



## VACATION OF EASEMENT APPLICATION

1. PROPERTY LOCATION/ADDRESS: Lot 7B, Streets of West Pryor, Section 35, Township 48 North, Range 32 West, Lee's Summit, Jackson County, Missouri

2. LEGAL DESCRIPTION (attach if description is metes and bounds description): \_\_\_\_\_

**SEE ATTACHED METES AND BOUNDS DESCRIPTION.**

3. APPLICANT Vanguard Villas, LLC PHONE 913-662-2630  
CONTACT PERSON David Olson FAX \_\_\_\_\_  
ADDRESS 7200 West 132nd Street, Suite 150 CITY/STATE/ZIP Overland Park, KS 66213  
E-MAIL daveolson@monarchprojectllc.com

4. PROPERTY OWNER Vanguard Villas, LLC PHONE 913-662-2630  
CONTACT PERSON Matt Pennington FAX \_\_\_\_\_  
ADDRESS 7200 West 132nd Street, Suite 150 CITY/STATE/ZIP Overland Park, KS 66213  
E-MAIL matt@drakekc.com

5. ENGINEER/SURVEYOR Engineering Solutions PHONE 816-623-9888  
CONTACT PERSON Justin Legate FAX \_\_\_\_\_  
ADDRESS 50 S.E. 30th Street CITY/STATE/ZIP Lee's Summit, MO 64082  
E-MAIL cjlegate@es-kc.com

6. OTHER CONTACTS \_\_\_\_\_ PHONE \_\_\_\_\_  
CONTACT PERSON \_\_\_\_\_ FAX \_\_\_\_\_  
ADDRESS \_\_\_\_\_ CITY/STATE/ZIP \_\_\_\_\_  
E-MAIL \_\_\_\_\_

**All applications require the signature of the owner on the application and on the ownership affidavit. Applications without the proper signatures will be deemed incomplete and will not be processed.**

  
\_\_\_\_\_  
PROPERTY OWNER  
Print name: Matt Pennington - Manager

  
\_\_\_\_\_  
APPLICANT  
David Olson

Receipt #: \_\_\_\_\_ Date Filed: \_\_\_\_\_ Processed by: \_\_\_\_\_ Application # \_\_\_\_\_



## OWNERSHIP AFFIDAVIT

STATE OF MISSOURI )

ss.

COUNTY OF JACKSON )

Comes now Matt Pennington - Manager of Vanguard Villas, LLC (owner)

who being duly sworn upon his/her oath, does state that he/she is the owner of the property  
legally described as Lot 7B, Streets of West Pryor Lots 7A, 7B, and 7C, a  
subdivision in the City of Lee's Summit, Jackson County.  
Missouri, according to the recorded plat thereof.

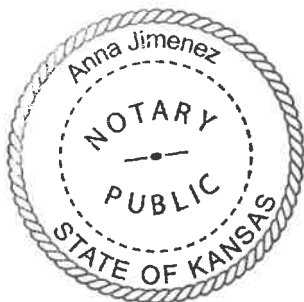
and acknowledges the submission of the application for vacation of easement on said property  
under the City of Lee's Summit Unified Development Ordinance.


Dated this 20th day of June, 2022

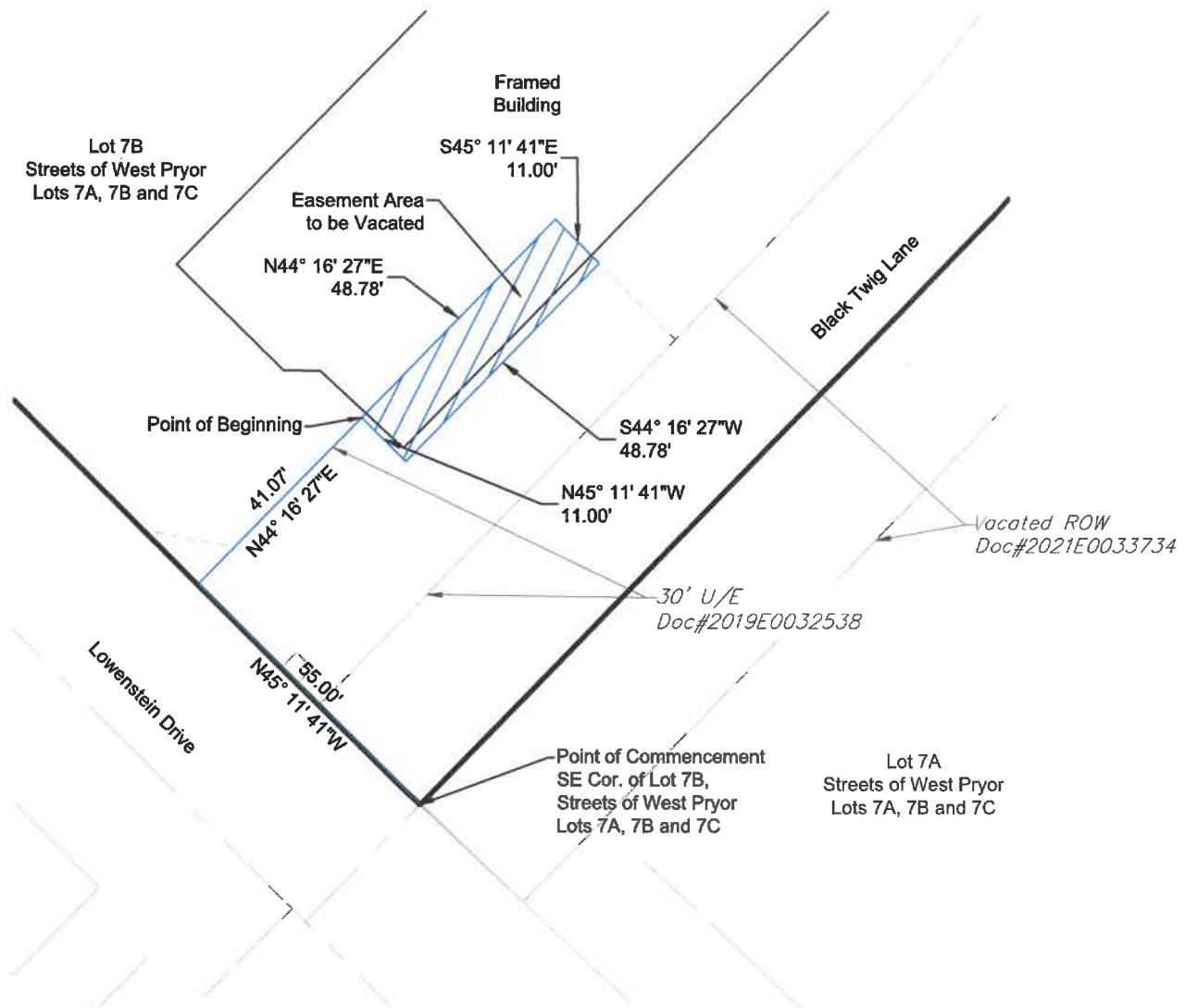
  
\_\_\_\_\_  
Signature of Owner  
Matt Pennington - Manager

Printed Name

Subscribed and sworn to before me this 20th day of June, 2022



  
\_\_\_\_\_  
Notary Public  
4/16/2025  
My Commission Expires



# DESCRIPTION:

ALL OF THE PLATTED RIGHT OF WAY OF NW BLACK TWIG LANE, AS SHOWN ON THE RECORDED PLAT STREETS OF WEST PRYOR LOTS 7A, 7B, AND 7C, A PLATTED SUBDIVISION OF LAND IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF LOT 7B OF SAID STREETS OF WEST PRYOR LOTS 7A, 7B, AND 7C; THENCE N 45°11'41" W, A DISTANCE OF 55.00 FEET ; THENCE N 44°16'27" E, A DISTANCE OF 41.07 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING N 44°16'27" E, A DISTANCE OF 48.78 FEET; THENCE S 45°11'41" E, A DISTANCE OF 11.00 FEET; THENCE S 44°16'27" W, A DISTANCE OF 48.78 FEET; THENCE N 45°11'41" W, A DISTANCE OF 11.00 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED LEGAL DESCRIPTION CONTAINS 536.63 SQUARE FEET.

Ease. Vacation Exhibit

## Easement Vacation

SHEET 1 OF 1

DATE: 6/17/2022

PROJECT NUMBER:  
Streets of W Pryor  
REV. TO DWG.: N/A

SCALE:  
1"=30'

Easement Vacation Exhibit

## Lot 7B

Streets of West Pryor Lots 7A, 7B, and 7C  
Lee's Summit, Jackson County, Missouri

**ENGINEERING**  
ENGINEERING & SURVEYING  
**SOLUTIONS**

50 SE 30TH STREET  
LEE'S SUMMIT, MO 64082  
P:(816) 623-9888 F:(816)623-9849