lf of street frontage	Paragon Parkway	743 LF	25 Trees	27	Trees part of streetscape designs
8.790.A.2 Street Frontage Green Strip	Any parking or loading visible from a street shall be separated with a 20 ft wide landscape strip	East & West Ends of Paragon Parkway		20 FT	20 FT	
8.790.A.3 Street Frontage Shrubs	One (1) shrub shall be provided for each 20ft of street frontage	Paragon Parkway	743 LF	25 Shrubs	25	Provided as part of streetscape design
8.790.B.1 Open Yard Areas	Provide two (2) shrubs per 5,000 square feet of total lot area excluding building footprint area.	North Village Lot	120683 SF	48 Shrubs	48	236,554 SF of lot area 115,871 SF building footprint
8.790.B.2 Open Yard Areas	All portions of the site not covered with paving or buildings shall be landscaped.	North Village Lot	N/A			Refer to site landscape beds
8.790.B.3 Open Yard Areas	In addition to trees required based upon street frontage, provide one (1) tree for every 5,000 square feet of lot area not covered by buildings/structures.	North Village Lot	120683 SF	24 Trees	30	236,554 SF of lot area 115,871 SF building footprint
8.810.A Parking Lot Landscaping & Trees	Landscape islands, strips or other planting areas shall constitute 5% of the entire area devoted to parking spaces, aisles and driveways.	Northeast Parking Lot West Parking Lot	42346 SF 22310 SF	2117 SF 1116 SF	2538 SF 1368 SF	
8.810.B Parking Lot Landscaping & Trees	Landscape island shall be located at the end of every parking bay. The island shall be planted in trees, shrubs, grass, or ground cover.	Northeast and West Parking Lots	N/A			Refer to site landscape beds
8.810.C Parking Lot Landscaping & Trees	Tree planting areas shall be no less than ten feet in width. No tree shall be located less than four feet from the back of curb.	Northeast and West Parking Lots	N/A			Refer to site landscape beds

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PROJECT:

Paragon Star North Village
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Final Development Plan

ISSUE:

1 FDP RESUBMITTAL 08.12.2022

PROFESSIONAL SEAL:



DRAWING TITLE:

KEY PLAN &
GENERAL
INFORMATION

JOB NO: 1249

SCALE:

DATE: 01.28.2022

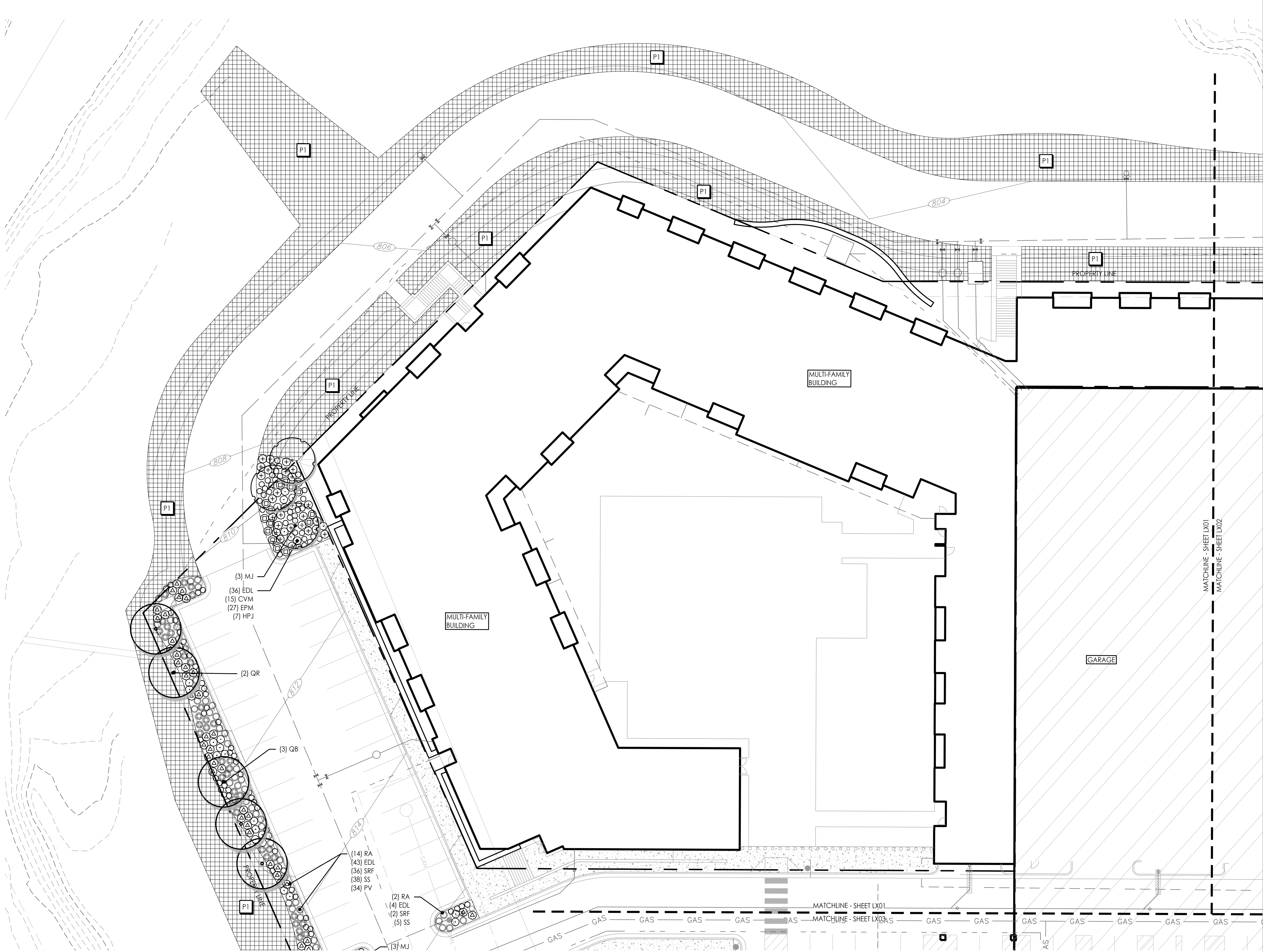
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1 PLANTING PLAN
Scale: 1:20



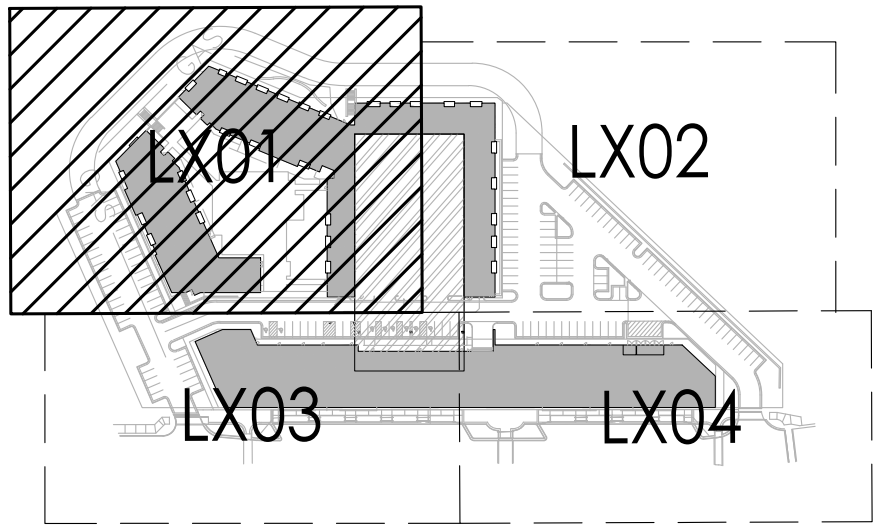
PLANTING SCHEDULE

SYMBOL	KEY	COMMON NAME BOTANICAL NAME	SIZE & REMARKS
	SHADE/STREET TREES		
	AF	Autumn Blaze Maple <i>Acer freemanii</i> 'Autumn Blaze'	3' cal.
	QR	Northern Red Oak <i>Quercus rubra</i>	2.5" cal.
	GT	Sunburst Honeylocust <i>Gleditsia triacanthos inermis</i> 'Sunburst'	3' cal.
	QB	Swamp White Oak <i>Quercus bicolor</i>	2.5" cal.
	GB	Maidenhair Tree <i>Ginkgo biloba</i> 'Fastigiata'	2.5" cal.
	ORNAMENTAL TREE		
	CC	Eastern Redbud <i>Cercis canadensis</i>	3' cal.
	MJ	Magnolia <i>Magnolia x 'Jane'</i>	3' cal.
	MA	Royal Raindrops® Crabapple <i>Malus 'JFS-KWS'</i>	3' cal.
	AG	Autumn Brilliance Serviceberry <i>Amelanchier x grandiflora</i> 'Autumn Brilliance'	3' cal.
	DECIDUOUS SHRUB		
	RA	Grow-low Sumac <i>Rhus aromatica</i> 'Gro-low'	3 gal.
	HPJ	Little Lime® Hydrangea <i>Hydrangea paniculata</i> 'Jane'	5 gal.
ORNAMENTAL GRASS			
	BC	Side Oats Grama Grass <i>Bouteloua curtipendula</i>	3 gal.
	PV	Shennadoah Switchgrass <i>Panicum virgatum</i> 'Shennadoah'	1 gal.
	PAH	Dwarf Fountain Grass <i>Pennisetum alopecuroides</i> 'Hameln'	1 gal.
	SSC	Standing Ovation Little Bluestem <i>Schizachyrium scoparium</i> 'Standing Ovation'	1 gal.
	SS	Little Bluestem <i>Schizachyrium scoparium</i>	1 gal.
	SH	Prairie Dropseed <i>Sporobolus heterolepis</i>	1 gal.
PERENNIAL/GROUND COVER			
	SRF	Rough Goldenrod <i>Solidago rugosa</i> 'Fireworks'	1 gal.
	CVM	Moonbeam Coreopsis <i>Coreopsis verticillata</i> 'Moonbeam'	1 gal.
	EPM	Purple Coneflower <i>Echinacea purpurea</i> 'Magnus'	1 gal.
	PA	Russian Sage <i>Perovskia atriplicifolia</i>	3 gal.
	EDL	Joe-pye Weed <i>Eupatorium dubium</i> 'Little-Joe'	1 gal.
TURF/SEED MIXES			
	P1	Native Prairie Seed Mix Butterfly Milkweed- Asclepias tuberosa (5%) Blue Wild Indigo- Baptisia australis (5%) New Jersey Tea- Ceanothus americanus (5%) Amethyst Vernal Witchhazel (10%) Switchgrass- Panicum virgatum (13%) Little Bluestem- Schizachyrium scoparium (30%) Indiangrass- Sorghastrum nutans (20%) Fall Aster - Symphoricarum oblongifolium (10%)	

PLANTING NOTES

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 - PLACE SHORTER (AT MATURITY) PLANTS AT THE EDGES OF PLANTERS OR WHERE CAR DOORS OR BUMPERS MAY OVERHANG.
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KEY PLAN



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PROJECT:

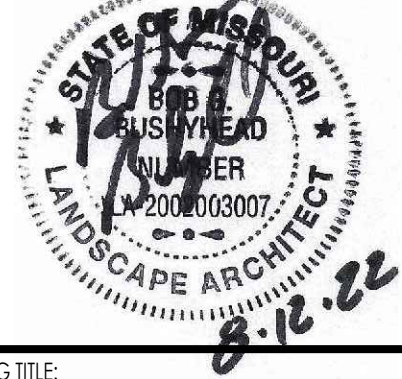
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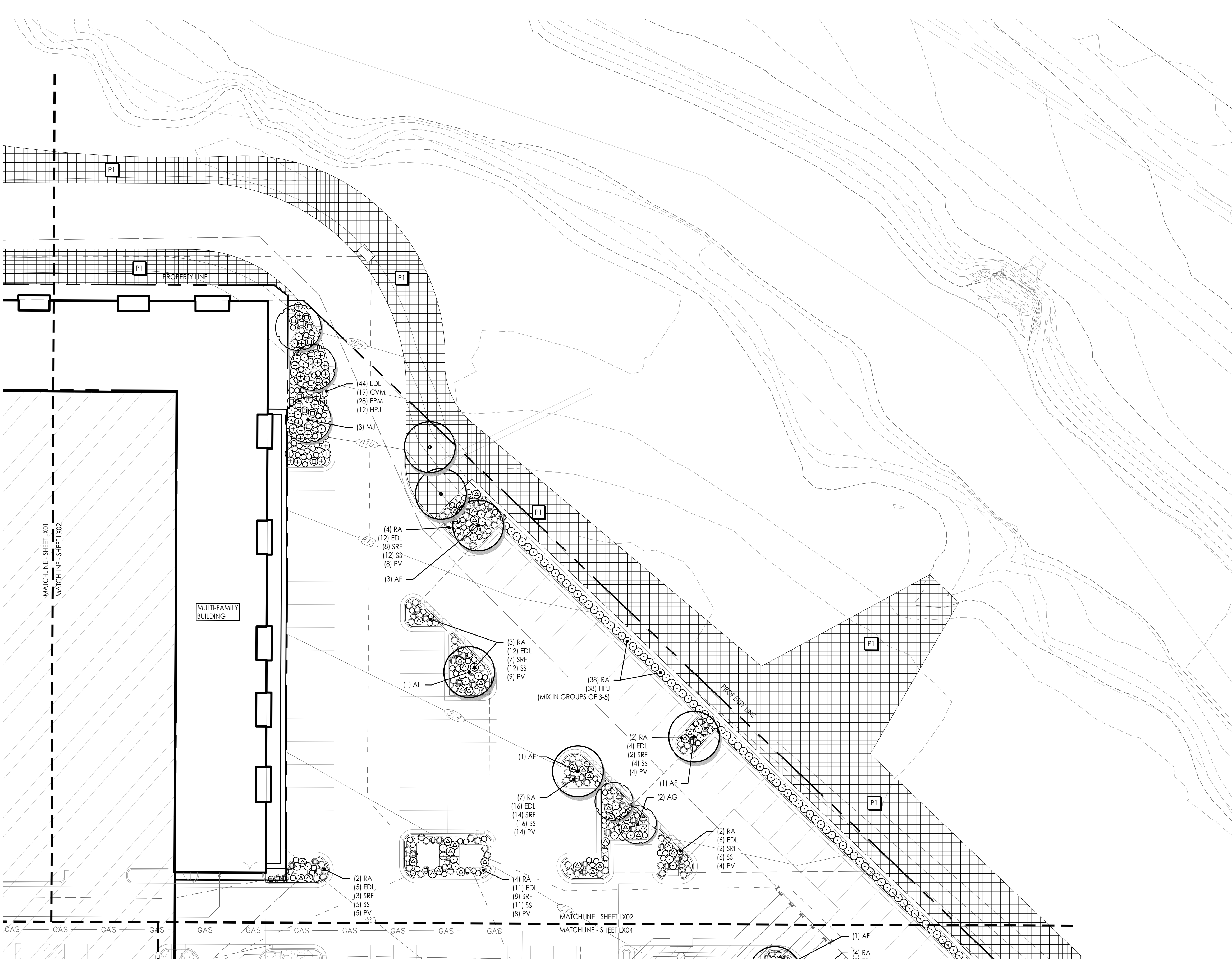
PLANTING
PLAN

JOB NO: 1249 SCALE:
DATE: 01.28.2022 DRAWN BY: MRK

SHEET NO:

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Scale: 1:20

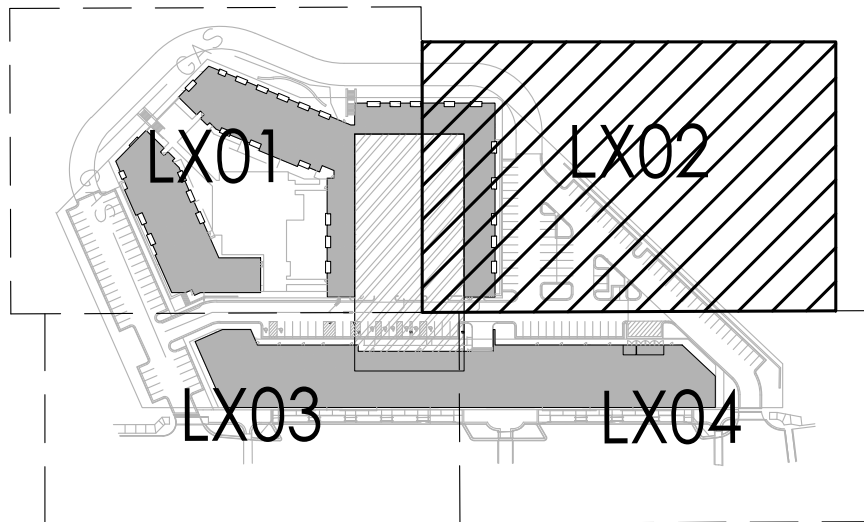
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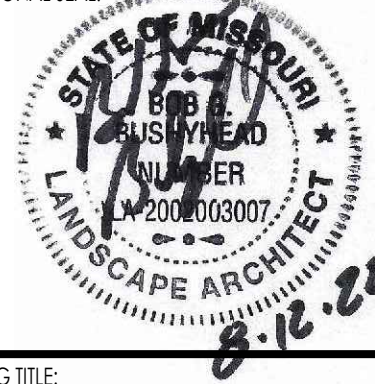
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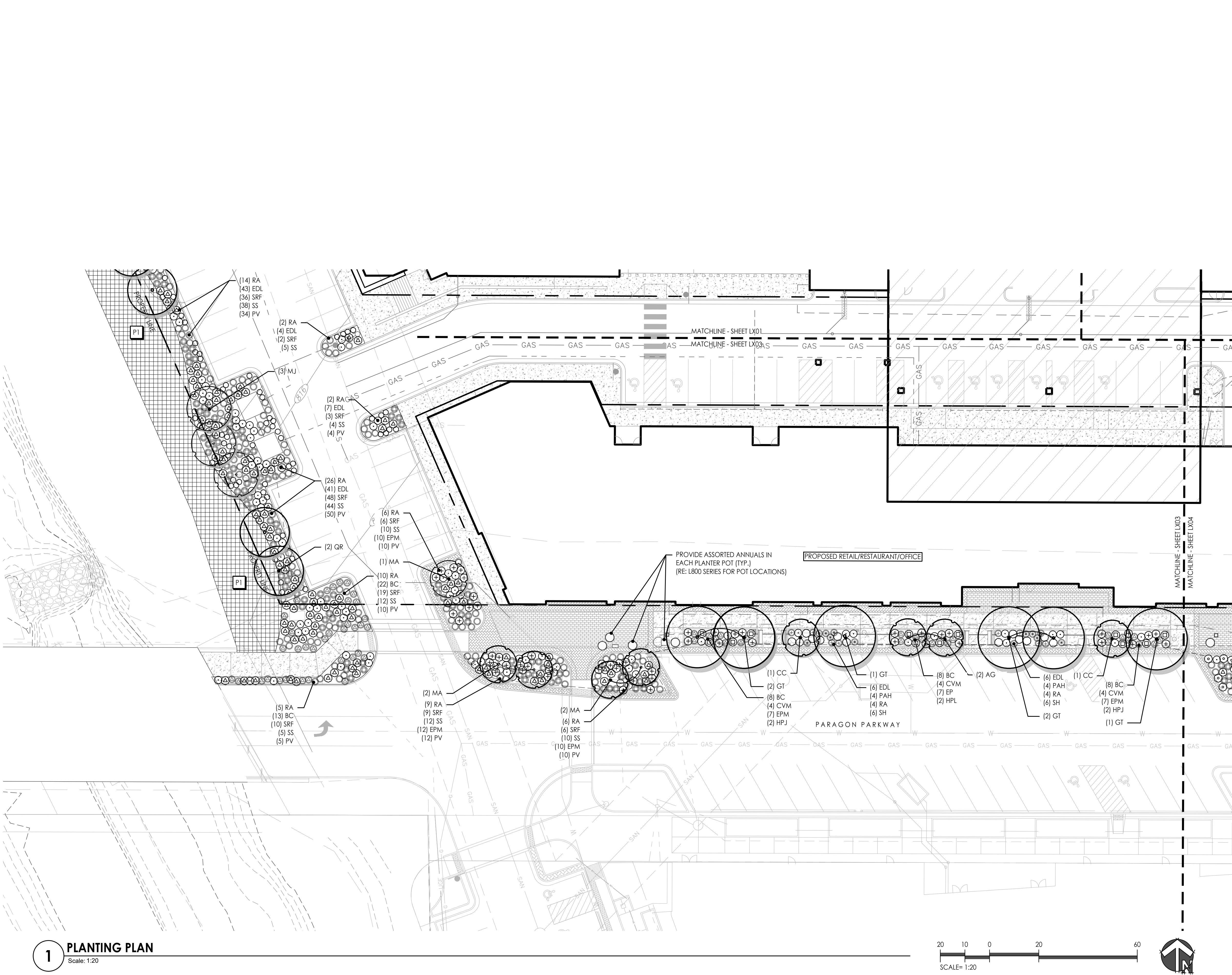
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PLAN

JOB NO: 1249 SCALE:
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SHEET NO:

L502

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1 PLANTING PLAN
Scale: 1:20

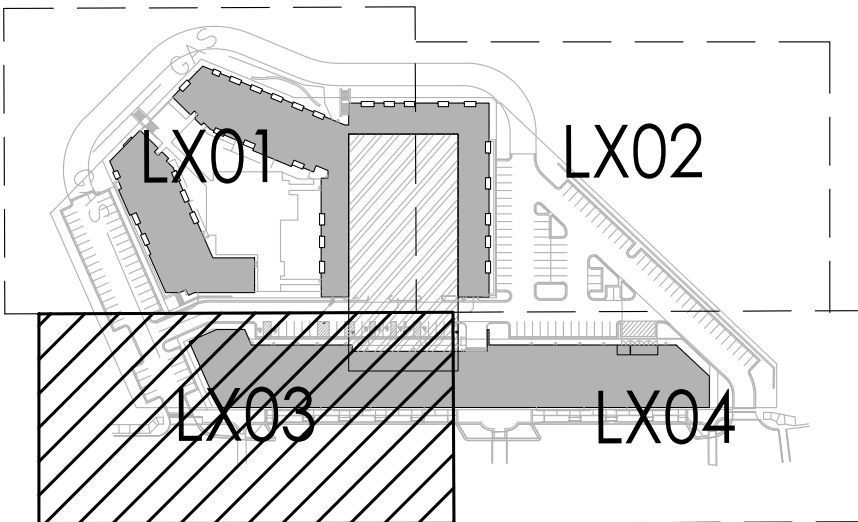
PLANTING SCHEDULE

SYM.	KEY	COMMON NAME BOTANICAL NAME	SIZE & REMARKS
●	SHADE/STREET TREES		
	AF	Autumn Blaze Maple <i>Acer freemanii</i> 'Autumn Blaze'	3" cal.
	QR	Northern Red Oak <i>Quercus rubra</i>	2.5" cal.
	GT	Sunburst Honeylocust <i>Gleditsia triacanthos inermis</i> 'Sunburst'	3" cal.
	QB	Swamp White Oak <i>Quercus bicolor</i>	2.5" cal.
	GB	Maidenhair Tree <i>Ginkgo biloba</i> 'Fastigiata'	2.5" cal.
●	ORNAMENTAL TREE		
	CC	Eastern Redbud <i>Cercis canadensis</i>	3" cal.
	MJ	Magnolia <i>Magnolia x 'Jane'</i>	3" cal.
	MA	Royal Raindrops® Crabapple <i>Malus 'JFS-KWS'</i>	3" cal.
	AG	Autumn Brilliance Serviceberry <i>Amelanchier x grandiflora</i> 'Autumn Brilliance'	3" cal.
●	DECIDUOUS SHRUB		
	RA	Grow-low Sumac <i>Rhus aromatica</i> 'Gro-low'	3 gal.
	HPJ	Little Lime® Hydrangea <i>Hydrangea paniculata</i> 'Jane'	5 gal.
ORNAMENTAL GRASS			
⊙	BC	Side Oats Grama Grass <i>Bouteloua curtipendula</i>	3 gal.
⊙	PV	Shennadoah Switchgrass <i>Panicum virgatum</i> 'Shennadoah'	1 gal.
⊕	PAH	Dwarf Fountain Grass <i>Fernisetum alopecuroides</i> 'Hamel'	1 gal.
⊙	SSC	Standing Ovation Little Bluestem <i>Schizachyrium scoparium</i> 'Standing Ovation'	1 gal.
⊙	SS	Little Bluestem <i>Schizachyrium scoparium</i>	1 gal.
⊙	SH	Prairie Dropseed <i>Sporobolus heterolepis</i>	1 gal.
PERENNIAL/GROUND COVER			
⊕	SRF	Rough Goldenrod <i>Solidago rugosa</i> 'Fireworks'	1 gal.
⊕	CVM	Moonbeam Coreopsis <i>Coreopsis verticillata</i> 'Moonbeam'	1 gal.
⊕	EPM	Purple Coneflower <i>Echinacea purpurea</i> 'Magnus'	1 gal.
⊕	PA	Russian Sage <i>Perovskia atriplicifolia</i>	3 gal.
⊕	EDL	Joe-pye Weed <i>Eupatorium dubium</i> 'Little-Joe'	1 gal.
TURF/SEED MIXES			
P1	Native Prairie Seed Mix Butterfly Milkweed- <i>Asclepias tuberosa</i> (5%) Blue Wild Indigo- <i>Baptisia australis</i> (5%) New Jersey Tea- <i>Ceanothus americanus</i> (5%) Amethyst Vernal Witchhazel (10%) Switchgrass- <i>Panicum virgatum</i> (13%) Little Bluestem- <i>Schizachyrium scoparium</i> (30%) Indiangrass- <i>Sorghastrum nutans</i> (20%) Fall Aster - <i>Symphoricarpos oblongifolium</i> (10%)		

PLANTING NOTES

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 - PLACE SHORTER (AT MATURITY) PLANTS AT THE EDGES OF PLANTERS OR WHERE CAR DOORS OR BUMPERS MAY OVERHANG.
 - PLACE TALLER (AT MATURITY) PLANTS IN THE CENTER OF PLANTERS OR THE TRANSITION EDGE TO NATIVE SEEDED AREAS.

KEY PLAN



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PROJECT:

Paragon Star North Village
3200 NW Paragon Parkway, Lee's Summit, MO 64081

Final Development Plan

ISSUE:

1 FDP RESUBMITTAL 08.12.2022

PROFESSIONAL SEAL:



DRAWING TITLE:

PLANTING PLAN

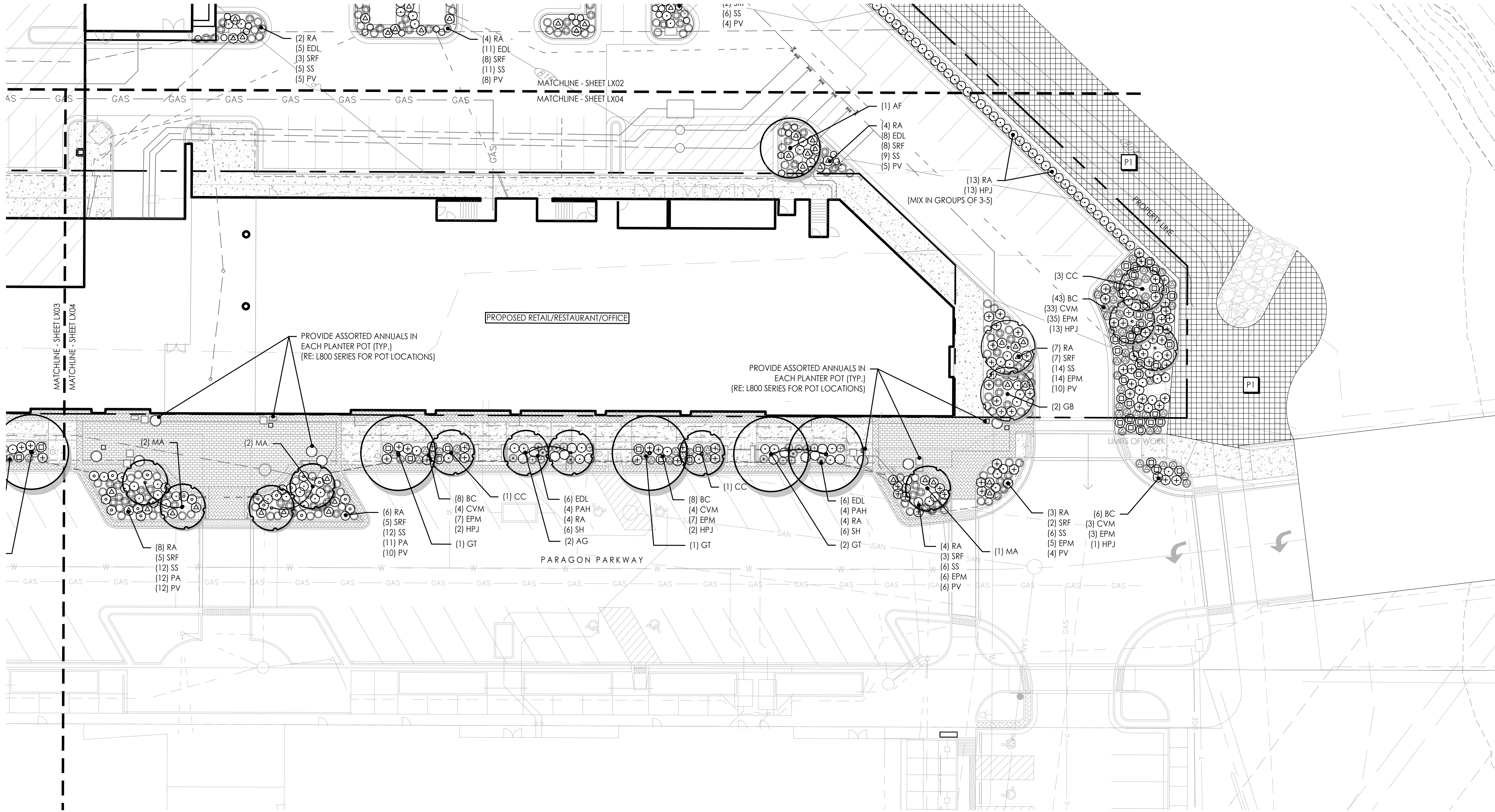
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DATE: 01.28.2022 DRAWN BY: MRK

SHEET NO:

L503

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MICHAEL KILLEN



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Scale: 1:20

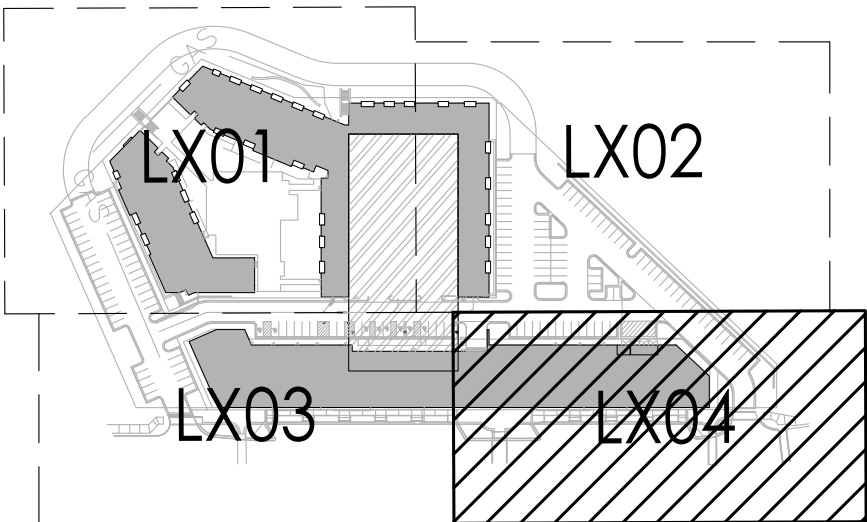
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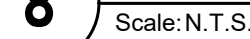
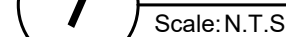
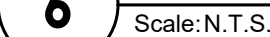
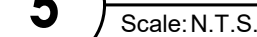
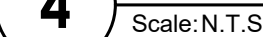
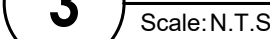
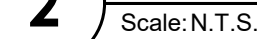
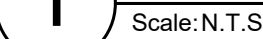
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PLANTING
PLAN

JOB NO: 1249 SCALE:
DATE: 01.28.2022 DRAWN BY: MRK

SHEET NO:

L504




SUBJECT:

3200 NW Paragon Parkway, Lee's Summit, MO 64081

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8-12-22

TITLE:

ET NO: _____

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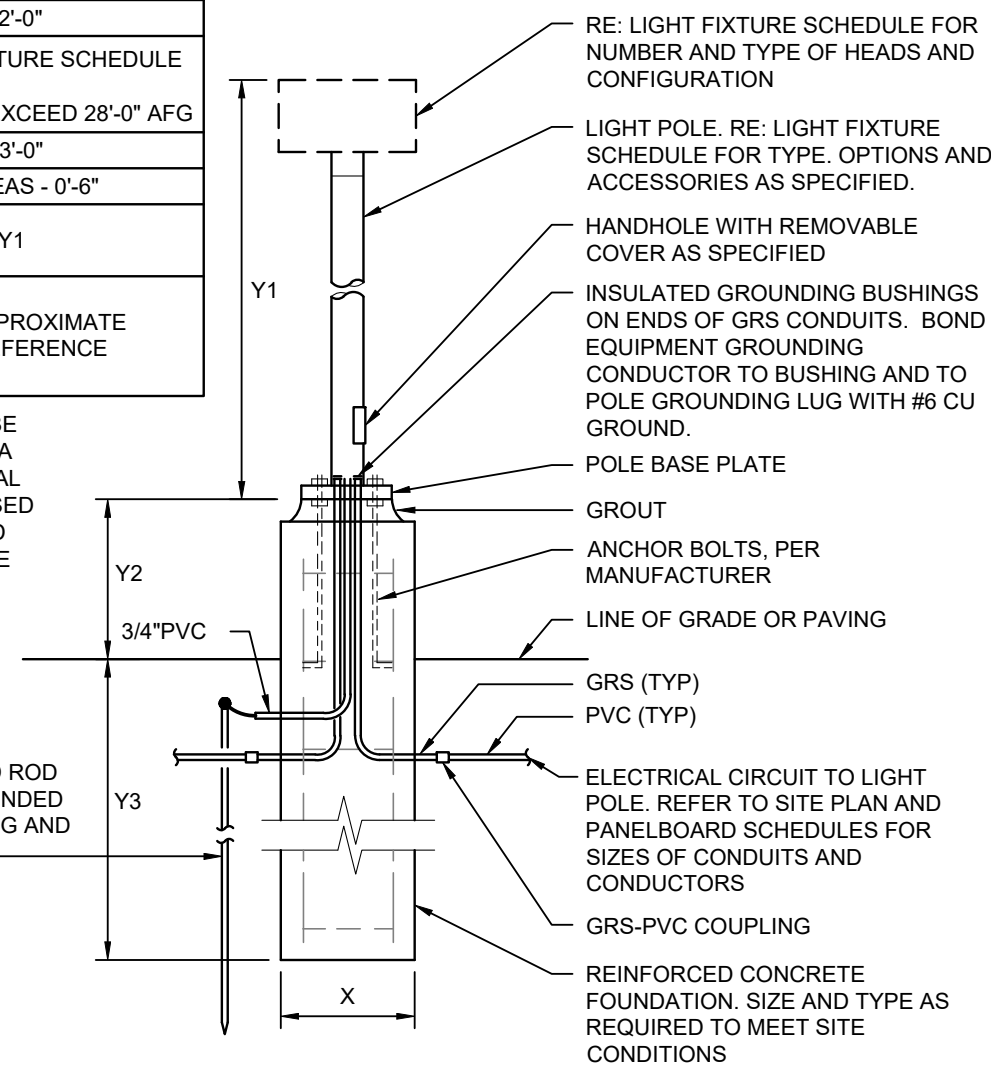
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ANDREA C. MULVANY
MARCIUS PERRY

TABLE OF DIMENSIONS*	
X	POLE HEIGHT < 16' = 1'-6"
	POLE HEIGHT > 16' = 2'-0"
Y1	REFER TO LIGHT FIXTURE SCHEDULE FOR POLE HEIGHT. Y1 + Y2 SHALL NOT EXCEED 28'-0" AFG
Y2	VEHICULAR AREAS - 3'-0"
	NON-VEHICULAR AREAS - 0'-8"
Y3	1/4 OF POLE HEIGHT Y1

* NOTE:
ALL DIMENSIONS ARE APPROXIMATE
AND ARE SHOWN FOR REFERENCE
ONLY.

POLE FOUNDATION SHALL BE
DESIGNED AND SEALED BY A
PROFESSIONAL STRUCTURAL
OR CIVIL ENGINEER LICENSED
IN THE PROJECT STATE AND
SUBMITTED AS PART OF THE
SUBMITTAL PROCESS.

5/8" X 8" DRIVEN GROUND ROD
WITH #6 CU. GROUND BONDED
TO POLE GROUNDING LUG AND
TO GROUND ROD



2 POLE BASE DETAIL
NO SCALE

LIGHT FIXTURE SCHEDULE						
TYPE	MANUFACTURER/MODEL #	NO.	LAMPS	VOLT	INPUT WATTS	INPUT VA
			TYPE			
S1	MCGRAW-EDISON GLNA-AF-03-LED-T4W-BK WIKW INDUSTRIES RAP-25-6-0-X-BLK-DM10	-	LED BY MANUFACTURER 4000K, 70 CRI 17,984 LUMENS 400,000 HRS B2-UO-G2	480	166	166
S1A	MCGRAW-EDISON GLNA-AF-03-LED-T4FT-BK GLNA-AF-01-LED-T2-BK W VALMONT IDYLINE CURVES c5-03-DCG-DCG-DCG-DCG	-	LED BY MANUFACTURER 4000K, 70 CRI 18,220 400,000 HRS B2-UO-G2 4,015 LUMENS B1-UO-G1	480	166	166
S2	MCGRAW-EDISON (2) GLNA-AF-03-LED-480-T4W-BK WIKW INDUSTRIES RAP-25-6-0-X-BLK-DM2180	-	LED BY MANUFACTURER 4000K, 70 CRI 35,968 LUMENS 40,000 HRS B2-UO-G2	480	332	332

GENERAL NOTES:

- REFER TO SHEET E000 FOR GENERAL NOTES.

KEYNOTES:

- REFER TO DETAIL 2, SHEET E100 FOR POLE BASE DETAIL.
- PARKING LOT LIGHTING CIRCUIT. ROUTE CONDUIT AND CIRCUIT TO BUILDING #1 ELECTRICAL ROOM. CIRCUIT SHALL BE CONTROLLED VIA LIGHTING CONTROL PANEL WITH PHOTOCELL ON/OFF CONTROL IN SEPARATE BUILDING PACKAGE. PROVIDE (2) #10 AWG WITH (1) #10 GROUND IN 1" CONDUIT FOR WIRING FROM POLE TO POLE AND POLE. WIRE SIZE FOR HOME RUN TO FUTURE PANELBOARD WILL BE DETERMINED TO ACCOUNT FOR VOLTAGE DROP.

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ENGINEERS**
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WWW.HENDERSONENGINEERS.COM
1850004412
MO. CORPORATE NUMBER: E-556D
12/31/22

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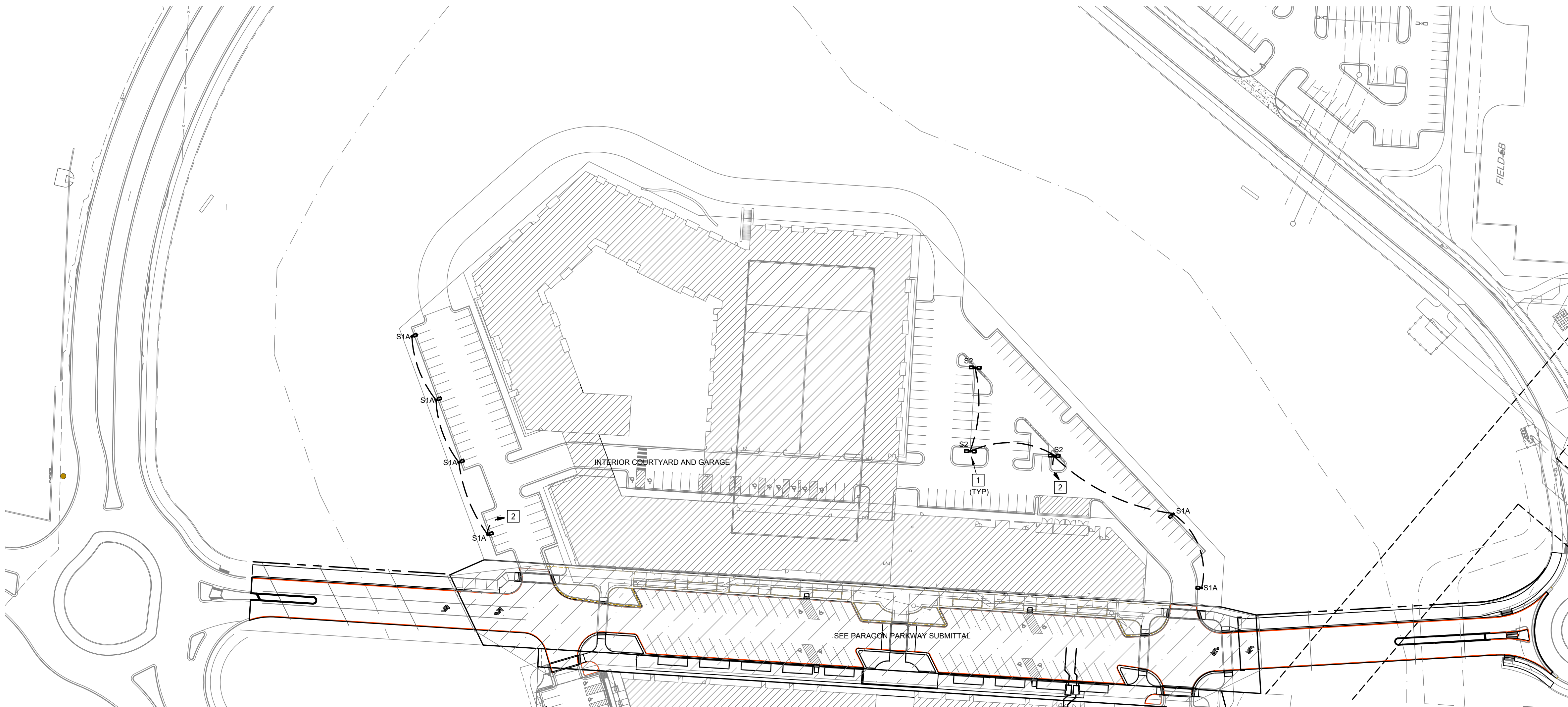
ANDREA C. MULVANY
LICENSE # PE-2013039892 08/11/2022
DRAWING TITLE:

**NORTH VILLAGE
SITE LIGHTING
PLAN**

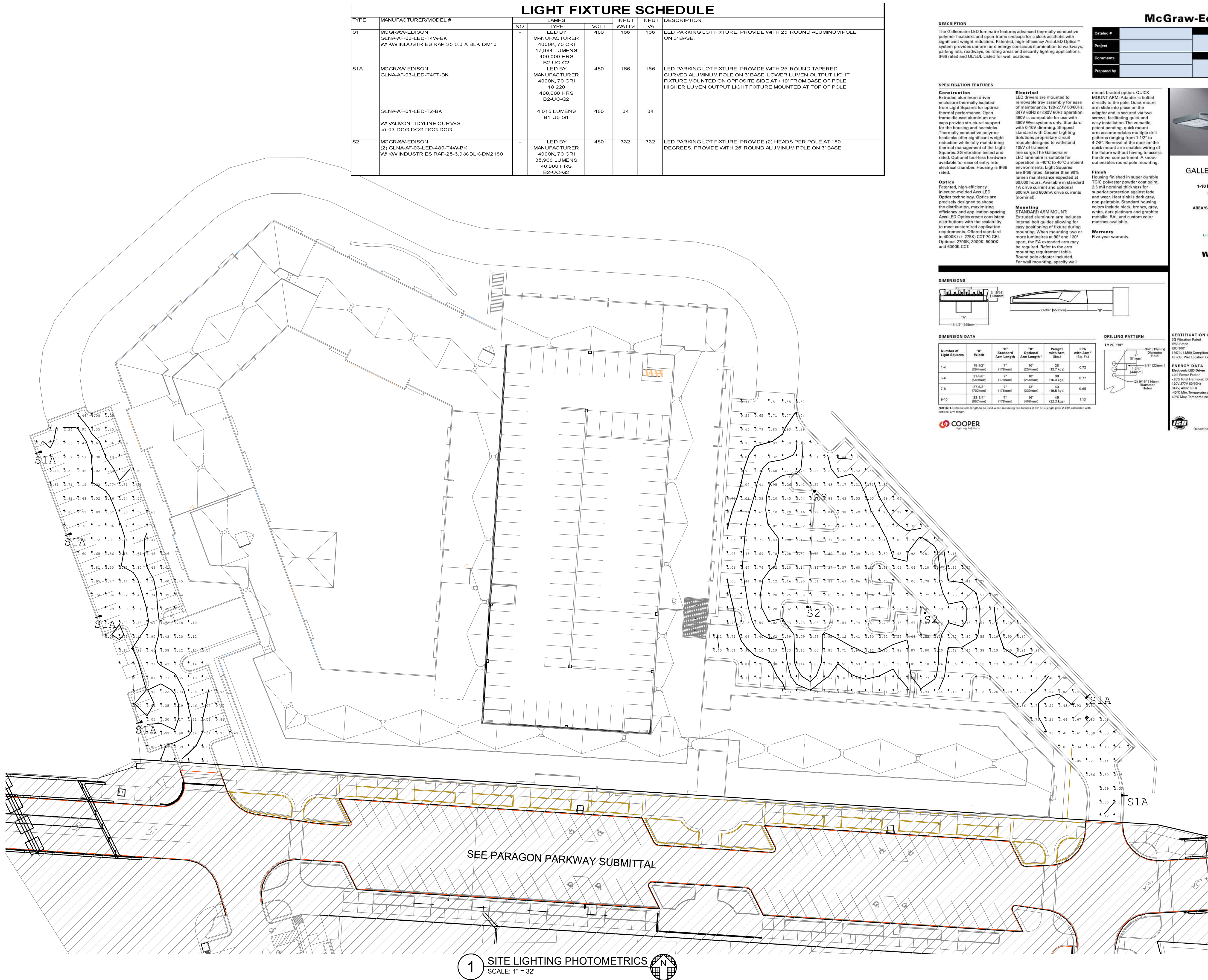
JOB NO: 1249 SCALE:
DATE: 08.12.2022 DRAWN BY: MAP

SHEET NO:

E100



1 NORTH VILLAGE SITE LIGHTING PLAN
SCALE: 1" = 64'



TYPE	MANUFACTURER/MODEL #	LUMPS			INPUT WATTS	INPUT VA	DESCRIPTION
		No.	TYPE	VOLT			
S1	MCGRAW-EDISON GLNA-AF-03-LED-T4W-BK W/KW INDUSTRIES RAP-25-6 0-X-BLK-DM10	-	LED BY MANUFACTURER 4000K, 70 CRI 17,984 LUMENS 400,000 HRS B2-UO-G2	480	166	166	LED PARKING LOT FIXTURE, PROVIDE WITH 25" ROUND ALUMINUM POLE ON 3' BASE.
STA	MCGRAW-EDISON GLNA-AF-03-LED-T4FT-BK GLNA-AF-01-LED-T2-BK W VALMONT IDYLNE CURVES c5-03-DCG-DCG-DCG-DCG	-	LED BY MANUFACTURER 4000K, 70 CRI 18,220 400,000 HRS B2-UO-G2 4,015 LUMENS B1-UO-G1	480	166	166	LED PARKING LOT FIXTURE, PROVIDE WITH 25" ROUND TAPERED CURVED ALUMINUM POLE ON 3' BASE. LOWER LUMEN OUTPUT LIGHT FIXTURE MOUNTED ON OPPOSITE SIDE AT +10" FROM BASE OF POLE. HIGHER LUMEN OUTPUT LIGHT FIXTURE MOUNTED AT TOP OF POLE.
S2	MCGRAW-EDISON (2) GLNA-AF-03-LED-480-T4W-BK W/KW INDUSTRIES RAP-25-6 0-X-BLK-DM2180	-	LED BY MANUFACTURER 4000K, 70 CRI 35,968 LUMENS 40,000 HRS B2-UO-G2	480	332	332	LED PARKING LOT FIXTURE, PROVIDE (2) HEADS PER POLE AT 180 DEGREES. PROVIDE WITH 25" ROUND ALUMINUM POLE ON 3' BASE.

LIGHT FIXTURE SCHEDULE

DESCRIPTION

The Galleonaire LED luminaire features advanced thermally conductive polymer heatsinks and open frame endcaps for a sleek aesthetic with significant weight reduction. Patented, high-efficiency AccuLED Optics™ system provides uniform and energy conscious illumination to walkways, parking lots, roadways, building areas and security lighting applications. IP66 rated and UL/cUL Listed for wet locations.

SPECIFICATION FEATURES

Construction
Extruded aluminum driver enclosure thermally isolated from Light Squares for optimal thermal performance. Open frame die-cast aluminum end caps provide structural support for the housing and heatsinks. Thermally conductive polymer heatsinks offer significant weight reduction while fully maintaining thermal management of the Light Squares. 3G vibration tested and rated. Optional tool-less hardware available for ease of entry into electrical chamber. Housing is IP68 rated.

Optics
Patented, high-efficiency injection-molded AccuLED Optics technology. Optics are precisely designed to shape the distribution, maximizing efficiency and application spacing. AccuLED Optics create consistent distributions with the scalability to meet customized application requirements. Offered standard in 4000K (+/- 275K) CCT 70 CRI. Optional 2700K, 3000K, 5000K and 6000K CCT.

Electrical
LED drivers are mounted to removable tray assembly for ease of maintenance. 120-277V 50/60Hz 347V 60Hz or 480V 60Hz operation. LED is compatible for use with 480V Wye systems only. Standard with 0-10V dimming. Shipped standard with Cooper Lighting Solutions proprietary circuit module designed to withstand 10kV of transient line surge. The Gallenaire LED luminaire is suitable for operation in -40°C to +40°C ambient environments. Light Squares are IP66 rated. Greater than 90% lumen maintenance expected at 60,000 hours. Available in standard 1A drive current and optional 600mA and 800mA drive currents (nominal).

Mounting
STANDARD ARM MOUNT:
Extruded aluminum arm includes internal bolt guides allowing for easy positioning of fixture during mounting. When mounting two or more luminaires at 90° and 120° apart, the EA extended arm may be required. Refer to the arm mounting requirement table. Round pole adapter included. For wall mounting, specify wall

mount bracket option. **QUICK MOUNT ARM:** Adapter is bolted directly to the pole. Quick mount arm slide into place on the adapter and is secured via two screws, facilitating quick and easy installation. The versatile, patent pending, quick mount arm accommodates multiple drill patterns ranging from 1-1/2" to 4-7/8". Removal of the door on the quick mount arm enables wiring of the fixture without having to access the driver compartment. A knock-out enables round pole mounting.

Finish
Housing finished in super durable TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Heat sink is dark gray, non-paintable. Standard housing colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available.

Warranty
Five-year warranty.

Warranty
Five-year warranty.

McGraw-Edition

Catalog #		Type
Project		
Comments		Date
Prepared by		




WaveLinx

CERTIFICATION DATA

IEC Vibration Rated
 IP66 Rated
 ISO 9501
 LM79 / LM80 Compliant
 UL/cUL Wet Location Listed

ENERGY DATA
 Electronic LED Driver
 <0.9 Power Factor
 <20% Total Harmonic Distortion
 120V-277V 50/60Hz
 347V, 480V 60Hz
 -40°C Min. Temperature
 40°C Max. Temperature


 December 17, 2015

December 17, 2019 8:41 AM

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PROJECT:

Paragon Star North Village
3200 NW Paragon Parkway, Lee's Summit, MO 64081

Final Development Plan

ISSUE:

[illegible]

PROFESSIONAL SEAL:



ANDREA C. MULVANY
LICENSE # PE-2013039892 08/11/2022
DRAWING TITLE:

SITE LIGHTING PHOTOMETRICS

JOB NO: 1249 SCALE:
DATE: 08.12.2022 DRAWN BY: MAP

SHEET NO.

E300

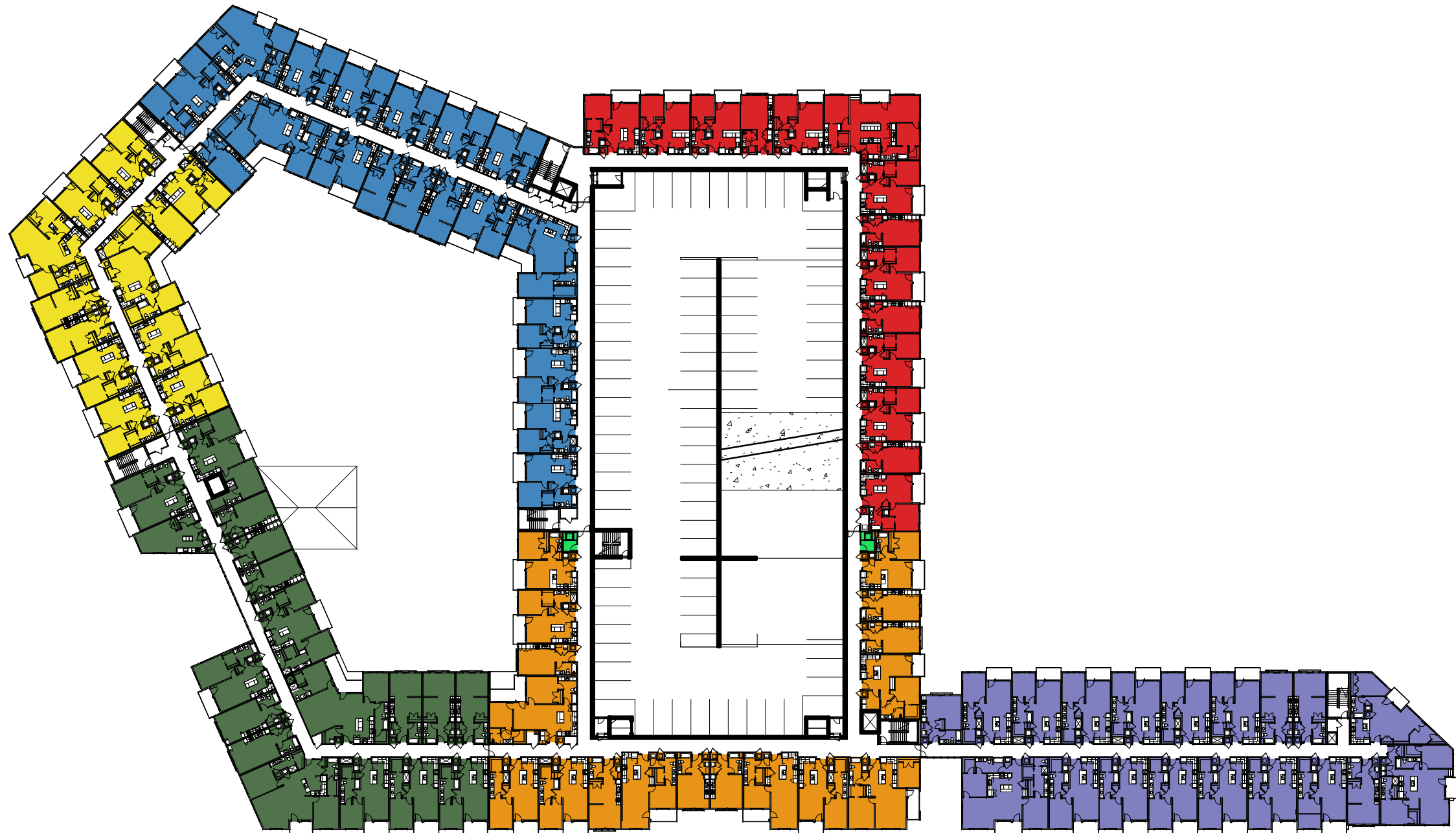
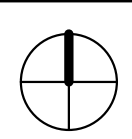
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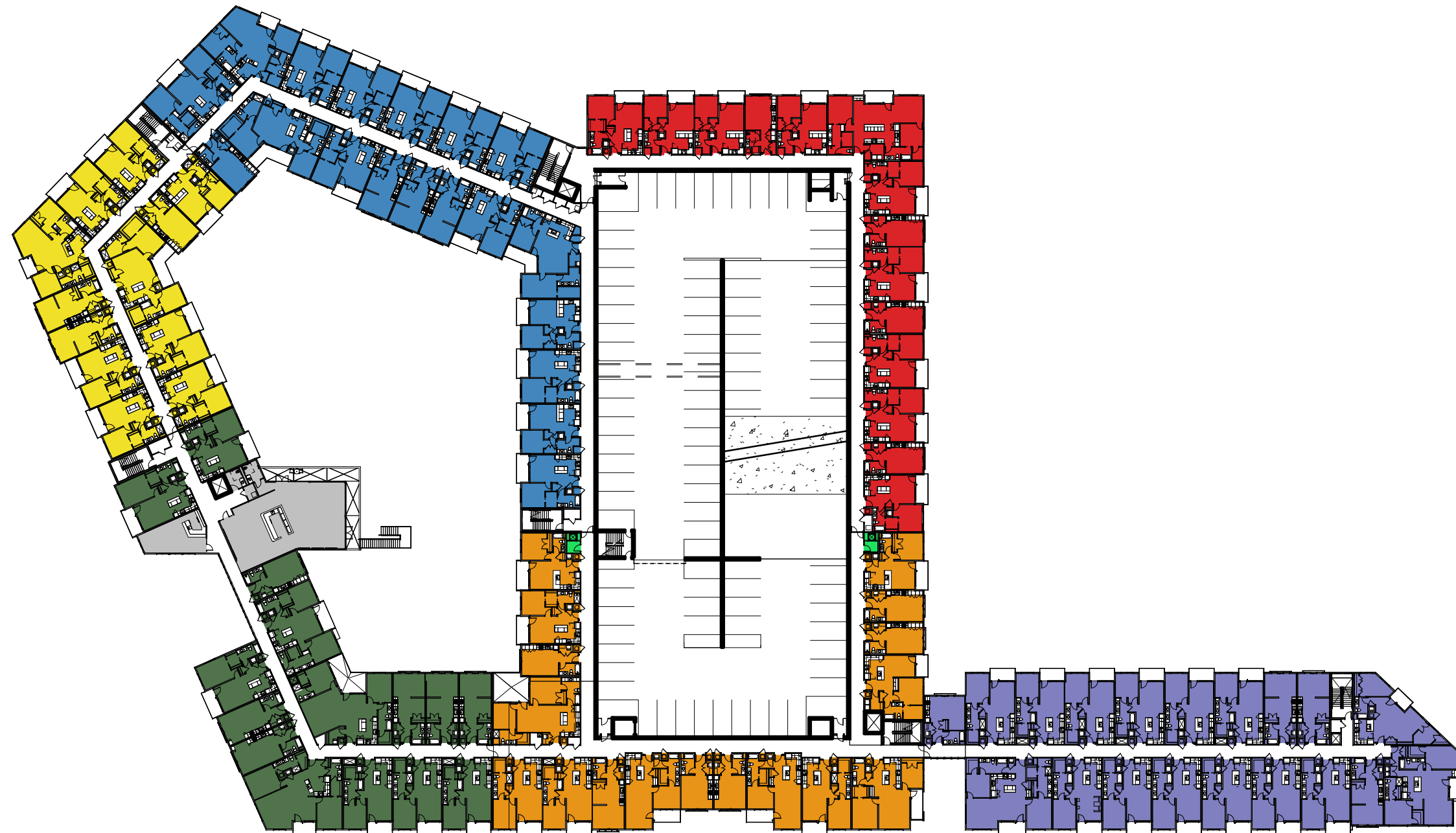
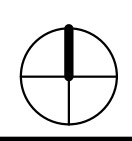
5 FLOOR PLAN - 5TH FLOOR

A-101 SCALE : 1" = 60'-0"



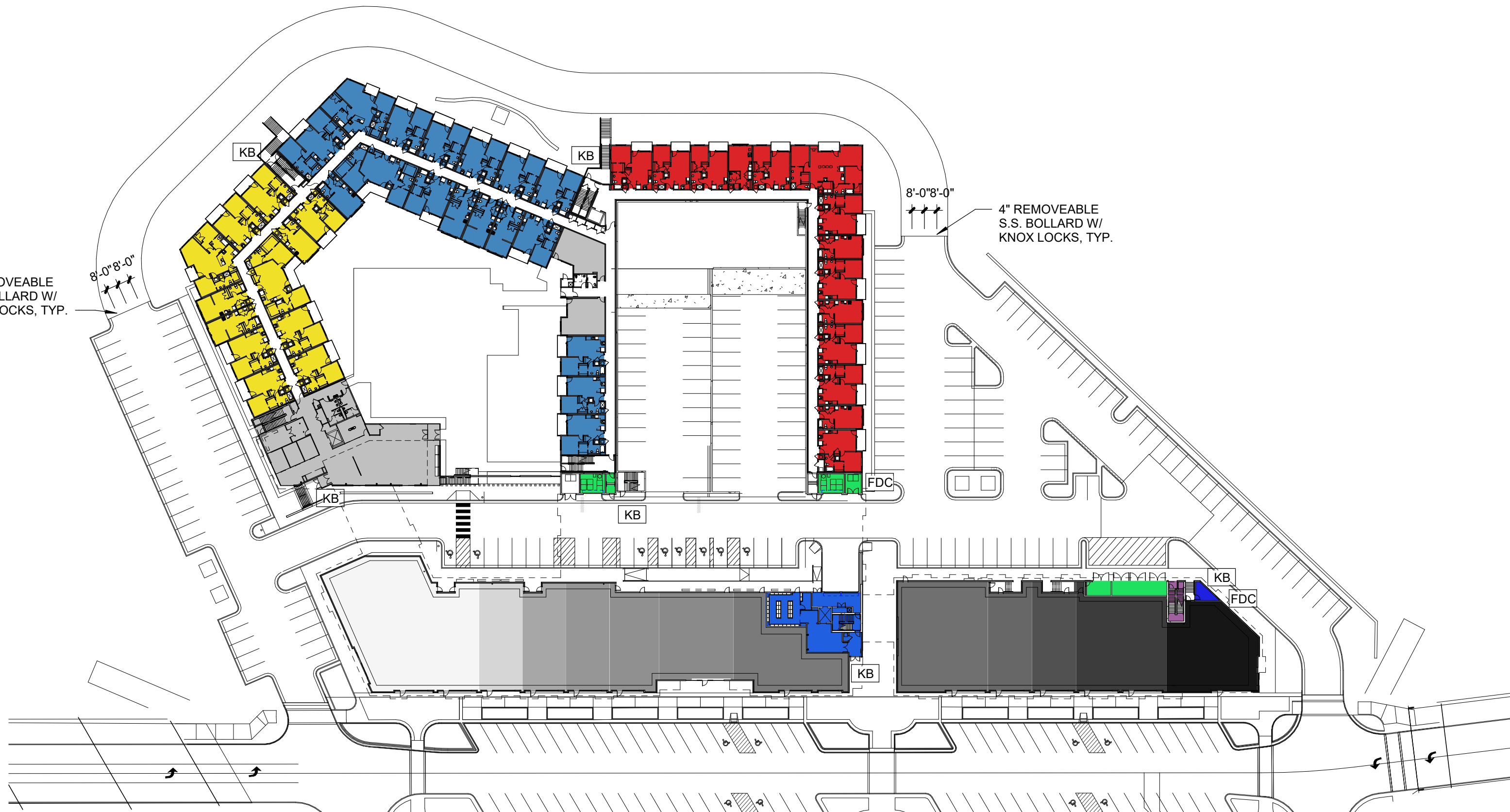
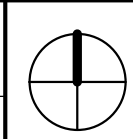
3 FLOOR PLAN - 3RD & 4TH FLOORS

A-101 SCALE : 1" = 60'-0"



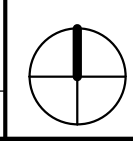
2 FLOOR PLAN - 2ND FLOOR

A-101 SCALE : 1" = 60'-0"



1 FLOOR PLAN - 1ST FLOOR

A-101 SCALE : 1" = 60'-0"



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PROJECT:

Paragon Star North Village
3200 NW Paragon Parkway, Lee's Summit, MO 64081

Final Development Plan

ISSUE:

1 FDP RESUBMITTAL 08.12.2022

PROFESSIONAL SEAL:

DRAWING TITLE:

FLOOR PLANS

JOB NO: 1249

SCALE:

DATE: 01/24/22

DRAWN BY:

SHEET NO:

A-101

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PROJECT:

Paragon Star North Village
3200 NW Paragon Parkway, Lee's Summit, MO 64081

Final Development Plan

ISSUE:

1 FDP RESUBMITTAL 08.12.2022

PROFESSIONAL SEAL:

DRAWING TITLE:

BUILDING
ELEVATIONS

JOB NO: 1249

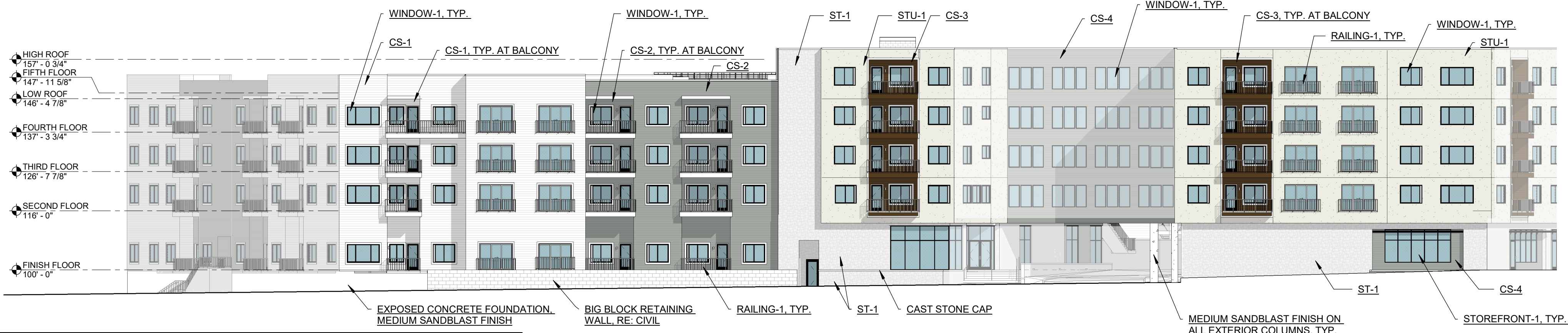
SCALE:

DATE: 01/26/22

DRAWN BY:

SHEET NO:

A-102



4 WEST ELEVATION

A-102 SCALE : 1" = 20'-0"



3 EAST ELEVATION

A-102 SCALE : 1" = 20'-0"



2 NORTH ELEVATION

A-102 SCALE : 1" = 20'-0"



1 SOUTH ELEVATION - PARAGON PARKWAY

A-102 SCALE : 1" = 20'-0"