

PARAGON STAR VILLAGE

3200 NW Paragon Parkway, Lee's Summit, MO

August 12, 2022

North Village Package - Final Development Plans - RESUBMITTAL

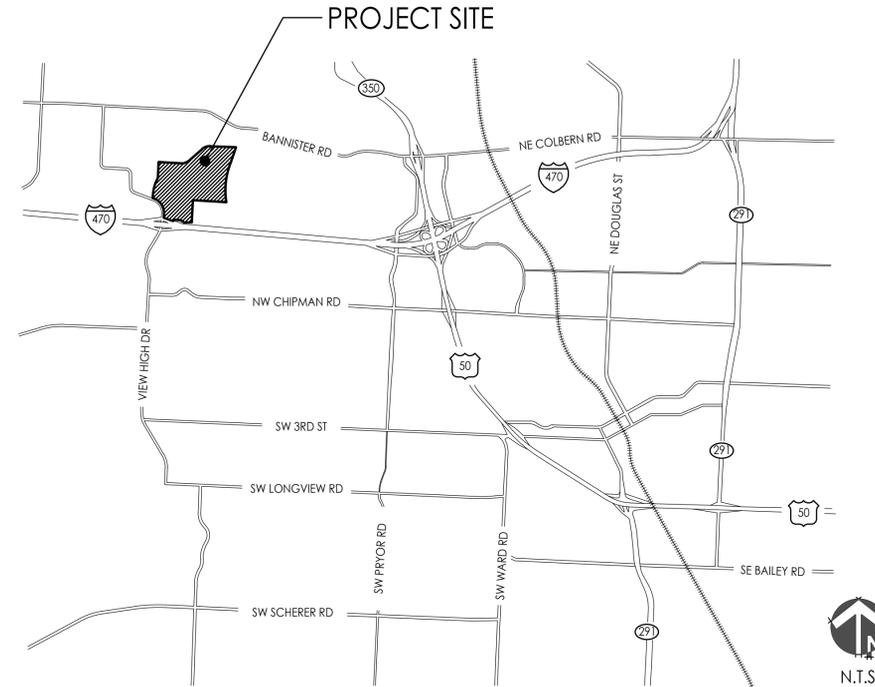
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PLANS PREPARED BY

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PROJECT:
Paragon Star North Village
 3200 NW Paragon Parkway, Lee's Summit, MO 64081
 Final Development Plan

ISSUE:

1	FDP RESUBMITTAL	08.12.2022

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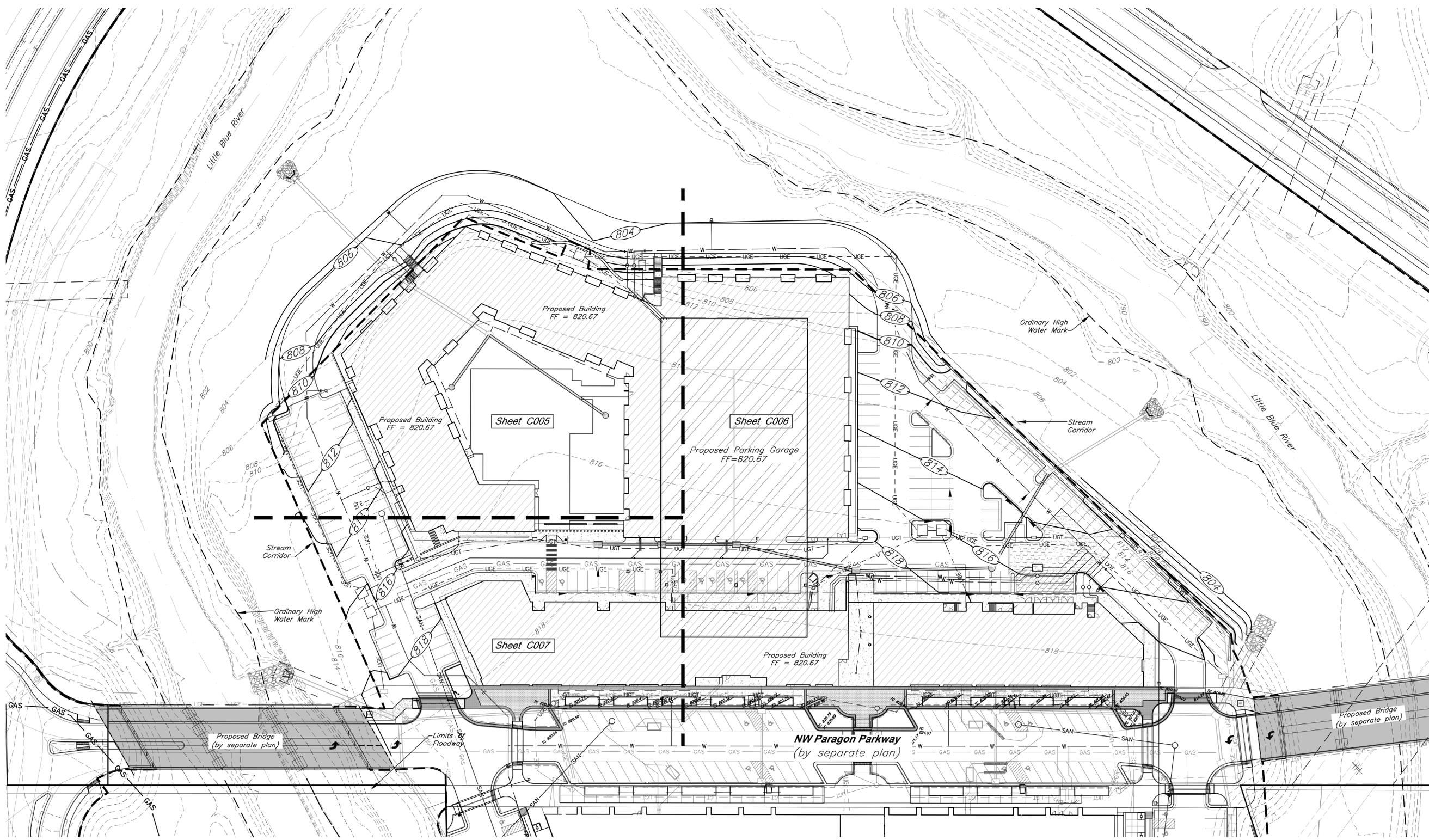
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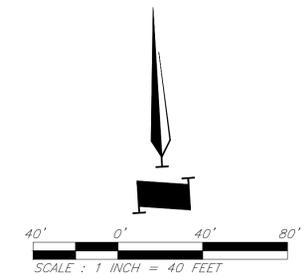
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CAUTION!
 Numerous Utilities on site. Contractor to verify location and elevation of all utilities prior to commencing construction.

LEGEND

	Existing Contour		Existing Flood Zone AE
	Proposed Contour		Existing Flood Zone X
	Proposed Top of Curb		Stream Corridor
	Proposed Spot Grade		Proposed Floodplain
	Drainage Flow Arrow		Proposed Floodway



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ISSUE:



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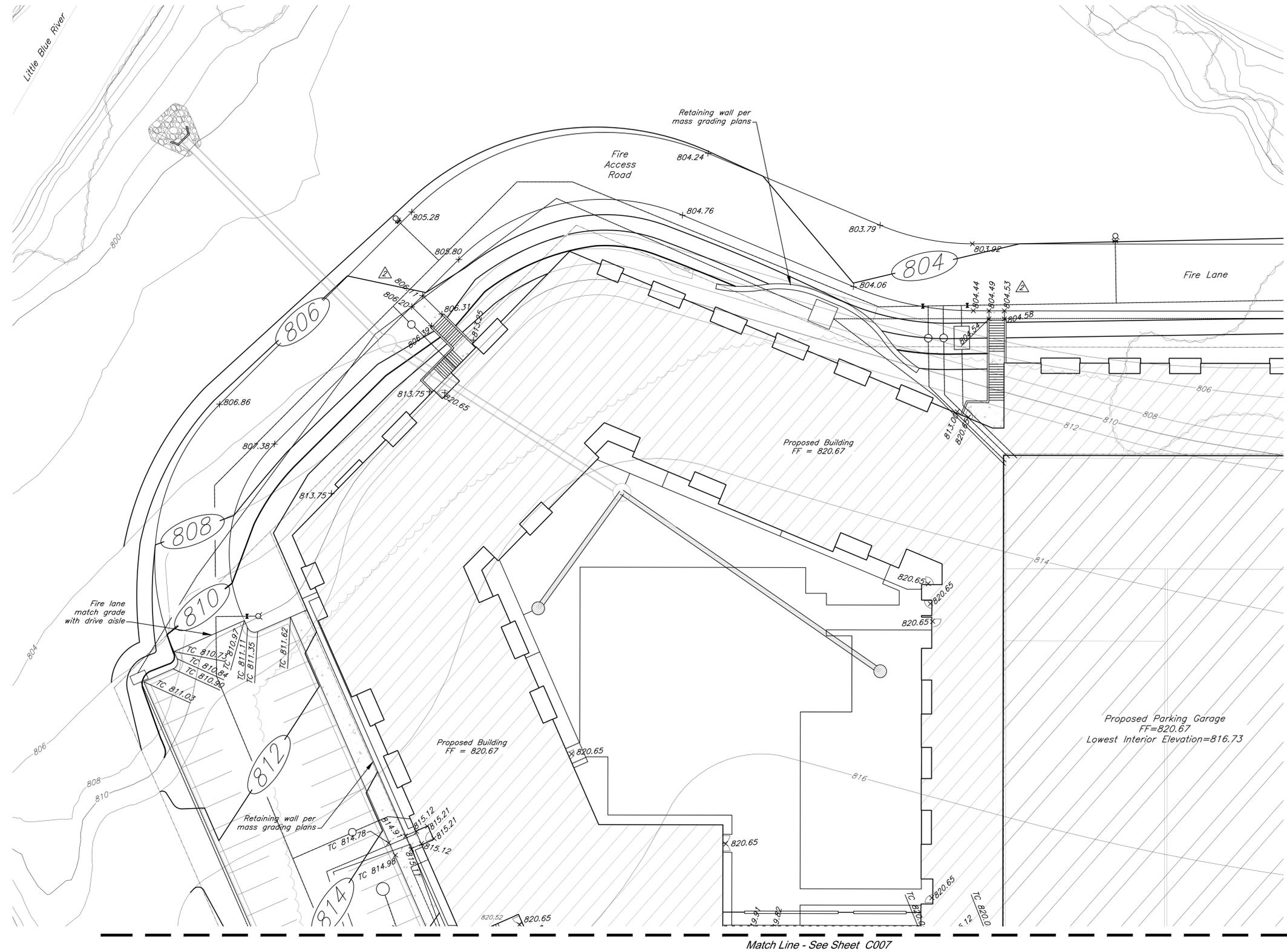
Overall Grading Plan

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 DATE: 08.12.2022 DRAWN BY: JRH

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C004

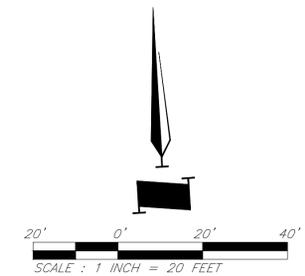
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LEGEND

XXX	Existing Contour		Existing Flood Zone AE
	Proposed Contour		Existing Flood Zone X
TC xxx.xx	Proposed Top of Curb		Stream Corridor
xxx.xx	Proposed Spot Grade		Proposed Floodplain
	Drainage Flow Arrow		Proposed Floodway



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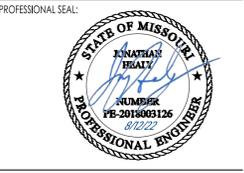
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PROJECT:
Paragon Star North Village
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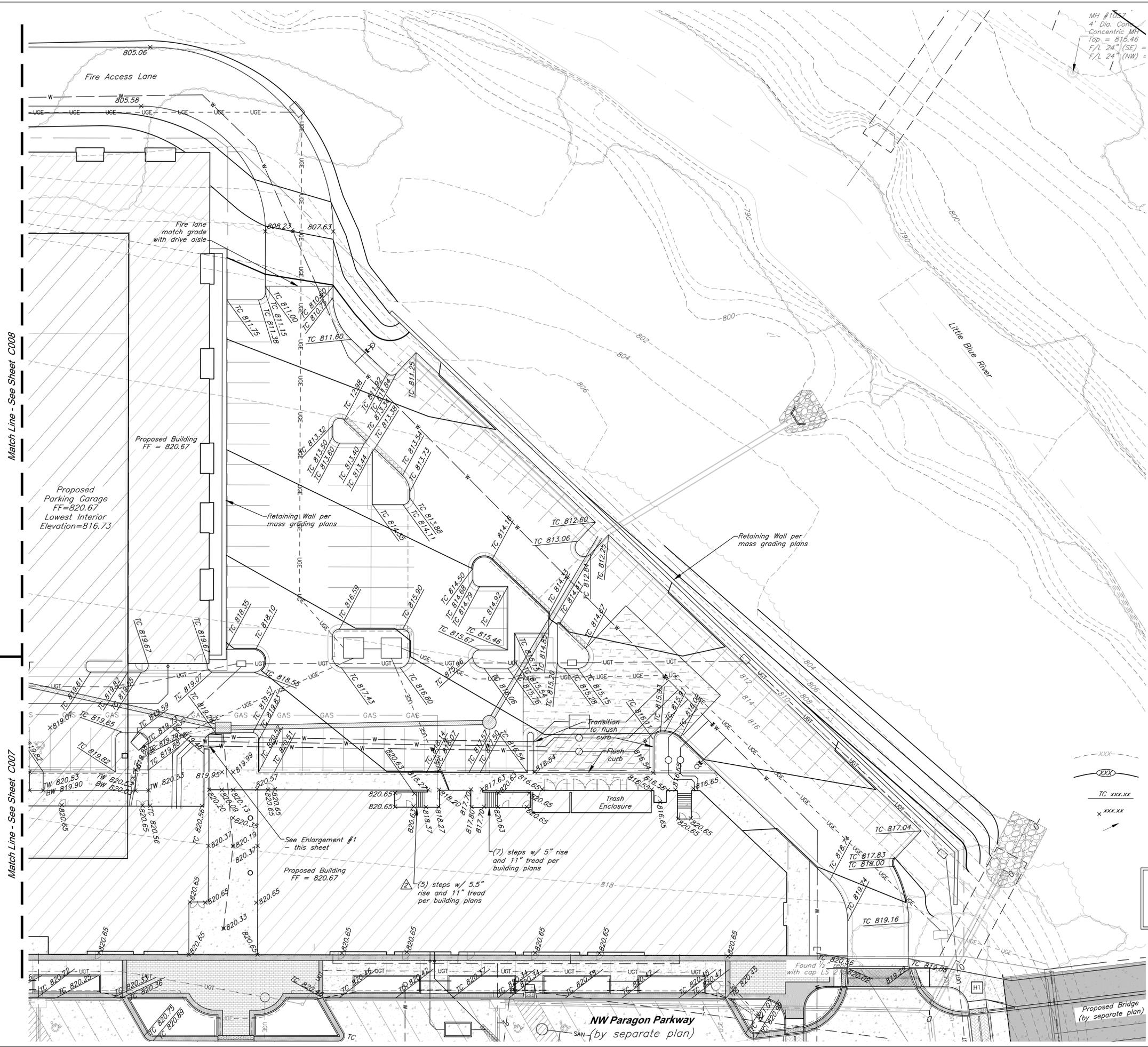
ISSUE:
 7/11/22 Addendum 1



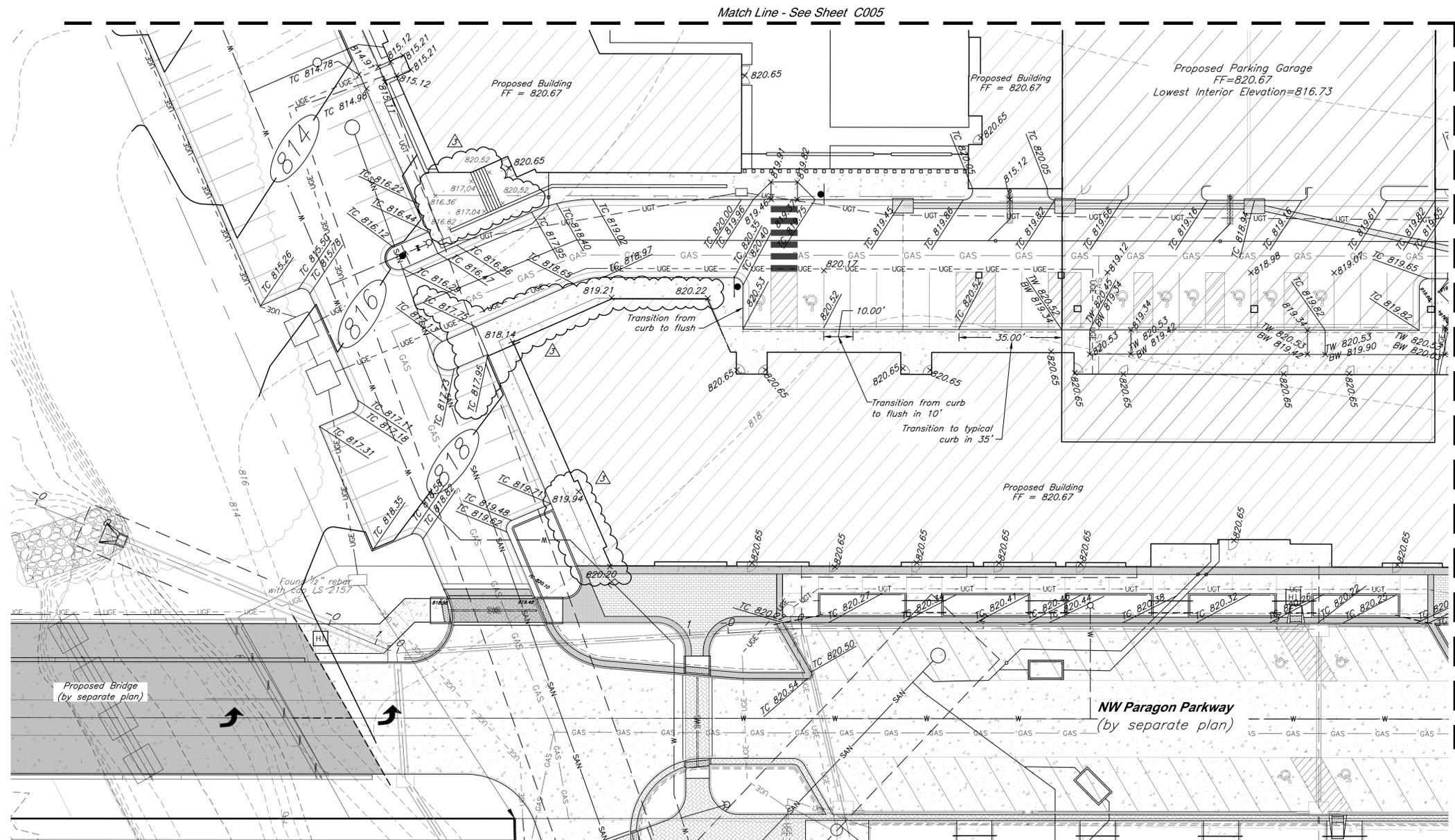
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Grading Plan

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C005

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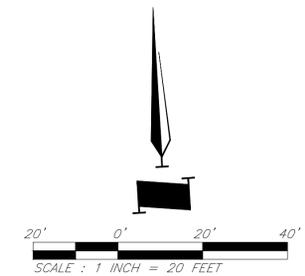
Match Line - See Sheet C005

Match Line - See Sheet C006

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LEGEND

	Existing Contour		Existing Flood Zone AE
	Proposed Contour		Existing Flood Zone X
	Proposed Top of Curb		Stream Corridor
	Proposed Spot Grade		Proposed Floodplain
	Drainage Flow Arrow		Proposed Floodway



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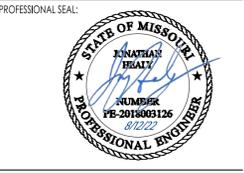
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FDP Resubmittal

ISSUE:

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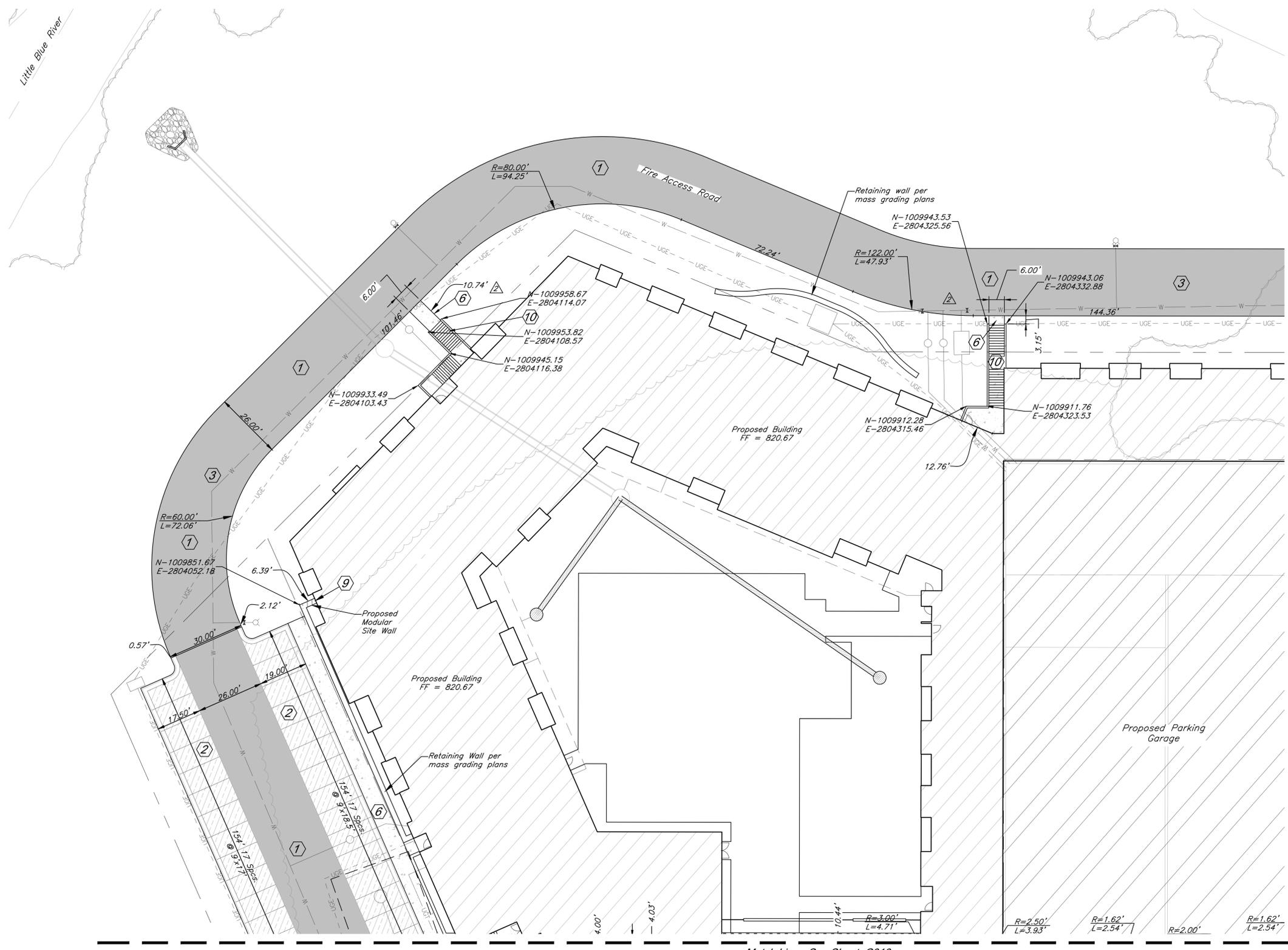
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C007

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CONSTRUCTION NOTES:

- ① Proposed HD Asphalt Pavement
- ② Proposed LD Asphalt Pavement
- ③ Proposed Fire Access Road
- ④ Type CG-1 Curb & Gutter
- ⑥ Construct Concrete Sidewalk
- ⑨ Construct Modular Site Walls per Architectural and Structural Plans
- ⑩ Construct Stairs per Architectural and Structural Plans

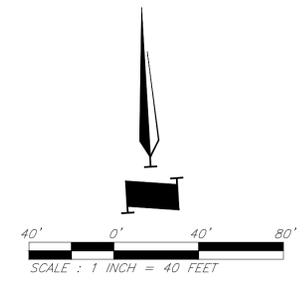
DIMENSION NOTES:

1. All curbs are to be Type CG-1 or Type CG-1 Dry unless shown otherwise.
2. Unless otherwise specified, all dimensions are to the back of curb and dimension ties to property line are measured at right angles to property lines.
3. See Sheets C018-C019 for construction details.

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LEGEND

	Proposed HD Asphalt Surface		Proposed Water Line
	Proposed LD Asphalt Surface		Proposed Storm Sewer
	Type CG-1 "Dry Curb"		Existing Sanitary Sewer
	Proposed Modular Site Wall		Crosswalk Sign / Stop Sign (Typ)
	Proposed Concrete Walk		Proposed Grass Paver



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PROJECT:

Paragon Star North Village

3200 NW Paragon Parkway, Lee's Summit, MO 64081

FDP Resubmittal

ISSUE:

①	7/11/22	Addendum 1



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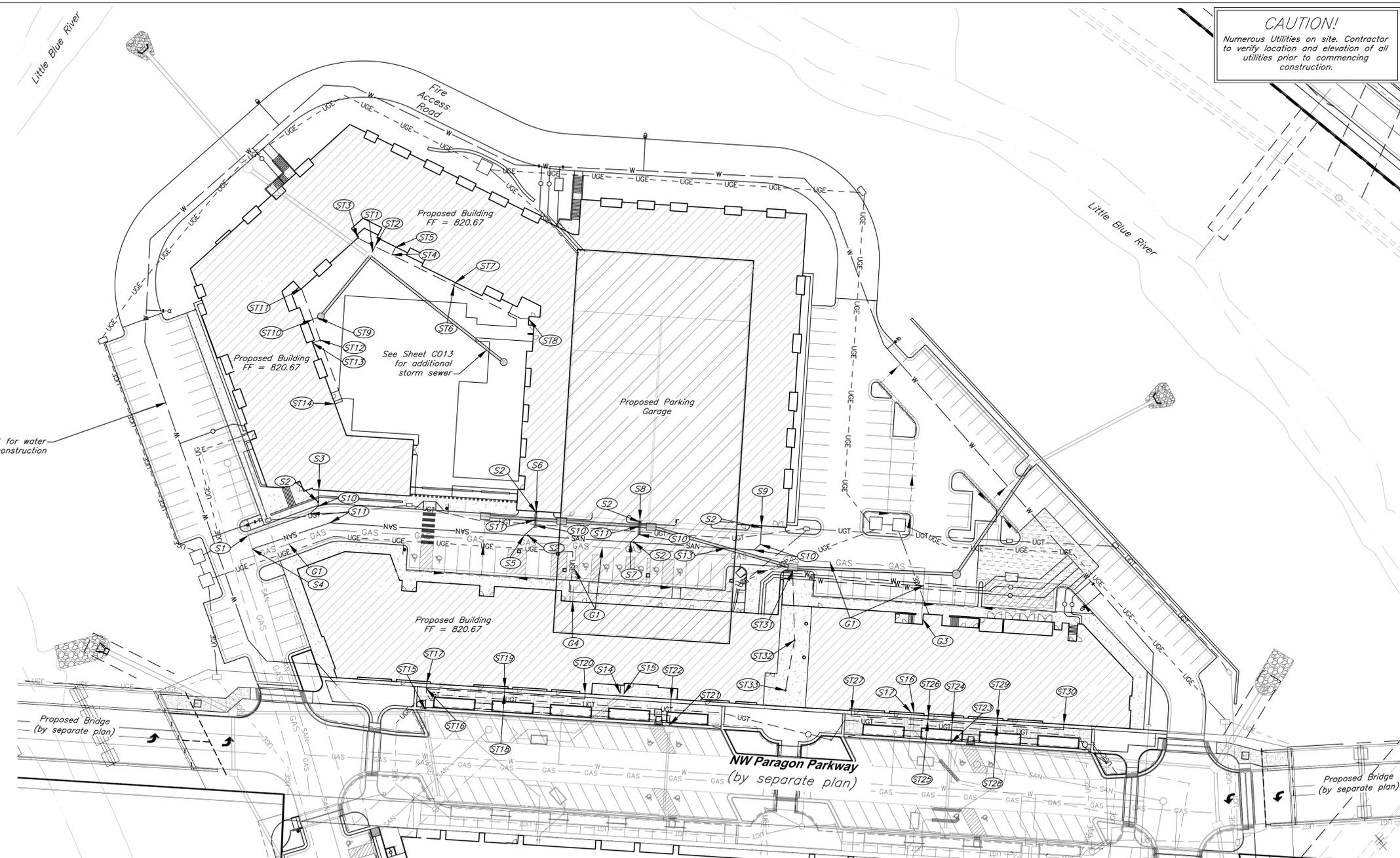
Dimension Plan

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C008

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ISSUE:
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Sanitary Sewer Construction Notes

- S1 Connect 6" Service Line to Sanitary Sewer Line A with cut-in wye, Sta=14+8.20, \bar{E} =809.26. \bar{E} @ End of Tee=809.93. Install 67 LF 6" Dia. SDR26 PVC Pipe @ 7.07% to S3.
- S2 Install Cleanout
- S3 Connect to 6" building stub, \bar{E} =814.67. See MEP plan for continuation.
- S4 Connect 6" Service Line to Sanitary Sewer Line A with cut-in wye, Sta=14+8.20, \bar{E} =809.17. \bar{E} @ End of Tee=809.84. Install 200 LF 6" Dia. SDR26 PVC Pipe @ 1% to S5.
- S5 Install wye connection, \bar{E} =811.84. Install 21 LF 6" Dia. SDR26 PVC Pipe @ 1% to S6. Install 77 LF 6" Dia. SDR26 PVC Pipe @ 1% to S7.
- S6 Connect to 6" building stub, \bar{E} =812.05. See MEP plan for continuation.
- S7 Install wye connection, \bar{E} =812.61. Install 19 LF 6" Dia. SDR26 PVC Pipe @ 1% to S8. Install 109 LF 6" Dia. SDR26 PVC Pipe @ 1% to S9.
- S8 Connect to 6" building stub, \bar{E} =812.80. See MEP plan for continuation.
- S9 Connect to 6" building stub, \bar{E} =813.70. See MEP plan for continuation.
- S10 45" Bend
- S11 22.5" Bend
- S12 Sanitary line crosses under storm sewer. Construct 10 LF Reinforced Concrete Encasement, centered on crossing.
- S13 Sanitary line crosses under storm sewer. Construct 30 LF Reinforced Concrete Encasement, centered on crossing.
- S14 Connect 6" Service Line to existing Sanitary Sewer Service Stub, \bar{E} =811.41±. Install 6 LF 6" dia. SDR26 PVC north to building stub, \bar{E} =813.67.
- S15 Connect 4" Service Line to existing Sanitary Sewer Service Stub, \bar{E} =811.41±. Install 6 LF 4" dia. SDR26 PVC north to building stub (grease line), \bar{E} =813.67.
- S16 Connect 6" Service Line to existing Sanitary Sewer Service Stub, \bar{E} =813.20±.
- S17 Connect 4" Service Line to existing Sanitary Sewer Service Stub (grease line), \bar{E} =813.20±.

Storm Sewer Construction Notes

- ST1 Connect roof drain line to Structure 5002, \bar{E} =813.00. Install 6 LF 10" Dia. SDR 26 PVC @ 2% to ST2.
- ST2 Install tee connection, \bar{E} =813.12. Install 14 LF 10" Dia. SDR26 PVC @ 2% to ST3. Install 14 LF 10" Dia. SDR26 PVC @ 2% to ST4.
- ST3 Connect to building stub, \bar{E} =813.40. See MEP Plan for continuation.
- ST4 Install tee connection, \bar{E} =813.40. Install 6.5 LF 10" Dia. SDR26 PVC @ 2% to ST5. Install 50 LF 10" Dia. SDR26 PVC @ 2% to ST6.
- ST5 Connect to building stub, \bar{E} =813.53. See MEP Plan for continuation.
- ST6 Install tee connection, \bar{E} =814.40. Install 2.5 LF 10" Dia. SDR26 PVC @ 2% to ST7. Install 59 LF 10" Dia. SDR26 PVC @ 2% to ST8.
- ST7 Connect to building stub, \bar{E} =814.45. See MEP Plan for continuation.
- ST8 Connect to building stub, \bar{E} =815.58. See MEP Plan for continuation.
- ST9 Connect roof drain line to Structure 5901, \bar{E} =813.00. Install 4 LF 12" Dia. SDR 26 PVC @ 2% to ST10.
- ST10 Install tee connection, \bar{E} =813.08. Install 23.5 LF 12" Dia. SDR26 PVC @ 2% to ST11. Install 16 LF 12" Dia. SDR26 PVC @ 2% to ST12.
- ST11 Connect to building stub, \bar{E} =813.55. See MEP Plan for continuation.
- ST12 Install tee connection, \bar{E} =813.40. Install 6 LF 12" Dia. SDR26 PVC @ 2% to ST13. Install 52.5 LF 12" Dia. SDR26 PVC @ 2% to ST14.
- ST13 Connect to building stub, \bar{E} =813.52. See MEP Plan for continuation.
- ST14 Connect to building stub, \bar{E} =814.45. See MEP Plan for continuation.
- ST15 Connect roof drain line to Structure 4301, \bar{E} =813.71. Install 18 LF 8" Dia. SDR 26 PVC @ 2% to ST16. Install tee connection, \bar{E} =814.07.
- ST16 Install 4 LF 8" Dia. SDR26 PVC @ 2% to ST17. Install 57 LF 8" Dia. SDR26 PVC @ 2% to ST18.
- ST17 Connect to building stub, \bar{E} =814.15. See MEP Plan for continuation.
- ST18 Install tee connection, \bar{E} =815.21. Install 4 LF 8" Dia. SDR26 PVC @ 2% to ST19. Install 62 LF 8" Dia. SDR26 PVC @ 2% to ST20.
- ST19 Connect to building stub, \bar{E} =815.29. See MEP Plan for continuation.
- ST20 Connect to building stub, \bar{E} =816.45. See MEP Plan for continuation.
- ST21 Connect roof drain line to Structure 4302, \bar{E} =815.53. Install 22 LF 8" Dia. SDR 26 PVC @ 2% to ST22.
- ST22 Connect to building stub, \bar{E} =815.97. See MEP Plan for continuation.
- ST23 Connect roof drain line to Structure 5401, \bar{E} =815.03. Install 18 LF 8" Dia. SDR 26 PVC @ 2% to ST24.
- ST24 Install tee connection, \bar{E} =815.39. Install 18 LF 8" Dia. SDR26 PVC @ 2% to ST25. Install 33 LF 8" Dia. SDR26 PVC @ 2% to ST28.
- ST25 Install tee connection, \bar{E} =815.75. Install 4 LF 8" Dia. SDR26 PVC @ 2% to ST26. Install 60 LF 8" Dia. SDR26 PVC @ 2% to ST27.
- ST26 Connect to building stub, \bar{E} =815.83. See MEP Plan for continuation.
- ST27 Connect to building stub, \bar{E} =816.95. See MEP Plan for continuation.
- ST28 Install tee connection, \bar{E} =816.05. Install 4 LF 8" Dia. SDR26 PVC @ 2% to ST29. Install 52 LF 8" Dia. SDR26 PVC @ 2% to ST30.
- ST29 Connect to building stub, \bar{E} =816.13. See MEP Plan for continuation.
- ST30 Connect to building stub, \bar{E} =817.09. See MEP Plan for continuation.

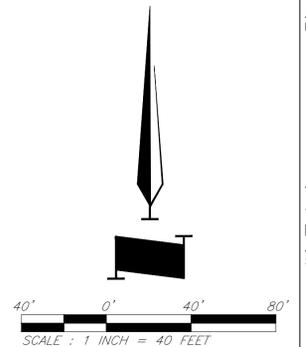
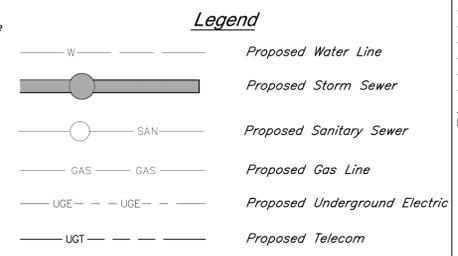
- ST31 Connect 8" HDPE pipe to structure 5702, \bar{E} =815.44. Install 49.67 LF 8" HDPE pipe @ 2% to ST32.
- ST32 Construct 12" Nyloplast Drain Basin with Pedestrian Grate Top elev.=820.19. Install 57' in (S)=816.93. \bar{E} 8" Out (N)=816.43. Install 36.5 LF 8" HDPE pipe @ 2% to ST33.
- ST33 Construct 12" Nyloplast Inline Drain with Pedestrian Grate Top elev.=820.33. \bar{E} 8" Out (N)=817.66.

Gas Construction Notes

- G1 Gas service line per service provider
- G2 Retail Gas Meter
- G3 Retail Gas Meter

General Utility Notes

- See Sheet C018 for Construction Details.
 - Contractor to deflect conduits as necessary to avoid conflicts with other utilities.
 - Contractor shall coordinate with the Surveyor to leave trenches open for collecting survey data for record drawings.
 - Water line minimum burial depth shall be 42 inches.
- Notes:**
- Pipe length called out is from center of structure to center of structure. Payment for pipe length is from inside face to inside face of structure.
 - Storm Sewer Structure Station offset and coordinates based on center of structure. Top elevations are top center of lid.
 - Taps on all in grade inlets shall maintain street slope, low point inlets to be set level.
 - Fire department connection locations are preliminary and subject to change upon final design. IFC distance requirements for FDCs shall be met with final design.

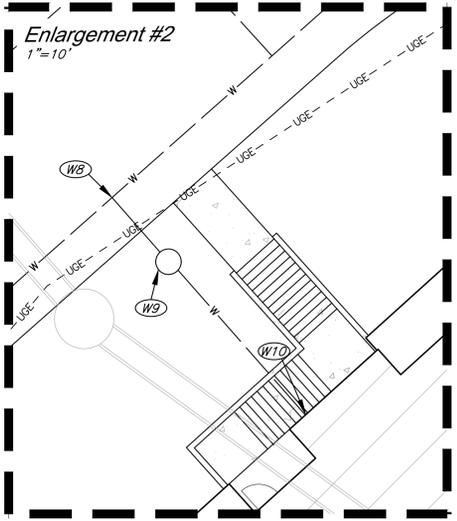
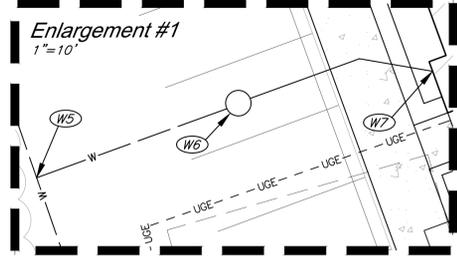


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Utility Plan

JOB NO: 18017, 19050.07, 19050.08
 DATE: 08.12.2022 DRAWN BY: JRH

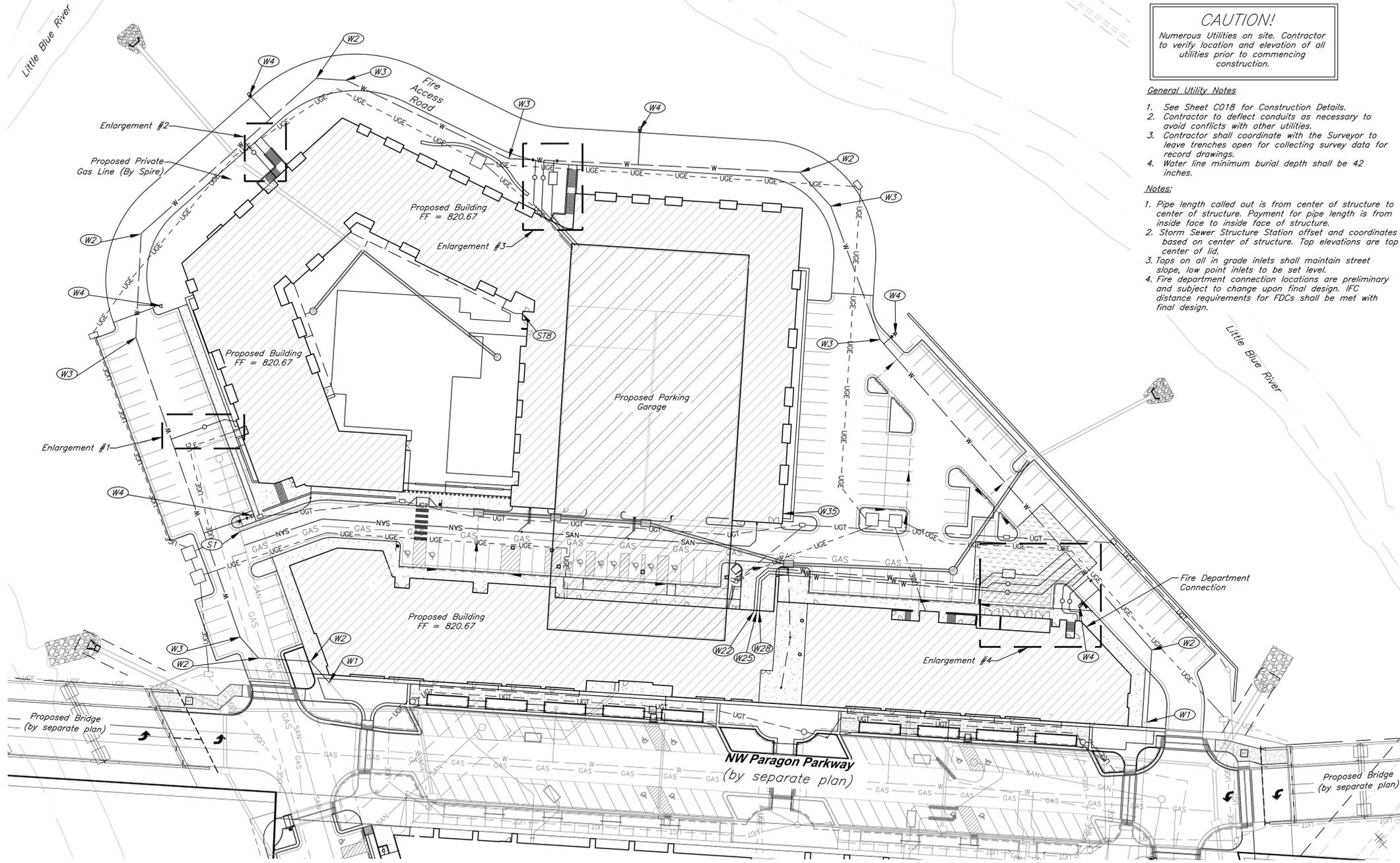
SHEET NO:
C011

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Water Line Construction Notes

- W1 Connect to 12" water main. Install 8" Dia. Class 305 C900 PVC.
- W2 Install 45° Bend with Thrust Block
- W3 Install 22.5° Bend with Thrust Block
- W4 Install Fire Hydrant Assembly
- W5 Connect to water main via 8"x8"x8" tee with 2" reducer E for domestic water service. Install 2" dia. C901 HDPE E to W6.
- W6 Install 2" Water Meter in City provided vault. Install 2.5" dia. C901 HDPE to W7.
- W7 2.5" Domestic Water Line Building Connection. Utilize 6" casing pipe installed per mass grading plans. See casing pipe detail, sheet C016. See MEP Plan for Continuation.
- W8 Connect to water main via 8"x8"x8" tee with 2" reducer SE for domestic water service. Install 2" dia. C901 HDPE SE to W9.
- W9 Install 2" Water Meter in City provided vault. Install 2.5" dia. C901 HDPE to W10.
- W10 2.5" Domestic Water Line Building Connection. See MEP Plan for Continuation.
- W11 Connect to water main via 8"x8"x8" tee with 2" reducer S for domestic water service. Install (1) gate valve W. Install 2" dia. C901 HDPE S to W12.
- W12 Install 2" Water Meter in City provided vault. Install 2.5" dia. C901 HDPE to W13.
- W13 2.5" Domestic Water Line Building Connection. See MEP Plan for Continuation.
- W14 Connect to water main via 8"x8"x8" tee with 2" reducer S for domestic water service. Install 2" dia. C901 HDPE S to W15.
- W15 Install 2" Water Meter in City provided vault. Install 2.5" dia. C901 HDPE to W16.
- W16 2.5" Domestic Water Line Building Connection. See MEP Plan for Continuation.
- W17 Connect to water main via 8"x8"x8" tee w/ thrust block for fire protection service. Install (1) gate valve E. Install 8" dia. C900 PVC S to W18.
- W18 Install Double Check Detector Assembly in Concrete Vault. Install 8" dia. C900 PVC to W19.
- W19 8" Fire Protection Line Building Connection. See MEP Plan for Continuation.
- W20 Connect to water main via 8"x8"x8" tee w/ thrust block for fire protection service. Install (1) gate valve NW. Install 8" dia. C900 PVC SW to W21.
- W21 Install Double Check Detector Assembly in Concrete Vault. Install 8" dia. C900 PVC to W22.
- W22 8" Fire Protection Line Building Connection. See MEP Plan for Continuation.
- W23 Connect to water main via 8"x8"x8" tee with 2" reducer SW for domestic water service. Install 2" dia. C901 HDPE SW to W24.
- W24 Install 2" Water Meter in City provided vault. Install 2.5" dia. C901 HDPE to W25.
- W25 2.5" Domestic Water Line Building Connection. See MEP Plan for Continuation.
- W26 Connect to water main via 8"x8"x8" tee with 2" reducer SW for domestic water service. Install 2" dia. C901 HDPE SW to W27.
- W27 Install 2" Water Meter in City provided vault. Install 2.5" dia. C901 HDPE to W28.
- W28 2.5" Domestic Water Line Building Connection. See MEP Plan for Continuation.



CAUTION!
 Numerous Utilities on site. Contractor to verify location and elevation of all utilities prior to commencing construction.

General Utility Notes

1. See Sheet C018 for Construction Details.
2. Contractor to deflect conduits as necessary to avoid conflicts with other utilities.
3. Contractor shall coordinate with the Surveyor to leave trenches open for collecting survey data for record drawings.
4. Water line minimum burial depth shall be 42 inches.

Notes:

1. Pipe length called out is from center of structure to center of structure. Payment for pipe length is from inside face to inside face of structure.
2. Storm Sewer Structure Station offset and coordinates based on center of structure. Top elevations are top center of lid.
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4. Fire department connection locations are preliminary and subject to change upon final design. IFC distance requirements for FDCs shall be met with final design.

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ISSUE:

7/11/22 Addendum 1

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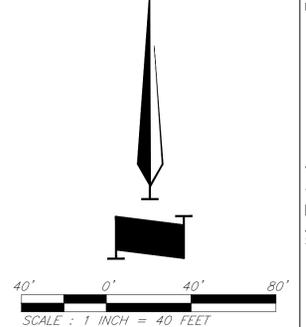
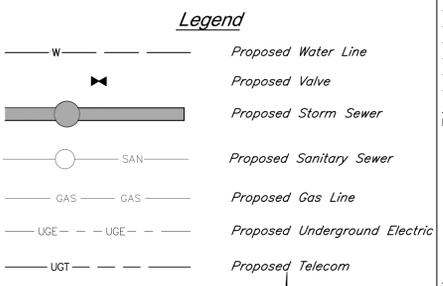
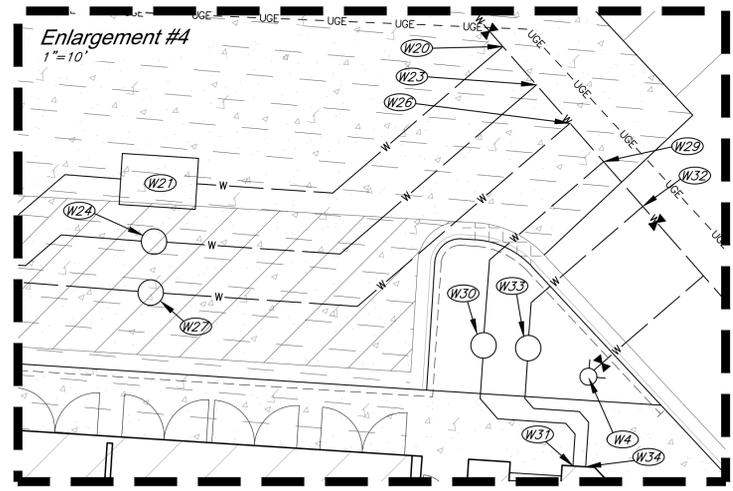
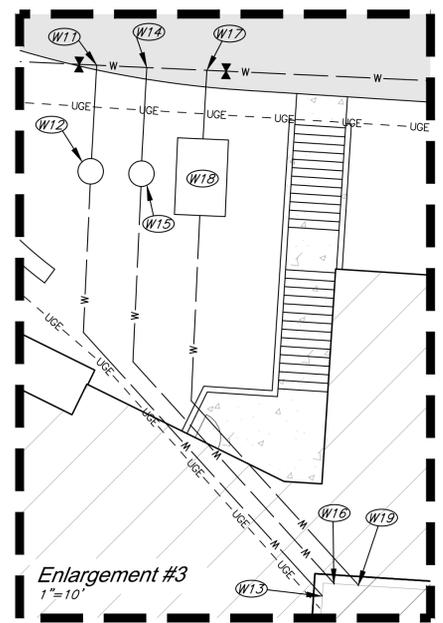
Utility Plan

JOB NO: 18017, 19050.07, 19050.08

DATE: 08.12.2022 DRAWN BY: JRH

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C012



Electrical Service Construction Notes

- (E1) Install 9'x9' Building Transformer Pad per Every Standards
- (E2) Install 200 Amp Sectionalizer Furnished by Every per Detail 760.1-3
- (E3) Connect to existing 200 Amp Sectionalizer constructed per Paragon Parkway Plans
- (E4) Install 64 LF 4" Dia. Sch. 40 PVC Conduit.
- (E5) Install 300 LF (8) 3" Dia. Sch. 40 PVC Conduit to building electrical room. Continue per MEP Plans.
- (E6) Install 9 LF 4" Dia. Sch. 40 PVC Conduit.
- (E7) Install 122 LF (8) 3" Dia. Sch. 40 PVC Conduit to building electrical room. Continue per MEP Plans.
- (E8) Install 168 LF 4" Dia. Sch. 40 PVC Conduit.
- (E9) Install 356 LF 4" Dia. Sch. 40 PVC Conduit.
- (E10) See MEP Plan for electrical service conduit.
- (E11) Install 266 LF 4" Dia. Sch. 40 PVC Conduit.
- (E12) Install 242 LF 4" Dia. Sch. 40 PVC Conduit.
- (E13) Install 8 LF 4" Dia. Sch. 40 PVC Conduit.
- (E14) See MEP Plan for electrical service conduit.
- (E15) See MEP Plan for electrical service conduit.
- (E16) Install 287 LF 4" Dia. Sch. 40 PVC Conduit.
- (E17) Connect to existing 4" Dia. PVC Conduit installed per the Multifamily Mass Grading Plans.
- (E18) Connect to existing 3" Dia. PVC Conduit installed per the Multifamily Mass Grading Plans.

Amenity Zone Electrical Construction Notes

- (AE1) Install 35 LF 1" HDPE Conduit from existing connection to Planter Box
- (AE2) Install 39 LF 1" HDPE Conduit from existing connection to Planter Box

Telecom Construction Notes

- (T1) Install Telecom Utility Pull Box.
- (T2) Connect to existing Telecom Pull Box installed per Paragon Parkway Plans
- (T3) Install 119 LF (3) 5" HDPE Conduit. Two conduits shall have (4) 2" fabric innerducts.
- (T4) Install 108 LF (3) 5" HDPE Conduit. Two conduits shall have (4) 2" fabric innerducts.
- (T5) Install 109 LF (3) 5" HDPE Conduit. Two conduits shall have (4) 2" fabric innerducts.
- (T6) Install 82 LF (2) 5" HDPE Conduit to building mail room. Two conduits shall have (4) 2" fabric innerducts.
- (T7) Install 285 LF (3) 5" HDPE Conduit. Two conduits shall have (4) 2" fabric innerducts.
- (T8) Install 98 LF (3) 5" HDPE Conduit. Two conduits shall have (4) 2" fabric innerducts.
- (T9) Install 98 LF (3) 5" HDPE Conduit to IT Room. Two conduits shall have (4) 2" fabric innerducts.

Amenity Zone Telecom Construction Notes

- (AT1) Install Digital Display with Power/Data Connections, Unswitched Hot Power
- (AT2) Install Telecom Utility 12"x12" Quartzite Box
- (AT3) Install 281 LF 2" PVC Conduit
- (AT4) Install 15 LF 2" PVC Conduit
- (AT5) Install 215 LF 2" PVC Conduit
- (AT6) Install 19 LF 2" PVC Conduit

Underdrain Construction Notes

- (UD1) Install 4" Dia. Perforated HDPE @ 0.5% minimum slope.
- (UD2) Install 4" Dia. HDPE Tee
- (UD3) Connect to Storm Structure 5705, $\bar{E}=817.50$.
- (UD4) Connect to Storm Structure 5702, $\bar{E}=816.60$.
- (UD5) Connect to Storm Structure 5701, $\bar{E}=813.28$.
- (UD6) Connect to Storm Structure 5101, $\bar{E}=809.75$.
- (UD7) Connect to Storm Structure 5102, $\bar{E}=808.75$.
- (UD8) Connect to Storm Structure 4301, $\bar{E}=817.70$.
- (UD9) Connect to Storm Structure 4302, $\bar{E}=817.80$.
- (UD10) Connect to Storm Structure 5401, $\bar{E}=817.50$.

General Utility Notes

- See Sheet CD18 for Construction Details.
- Contractor to deflect conduits as necessary to avoid conflicts with other utilities.
- Contractor shall coordinate with the Surveyor to leave trenches open for collecting survey data for record drawings.
- Water line minimum burial depth shall be 42 inches.

Electrical Service General Notes

- Electrical routing reflects the latest, although preliminary designs from Every. Final routing of conduit shall match final design from Every.
- Electrical conduit shall be NEC approved schedule 40 gray PVC.
- Electrical trench, conduit, and backfill per Every Standards (Typ. All).

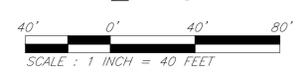
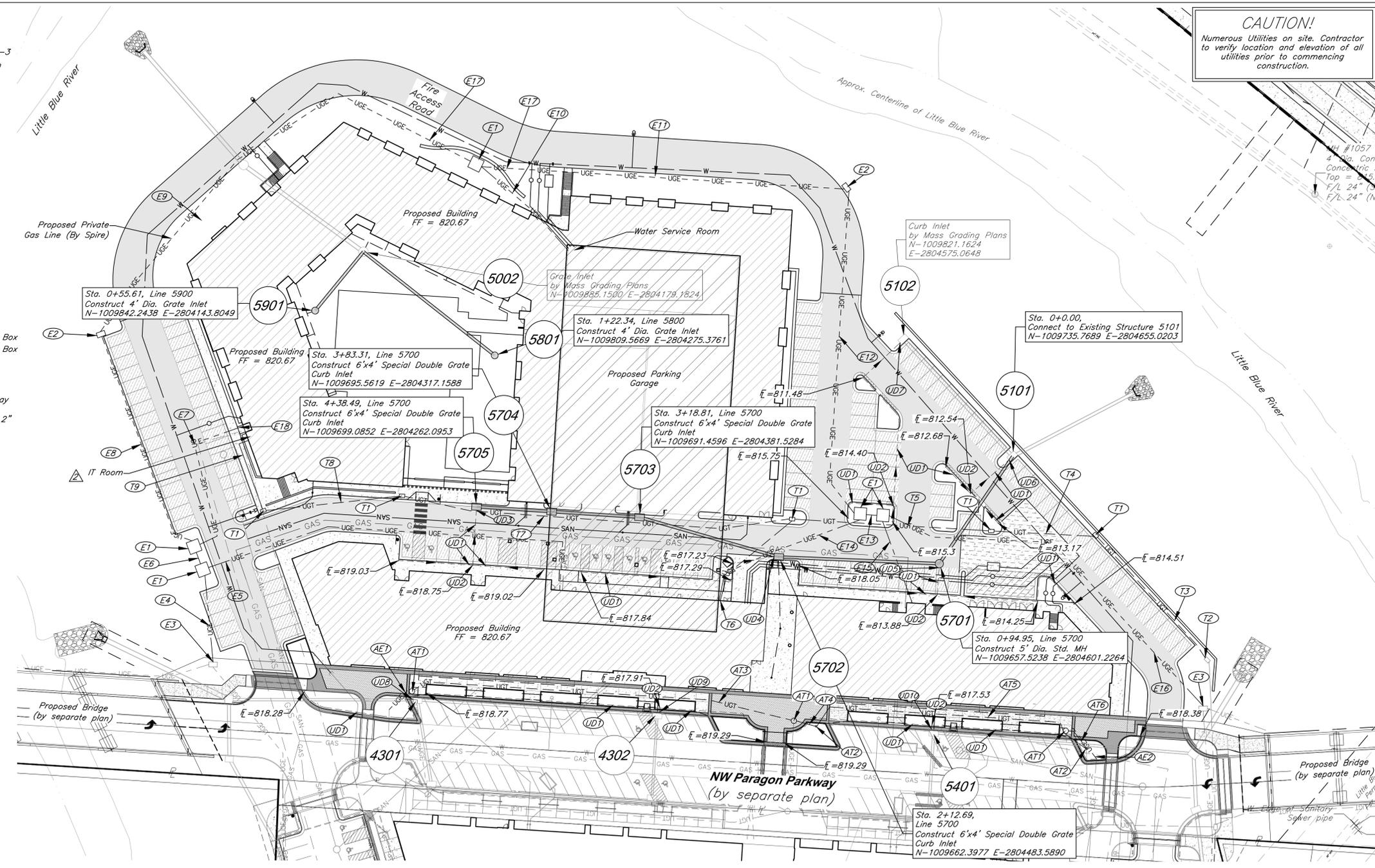
Legend

	Proposed Water Line		Proposed Building
	Proposed Storm Sewer		Proposed HD Asphalt Surface
	Proposed Sanitary Sewer		Proposed LD Asphalt Surface
	Proposed Gas Line		Proposed Concrete
	Proposed Underground Electric		
	Proposed Telecom		
	Flow Path		

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PROJECT:
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3200 NW Paragon Parkway, Lee's Summit, MO 64081

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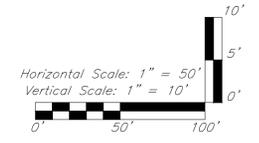
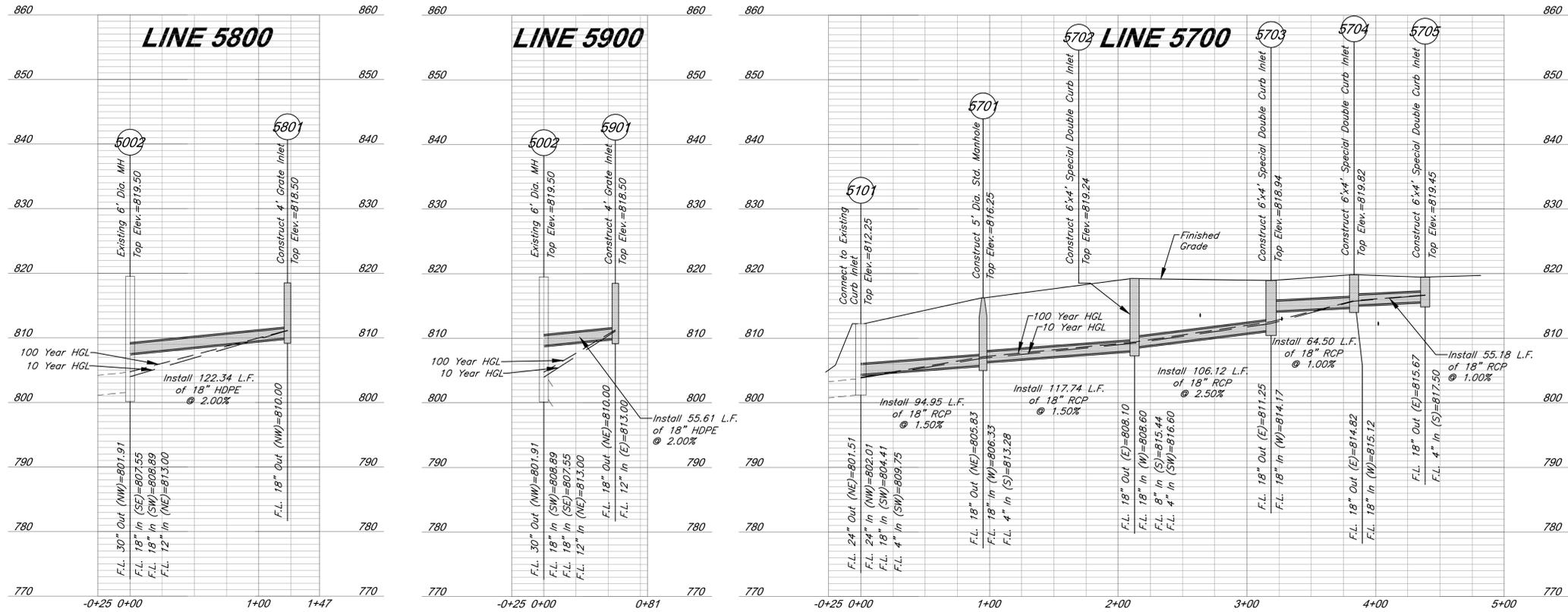
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C013

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10 Year Storm														
Structures					Runoff Calculations					Pipe Design				
From	To	Direct Area (acre)	Line Area (acre)	Total Area (acre)	C	K	Tc (min)	Flow Time (min)	Intensity (in/hr)	Design Q (cfs)	Description	Pipe length (lin ft)	Pipe Slope (%)	Pipe dia (in)
5705	5704	0.13	0.13	0.90	1.00	5.00	0.25	7.35	0.9	0.9	Curb Inlet	55.18	1.00	18
5704	5703	0.05	0.90	1.00	5.00	0.27	7.35	1.2	0.3	1.2	RCP	64.50	1.00	18
5703	5702	0.16	0.90	1.00	5.00	0.27	7.35	2.3	1.1	2.3	RCP	106.12	2.50	18
5702	5701	0.09	0.90	1.00	5.00	0.34	7.35	2.8	0.6	2.8	Junction Box	117.74	1.50	18
5701	5101	0.00	0.43	0.90	1.00	5.00	0.34	7.35	0.0	0.0	Junction Box	94.95	1.50	18
5801	5002	0.25	0.25	0.90	1.00	5.00	0.36	7.35	1.7	1.7	RCP	122.34	2.00	18
5901	5002	0.14	0.32	0.46	0.90	1.00	5.00	0.14	0.9	3.0	RCP	55.61	2.00	18

100 Year Storm														
Structures					Runoff Calculations					Pipe Design				
From	To	Direct Area (acre)	Line Area (acre)	Total Area (acre)	C	K	Tc (min)	Flow Time (min)	Intensity (in/hr)	Design Q (cfs)	Description	Pipe length (lin ft)	Pipe Slope (%)	Pipe dia (in)
5705	5704	0.13	0.13	0.90	1.25	5.00	0.25	10.32	1.5	1.5	RCP	55.18	1.00	18
5704	5703	0.05	0.90	1.25	5.00	0.27	10.32	2.1	0.6	2.1	RCP	64.50	1.00	18
5703	5702	0.16	0.90	1.25	5.00	0.27	10.32	3.9	1.9	3.9	RCP	106.12	2.50	18
5702	5701	0.09	0.90	1.25	5.00	0.34	10.32	5.0	0.9	5.0	Junction Box	117.74	1.50	18
5701	5101	0.00	0.43	0.90	1.25	5.00	0.34	10.32	0.0	0.0	Junction Box	94.95	1.50	18
5801	5002	0.25	0.25	0.90	1.25	5.00	0.36	10.32	2.9	2.9	RCP	122.34	2.00	18
5901	5002	0.14	0.32	0.46	0.90	1.25	5.00	0.14	1.6	5.3	RCP	55.61	2.00	18

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Paragon Star North Village

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FDP Resubmittal

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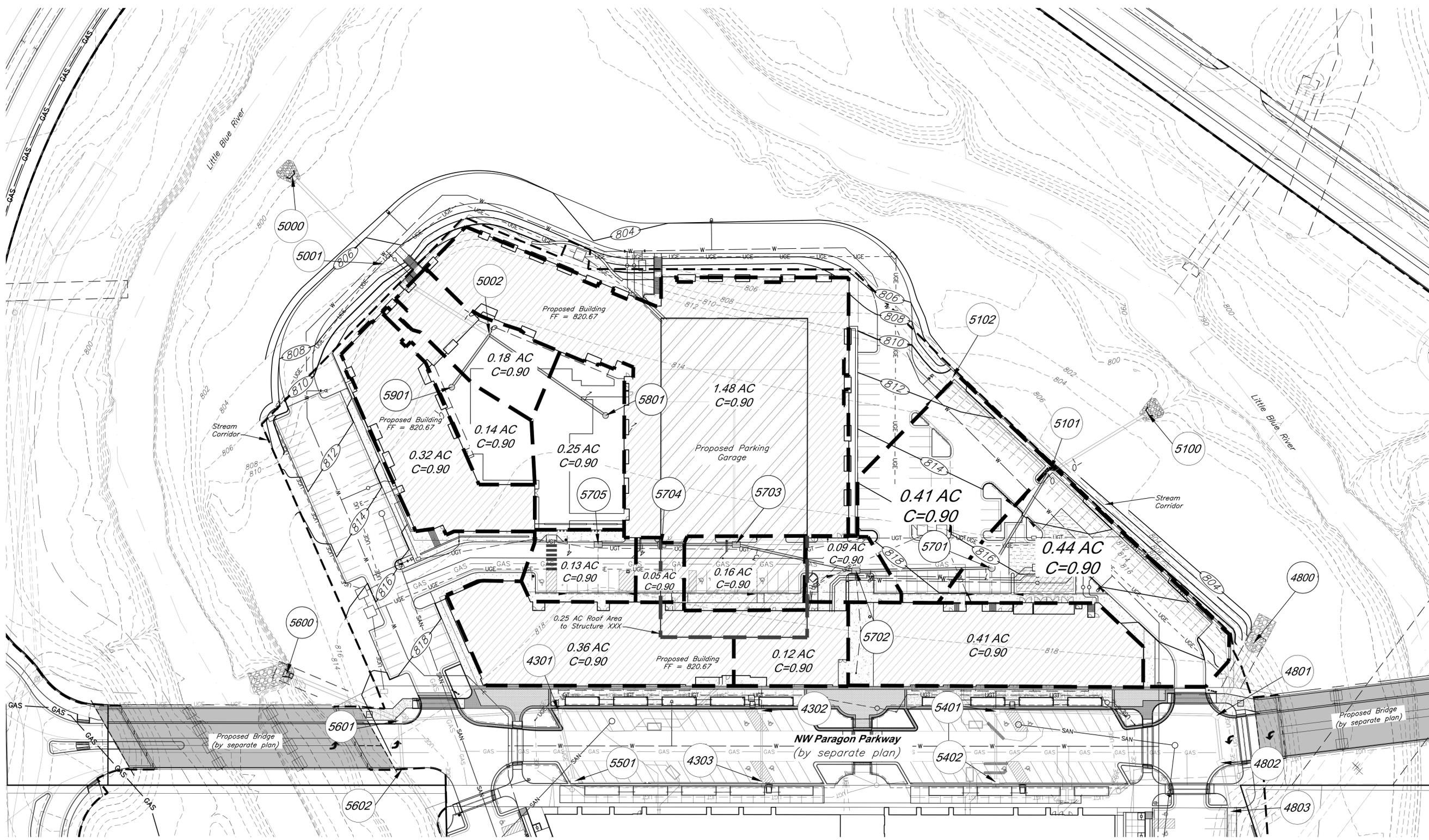
Storm Sewer Profiles

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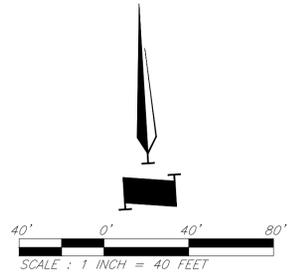
C014

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CAUTION!
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- LEGEND**
- XXX--- Existing Contour
 - XXX--- Proposed Contour
 - Proposed Drainage Area
 - 0.28 Acres Drainage Area
 - Proposed Storm Sewer
 - Future Storm Sewer



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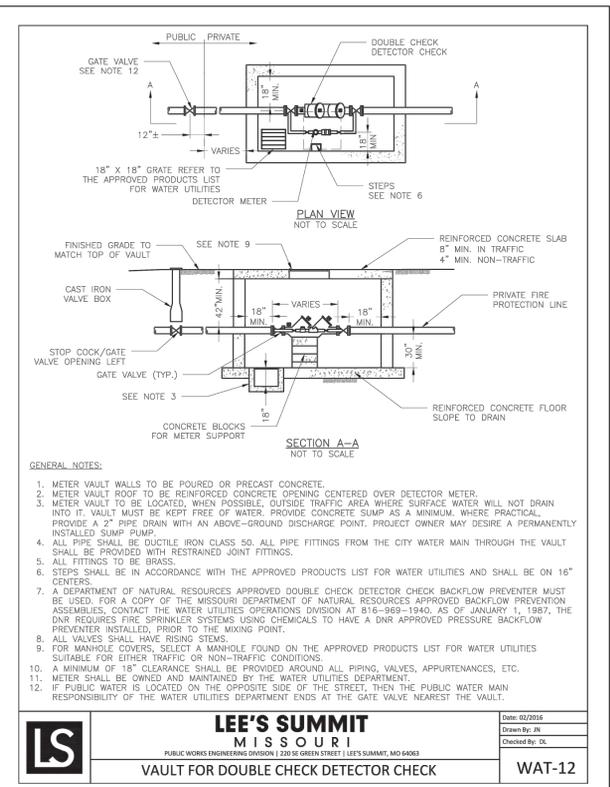
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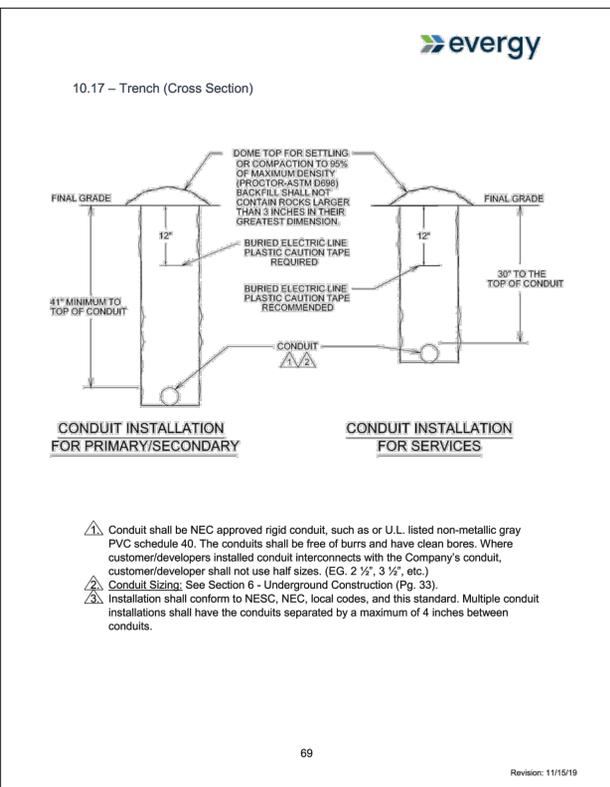
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C015

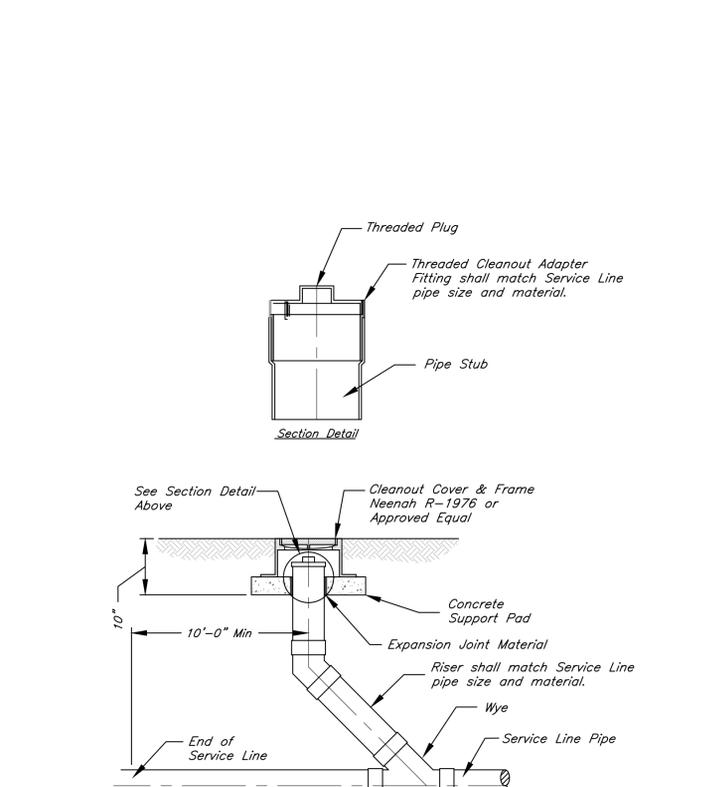
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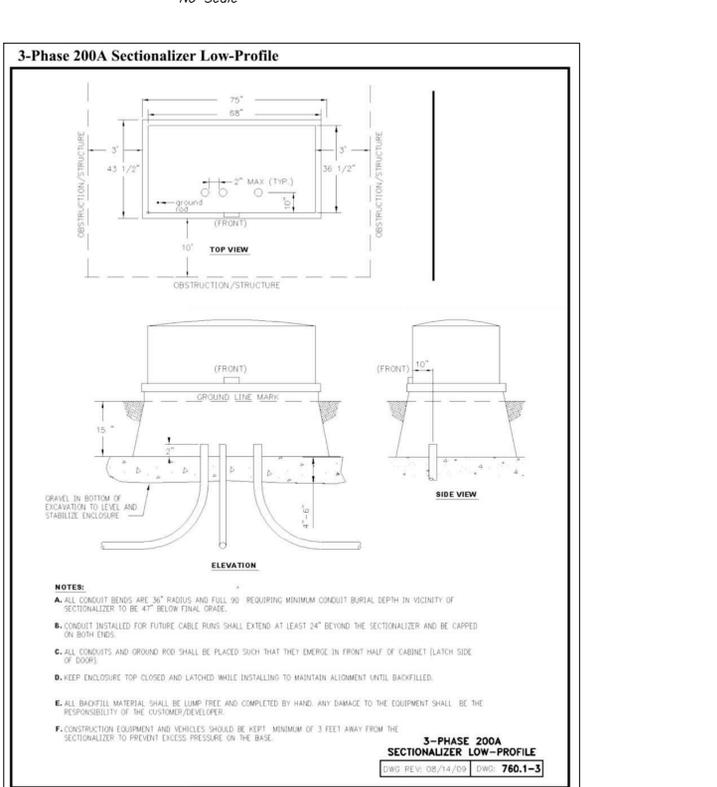
WATER METER VAULT DETAIL
Not to Scale



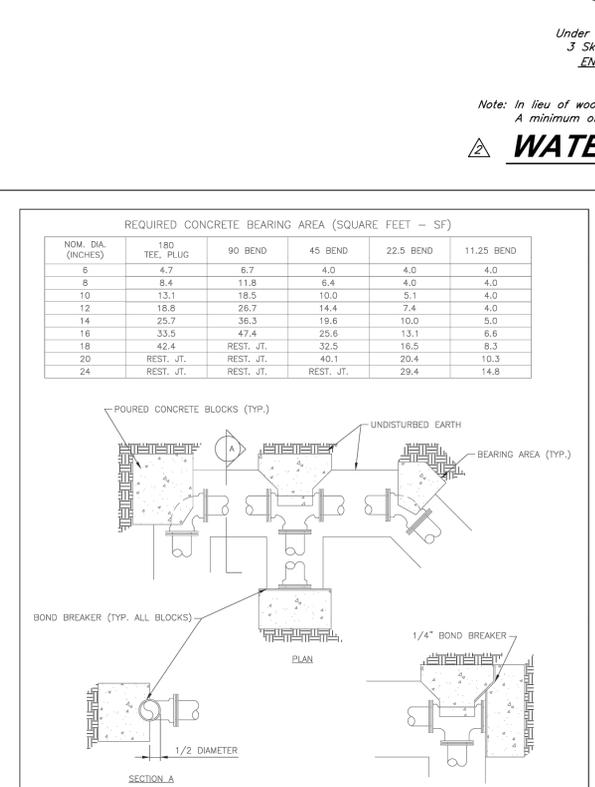
EVERGY STANDARD TRENCH DETAIL
Not to Scale



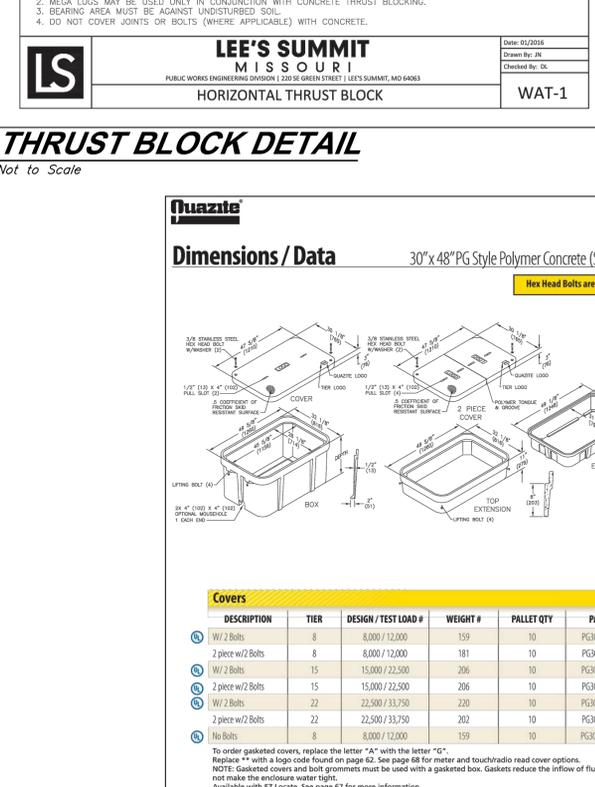
CLEANOUT DETAIL
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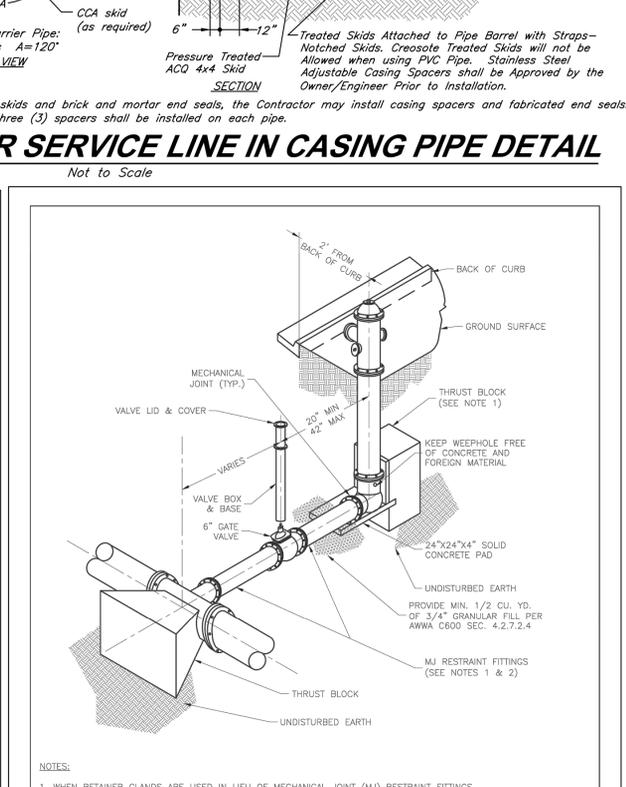
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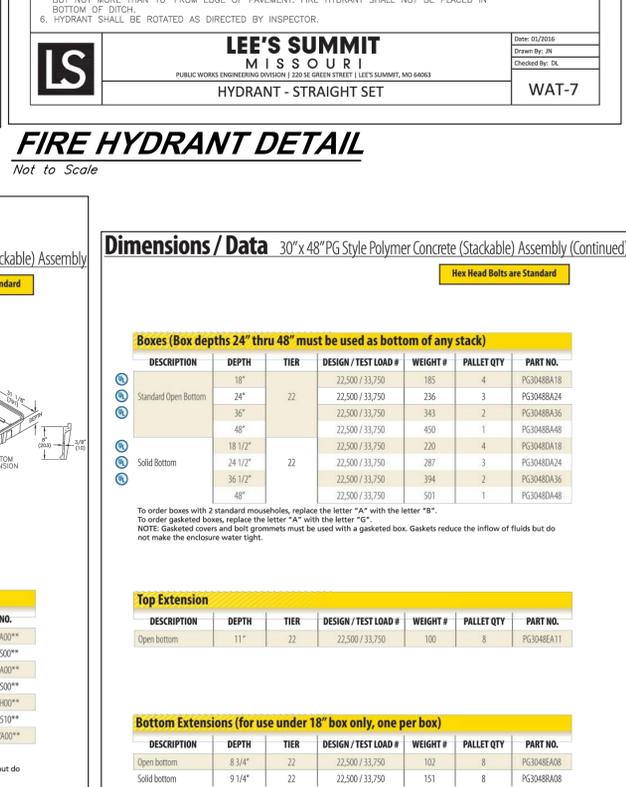
THRUST BLOCK DETAIL
Not to Scale



TELECOM PULL BOX
Not to Scale



WATER SERVICE LINE IN CASING PIPE DETAIL
Not to Scale



FIRE HYDRANT DETAIL
Not to Scale

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PROJECT:

Paragon Star North Village
 3200 NW Paragon Parkway, Lee's Summit, MO 64081
 FDP Resubmittal

ISSUE:
 7/11/22 Addendum 1

DESCRIPTION	DEPTH	TIER	DESIGN / TEST LOAD #	WEIGHT #	PALLET QTY	PART NO.
Standard Open Bottom	18"	22	22,500 / 33,750	185	4	PG3048A18
	24"	22	22,500 / 33,750	236	3	PG3048A24
	36"	22	22,500 / 33,750	343	2	PG3048A36
	48"	22	22,500 / 33,750	450	1	PG3048A48
Solid Bottom	18 1/2"	22	22,500 / 33,750	220	4	PG3048D18
	24 1/2"	22	22,500 / 33,750	287	3	PG3048D24
	36 1/2"	22	22,500 / 33,750	394	2	PG3048D36
	48"	22	22,500 / 33,750	501	1	PG3048D48

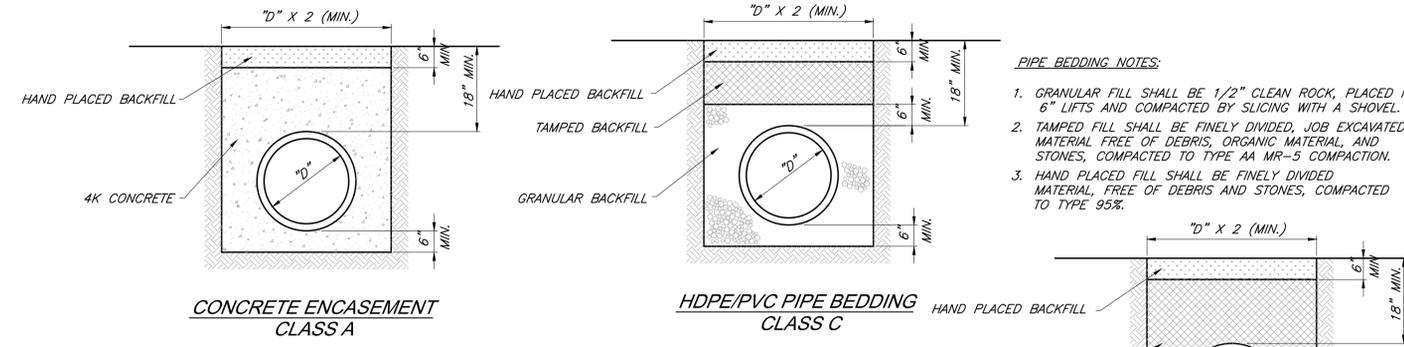
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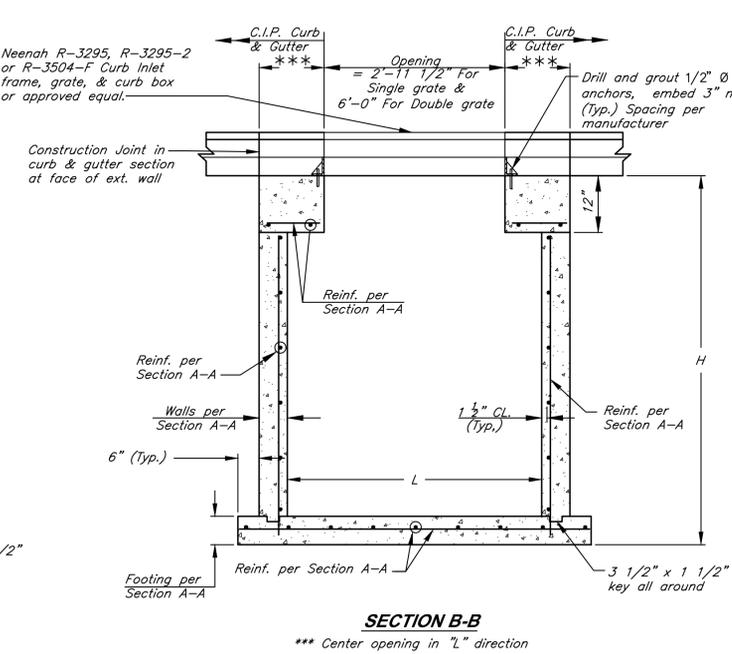
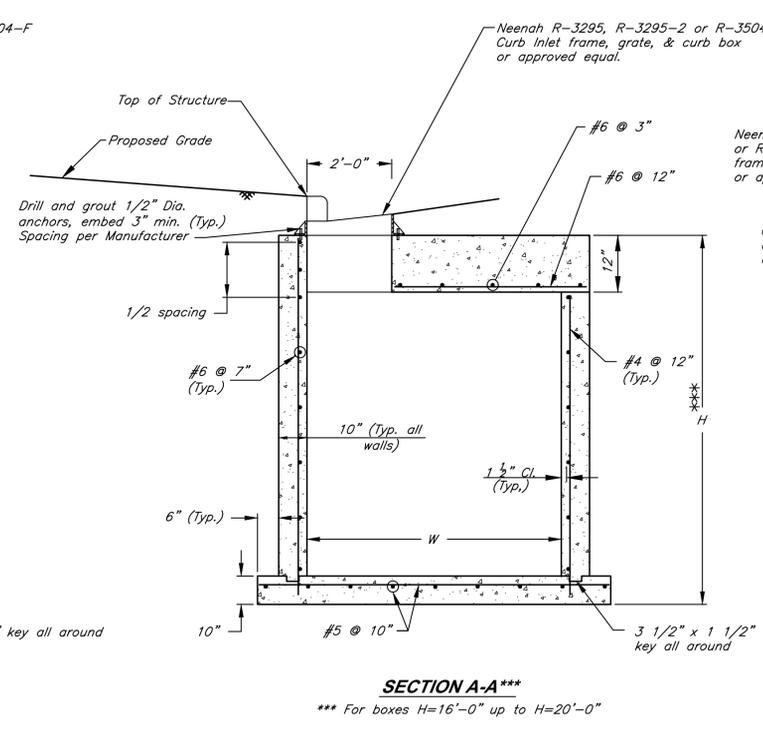
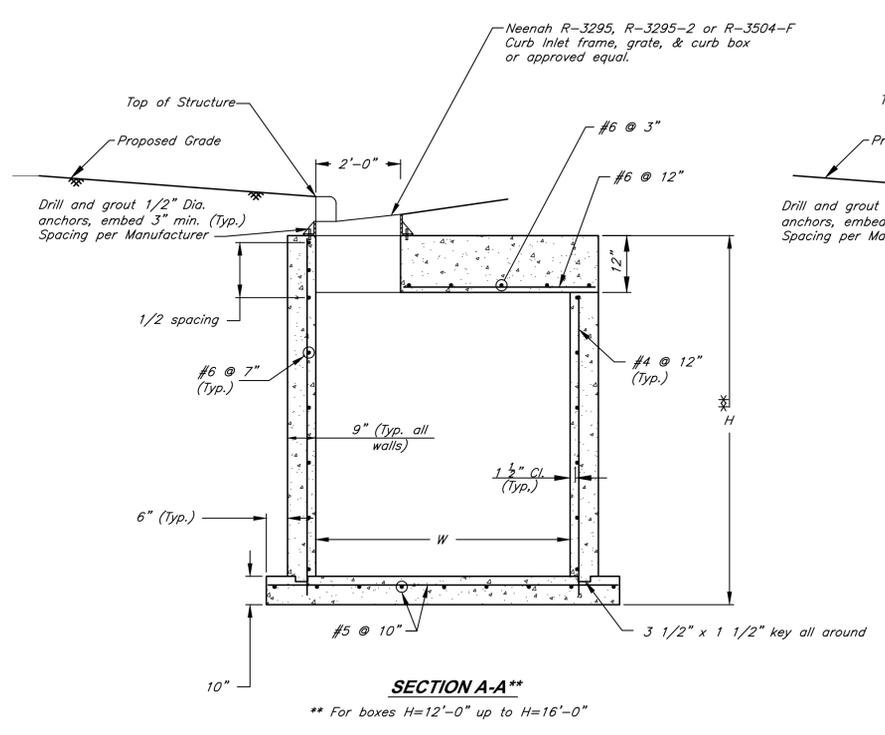
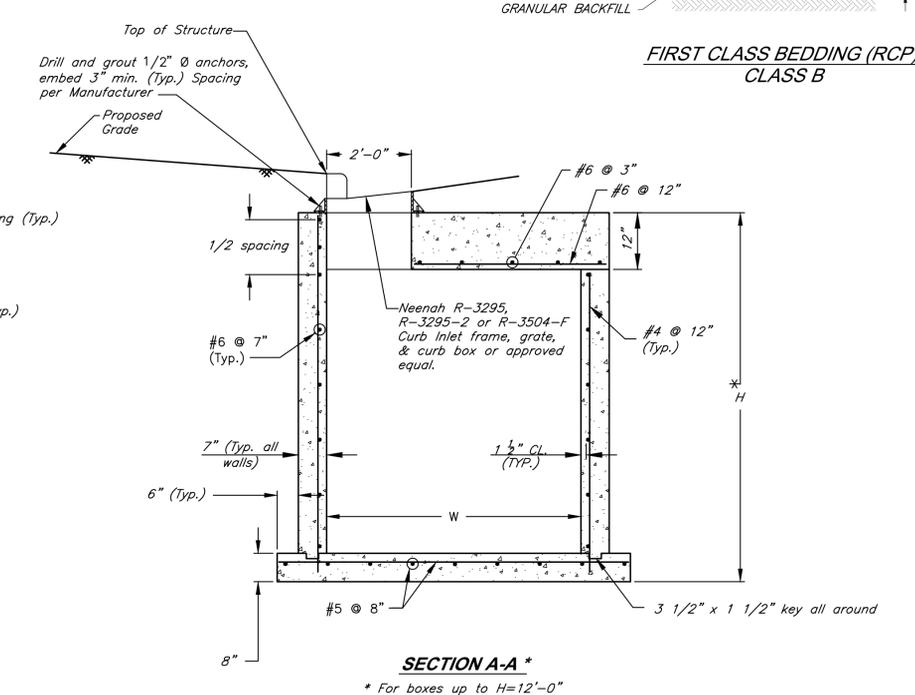
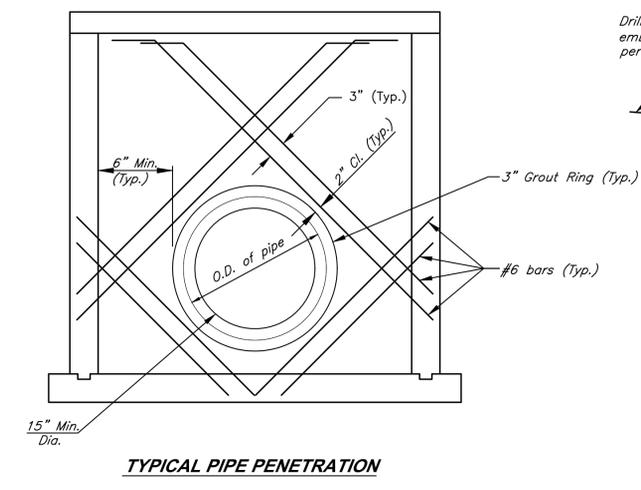
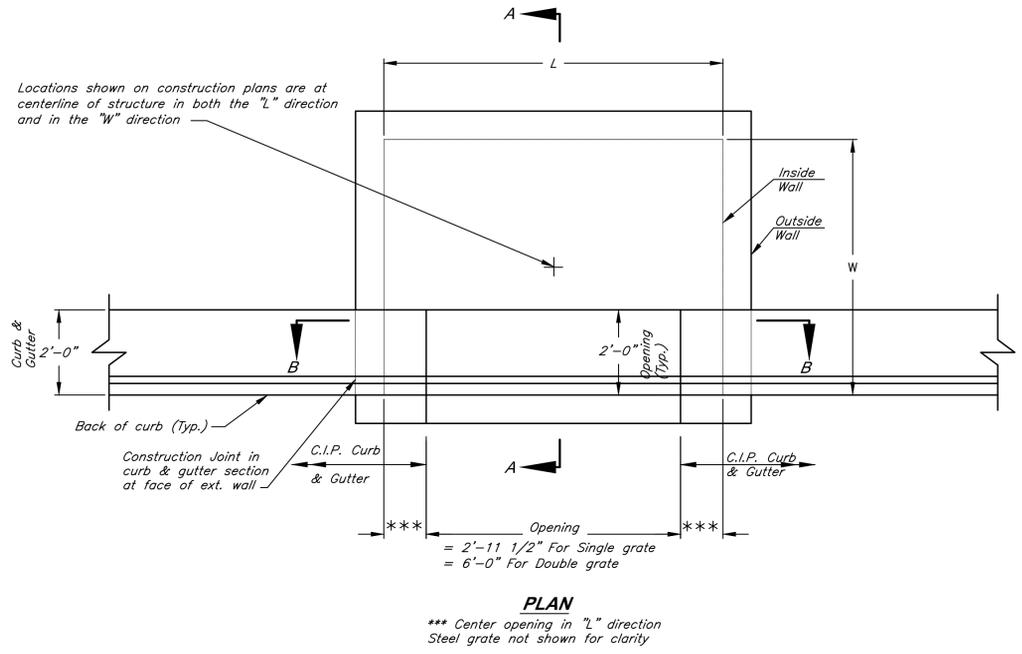
JOB NO: 18017, 19050.07, 19050.08
 DATE: 08.12.2022 DRAWN BY: JRH
 SHEET NO:

C016

G:\12720\Civil 2D\Production Drawings\LS Multifamily FDP\1272002100.dwg, Layout: C017 Storm Sewer Details -- Thursday August 11, 2022, 10:08am -- Copyright 2022, George Butler Associates, Inc. THE PROFESSIONAL WHOSE SEAL, SIGNATURE, AND PERSONAL SEAL APPEARS ON THIS PAGE ASSUMES RESPONSIBILITY ONLY FOR WHAT APPEARS ON THIS PAGE AND DISCLAIMS ANY RESPONSIBILITY FOR ALL OTHER PLANS, SPECIFICATIONS, REPORTS OR OTHER DOCUMENTS OR INSTRUMENTS NOT SEALED BY THE UNDERSIGNED PROFESSIONAL RELATING TO, OR INTENDING TO BE USED FOR, ANY PART OF THIS PROJECT TO WHICH THIS PAGE REFERS.



- PIPE BEDDING NOTES:**
1. GRANULAR FILL SHALL BE 1/2" CLEAN ROCK, PLACED IN 6" LIFTS AND COMPACTED BY SLICING WITH A SHOVEL.
 2. TAMPED FILL SHALL BE FINELY DIVIDED, JOB EXCAVATED MATERIAL FREE OF DEBRIS, ORGANIC MATERIAL, AND STONES, COMPACTED TO TYPE AA MR-5 COMPACTION.
 3. HAND PLACED FILL SHALL BE FINELY DIVIDED MATERIAL, FREE OF DEBRIS AND STONES, COMPACTED TO TYPE 95%.



SPECIAL CURB INLET
Not to Scale

- Special Curb Inlet Notes:**
1. All concrete shall be KOMMB 4K.
 2. Floor of inlet shall have a shaped concrete invert to provide for smooth flow.
 3. The minimum dimension between the top of pipe and the top of box shall be 2'-6" (Typical all walls).
 4. Steps shall be C&B 2102, MA Industries PS2-PF or approved equal. (In the event "H" is equal to or greater than 12 feet MA Industries PS2-PF will not be allowed).
 5. Steps shall be spaced 1'-4" O.C. vertically and placed on a wall where there is no pipe penetrating the wall.
 6. Inlet construction notes shall list the "L" dimension first, the "W" dimension second, and the "H" dimension third. The maximum "L" and "W" dimensions are 8 ft and 6 ft, respectively. Any inlet exceeding either dimension shall be considered non-standard, and a detail shall be shown. Any such detail shall be sealed by a licensed Professional Engineer.
 7. All clear distances to reinforcing steel shall be 1-1/2" unless otherwise shown.
 8. Use HILTI HIT HY150 Injection Adhesive Anchor or approved equal for all anchor bolt grouting.
 9. All in-grade inlets shall conform to street grade. All inlets in sump shall be level. Bevel all exposed edges with 3/4" triangular molding.

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PROJECT:

Paragon Star North Village
3200 NW Paragon Parkway, Lee's Summit, MO 64081

FDP Resubmittal

ISSUE:

PROFESSIONAL SEAL:

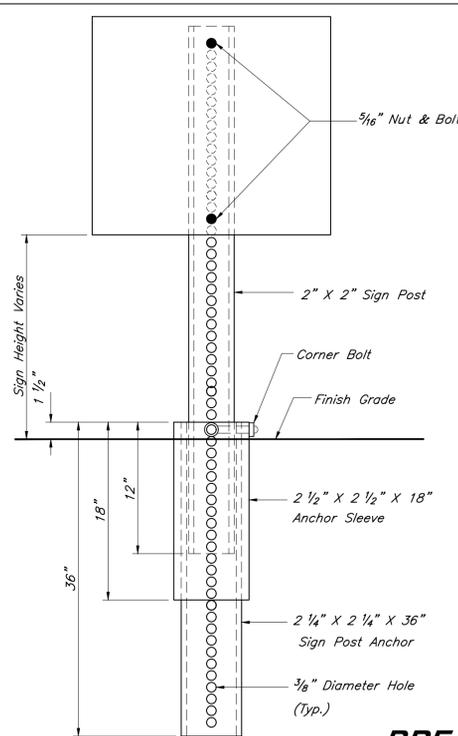
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Storm Sewer Details

JOB NO: 18017, 19050.07, 19050.08
 DATE: 08.12.2022 DRAWN BY: JRH
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C017

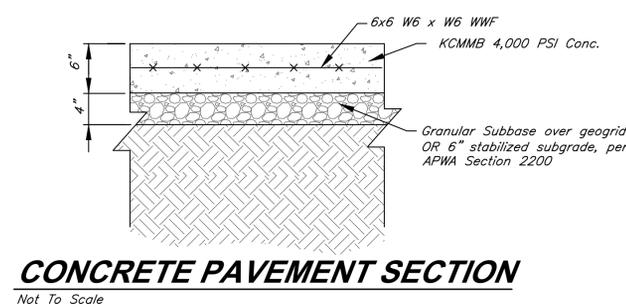
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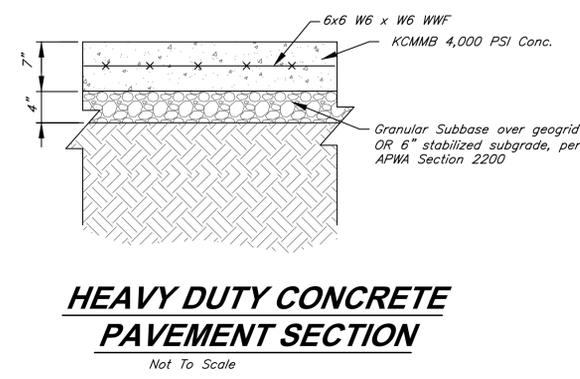
BREAK-AWAY SIGN POST DETAIL
Not To Scale

- Pavement Installation Sequence**
1. Sign post anchor driven into subgrade prior to the placement of the pavement.
 2. Anchor sleeve driven into subgrade over the sign post anchor prior to the placement of the pavement.
 3. Insert sign post into the sign post anchor and bolt in place.
- Ground Installation Sequence**
1. Sign post anchor driven into the ground.
 2. Anchor sleeve driven into the ground over the sign post anchor.
 3. Insert sign post into the sign post anchor and bolt in place.
- Note:**
In all installations the first hole above the finished grade level in all three units must be in line for insertion of the corner bolt.
- All corner bolts and nuts for fastening the signs and sign post assembly shall comply the applicable ANSI standards and ASTM testing requirements and shall be subsidiary items.
- All Components shall be galvanized.

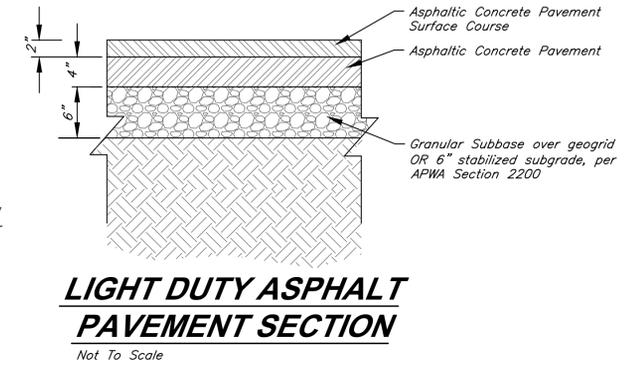
- Sign Notes:**
1. All letter, number & symbol sizes, spacing & colors, and the sign colors shall conform to the current "Manual On Uniform Traffic Control Devices."
 2. Sign blank material shall be as follows:
Signs 36"x36" or greater 0.100" thick
Guide Signs 0.125" thick
All other signs 0.080" thick
 3. All sign mounting hardware shall be galvanized.
 4. All sign faces shall be fabricated using ASTM Type III Prismatic reflective sheeting.
- SECTION A-A**
- 2 1/2" X 2 1/2" X 18" Anchor Sleeve
2 1/4" X 2 1/4" X 18" Sign Post Anchor
2"x2" Sign Post
Flat Washer
5/16" Std. Corner Bolt
5/16" Hex Jam Nut
5/16" CORNER BOLT DETAIL (all bolts)



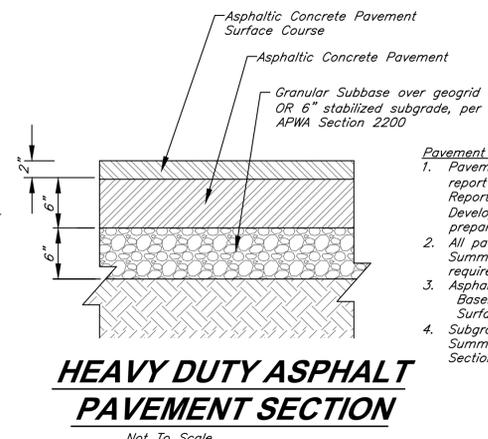
CONCRETE PAVEMENT SECTION
Not To Scale



HEAVY DUTY CONCRETE PAVEMENT SECTION
Not To Scale

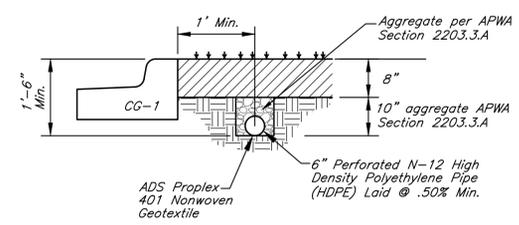


LIGHT DUTY ASPHALT PAVEMENT SECTION
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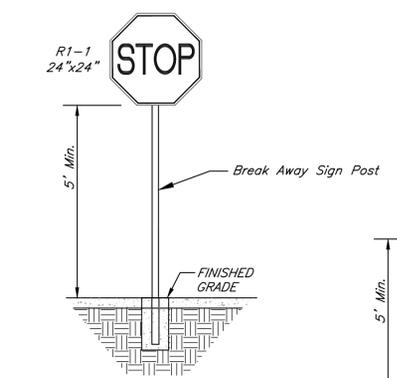


HEAVY DUTY ASPHALT PAVEMENT SECTION
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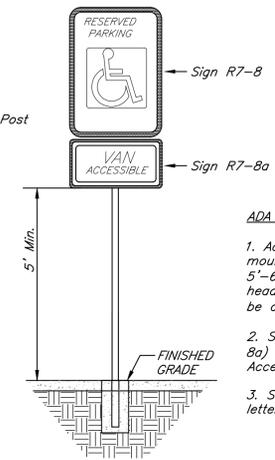
- Pavement Notes:**
1. Pavement sections from geotechnical report title "Geotechnical Engineering Report - Paragon Multi-Family Development", dated August 11, 2021, prepared by Terracon Consultants, Inc.
 2. All pavement shall meet City of Lee's Summit UDO Section 8.620 requirements.
 3. Asphalt mix shall be APWA Base: 1-01, 2-01 or 5-01 Surface: 2-01, 3-01 or 5-01
 4. Subgrade stabilization shall be per Lee's Summit Standard Specifications - APWA Section 2200.



UNDERDRAIN DETAIL
Not To Scale

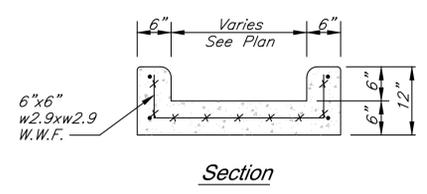


STOP SIGN DETAIL
Not to Scale

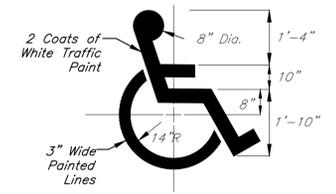


TYPICAL ACCESSIBLE SIGNAGE
Not to Scale

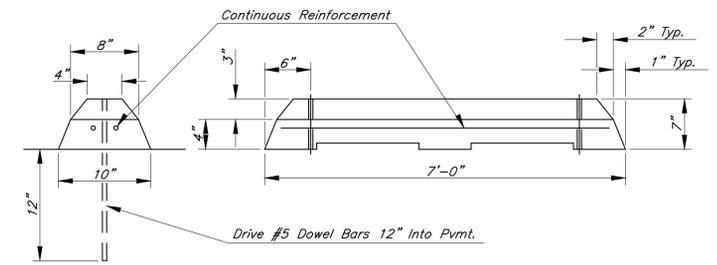
- ADA Sign Notes:**
1. Accessible Sign (R7-8) Shall be mounted on a pole or other structure 5'-6" above the parking surface, at the head of the parking space, and shall be at least 12"x18" in area.
 2. Supplemental Accessible Sign (R7-8a) shall be used on all required Van Accessible Spaces.
 3. Signs shall be blue with white lettering.



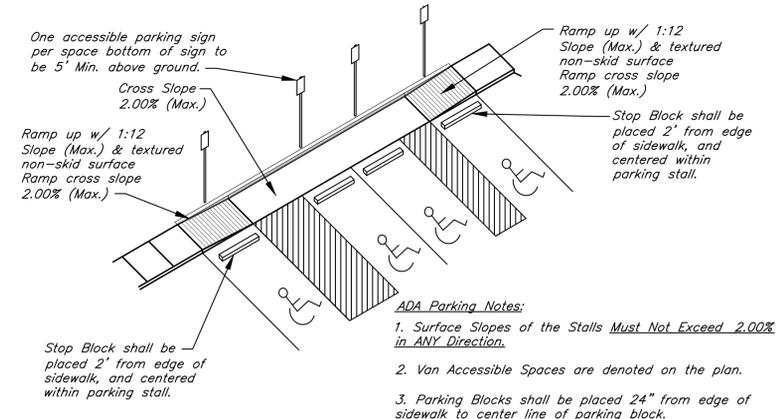
CONCRETE FLUME
Not To Scale



ACCESSIBLE PARKING SYMBOL DETAIL
Not to Scale



PRECAST CONCRETE STOP BLOCK
Not to Scale



ADA PARKING DETAIL
Not to Scale

- ADA Parking Notes:**
1. Surface Slopes of the Stalls Must Not Exceed 2.00% in ANY Direction.
 2. Van Accessible Spaces are denoted on the plan.
 3. Parking Blocks shall be placed 24" from edge of sidewalk to center line of parking block.

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PROJECT:
Paragon Star North Village
3200 NW Paragon Parkway, Lee's Summit, MO 64081
FDP Resubmittal

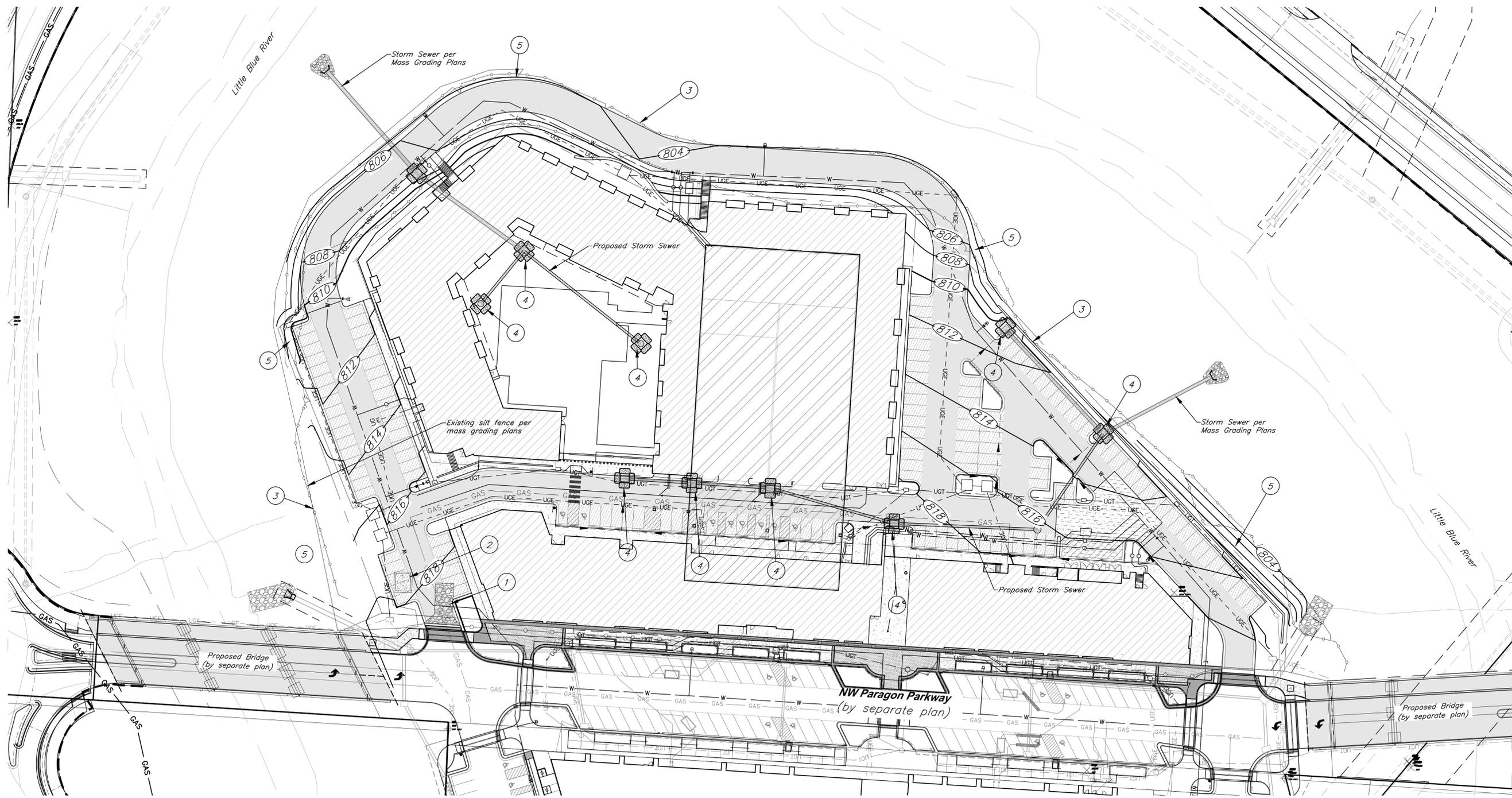
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PROFESSIONAL SEAL:

DRAWING TITLE:
Construction Details

JOB NO: 18017, 19050.07, 19050.08
DATE: 08.12.2022 DRAWN BY: JRH
SHEET NO:
C018

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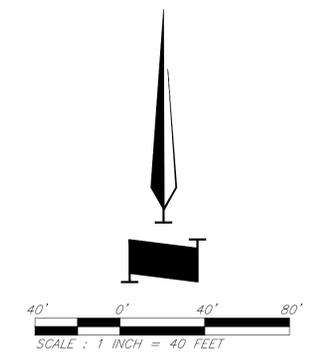
EROSION & SEDIMENT CONTROL STAGING CHART

Project Stage	Ref. No.	BMP Description	May Remove after Stage	Notes
A. Place Erosion Control Prior to Land Disturbance	1	Const. Entrance & Staging Area	C	
	2	Construct Concrete Wash-out	C	
	3	Perimeter Silt Fence	C	
B. Final Grading, Paving, and Landscaping	4	Inlet Protection	C	
	5	Seed & Mulch or Blanket or Sod		Erosion control blanket to be installed w/ seed. Check approved seeding dates and install temporary stabilization if out of seeding season. Install blanket according to manufacturer's instructions and stapling pattern.

Note: Permanent Stabilization will be considered stabilized when 100% of disturbed area is established with perennial vegetation with a density of 70%.

Legend

- Proposed Contour
- Existing Contour
- Geotechnical Boring Location
- Straw Wattles
- Inlet Filter Sock
- Grading Limits
- Sediment Fence
- Exist. Sediment Fence (to be maintained on perimeter)



PROJECT BENCHMARK:

BM #11 - Chiseled "L" on top Northeast corner of concrete guardrail at the Northeast corner of 1470 bridge spanning View High Drive. EL=833.80

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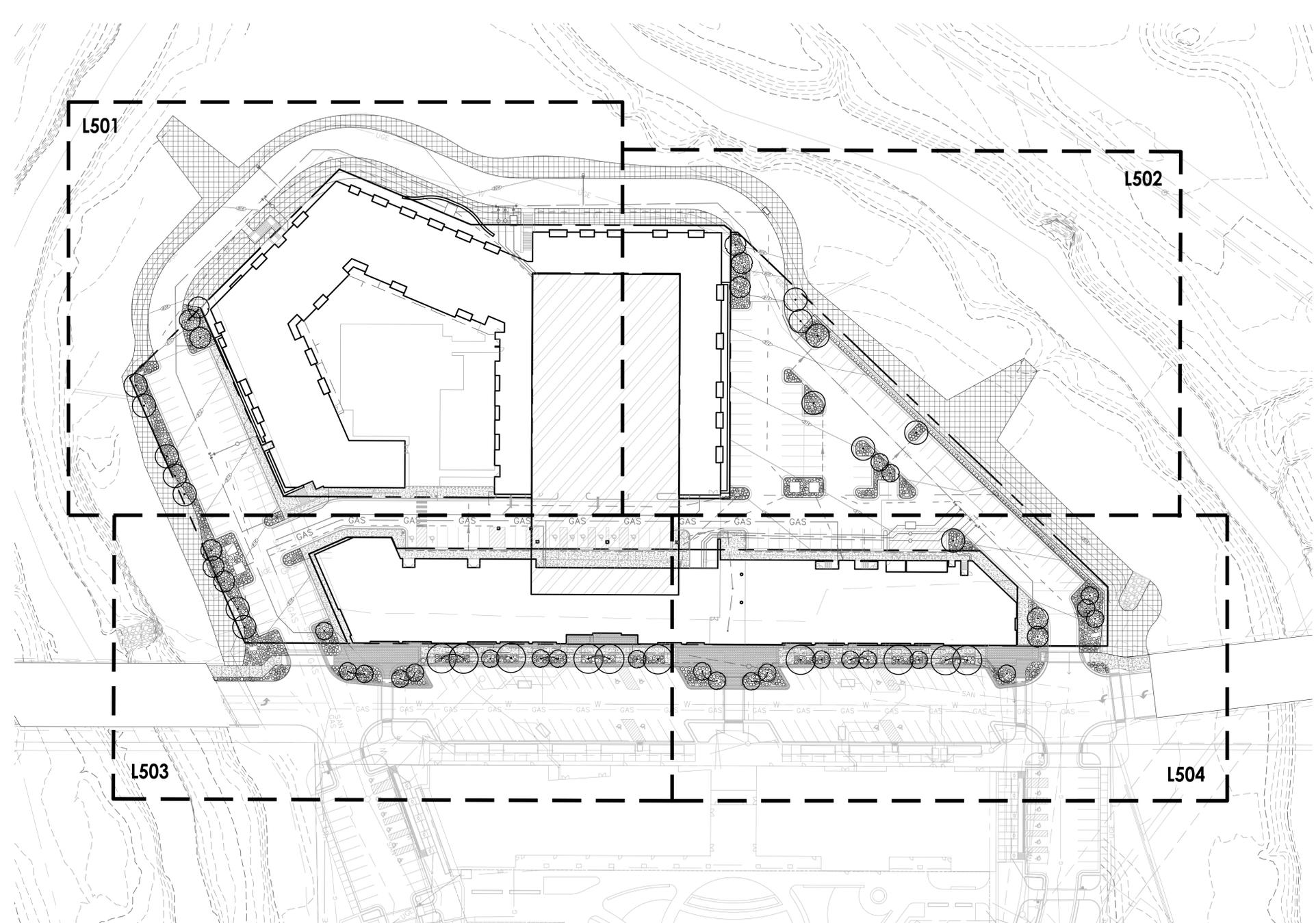
Erosion Control Plan

JOB NO: 18017, 19050.07, 19050.08
 DATE: 08.12.2022 DRAWN BY: JRH

SHEET NO:

C021

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 MICHAEL KILLEN 0.3869-1
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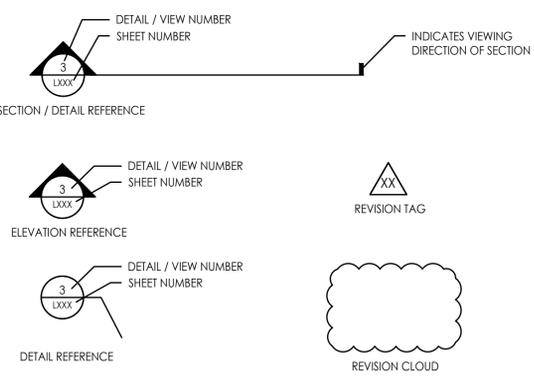
GENERAL NOTES

- ALL SITE AND UTILITY INFORMATION SHOWN IS BASED UPON INFORMATION AVAILABLE AT THE TIME OF DESIGN. VERIFY ALL SITE CONDITIONS, ELEVATIONS, UTILITY LOCATIONS AND DIMENSIONS INCLUDING NEW IMPROVEMENTS PRIOR TO COMMENCEMENT OF WORK. NOTIFY OWNER REPRESENTATIVE OF ANY DISCREPANCIES OR IRREGULAR CONDITIONS. CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES BY CONTACTING ALL OF THE RESPECTIVE UTILITY COMPANIES AND/OR THE LOCAL "ONE-CALL"/"CALL-BEFORE-YOU-DIG" SYSTEM AND BY EXCAVATING TEST PITS IF NECESSARY.
- ALL DIMENSIONS SHOWN ARE REPRESENTED USING U.S. SURVEY DIMENSION STANDARDS.

COMMON ABBREVIATIONS

APPROX	APPROXIMATE	MH	MANHOLE
ARCH	ARCHITECT	MIN	MINIMUM
AVG	AVERAGE	MISC	MISCELLANEOUS
B&B	BALLED AND BURLAPPED	N	NORTH
BC	BOTTOM OF CURB	NIC	NOT IN CONTRACT
BLDG	BUILDING	NO	NUMBER
BM	BENCHMARK	NOM	NOMINAL
BOC	BACK OF CURB	NTS	NOT TO SCALE
BW	BOTTOM OF WALL	OC	ON CENTER
CAL	CALIPER	OD	OUTSIDE DIAMETER
CB	CATCH BASIN	PC	POINT OF CURVATURE
CF	CUBIC FEET	PE	POLYURETHANE
CIP	CAST IN PLACE	PERF	PERFORATED
CL	CENTERLINE	PI	POINT OF INTERSECTION
CLR	CLEAR, CLEARANCE	PL	PROPERTY LINE
CJ	CONTROL JOINT	PT	POINT, POINT OF TANGENCY
CM	CENTIMETER	PVC	POLYVINYL CHLORIDE
CO	CLEAN OUT	QTY	QUANTITY
CONT	CONTINUOUS	R	RADIUS
CY	CUBIC YARD	RE	REFERENCE, REFER TO
DEG	DEGREE	REIN	REINFORCED
DEMO	DEMOLISH, DEMOLITION	REQ'D	REQUIRED
DIA	DIAMETER	REV	REVISION, REVISED
DIM	DIMENSION	ROW	RIGHT OF WAY
DTL	DETAIL	S	SOUTH
DWG	DRAWING	SAN	SANITARY
E	EAST	SEC	SECTION
EA	EACH	SF	SQUARE FOOT (FEET)
EJ	EXPANSION JOINT	SHT	SHEET
EL	ELEVATION	SIM	SIMILAR
ENG	ENGINEER	SPECS	SPECIFICATIONS
EQ	EQUAL	STM	STORM SEWER
EST	ESTIMATE	SY	SQUARE YARD
E.W.	EACH WAY	STA	STATION
EXIST	EXISTING	STD	STANDARD
EXP	EXPANSION, EXPOSED	SYM	SYMMETRICAL
FFE	FINISHED FLOOR ELEVATION	T&B	TOP AND BOTTOM
FG	FINISHED GRADE	TBC	TOP OF BACK CURB
FL	FLOW LINE	TC	TOP OF CURB
FT	FOOT (FEET)	TF	TOP OF FOOTING
FIG	FOOTING	TH	THICK
GA	GAUGE	TOPO	TOPOGRAPHY
GEN	GENERAL	TW	TOP OF WALL
GR	GRADE ELEVATION	TYP	TYPICAL
HDPE	HIGH-DENSITY POLYURETHANE	VAR	VARIES
HORIZ	HORIZONTAL	VOL	VOLUME
HP	HIGH POINT	W/	WITH
HT	HEIGHT	W/O	WITHOUT
ID	INSIDE DIAMETER	WT	WEIGHT
INV	INVERT ELEVATION	WL	WATER LEVEL
IN	INCH(ES)	WWF	WELED WIRE FABRIC
INCL	INCLUDE(D)	YD	YARD
JT	JOINT	@	AT
LF	LINEAR FEET		
LP	LOW POINT		
MAX	MAXIMUM		

SYMBOLS LEGEND



1 KEY PLAN
Scale: 1:50

LANDSCAPE REQUIREMENTS - Paragon Star North Village Final Development Plan
CITY: LEE'S SUMMIT, MISSOURI

Code	Requirement	Location	Dimension	Required	Provided	Additional Notes
8.790.A.1 Street Frontage Trees	One (1) tree shall be planted for each 30lf of street frontage.	Paragon Parkway	743 LF	25 Trees	27	Trees part of streetscape designs
8.790.A.2 Street Frontage Green Strip	Any parking or loading visible from a street shall be separated with a 20 ft wide landscape strip.	East & West Ends of Paragon Parkway		20 FT	20 FT	
8.790.A.3 Street Frontage Shrubs	One (1) shrub shall be provided for each 20ft of street frontage.	Paragon Parkway	743 LF	25 Shrubs	25	Provided as part of streetscape design
8.790.B.1 Open Yard Areas	Provide two (2) shrubs per 5,000 square feet of total lot area excluding building footprint area.	North Village Lot	120683 SF	48 Shrubs	48	236,554 SF of lot area 115,871 SF building footprint
8.790.B.2 Open Yard Areas	All portions of the site not covered with paving or buildings shall be landscaped.	North Village Lot	N/A			Refer to site landscape beds
8.790.B.3 Open Yard Areas	In addition to trees required based upon street frontage, provide one (1) tree for every 5,000 square feet of lot area not covered by buildings/structures.	North Village Lot	120683 SF	24 Trees	30	236,554 SF of lot area 115,871 SF building footprint
8.810.A Parking Lot Landscaping & Trees	Landscape islands, strips or other planting areas shall constitute 5% of the entire area devoted to parking spaces, aisles and driveways.	Northeast Parking Lot West Parking Lot	42346 SF 22310 SF	2117 SF 1116 SF	2538 SF 1368 SF	
8.810.B Parking Lot Landscaping & Trees	Landscape island shall be located at the end of every parking bay. The island shall be planted in trees, shrubs, grass, or ground cover.	Northeast and West Parking Lots	N/A			Refer to site landscape beds
8.810.C Parking Lot Landscaping & Trees	Tree planting areas shall be no less than ten feet in width. No tree shall be located less than four feet from the back of curb.	Northeast and West Parking Lots	N/A			Refer to site landscape beds

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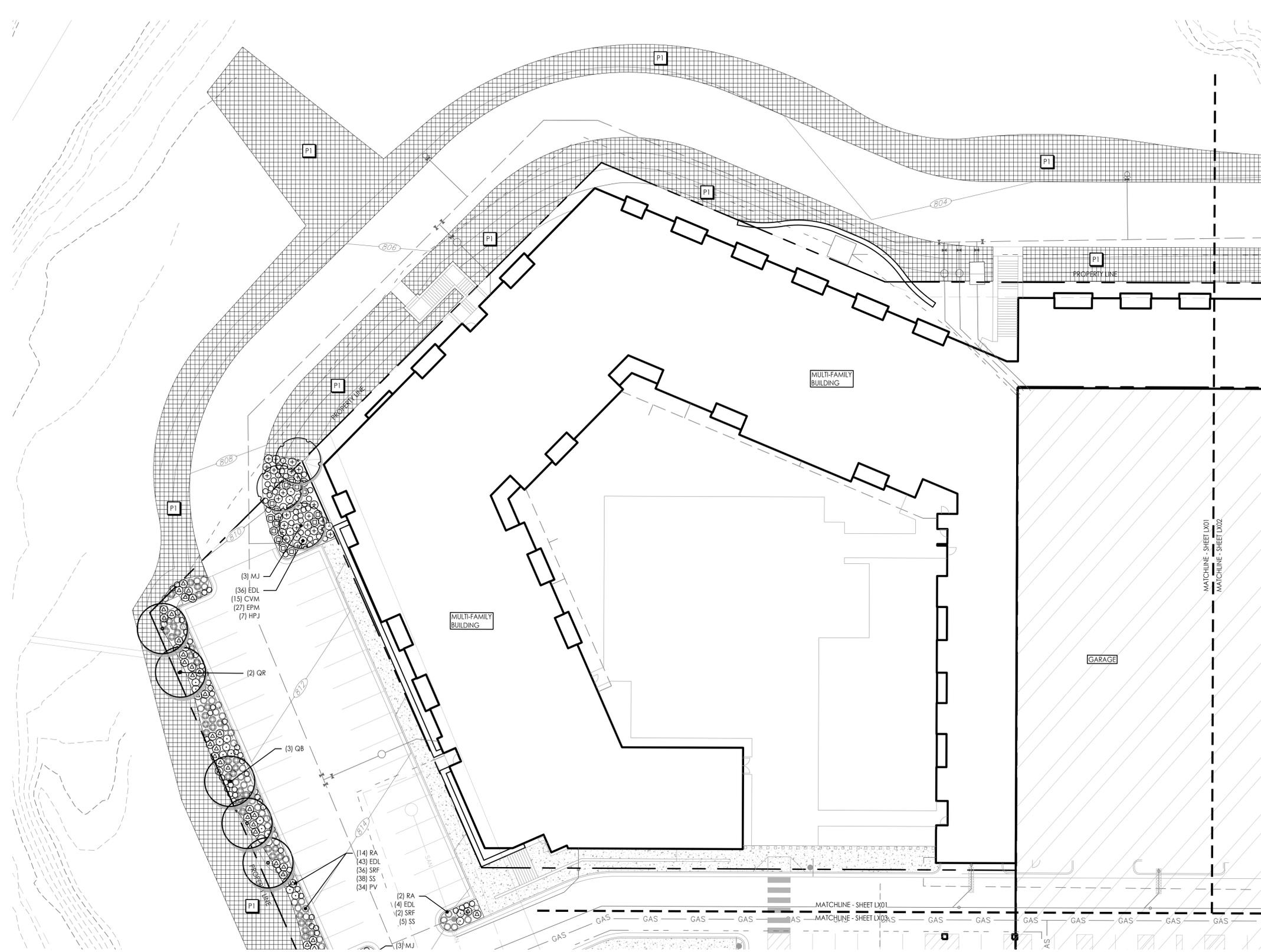
1	FDP RESUBMITTAL	08.12.2022



KEY PLAN & GENERAL INFORMATION

JOB NO: 1249 SCALE:
 DATE: 01.28.2022 DRAWN BY: MRK
 SHEET NO:
L000

G:\Archive\2019\1249 - PARAGON VILLAGE\DRAWINGS\CAD\SHETS\MULTIFAM\L501 PLANTING\MULTIFAM.dwg 8/11/2022 2:50:19 PM
 MICHAEL KILLEN
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Scale: 1:20



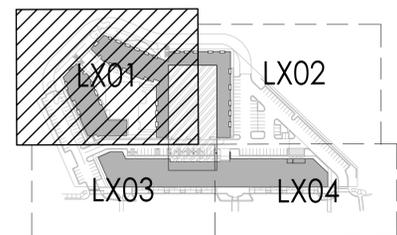
PLANTING SCHEDULE

SYM.	KEY	COMMON NAME BOTANICAL NAME	SIZE & REMARKS
SHADE/STREET TREES			
AF	Autumn Blaze Maple <i>Acer freemanii</i> 'Autumn Blaze'	3" cal.	
QR	Northern Red Oak <i>Quercus rubra</i>	2.5" cal.	
GT	Sunburst Honeylocust <i>Gleditsia triacanthos inermis</i> 'Sunburst'	3" cal.	
QB	Swamp White Oak <i>Quercus bicolor</i>	2.5" cal.	
GB	Maidenhair Tree <i>Ginkgo biloba</i> 'Fastigiata'	2.5" cal.	
ORNAMENTAL TREE			
CC	Eastern Redbud <i>Cercis canadensis</i>	3" cal.	
MJ	Magnolia <i>Magnolia x 'Jane'</i>	3" cal.	
MA	Royal Raindrops® Crabapple <i>Malus 'JFS-KWS'</i>	3" cal.	
AG	Autumn Brilliance Serviceberry <i>Amelanchier x grandiflora</i> 'Autumn Brilliance'	3" cal.	
DECIDUOUS SHRUB			
RA	Grow-low Sumac <i>Rhus aromatica</i> 'Gro-low'	3 gal.	
HPJ	Little Lime® Hydrangea <i>Hydrangea paniculata</i> 'Jane'	5 gal.	
ORNAMENTAL GRASS			
BC	Side Oats Grama Grass <i>Bouteloua curtipendula</i>	3 gal.	
PV	Shennadoah Switchgrass <i>Panicum virgatum</i> 'Shennadoah'	1 gal.	
PAH	Dwarf Fountain Grass <i>Pennisetum alopecuroides</i> 'Hameln'	1 gal.	
SSC	Standing Ovation Little Bluestem <i>Schizachyrium scoparium</i> 'Standing Ovation'	1 gal.	
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SH	Prairie Dropseed <i>Sporobolus heterolepis</i>	1 gal.	
PERENNIAL/GROUND COVER			
SRF	Rough Goldenrod <i>Solidago rugosa</i> 'Fireworks'	1 gal.	
CVM	Moonbeam Coreopsis <i>Coreopsis verticillata</i> 'Moonbeam'	1 gal.	
EPM	Purple Coneflower <i>Echinacea purpurea</i> 'Magnus'	1 gal.	
PA	Russian Sage <i>Perovskia atriplicifolia</i>	3 gal.	
EDL	Joe-pye Weed <i>Eupatorium dubium</i> 'Little-Joe'	1 gal.	
TURF/SEED MIXES			
P1	Native Prairie Seed Mix Butterfly Milkweed- <i>Asclepias tuberosa</i> (5%) Blue Wild Indigo- <i>Baptisia australis</i> (5%) New Jersey Tea- <i>Ceanothus americanus</i> (5%) Amethyst Vernal Witchhazel (10%) Switchgrass- <i>Panicum virgatum</i> (13%) Little Bluestem- <i>Schizachyrium scoparium</i> (30%) Indiangrass- <i>Sorghastrum nutans</i> (20%) Fall Aster - <i>Symphoricarion oblongifolium</i> (10%)		

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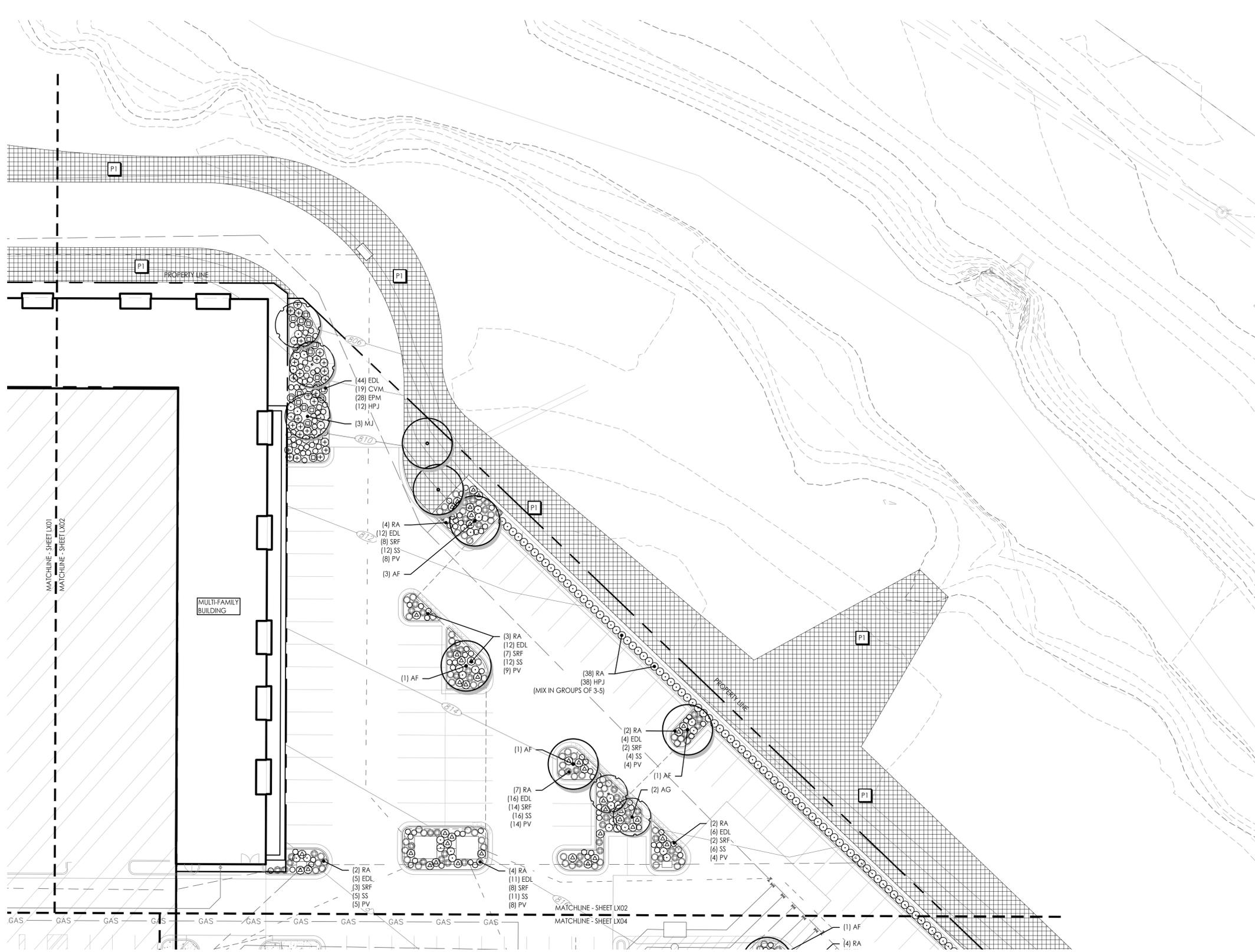
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DRAWING TITLE:
PLANTING PLAN
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 DATE: 01.28.2022 DRAWN BY: MRK
 SHEET NO:
L501

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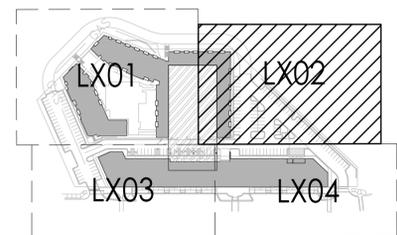
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ORNAMENTAL TREE			
CC		Eastern Redbud <i>Cercis canadensis</i>	3" cal.
MJ		Magnolia <i>Magnolia x 'Jane'</i>	3" cal.
MA		Royal Raindrops® Crabapple <i>Malus 'JFS-KWS'</i>	3" cal.
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RA		Grow-low Sumac <i>Rhus aromatica</i> 'Gro-low'	3 gal.
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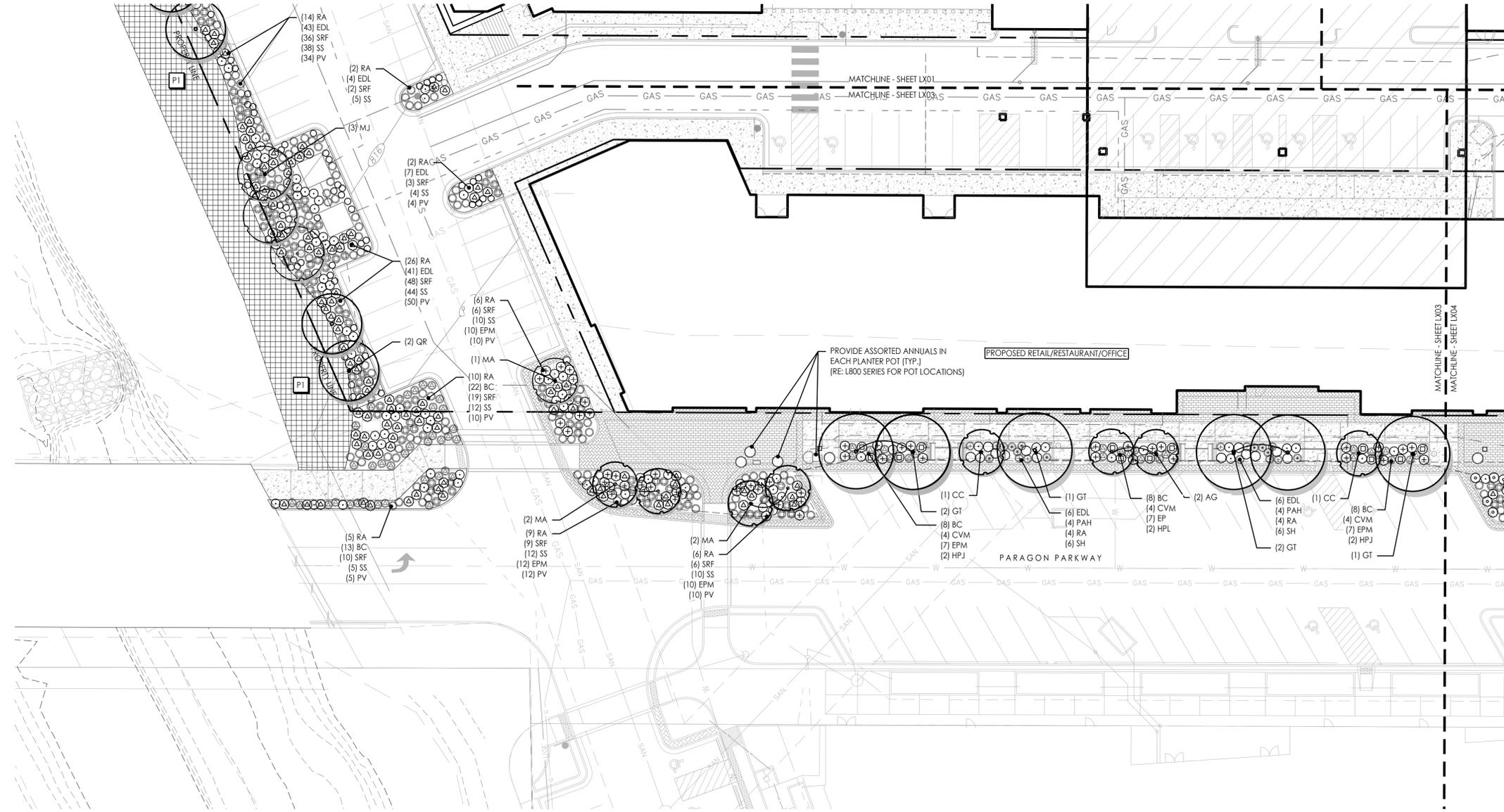
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PLANTING PLAN

JOB NO: 1249 SCALE:
 DATE: 01.28.2022 DRAWN BY: MRK
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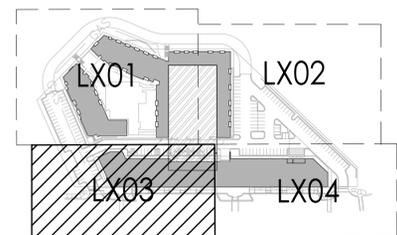
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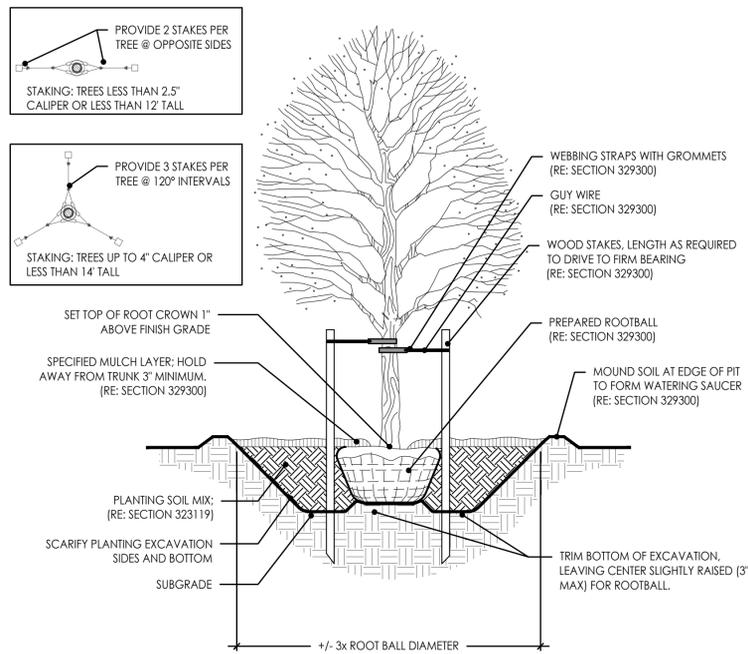


DRAWING TITLE:
PLANTING PLAN

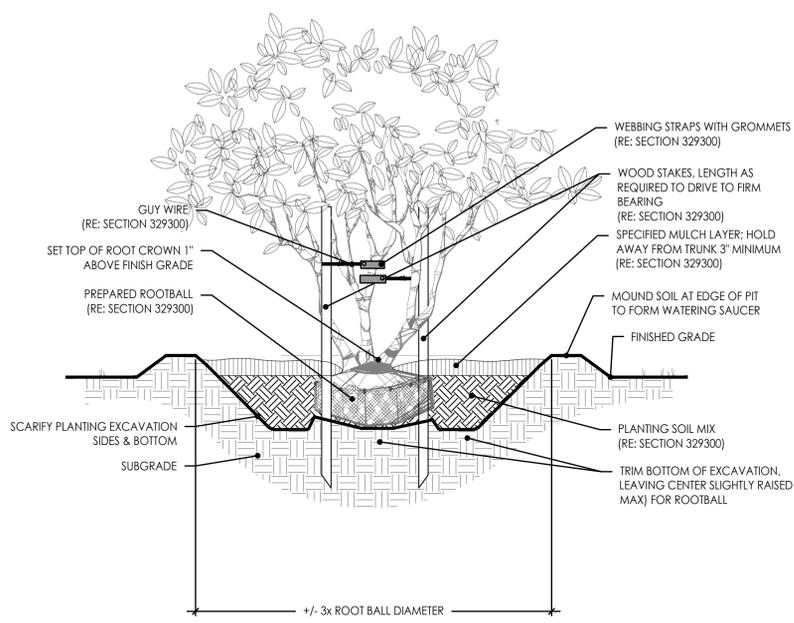
JOB NO: 1249 SCALE:
 DATE: 01.28.2022 DRAWN BY: MRK

SHEET NO:
L503

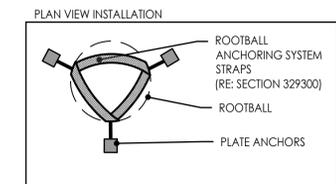
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 MICHAEL MULLEN
 0.38691
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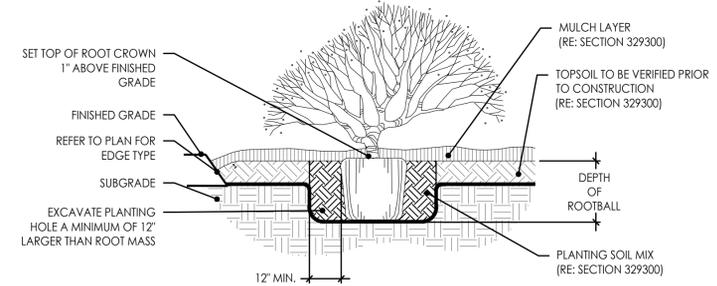
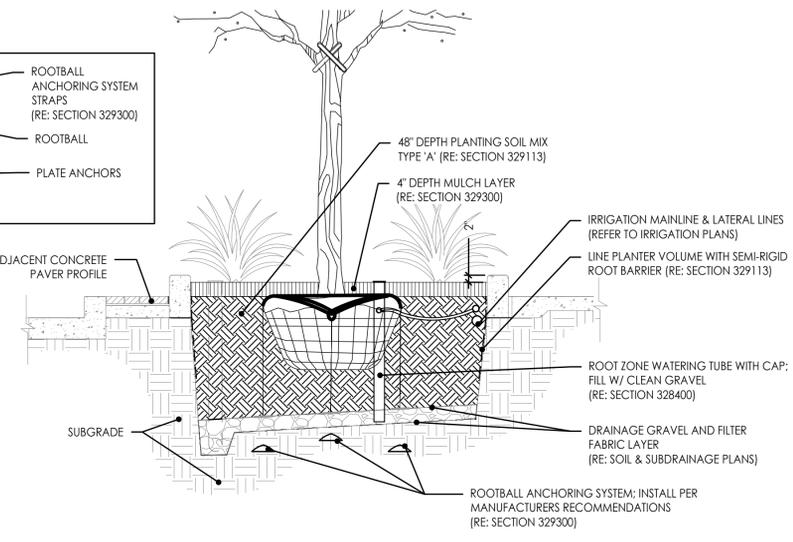
1 DECIDUOUS TREE PLANTING
Scale: N.T.S.



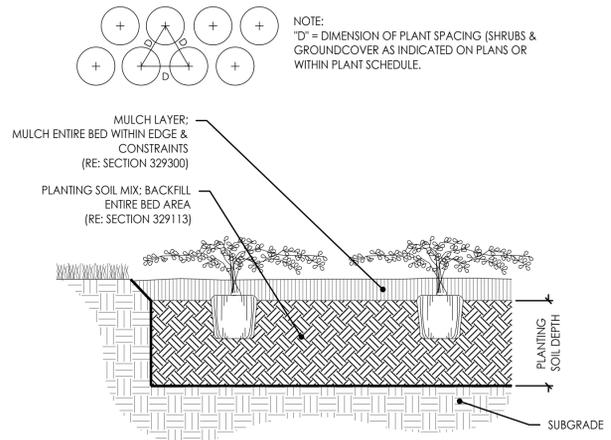
2 MULTI-STEM TREE PLANTING
Scale: N.T.S.



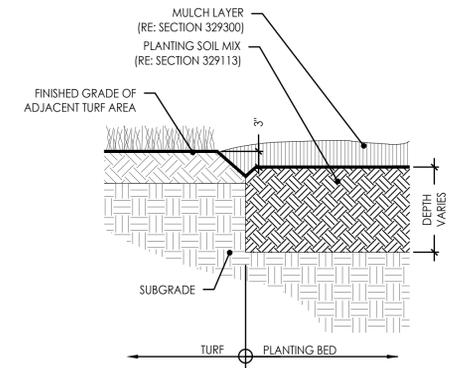
3 TREE IN RAISED CURB PLANTER
Scale: N.T.S.



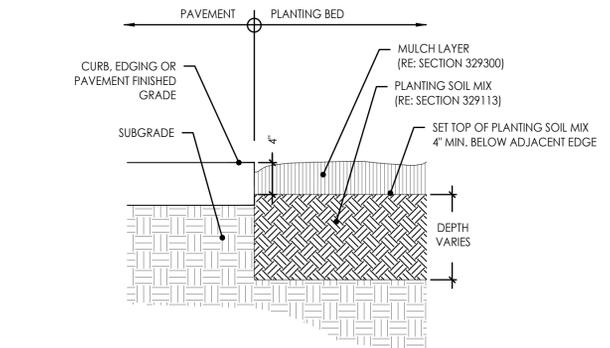
4 SHRUB PLANTING
Scale: N.T.S.



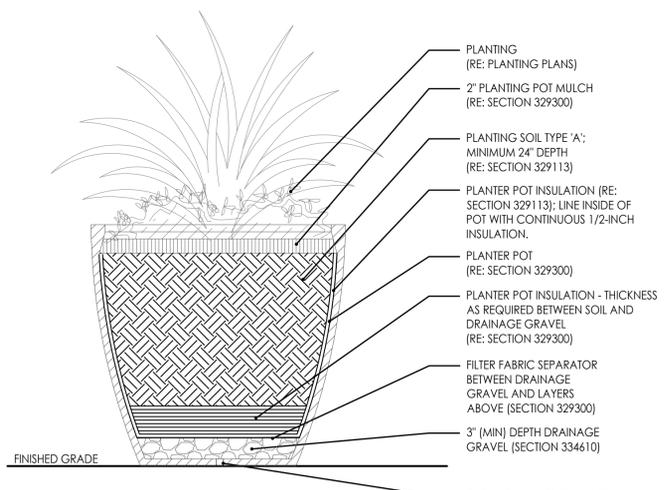
5 GROUNDCOVER PLANTING
Scale: N.T.S.



6 CULTIVATED EDGE
Scale: N.T.S.



7 PLANTING EDGE @ CONCRETE
Scale: N.T.S.



8 PLANTING POT (TYP.)
Scale: N.T.S.

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PROJECT:
Paragon Star North Village
 3200 NW Paragon Parkway, Lee's Summit, MO 64081
 Final Development Plan

ISSUE:

1	FDP RESUBMITTAL	08.12.2022

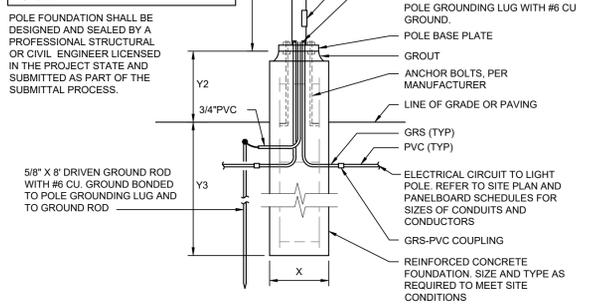
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PLANTING DETAILS
 JOB NO: 1249 SCALE:
 DATE: 01.28.2022 DRAWN BY: MRK
 SHEET NO:
L520

J:\Kansas City\2018\1850004412 Paragon Star Development - Lee's Summit - MO 002 - Paragon Site Development\Elec\1850004412 NV E100 - North Village Lighting Plan.dwg 8/11/2022 11:46:43 AM
 MARCUS PERRY 0.182:1
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TABLE OF DIMENSIONS*	
X	POLE HEIGHT < 16' = 1'-6"
X	POLE HEIGHT > 16' = 2'-0"
Y1	REFER TO LIGHT FIXTURE SCHEDULE FOR POLE HEIGHT. Y1 + Y2 SHALL NOT EXCEED 28'-0" AFG
Y2	VEHICULAR AREAS - 3'-0"
Y2	NON-VEHICULAR AREAS - 0'-8"
Y3	1/4 OF POLE HEIGHT Y1



2 POLE BASE DETAIL
NO SCALE

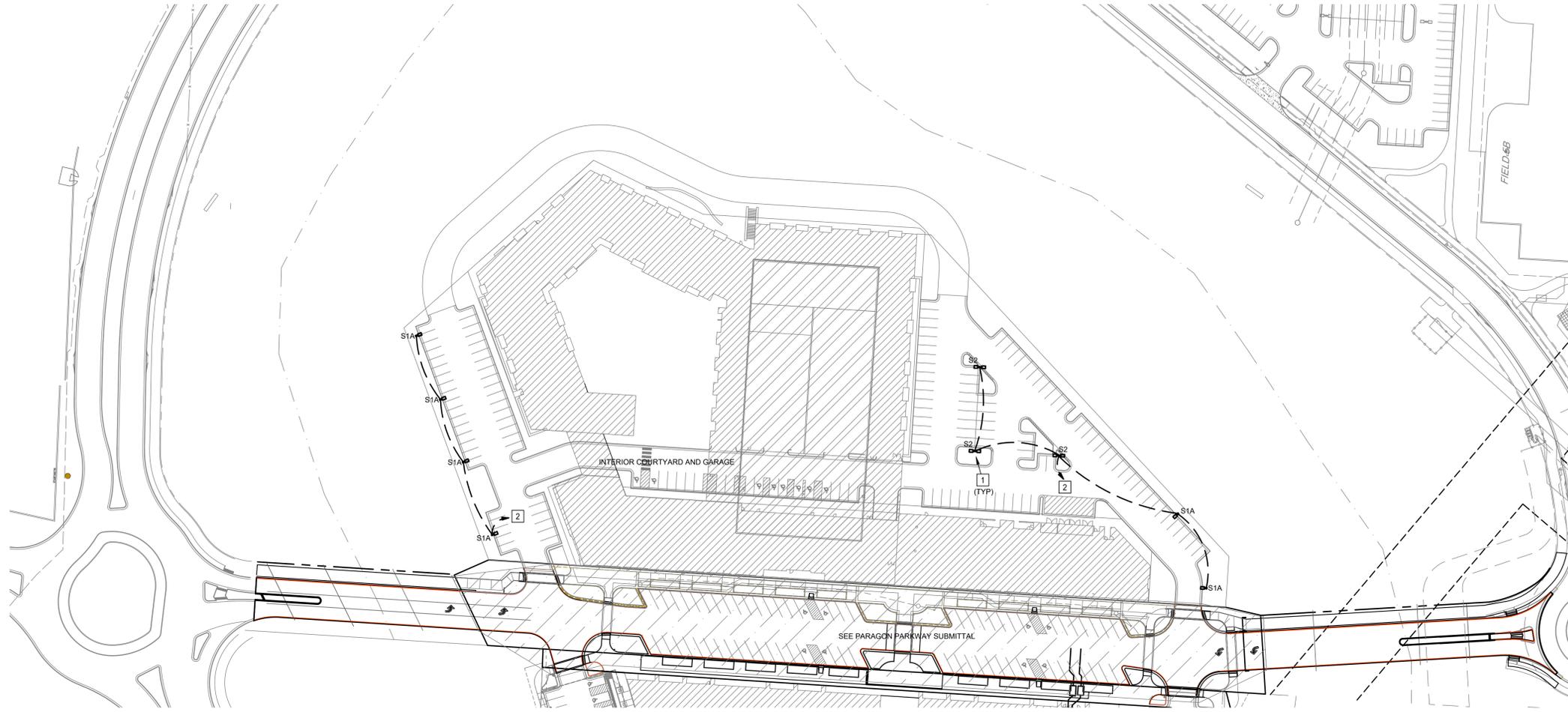
LIGHT FIXTURE SCHEDULE							
TYPE	MANUFACTURER/MODEL #	NO.	LAMP'S		INPUT WATTS	INPUT VA	DESCRIPTION
			TYPE	VOLT			
S1	MCGRAW-EDISON GLNA-AF-03-LED-T4W-BK WIKW INDUSTRIES RAP-25-6.0-X-BLK-DM10	-	LED BY MANUFACTURER 4000K, 70 CRI 17,984 LUMENS 400,000 HRS B2-UO-G2	480	166	166	LED PARKING LOT FIXTURE, PROVIDE WITH 25' ROUND ALUMINUM POLE ON 3' BASE.
S1A	MCGRAW-EDISON GLNA-AF-03-LED-T4FT-BK GLNA-AF-01-LED-T2-BK W VALMONT IDYLINE CURVES c5-03-DCC-DCC-DCC-DCC	-	LED BY MANUFACTURER 4000K, 70 CRI 18,220 400,000 HRS B2-UO-G2 4,015 LUMENS B1-UO-G1	480	166	166	LED PARKING LOT FIXTURE, PROVIDE WITH 25' ROUND TAPERED CURVED ALUMINUM POLE ON 3' BASE. LOWER LUMEN OUTPUT LIGHT FIXTURE MOUNTED ON OPPOSITE SIDE AT +10' FROM BASE OF POLE. HIGHER LUMEN OUTPUT LIGHT FIXTURE MOUNTED AT TOP OF POLE.
S2	MCGRAW-EDISON (2) GLNA-AF-03-LED-480-T4W-BK WIKW INDUSTRIES RAP-25-6.0-X-BLK-DM2180	-	LED BY MANUFACTURER 4000K, 70 CRI 35,988 LUMENS 40,000 HRS B2-UO-G2	480	332	332	LED PARKING LOT FIXTURE, PROVIDE (2) HEADS PER POLE AT 180 DEGREES. PROVIDE WITH 25' ROUND ALUMINUM POLE ON 3' BASE.

GENERAL NOTES:

- REFER TO SHEET E000 FOR GENERAL NOTES.

KEYNOTES:

- REFER TO DETAIL 2, SHEET E100 FOR POLE BASE DETAIL.
- PARKING LOT LIGHTING CIRCUIT, ROUTE CONDUIT AND CIRCUIT TO BUILDING #1 ELECTRICAL ROOM. CIRCUIT SHALL BE CONTROLLED VIA LIGHTING CONTROL PANEL WITH PHOTOCELL ON/OFF CONTROL IN SEPARATE BUILDING PACKAGE. PROVIDE (2) #10 AWG WITH (1) #10 GROUND IN 1" CONDUIT FOR WIRING FROM POLE TO POLE AND POLE. WIRE SIZE FOR HOME RUN TO FUTURE PANELBOARD WILL BE DETERMINED TO ACCOUNT FOR VOLTAGE DROP.



1 NORTH VILLAGE SITE LIGHTING PLAN
SCALE: 1" = 64'

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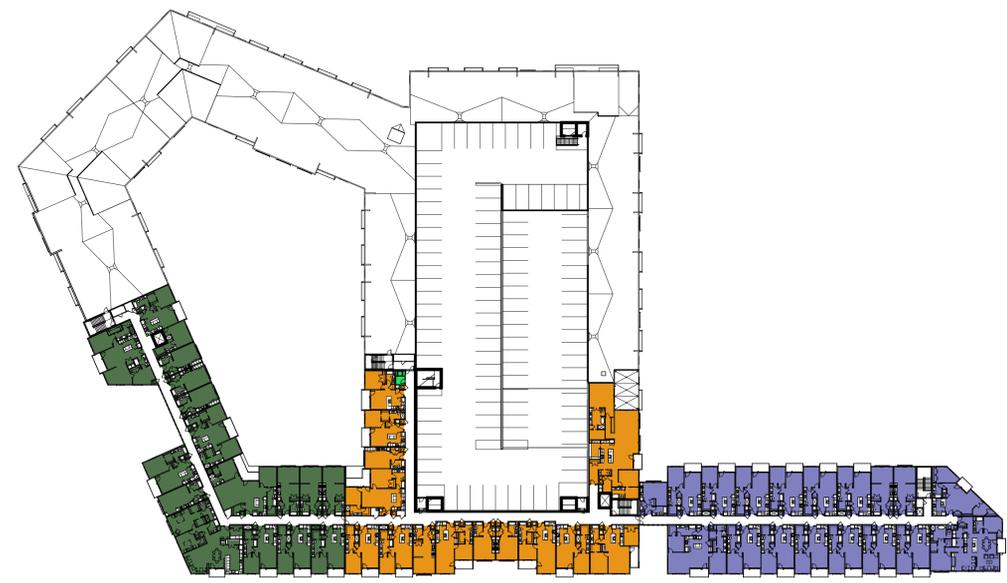
ANDREA C. MULVANY
LICENSE # PE-2013039892 08/11/2022
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NORTH VILLAGE SITE LIGHTING PLAN

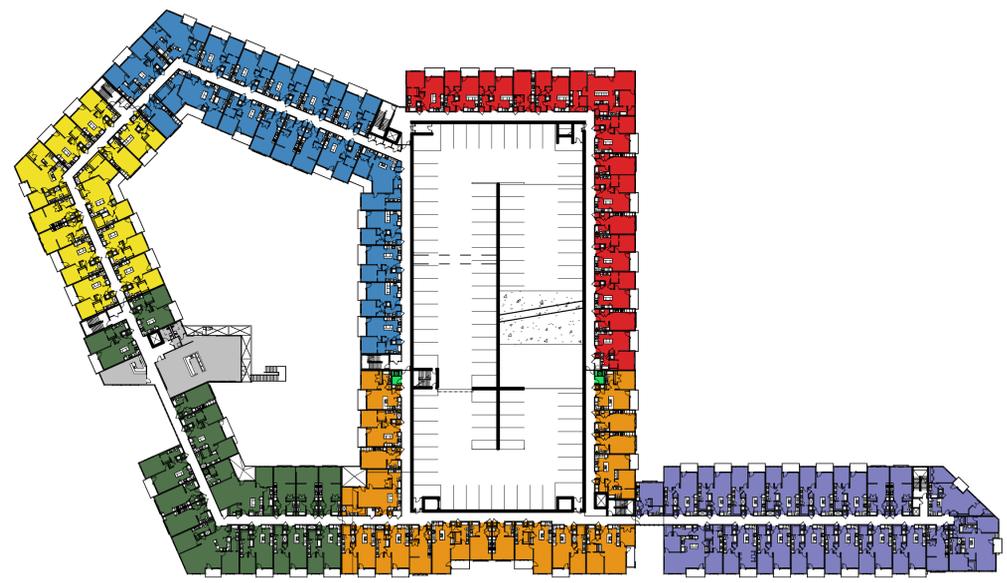
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DATE: 08.12.2022 DRAWN BY: MAP

SHEET NO:
E100

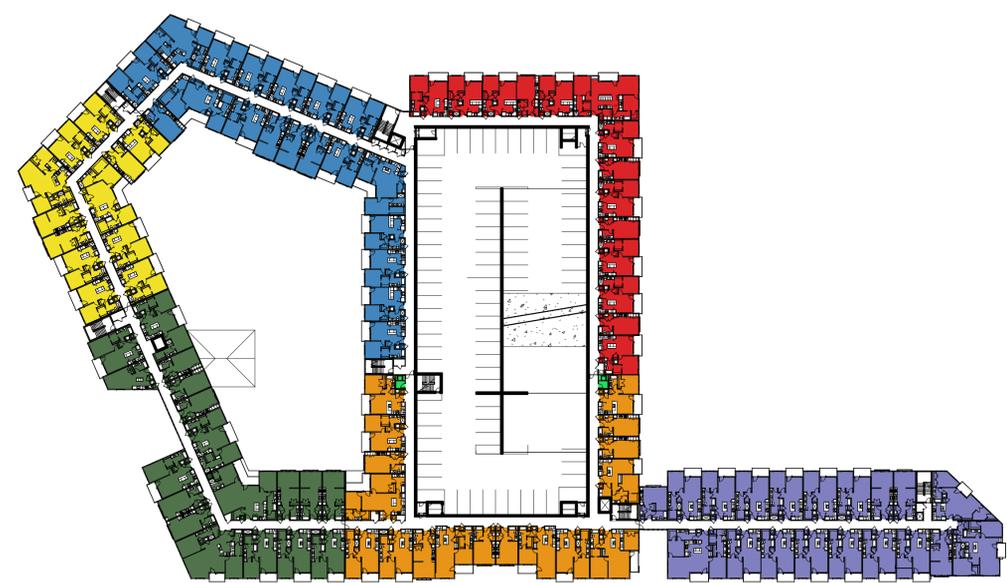
H:\Paragon Star\7_Audit\omni\Revit\Families\IB\CK_2436_FDP-NVILLAGE.dwg 11/25/2015 9:09:24 AM EFOSTER 0.8669.1
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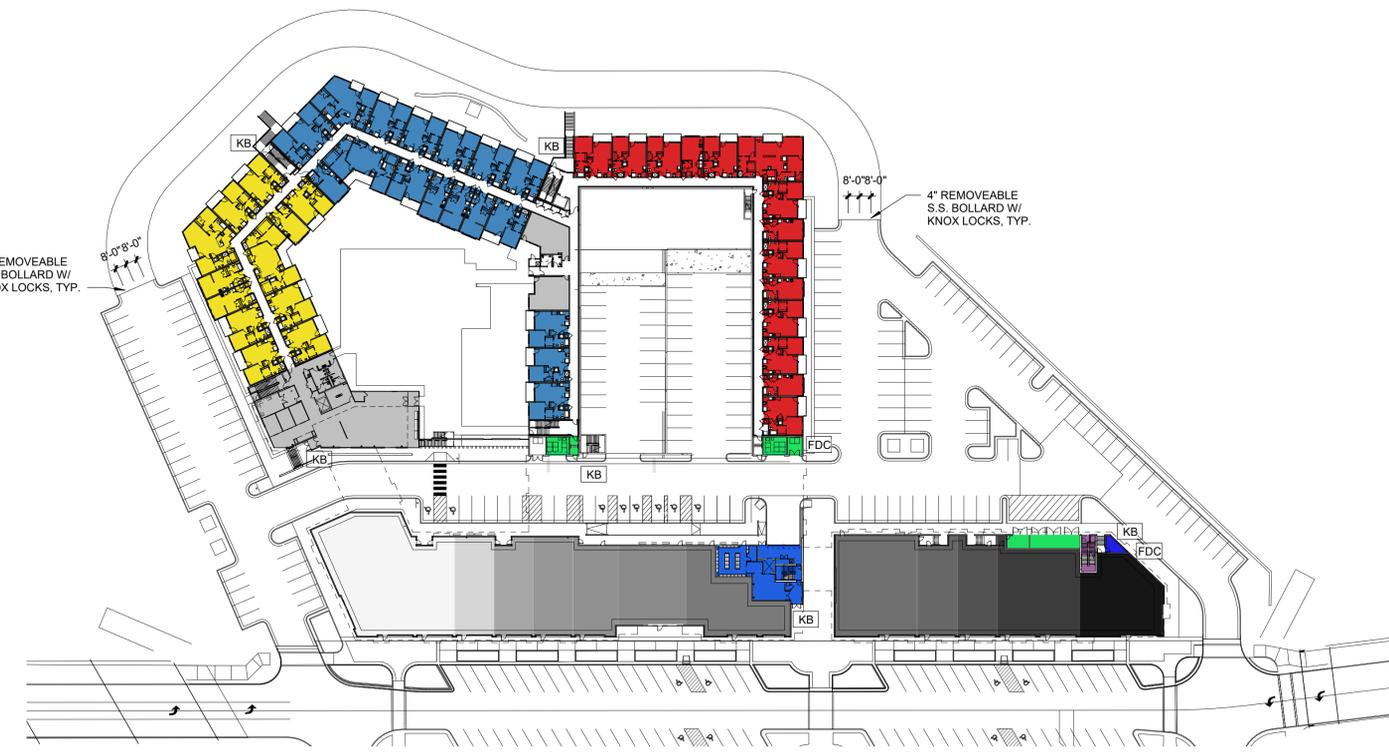
5 FLOOR PLAN - 5TH FLOOR
 A-101 SCALE: 1" = 60'-0"



2 FLOOR PLAN - 2ND FLOOR
 A-101 SCALE: 1" = 60'-0"



3 FLOOR PLAN - 3RD & 4TH FLOORS
 A-101 SCALE: 1" = 60'-0"



1 FLOOR PLAN - 1ST FLOOR
 A-101 SCALE: 1" = 60'-0"



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FLOOR PLANS

JOB NO: 1249 SCALE:
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SHEET NO:

A-101

