

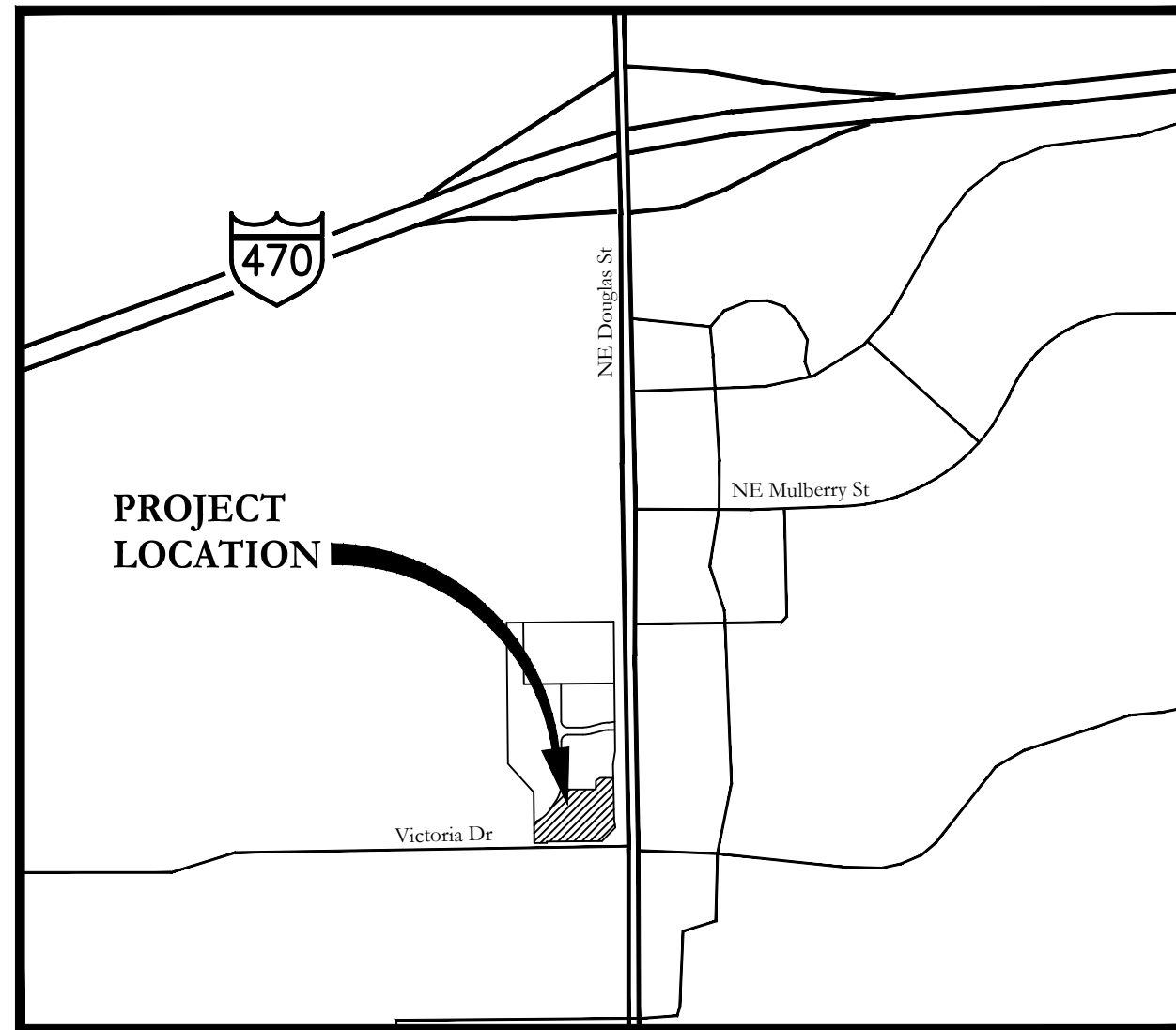
PANERA BREAD BAKERY - CAFE

OAKVIEW - LOT 2

FINAL DEVELOPMENT PLANS

1410 NE DOUGLAS ST.

LEE'S SUMMIT, JACKSON COUNTY, MISSOURI 64086
NE 1/4 OF SEC. 31-48-31



LOCATION MAP
NOT TO SCALE

LEGAL DESCRIPTION

LOT 2 OF THE FINAL PLAT OF OAKVIEW - LOTS 1-5, A REPLAT OF LOT 2, "MINOR PLAT, POLYTAINERS ADDITION, LOTS 1 AND 2" AND PART OF NE DOUGLAS STREET ALL IN THE NE 1/4 OF SEC. 31-48-31 IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

FLOOD NOTE

THIS PROPERTY DOES NOT LIE WITHIN A FLOOD ZONE AS SHOWN ON THE FLOOD INSURANCE RATE MAP 29095C0409G. DATED 1/20/2017

OIL AND GAS WELL NOTE

THERE WAS NO OIL OR GAS WELLS LOCATED ON PROPERTY PER MISSOURI DEPARTMENT OF NATURAL RESOURCES OIL AND GAS PERMITS WEBSITE.

BENCHMARK AND HORIZONTAL DATA

REFERENCE SHEET 4 FOR VERTICAL AND HORIZONTAL CONTROL POINTS IN THE PRIVATE DRIVE IMMEDIATELY WEST OF THE SITE.

UTILITIES AND PUBLIC AGENCIES

CITY OF LEE'S SUMMIT PUBLIC WORKS	Dena Mezger	(816) 969-1800
WATER UTILITIES	Mark Schaufler	(816) 969-1900
ELECTRIC EVERGY	Ron Dejarnette	(816) 347-4316
GAS SPIRE	Brent Jones	(816) 399-9633
TELEPHONE AT&T	Marty Loper Mark Manion	(816) 275-1550 (816) 325-6516
CABLE COMCAST	Barbara Brown	(816) 795-2255



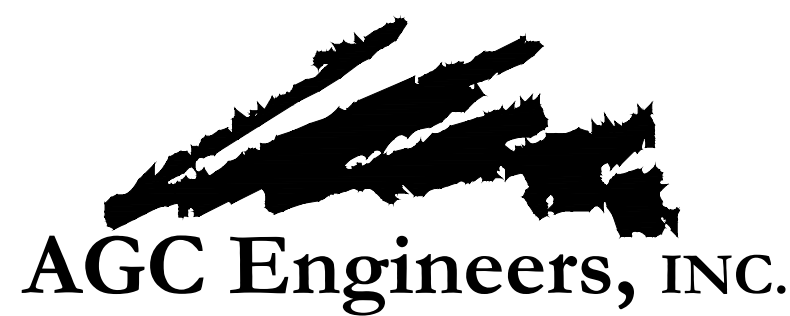
CONTACTS

ENGINEERING

Engineering Primary	781-4200
Ronald L. Cowger, PE	
Engineering Alternate	781-4200
Art Akin, PE	

DEVELOPER

STAR DEVELOPMENT, INC.
TIM HARRIS, PRESIDENT
244 W. MILL STREET, SUITE 101
LIBERTY, MISSOURI, 64068
(816) 781.3322



405 S. Leonard St., Suite D
Liberty, Missouri 64068
www.agcengineers.com
816.781.4200 ■
fax 792.3666

STATUS

- ☒ FOR PERMIT
☐ FOR CONSTRUCTION
☐ PLANS CONFORMING TO CONSTRUCTION RECORDS

DATE:

6-29-22

SHEET LIST TABLE

SHEET NUMBER	SHEET TITLE
1	COVER
2	GENERAL NOTES & LEGEND
3	EXISTING CONDITIONS
4	SITE PLAN
5	GRADING & EROSION CONTROL PLAN
6	GRADING PLAN - CUT & FILL
7	UTILITY PLAN
8	SPOT ELEVATION PLAN
9	SPOT ELEVATION PLAN
10	DRAINAGE AREA MAP & CALCULATIONS
11	UTILITY PLAN & PROFILES
12	DETAILS
13	DETAILS
14	DETAILS
15	DETAILS
16	DETAILS
L100	LANDSCAPE PLAN

SEE ADDITIONAL PLANS PREPARED BY LK ARCHITECTS (WICHITA , KS.)

McLAUGHLIN MUELLER, INC. HAS SOLE RESPONSIBILITY FOR SHEET 3 AND VSR DESIGN HAS SOLE RESPONSIBILITY FOR SHEET L100.

ENGINEER'S CERTIFICATION:

I hereby certify that this project has been designed, and these plans prepared, to meet or exceed the design criteria of City of Lee's Summit, Missouri, in current usage, except as indicated below.

- Exceptions:
- South parking stalls encroach 4' within the 20' parking setback - 2020 PDP approval included
Allow curb & gutter for parking to encroach into the 20' setback along NW Douglas Street by no more than 2 feet and along NW Victoria Drive by no more than 6 feet.
 - _____
 - _____
 - _____

I have not been retained to coordinate as-built drawings for this project.



Ronald L. Cowger, PE
AGC Engineers, Inc.

Date

N:\Land Projects\Star Development - Oakview (Lee's Summit) - Lot 2\Drawings\Drawings-Plans\Final Development Plans\GENERAL NOTES & LEGEND.dwg, GENERAL NOTES & LEGEND, 6/29/2022 2:32:52 PM, ANS (full issued D 04.09 x 22.09 inches), 1:1

GENERAL PROJECT NOTES:

- The Contractor shall, at a minimum, have the following document(s) at the job site at all times:
Signed approved plans,
Contract Documents and Project Specifications,
Standard Specifications (Kansas City Metro Chapter-APWA)
Storm Water Pollution Plan (SWPPP)
All required permits
- The Contractor shall reference the City of Lee's Summit Design Criteria, Standard Specifications, Standard Details, Approved Products Lists found at the following website
<https://cityofls.net/development-services/design/design-criteria/design-construction-manual-infrastructure>
- This Project shall be constructed in accordance with these Plans, City of Lee's Summit criteria and specifications (listed above), and their absence the Kansas City Metro Chapter of American Public Works Association (most current version) "APWA".
- All work required to complete the project and that is not specifically itemized in the Contractor's proposal shall be considered subsidiary to other work itemized in the proposal.
- All materials and workmanship associated with this project shall be subject to inspection by the City of Lee's Summit and the Owner. The City and/or Owner reserves the right to accept or reject any such materials and workmanship that does not conform to the Standards and Technical Specifications.
- RESERVED
- The Contractor shall notify the Engineer immediately of any discrepancies in the Plans.
- By use of these Plans the Contractor agrees that he shall be solely responsible for the safety and protection of the construction workers and the public.
- Contractor is to obtain the necessary permits for all construction activities.
- Contractor shall be responsible for determining the exact locations of all underground utilities or appurtenances prior to commencing construction. Existing underground utilities shown on the drawings are for reference only, and their accuracy and completeness are not guaranteed. Contractor shall be responsible for repair or replacement of all underground utilities damaged during construction.
- RESERVED
- It shall be the responsibility of the Contractor to control erosion and siltation during all phases of construction.
- Any sidewalk, curb & gutter or pavement disturbed, damaged or destroyed during construction shall be replaced by Contractor at no additional cost to Owner.
- Modified curb shall be used at all locations where pavement drains away from curb.
- The Contractor shall contact the City's Development Service Engineering Inspectors 48 hours prior to any land disturbance work at (816) 969-1200.
- Contractor shall be responsible to install pavement joints on all concrete pavement, slabs, and / or sidewalk. At a minimum, an expansion joint shall be provided along all interfaces of
 - Building to sidewalk
 - Building to concrete pavement
 - Sidewalk to concrete pavementContractor shall submit a joint plan to the Engineer for review.

GRADING NOTES:

- Erosion protection shall be in place prior to any land disturbance.
- Contours shown are to finished grade.
- The construction area shall be cleared, grubbed, and stripped of topsoil and organic matter from all areas. Excess topsoil shall be stockpiled separately from compactable material. Stripping existing topsoil and organic matter shall be to a minimum depth of six (6) inches.
- Areas to receive fill shall be striped of top soil and other organic material, scarified, and the top eight (8) inch depth compacted to 98% standard proctor density prior to the placement of any fill material. Any unsuitable areas shall be undercut and replaced with suitable material before any fill material can be placed.
- Fill material shall be made in lifts not to exceed nine (9) inches depth compacted to 98% standard proctor density (per ASTM D-698) with a moisture content -3% and +2% optimum moisture. Contractor shall provide (at his/her sole cost) an independent geotechnical report certifying compaction at a sample interval of one (1) sample per 5000 square feet per lift or more frequent if required/recommended by the geotechnical firm. Geotechnical firm shall be approved by Owner prior to beginning fill operations. Fill material may include rock from on-site excavation if carefully placed so that large stones are well disturbed and voids are completely filled with smaller stones, earth, sand or gravel to furnish a solid embankment. No rock larger than three (3) inches in any dimension nor any shale shall be placed in the top 12 inches of embankment.
- In all areas of excavation, if unsuitable soil conditions are encountered, a qualified Geotechnical engineer shall recommend to the Owner on the methods of undercutting and replacement of property compacted, approved fill material.
- All slopes are to be 3:1 or flatter unless otherwise indicated.

- All slopes and areas disturbed by construction shall be graded smooth and a minimum four (4) inches of topsoil applied. If adequate topsoil is not available on-site, the Contractor shall provide topsoil, approved by the Owner, as needed. Any areas disturbed for any reason shall be corrected by the Contractor at no additional cost to the Owner prior to final acceptance of the project.
- All disturbed areas shall be seeded, fertilized and mulched or sodded in accordance with the standards and specifications adopted by the reviewing governing agency and good engineering practices.

EROSION CONTROL NOTES:

- Control of sediment is a very dynamic (ever changing) process. These plans are provided as a basis of anticipated erosion control measures. The Contractor shall modified add or delete with the Owner's permission the erosion control measure shown to prevent the migration of sediment off of the Owner's property and/or into jurisdictional waters/waterways.
- Any sediment deposited on public streets shall be removed immediately by Contractor at his sole expense.
- Stockpile excavation materials away from existing channels and grade to drain to adequate erosion control measures.
- Remove silt build up in temporary sediment basins (if applicable), inlet protection devices and/or silt fence until site is completely stabilized. Verify grade prior to final seeding, lining or rip-rap installation.
- All disturbed areas shall be seeded, fertilized and mulched, or sodded, in accordance with the Kansas City Metro Chapter of American Public Works Association. Seeding/Sodding shall be completed within 14 days after completing the work, in any area. If this is outside of the recommended seeding period, erosion control measures or other similarly effective measure shall remain and be maintained by Contractor until such time that the areas can be seeded and a stand of grass established per Missouri DNR or MoDOT Section 805.4 standards.
- When sediment deposits reach approximately one-half the height of the BMP, the sediment shall be removed or a second BMP shall be installed. All costs associated with this work, including related incidents, shall be the Contractor's responsibility and shall be included in the bid for the proposed work.
- Contractor shall perform BMP inspection once a week and after each rainfall event, and provide Owner a copy of report within 48 hrs. Faulty or inadequate erosion control measures shall be remediated or modified the same day of inspection so as to minimize the risk of sediment discharge from the Owner's property or jurisdictional waters/waterways.
- Contractor shall protect and maintain erosion control measures until a complete stand of grass as defined by Missouri DNR has been established.
- Concrete Washout Areas will be determined onsite by the Job Superintendent.
- At a minimum the following permits/approvals shall be posted on site or as required by the permit terms and conditions:
City of Lee's Summit Land Disturbance Permit.
- Permanent fertilizing, seeding (Type "A") and mulch shall be in accordance with Kansas City Metro Chapter of American Public Works Association. Final acceptance per MoDOT Sections 805.4
- The Contractor shall install Erosion Control Blanket (ECB) on all slopes with 3:1 slope or greater. ECB shall be Landlok CS2 or approved equal.
- Provide temporary silt fencing at all pipe entrances until all site seeding and sodding has been established. Maintain as necessary.
- Immediately remove sediments or other materials tracked onto public roadways.
- Provide and maintain stabilized roadway construction entrance (or entrances as may be required).
- Coordinate site grading with existing and proposed utilities.
- Stock pile waste excavation materials away from existing channels and grade to drain.
- Remove silt build up in basin and verify grade prior to final seeding, lining or rip-rap installation and clean up.
- All disturbed areas shall be seeded, fertilized and mulched, or sodded, in accordance with the Standards and Specifications adopted by the City of Lee's Summit, MoDOT, MoDNR or other governing agency and good engineering practices.
- Silt fences, whether straw bales or filter fabric, require maintenance to preserve their effectiveness. All silt fences shall be inspected immediately after each heavy rainstorm and at least daily during prolonged rainfall. Any required repairs shall be made immediately. When sediment deposits reach approximately one-half the height of the silt fence, the sediment shall be removed or a second silt fence shall be installed. All costs associated with this work, including related incidentals, shall be the contractor's responsibility and shall be included in the bid for the proposed work.

WATER NOTES:

- Reference MEP Plans to confirm fire protection main size, domestic water and meter sizes. If a discrepancy exists between the Plans contact the Engineer prior to ordering material.
- Domestic water shall be 1-inch "k" copper conforming to the latest federal specifications or cross-linked polyethylene (PEX) meeting current City Code.
- Minimum cover for water lines shall be 42 inches.
- Install fittings as required, maximum pipe deflection per manufacturers recommendations.
- Install 1-inch water meter at property line (on private property side).
- All water service installation, including back-flow devices, are subject to field verification and approval by City inspector.

REFERENCE DOCUMENTS & DRAWINGS:

Contractor shall reference the following documents prior to beginning Work
1. SWPPP and Missouri DNR Land Disturbance Permit
2. Architectural Plans (including but not limited to MEP and Structural Plans)
3. Standard drawings and work details supplied by Panera
4. Landlord work order list from Star Development Corp

STORM NOTES:

- All HDPE pipe shall be Water-Tight
- All High Density Polyethylene (HDPE) pipe shall conform to AASHTO M294 Type S. Acceptable pipe must come from a Plastic Pipe Institute (PPI) certified manufacturer and have passed the PPI 3rd Party Certification testing. Each individual section of pipe shall be marked in accordance with AASHTO M294 and shall be affixed with the PPI Certification label. HDPE pipe shall be joined with water tight joints meeting the requirements of AASHTO M294 Paragraph 7.9.3.
- Pipe lengths are from inside face to inside face.
- End sections for HDPE pipe shall be metal with concrete toe wall unless noted otherwise.

ELECTRIC:

- Contractor to coordinate with Evergy Electric for electrical service.
- Contractor to coordinate with Evergy Electric for location of transformer pad and transformer if required.

GAS:

- Contractor to coordinate with Spire for gas service, and location of meter.

TELEPHONE:

- Site contractor to install PVC conduit(s) for use by telephone company. Site contractor to coordinate with telephone company for installation of service and location of proposed pedestals, etc. Telephone conduit shall have a minimum cover of 30". Site contractor shall coordinate location with telephone company representative and locate PVC crossings as necessary. See building plans for entrance locations.

LEGEND

EXISTING

- ⊙ SET MONUMENT AS NOTED STAMPED LS 1999141096
- FOUND 1/2" REBAR LS 1989
- FOUND MONUMENT AS NOTED
- (M) MEASURED DISTANCE
- ⊙ CONTROL POINT
- DOWN GUY
- ⦿ FIRE HYDRANT
- ◇ LIGHT POLE
- ⚡PP POWER POLE
- POST
- MANHOLE
- ⊗ WATER VALVE
- B/L BUILDING LINE
- D/E DRAINAGE EASEMENT
- OHP— AERIAL UTILITY
- S/E SANITARY SEWER EASEMENT
- U/E UTILITY EASEMENT
- UGG— UNDERGROUND GAS
- UGP— UNDERGROUND POWER
- UGT— UNDERGROUND TELEPHONE
- UGW— UNDERGROUND WATER

SANITARY NOTES:

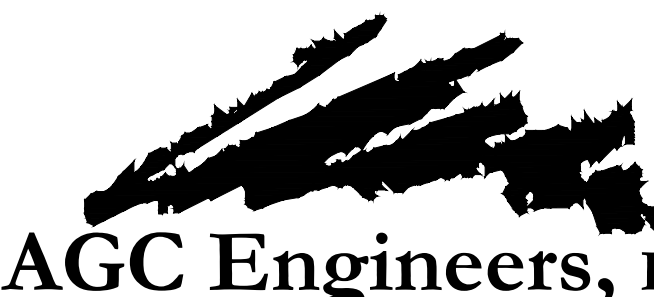
- All sanitary stub lines shall be laid on 2.00% grade unless approved otherwise.
- The Contractor shall install and properly maintain a mechanical plug at all connection points with existing lines until such time that the new line is tested and approved.
- Where sanitary sewer lines are to be installed over and across water lines, a minimum of 24 inches of clearance shall be provided. Where clearance is not provided, construct sanitary sewer line of ductile iron pipe for a distance of at least 10 feet in each direction from crossing, with no joint within 6 feet of crossing.
- Performance testing in accordance with APWA Section 2508. Witness and acceptance by City is required before placing in service.
- All service lines shall be PVC (SDR 26) conforming to ASTM D 1764 and F1336 and having a cell classification of 12454B or 12364B as defined in ASTM D 1784 with Push-On joints.
- All pre-cast manholes shall meet or exceed standards and specifications as set forth in ASTM C-478.
- All PVC pipe shall meet or exceed standards and specifications as set forth in ASTM D-3034.
- All proposed and existing street crossings shall be tamped granular backfill (Type 3) from the bottom of the trench to a point that is 15" below the finished grade of the street. All existing street crossings shall be filled with flowable fill per detail STR-011.
- Mandrel testing is required and shall be performed in accordance with APWA 2508.5, at a minimum of 30 days after installation.
- All inspection of sanitary sewer construction shall be performed by the City of Lee's Summit.
- It is the responsibility of the contractor to have sanitary sewer lines air tested and sanitary sewer manholes vacuum tested for new construction and modifications to existing. Contractor shall provide city with test results upon completion of construction.
- Areas with less than three (3) feet of depth from existing grade to proposed top of pipe shall be filled to an elevation of three (3) feet above the proposed top of pipe, compacted to 95% density +/-2% prior to trenching or laying of any pipe.
- Sanitary sewer piping material shall be as follows:

0 to 15' depth; SDR-35 PVC
15' to 22' depth; SDR-26 PVC
22' to 30' depth; SDR-21 PVC
greater than 30' depth; D.I.P.
6" service laterals; SDR-35 PVC at 2.0% minimum.
- All manholes, catch basins, utility valves, and meter pits shall be adjusted or rebuilt to grade as required.
- Service lines shall be extended a minimum of 1 foot past the house side of all utility easements.
- Insert Tee's or Saddles for service lines are not allowed except in special cases with prior City approval and City observation of installation.

PROPOSED

- SANITARY STRUCTURE
- SAN — SANITARY SEWER
- STORM STRUCTURE
- STORM SEWER
- W — WATERLINE
- WM WATER METER
- ⊗ WATER VALVE
- G — GAS LINE
- CO ○ CLEANOUT
- ⑬ PARKING COUNT
- 780 — CONTOUR
- LIGHT POLE (SITE PARKING)
- D/E DRAINAGE EASEMENT
- GM GAS METER
- WM WATER METER
- E/E ELECTRIC EASEMENT
- U/E UTILITY EASEMENT
- B/L BUILDING LINE SETBACK
- MH MANHOLE
- R RADIUS OR RAMP (as it relates to sidewalks)
- L LANDING (as it relates to sidewalks)
- S/W or SW SIDEWALK
- AC AIR CONDITIONER
- MEP MECHANICAL, ELECTRICAL & PLUMBING
- WSD WATER SERVICES DEPARTMENT
- D.S. DOWN SPOUT
- TC TOP OF CURB
- G GROUND
- P PAVEMENT
- LP LOW POINT
- HP HIGH POINT

BY	REVISION	DATE			
RC/ACA	FOR REVIEW PER CITY COMMENTS DATED 6-5-2020 & PROJECT PLACED ON HOLD DUE TO COVID	6-29-22			
RC/ACA	FOR REVIEW	5-21-20			

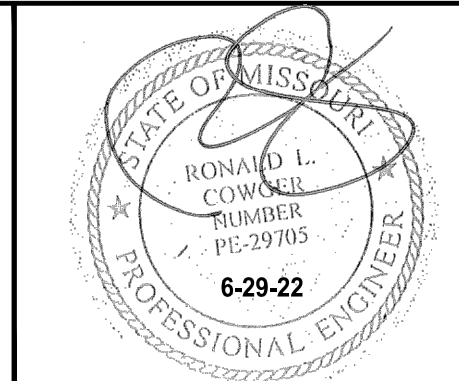


AGC Engineers, INC.

405 S. Leonard St., Suite D
Liberty, Missouri 64068

816.781.4200 ■
fax 792.3666

www.agcengineers.com

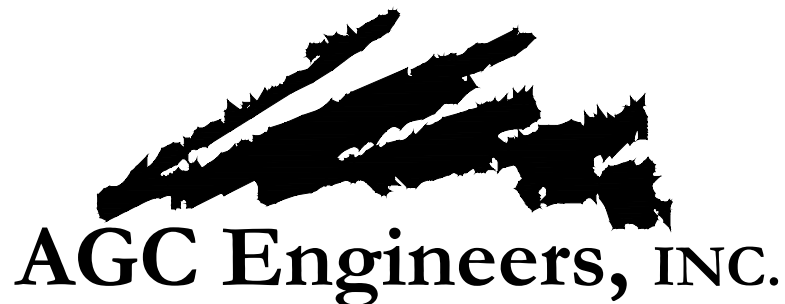
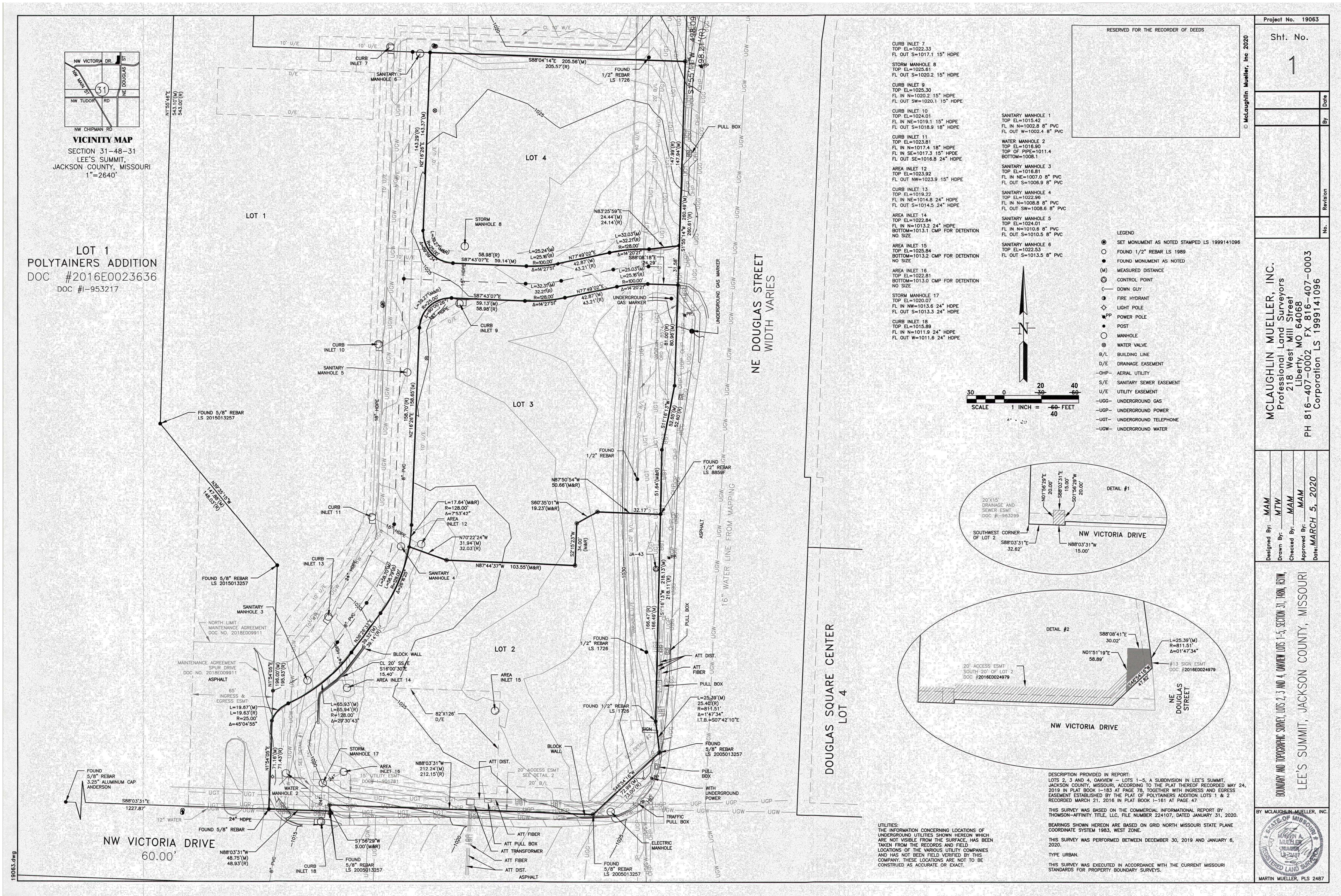


PANERA BREAD BAKERY - CAFE

LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

SITE DEVELOPMENT PLANS	2
GENERAL NOTES & LEGEND	

N:\Land Projects\Site Development - Oakview (Lee's Summit) - Lot 2\Drawings\Drawings\Plans\Final Development Plans\EXISTING CONDITIONS.dwg, EXISTING CONDITIONS, 6/20/2022, 2:32:57 PM, ANSI (at head D (4.00 x 22.00 inches), 1:1



405 S. Leonard St., Suite D
Liberty, Missouri 64068

816.781.4200
fax 792.3666

www.agcengineers.com

PANERA BREAD BAKERY - CAFE
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

SITE DEVELOPMENT PLANS
EXISTING CONDITIONS

SITE DATA:

1. **ZONING:** CP-2
2. **LOT SIZE:** 1.32 ACRES
3. **BUILDING:** 1 STORY BUILDING, 3,557 SF FOOTPRINT AREA
4. **PARKING SUMMARY:** REQUIRED: 14 STALLS PER 1,000 SF - 50 STALLS
PROVIDED: 48 STALLS + 2 ADA STALLS - TOTAL 50 STALLS
5. **PERCENT IMPERVIOUS:** 66%
6. **FLOOR AREA RATIO: (FAR):** 0.07
7. **THERE IS NO FEMA DESIGNATED 1% FLOODPLAIN ON THIS PROPERTY.**

LEGEND:

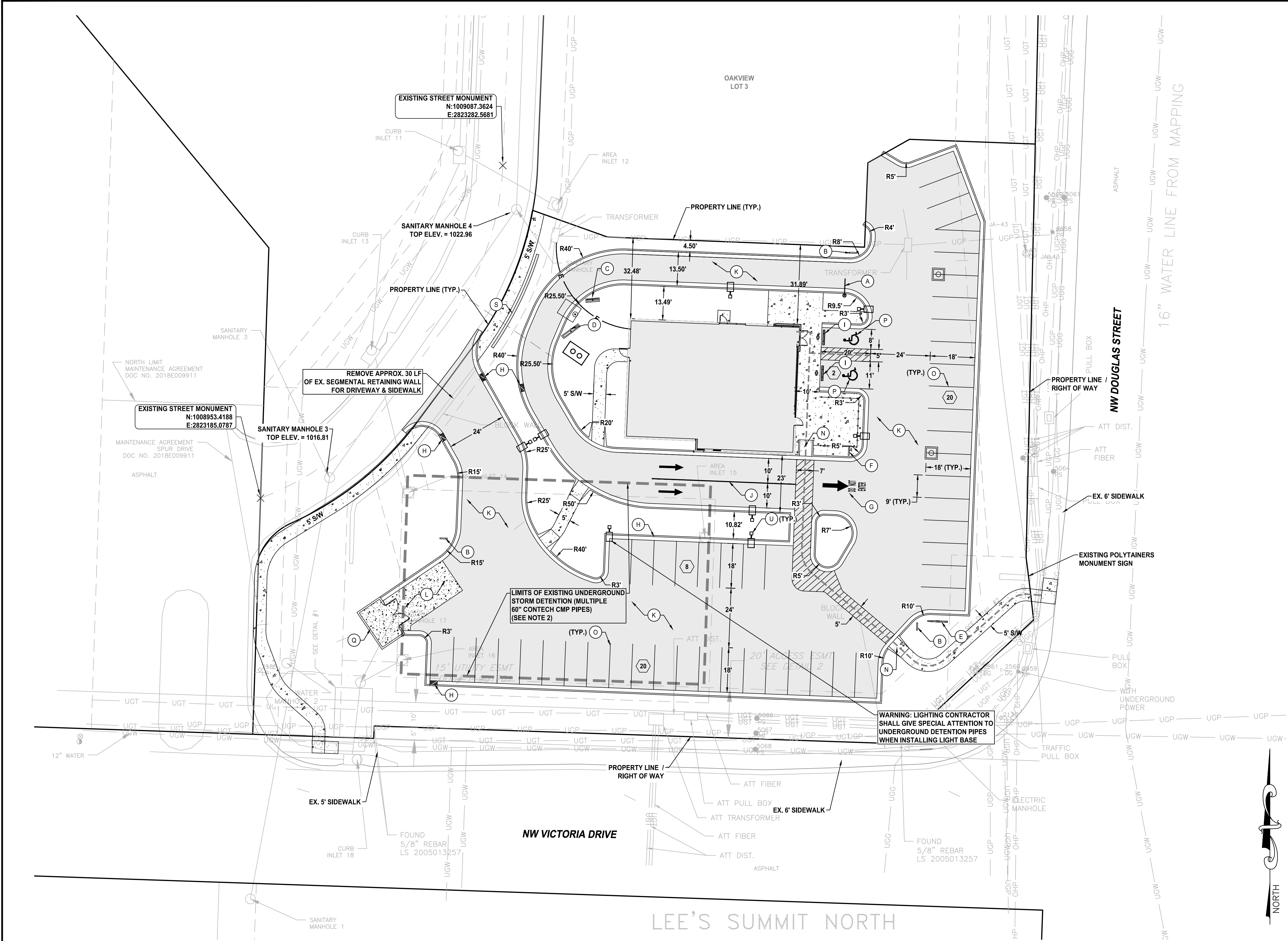
- ADA PEDESTRIAN ROUTE
- ⬡ PARKING STALL COUNTS

KEY LEGEND

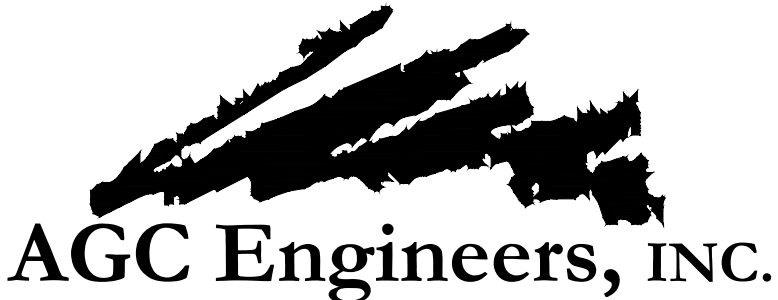
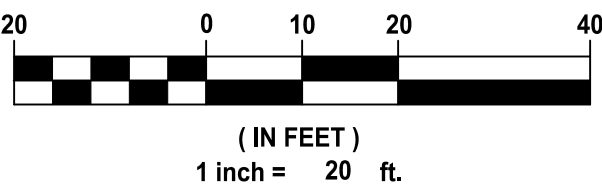
- (A) CLEARANCE BAR (SEE NOTE 1)
- (B) DIRECTIONAL SIGNAGE (SEE NOTE 1)
- (C) PREVIEW BOARD (SEE NOTE 1)
- (D) MENU SIGN (SEE NOTE 1)
- (E) MONUMENT SIGN (SEE NOTE 1)
- (F) "THANK YOU / DO NOT ENTER" SIGN (SEE NOTE 1)
- (G) PAVEMENT MARKING "DO NOT ENTER" 12" BLOCK LETTERING (YELLOW)
- (H) CURB INLET - 2'X3' NYLOPLAST
- (I) CONCRETE WHEEL STOP
- (J) DRIVE THRU STRIPING - 4" YELLOW
- (K) NORMAL DUTY CONCRETE
- (L) HEAVY DUTY CONCRETE
- (M) CG-1 CURB & GUTTER (RE: SPOT ELEVATION PLANS)
- (N) ADA RAMP
- (O) PARKING STRIPING - 4" YELLOW
- (P) STRIPING - (RE: ADA ACCESSIBLE STRIPING LAYOUT)
- (Q) TRASH ENCLOSURE (RE: ARCH)
- (R) ELECTRICAL TRANSFORMER
- (S) SEGMENTAL RETAINING WALL
- (T) NOT USED
- (U) LIGHT POLE (RE: MEP)

NOTE:

1. ALL SIGNAGE IS TO BE PROVIDED BY PANERA WITH THEIR TENANT FINISH. CONTRACTOR SHALL COORDINATE WITH AUTHORIZED PANERA REPRESENTATIVE ABOUT DETAILS AND CONDUIT REQUIREMENTS PRIOR TO PAVING.
2. CONTRACTOR SHALL EXERCISE CAUTION WITH CONSTRUCTION EQUIPMENT LOADS AND EXCAVATIONS IN THIS AREA. SEE SHT 14 FOR SPECIAL DETAIL FOR WORK WITHIN THIS AREA. CONTRACTOR, OWNER, AND ENGINEER SHALL HAVE A PRE-CONSTRUCTION MEETING WITH PAUL FLYNN, CONTECH ENGINEERED SOLUTIONS,(785-207-9721) PRIOR TO BEGINNING WORK IN THIS AREA.



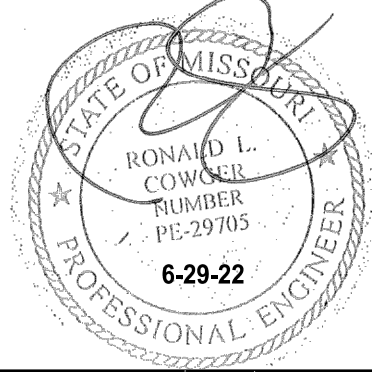
BY	REVISION	DATE
RC/ACA	FOR REVIEW PER CITY COMMENTS DATED 6-5-2020 & PROJECT PLACED ON HOLD DUE TO COVID	6-29-22
RC/ACA	FOR REVIEW	5-21-20



405 S. Leonard St., Suite D
Liberty, Missouri 64068

816.781.4200
fax 792.3666

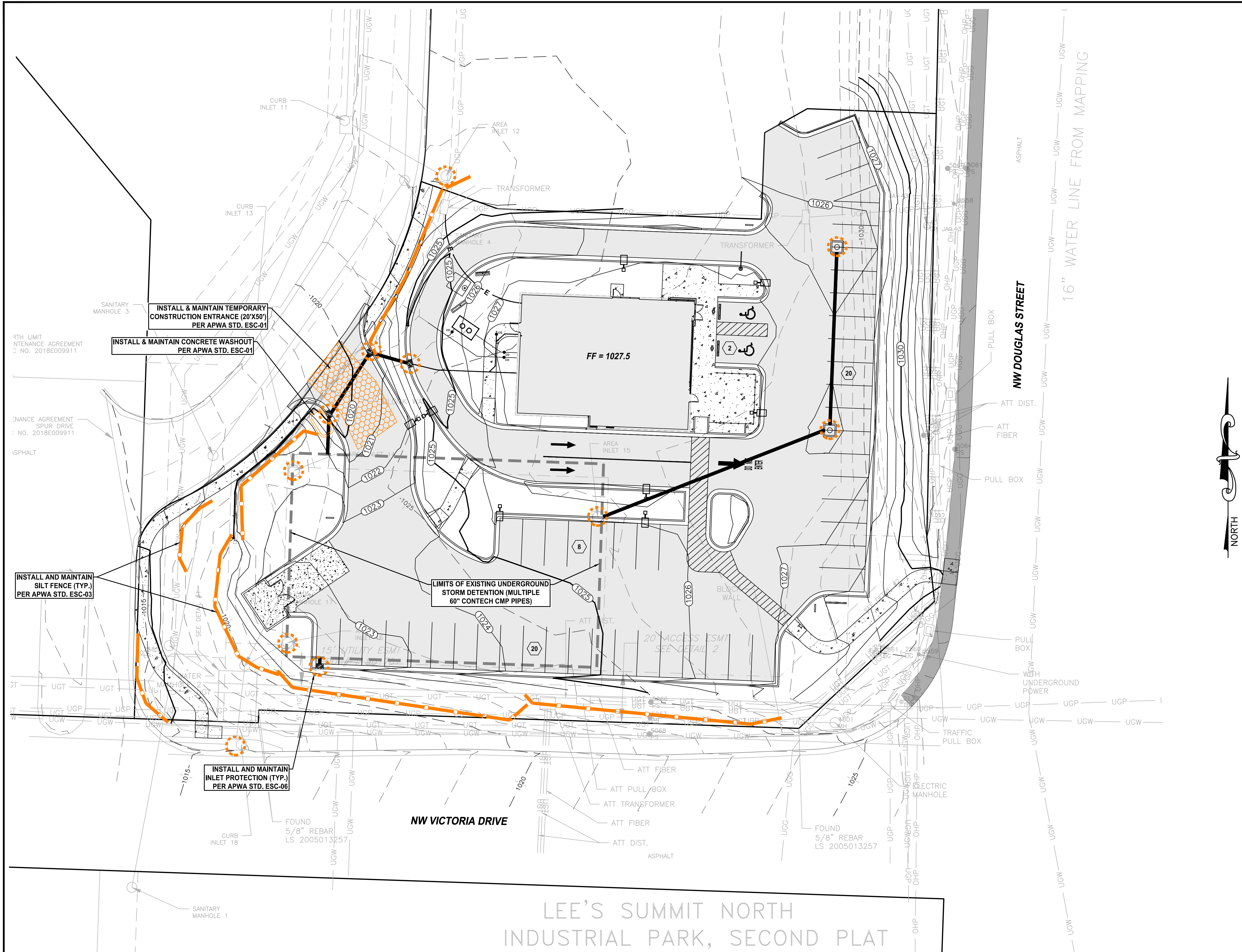
www.agcengineers.com



PANERA BREAD BAKERY - CAFE
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

SITE DEVELOPMENT PLANS
SITE PLAN

N:\Land Projects\Star Development - Oakview (Lee's Summit) - Lot 2\Drawings\Drawings - Plans\Final Development Plans\Grading & Erosion Control PLAN.dwg, GRADING & EROSION CONTROL PLAN, 6/30/2022 2:29:31 PM, ANSI full sheet D (34.00 x 22.00 inches), 1:1



LEGEND:

EROSION CONTROL

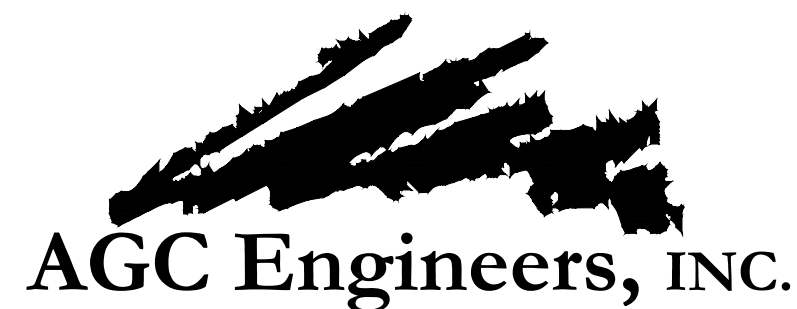
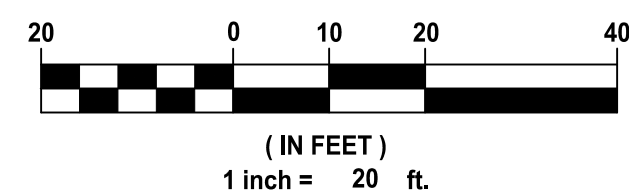


INLET PROTECTION PER APWA STD. DWG ESC-06 OR ESC-07
SILT FENCE PER APWA STD. DWG ESC-03

NOTES:

1. INSTALL. TEMPORARY CONSTRUCTION ENTRANCE AND PERIMETER SILT FENCE BEFORE GRADING.
2. REMOVE TEMPORARY BMPs AFTER PAVING IS COMPLETED AND PERMANENT GRASS IS ESTABLISHED.
3. DISTURBED AREA = 1.05 AC

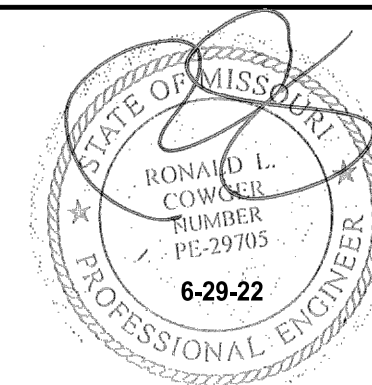
BY	REVISION	DATE
RC/ACA	FOR REVIEW PER CITY COMMENTS DATED 6-5-2020 & PROJECT PLACED ON HOLD DUE TO COVID	6-29-22
RC/ACA	FOR REVIEW	5-21-20



405 S. Leonard St., Suite D
Liberty, Missouri 64068

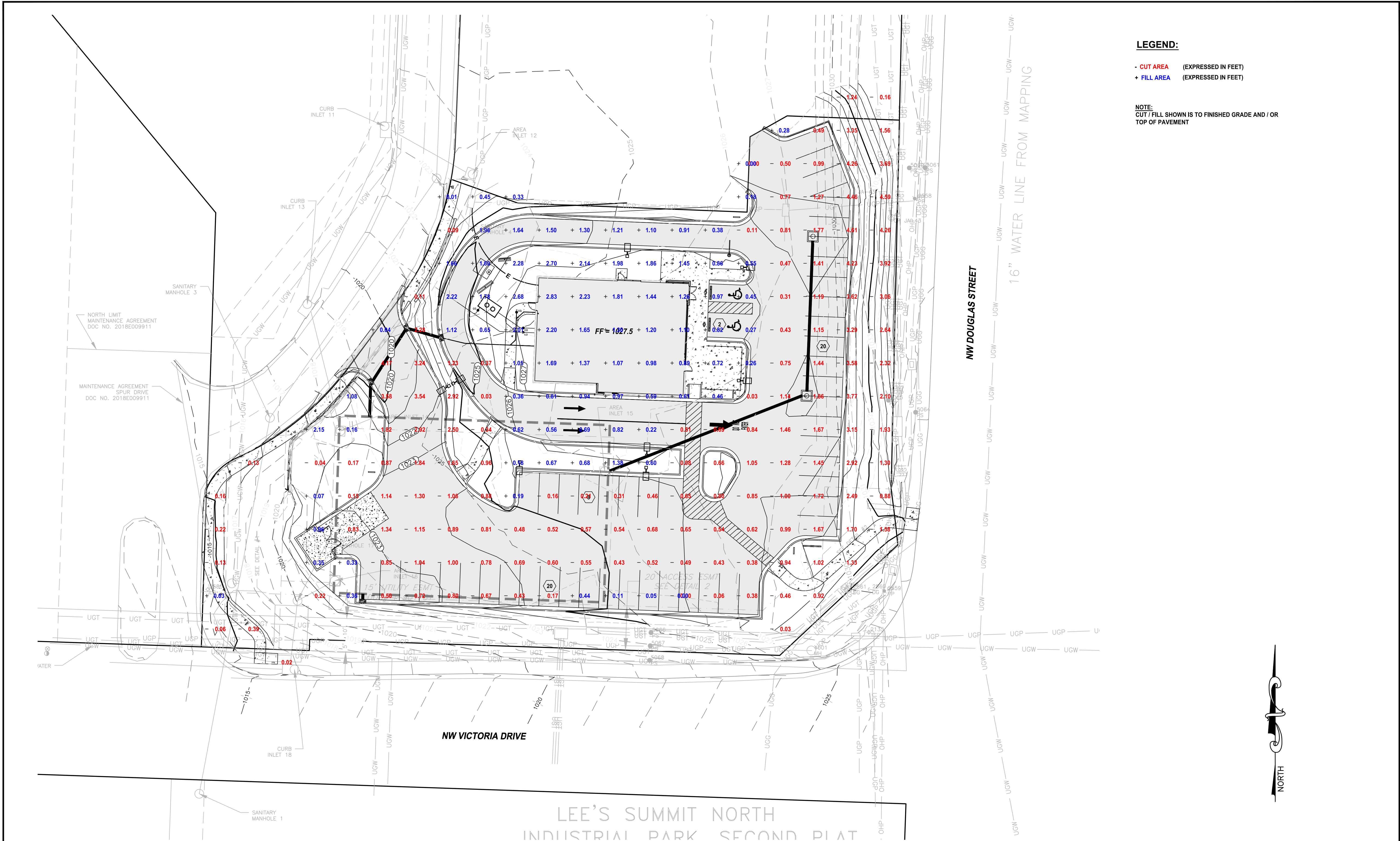
816.781.4200 ■
fax 792.3666

www.agcengineers.com

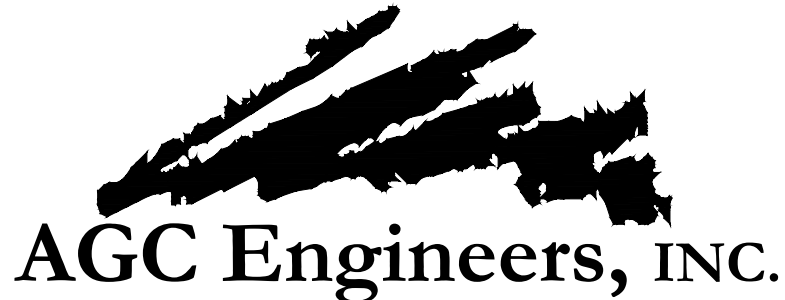
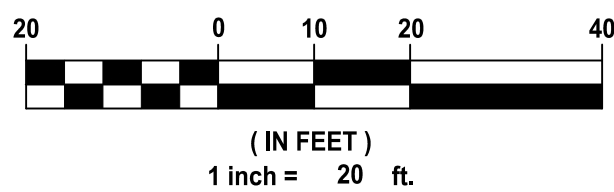


PANERA BREAD BAKERY - CAFE LEE'S SUMMIT, JACKSON COUNTY, MISSOURI	
SITE DEVELOPMENT PLANS GRADING & EROSION CONTROL PLAN	5

N:\Land Projects\Star Development - Oakview (Lee's Summit) - Lot 2\Drawings\Drawings - Plans\Final Development Plans\Grading Plan - CUT & FILL.dwg, GRADING PLAN - CUT & FILL.TCKS, 6/30/2022 2:33:35 PM, ANSI full bleed D (34.00 x 22.00 inches), 1:1



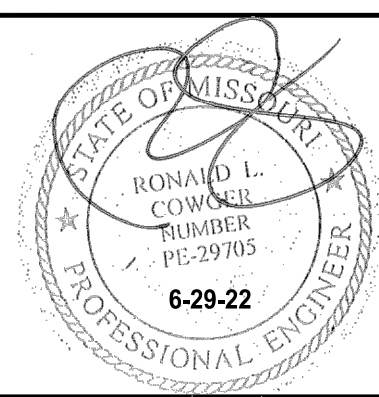
BY	REVISION	DATE
RC/ACA	FOR REVIEW PER CITY COMMENTS DATED 6-5-2020 & PROJECT PLACED ON HOLD DUE TO COVID	6-29-22
RC/ACA	FOR REVIEW	5-21-20



405 S. Leonard St., Suite D
Liberty, Missouri 64068

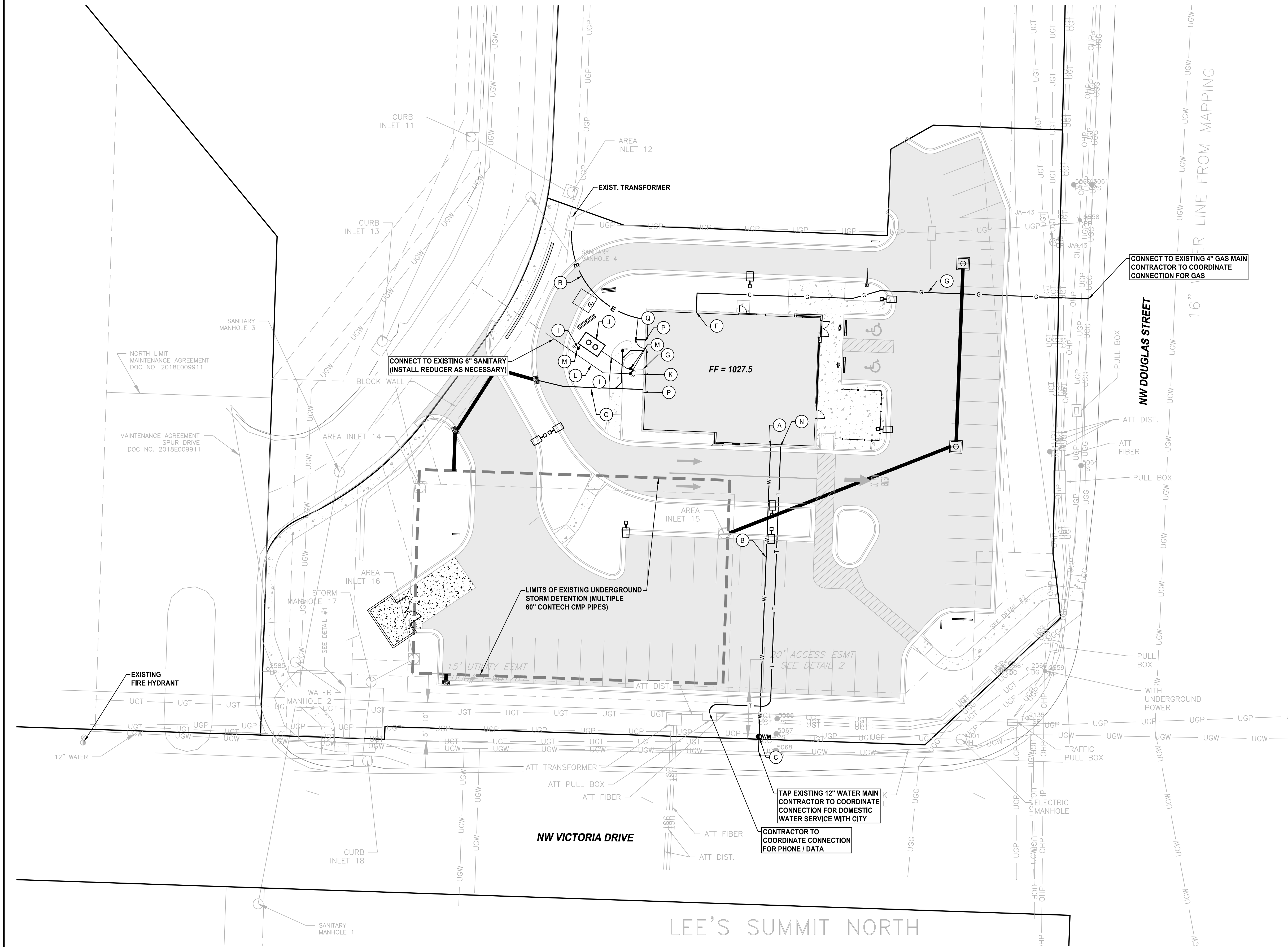
816.781.4200 ■
fax 792.3666

www.agcengineers.com



PANERA BREAD BAKERY - CAFE LEE'S SUMMIT, JACKSON COUNTY, MISSOURI	
SITE DEVELOPMENT PLANS GRADING PLAN - CUT & FILL	6

N:\Land Projects\Star Development - Oakview (Lee's Summit) - Lot 2\Drawings\Drawings - Plans\Final Development Plans\UTILITY PLAN.dwg, UTILITY PLAN, 6/30/2022 2:33:49 PM, ANSI (in bleed D 14.00 x 22.00 inches), 1:1



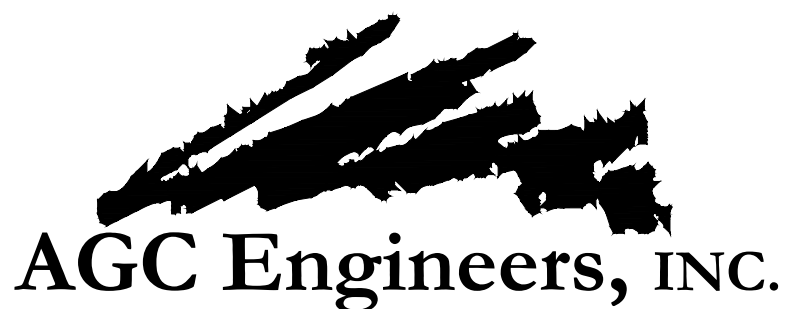
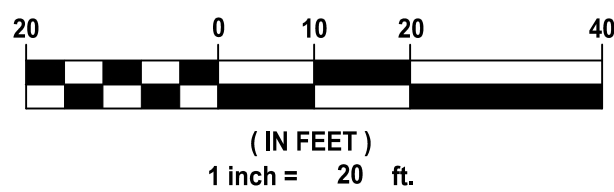
NOTE:

CONTRACTOR SHALL COORDINATE WITH STAR DEVELOPMENT CORP. PRIOR TO BEGINNING UNDERGROUND UTILITIES TO VERIFY SPECIFIC TENANT REQUIREMENTS SUCH AS DOMESTIC WATER, METER AND FIRE LINE SIZES (IF APPLICABLE), CONDUITS TO / FROM MESSAGE BOARDS, AND GROUND LOOP DETECTION SYSTEMS

KEY LEGEND

- (A) DOMESTIC WATER ENTRY (RE: MEP)
- (B) 2" DOMESTIC WATER LINE (CONFIRM WITH MEP PRIOR TO INSTALLATION)
- (C) 2" WATER METER AND METER PIT
- (D) NOT USED
- (E) NOT USED
- (F) GAS ENTRY (RE: MEP)
- (G) 1" GAS LINE (RE: MEP FOR GAS SIZE AND MATERIAL)
- (H) GREASE WASTE ENTRY (RE: MEP)
- (I) 4" GREASE WASTE LINE
- (J) 1500 GALLON GREASE INTERCEPTOR (RE: MEP)
- (K) SANITARY SEWER ENTRY (RE: MEP)
- (L) 4" SANITARY SEWER LINE (2% MIN. SLOPE)
- (M) CLEANOUT
- (N) PHONE / DATA SERVICE ENTRY (RE: ARCH)
- (O) ELECTRICAL TRANSFORMER (RE: MEP)
- (P) DOWNSPOUT (RE: ARCH) (SEE CONNECTION SHOE DETAIL)
- (Q) 6" PVC DOWNSPOUT STORM LINE (MIN. 4% SLOPE)
- (R) ELECTRIC TO BUILDING

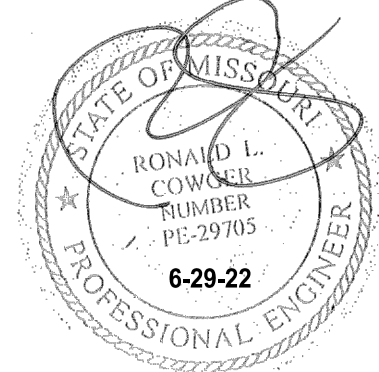
BY	REVISION	DATE
RC/ACA	FOR REVIEW PER CITY COMMENTS DATED 6-5-2020 & PROJECT PLACED ON HOLD DUE TO COVID	6-29-22
RC/ACA	FOR REVIEW	5-21-20



405 S. Leonard St., Suite D
Liberty, Missouri 64068

816.781.4200 ■
fax 792.3666

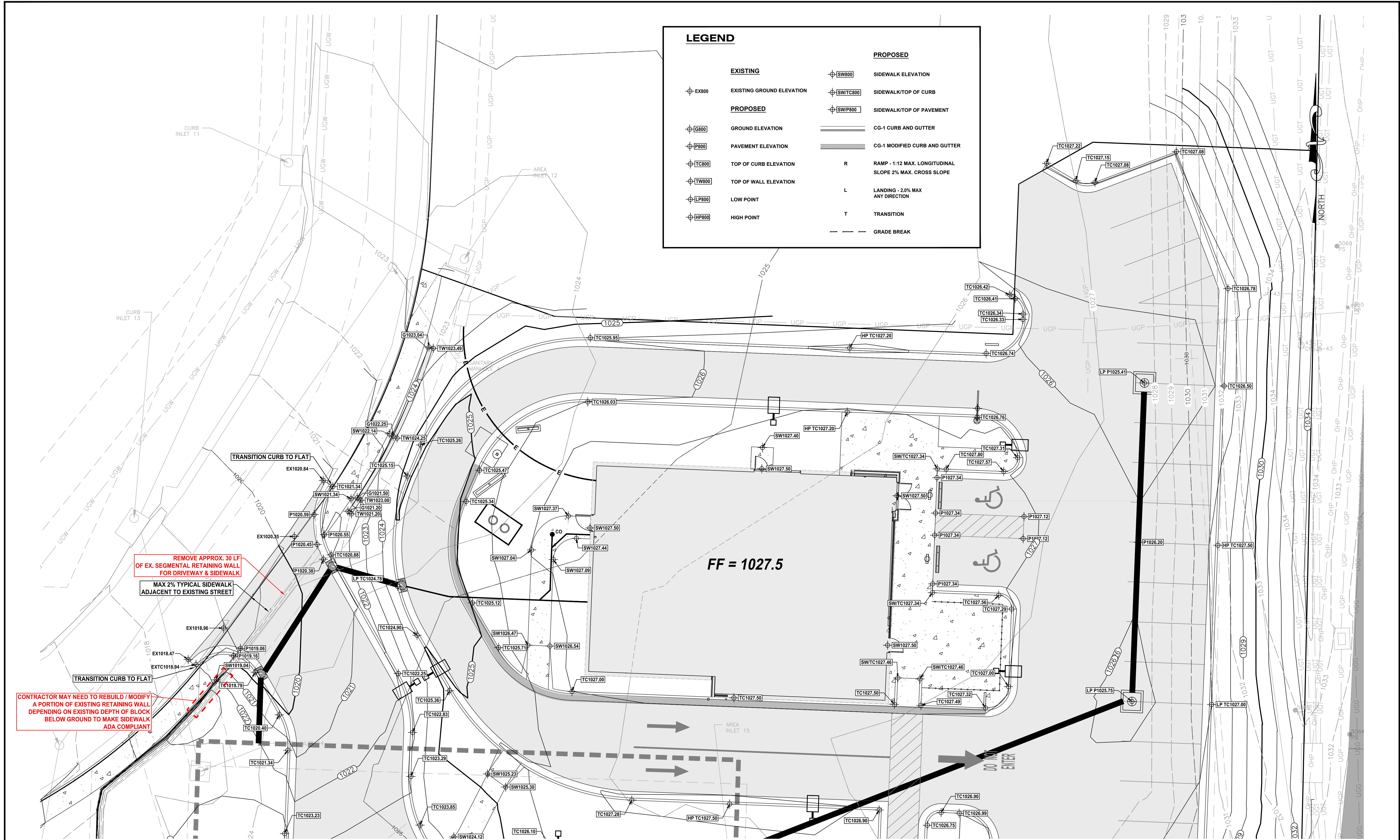
www.agcengineers.com



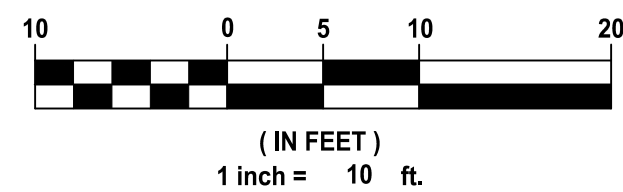
PANERA BREAD BAKERY - CAFE
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

SITE DEVELOPMENT PLANS
UTILITY PLAN

N:\Land Projects\Site Development - Overview (Lee's Summit) - Lot 2\Drawings\Drawings\Plans\Final Development Plans\Spot Elevation Plan.dwg, SPOT ELEVATION PLAN, 6/30/2022 2:24:02 PM, ANSI full bleed D (34.00 x 22.00 inches), 1:1



BY	REVISION	DATE
RC/ACA	FOR REVIEW PER CITY COMMENTS DATED 6-5-2020 & PROJECT PLACED ON HOLD DUE TO COVID	6-29-22
RC/ACA	FOR REVIEW	5-21-20

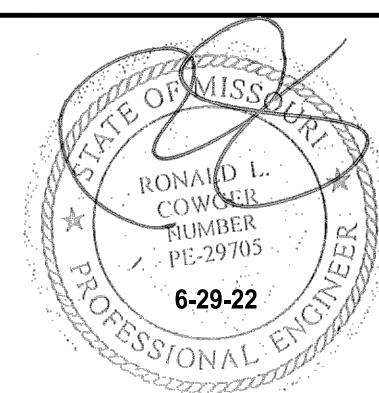


AGC Engineers, INC.

405 S. Leonard St., Suite D
Liberty, Missouri 64068

816.781.4200
fax 792.3666

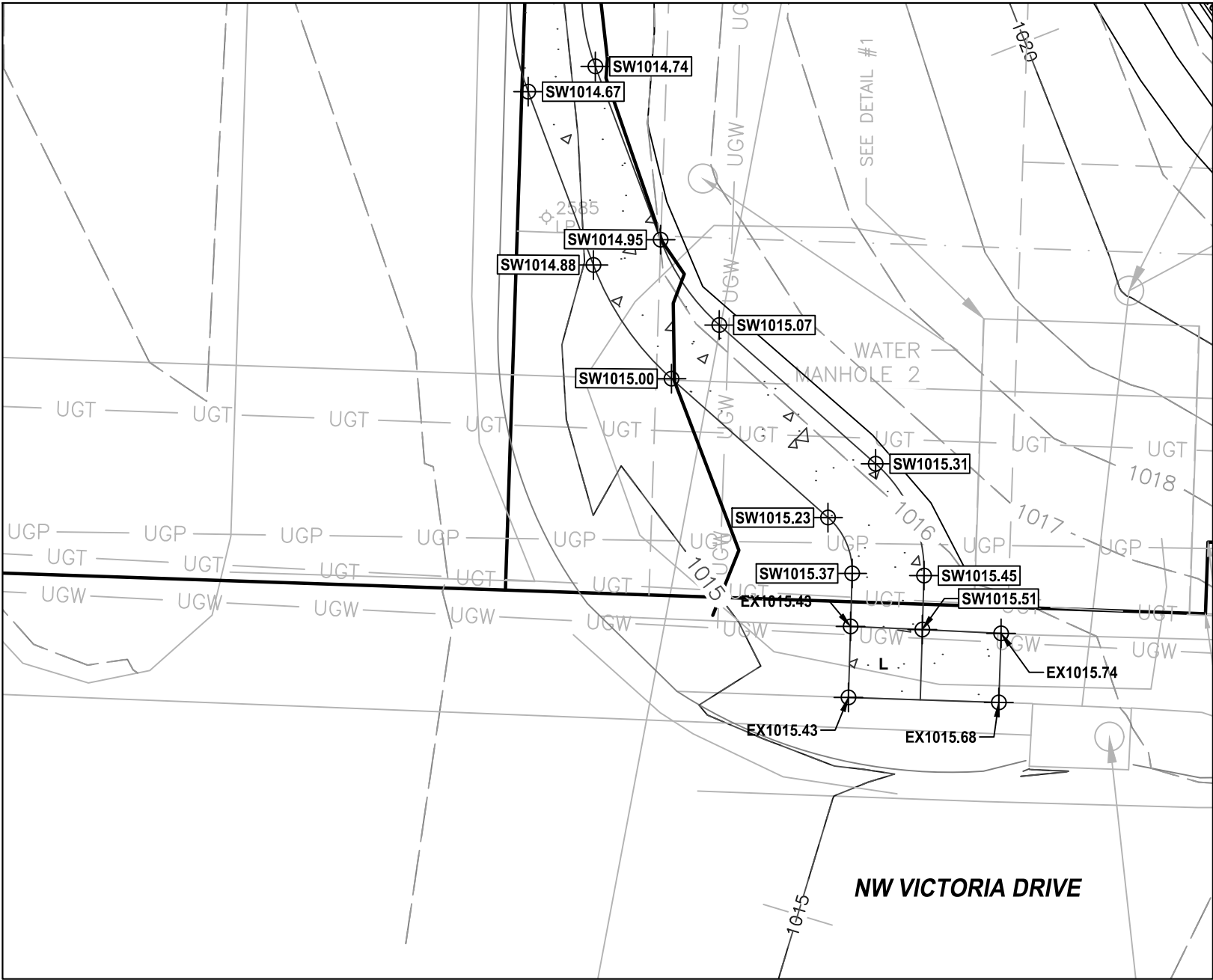
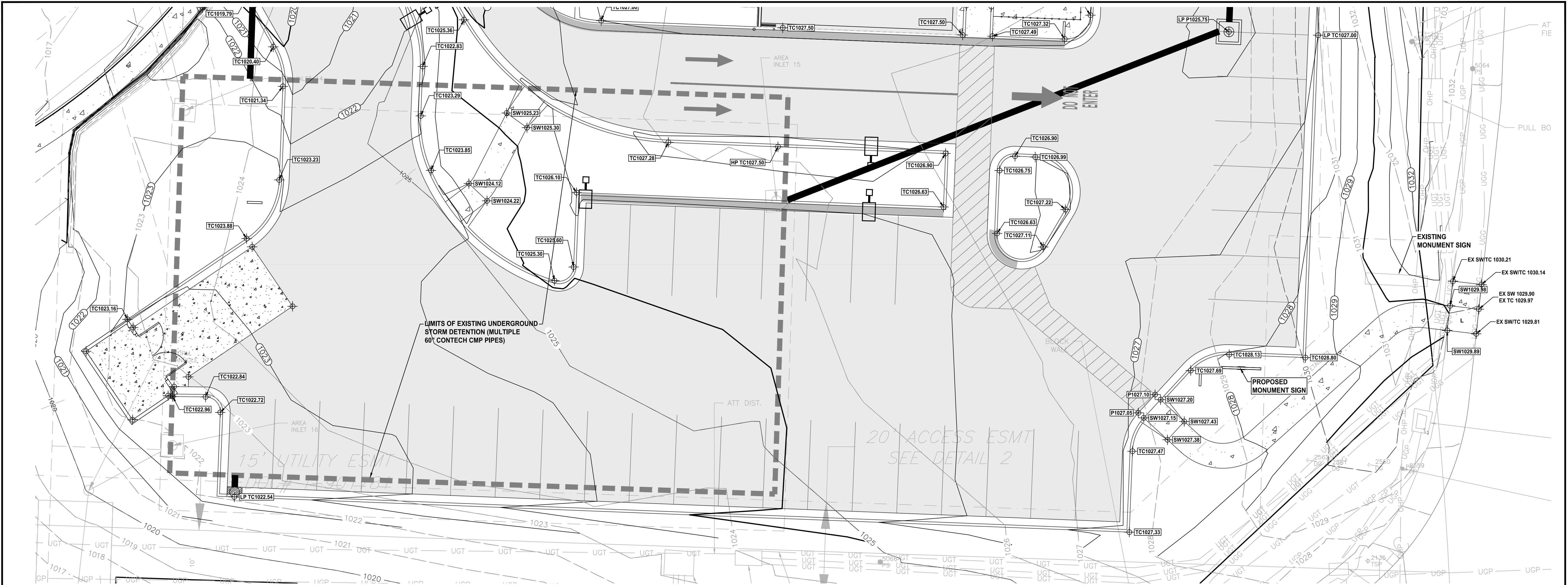
www.agcengineers.com



PANERA BREAD BAKERY - CAFE
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

SITE DEVELOPMENT PLANS
SPOT ELEVATION PLAN

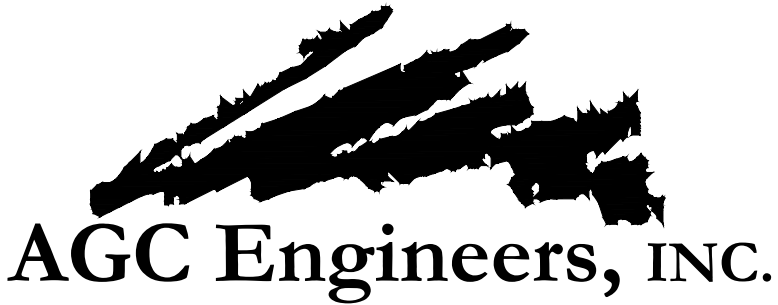
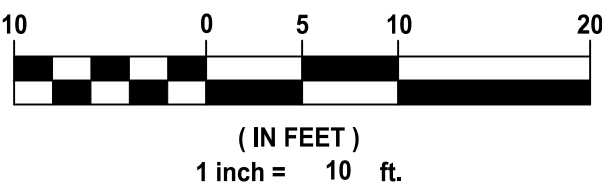
N:\Land Projects\Star Development - Oakview (Lee's Summit) - Lot 2\Drawings\Drawings-Plans\Final Development Plans\SPOT ELEVATION PLAN.dwg, SPOT ELEVATION PLAN (3, 6/30/2022 2:34:10 PM, ANSI full head D (34.00 x 22.00 inches), 1:1



LEGEND			
EXISTING		PROPOSED	
	EXISTING GROUND ELEVATION		SIDEWALK ELEVATION
	GROUND ELEVATION		SIDEWALK/TOP OF CURB
	PAVEMENT ELEVATION		SIDEWALK/TOP OF PAVEMENT
	TOP OF CURB ELEVATION		CG-1 CURB AND GUTTER
	TOP OF WALL ELEVATION		CG-1 MODIFIED CURB AND GUTTER
	LOW POINT	R	RAMP - 1:12 MAX. LONGITUDINAL SLOPE 2% MAX. CROSS SLOPE
	HIGH POINT	L	LANDING - 2.0% MAX ANY DIRECTION
		T	TRANSITION
			GRADE BREAK



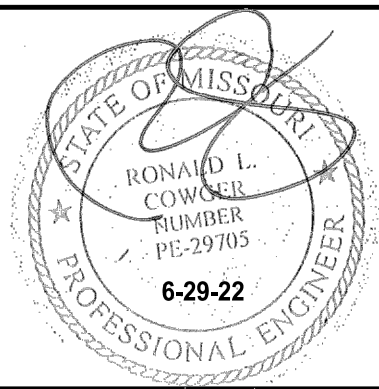
BY	REVISION	DATE
RC/ACA	FOR REVIEW PER CITY COMMENTS DATED 6-5-2020 & PROJECT PLACED ON HOLD DUE TO COVID	6-29-22
RC/ACA	FOR REVIEW	5-21-20



405 S. Leonard St., Suite D
Liberty, Missouri 64068


816.781.4200
fax 792.3666

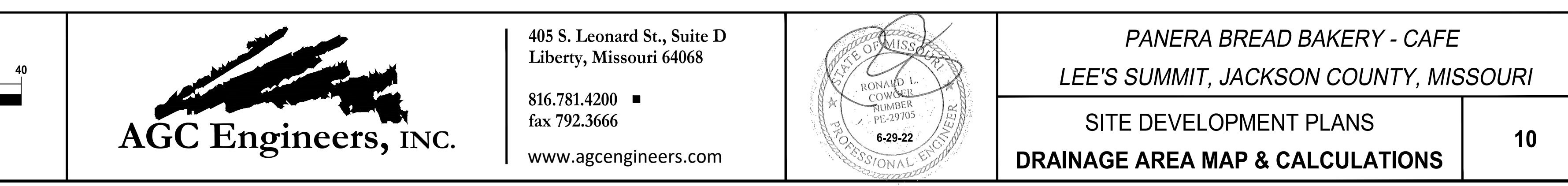
www.agcengineers.com



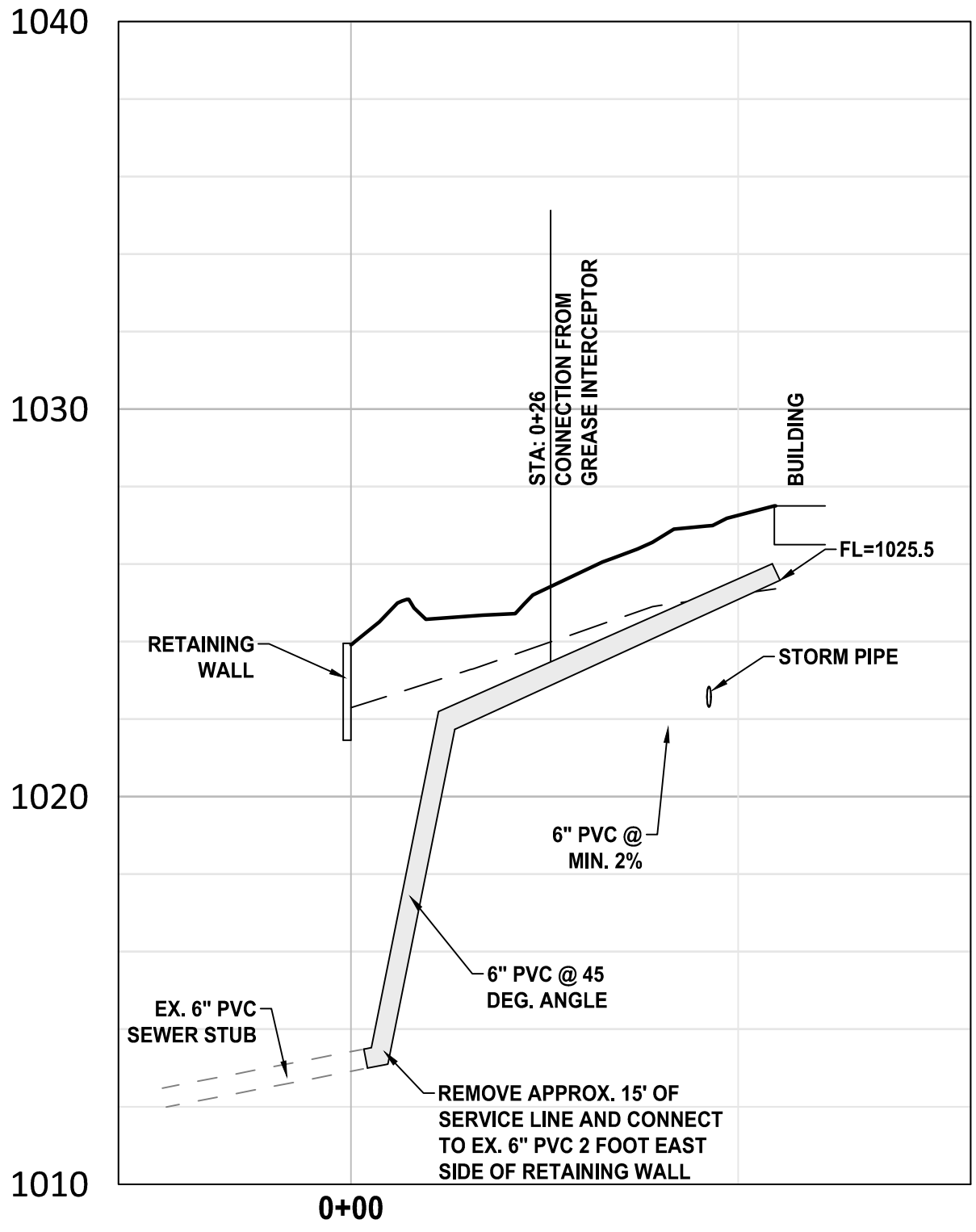
PANERA BREAD BAKERY - CAFE
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

SITE DEVELOPMENT PLANS
SPOT ELEVATION PLAN

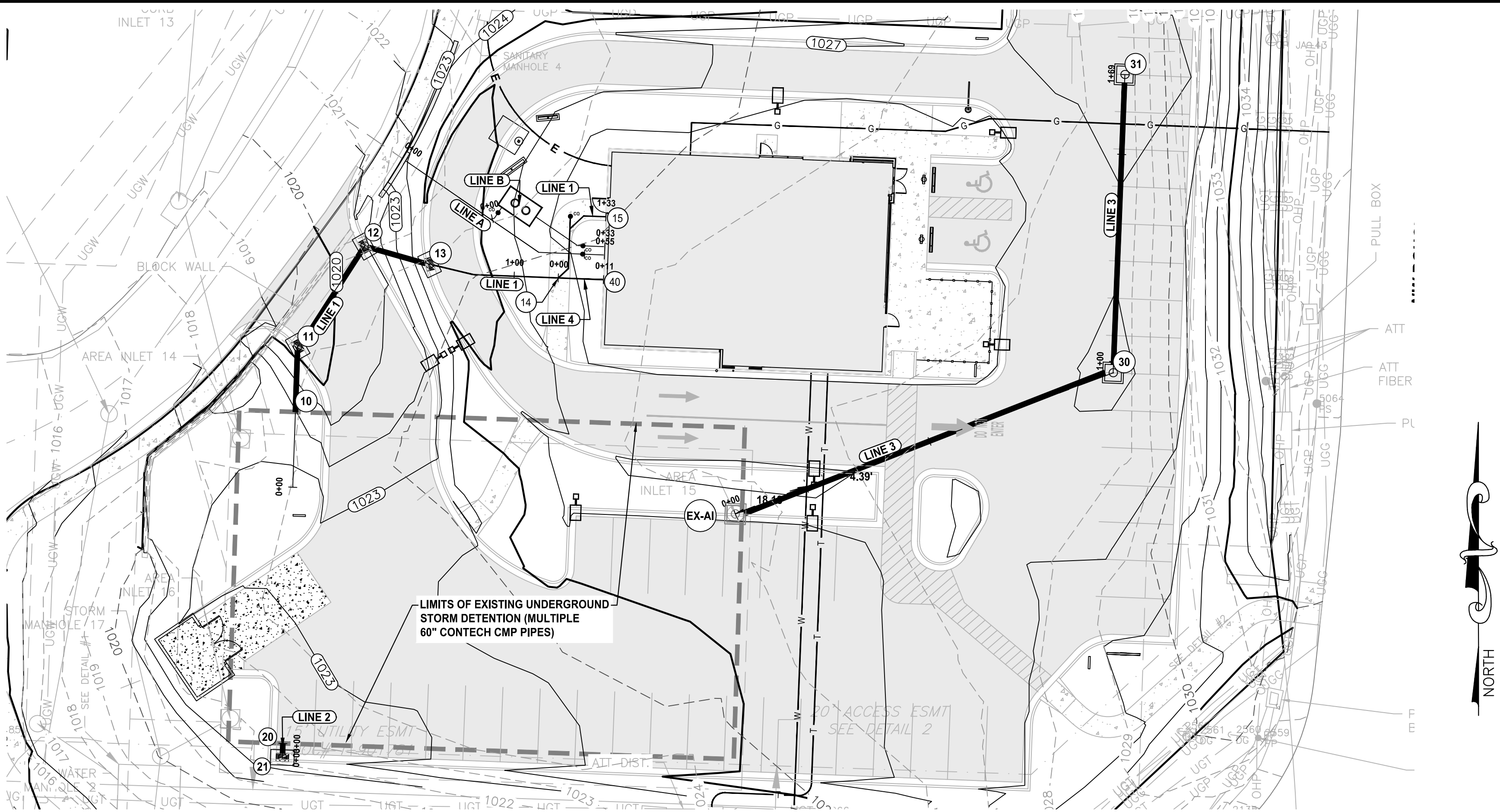
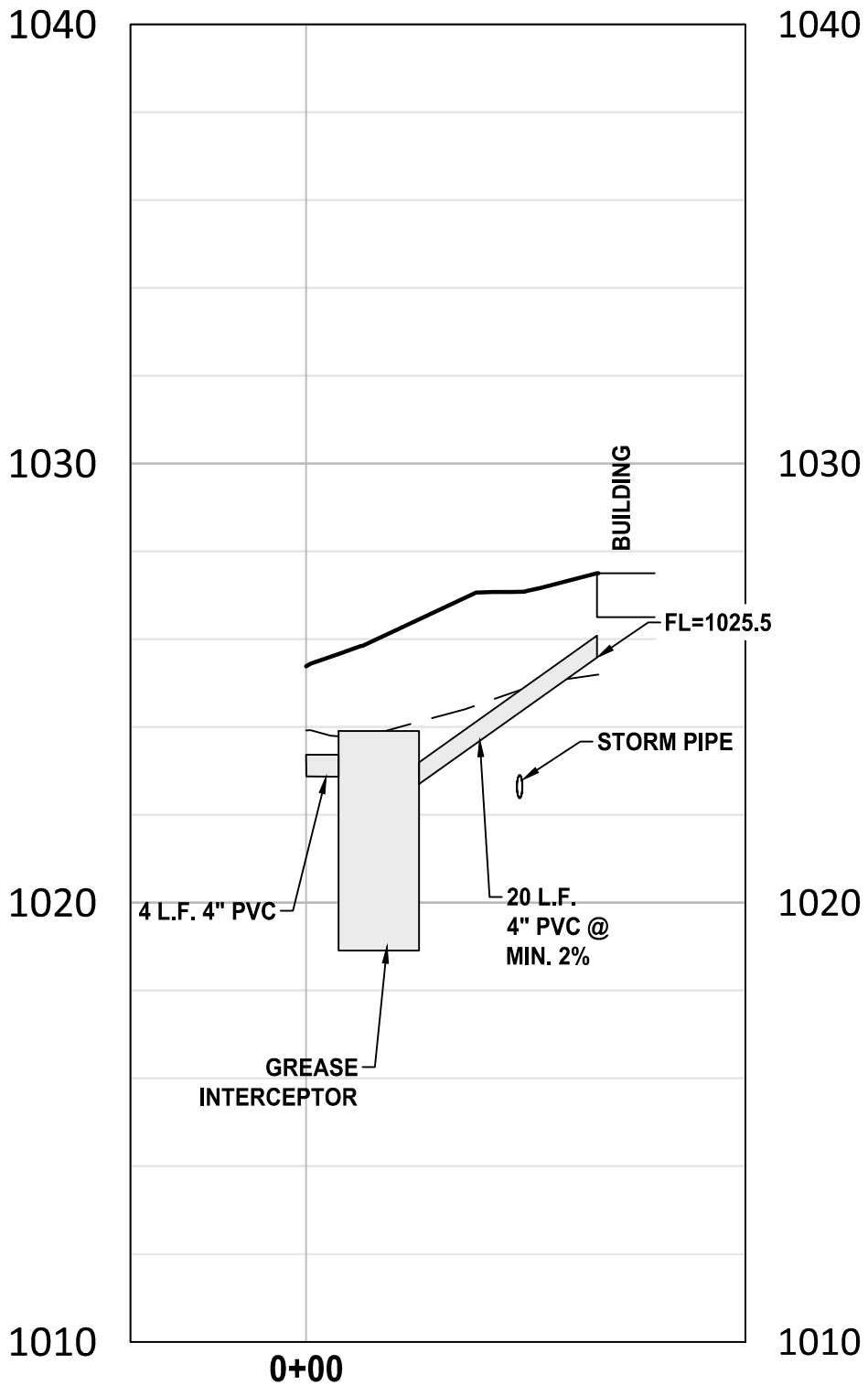

 3130 Veterans Avenue • Buford, GA 30518
 (888) 884-4710 / (770) 932-2443 • Fax: (770) 932-2490
 © Nyloplast Inlet Capacity Charts June 2012



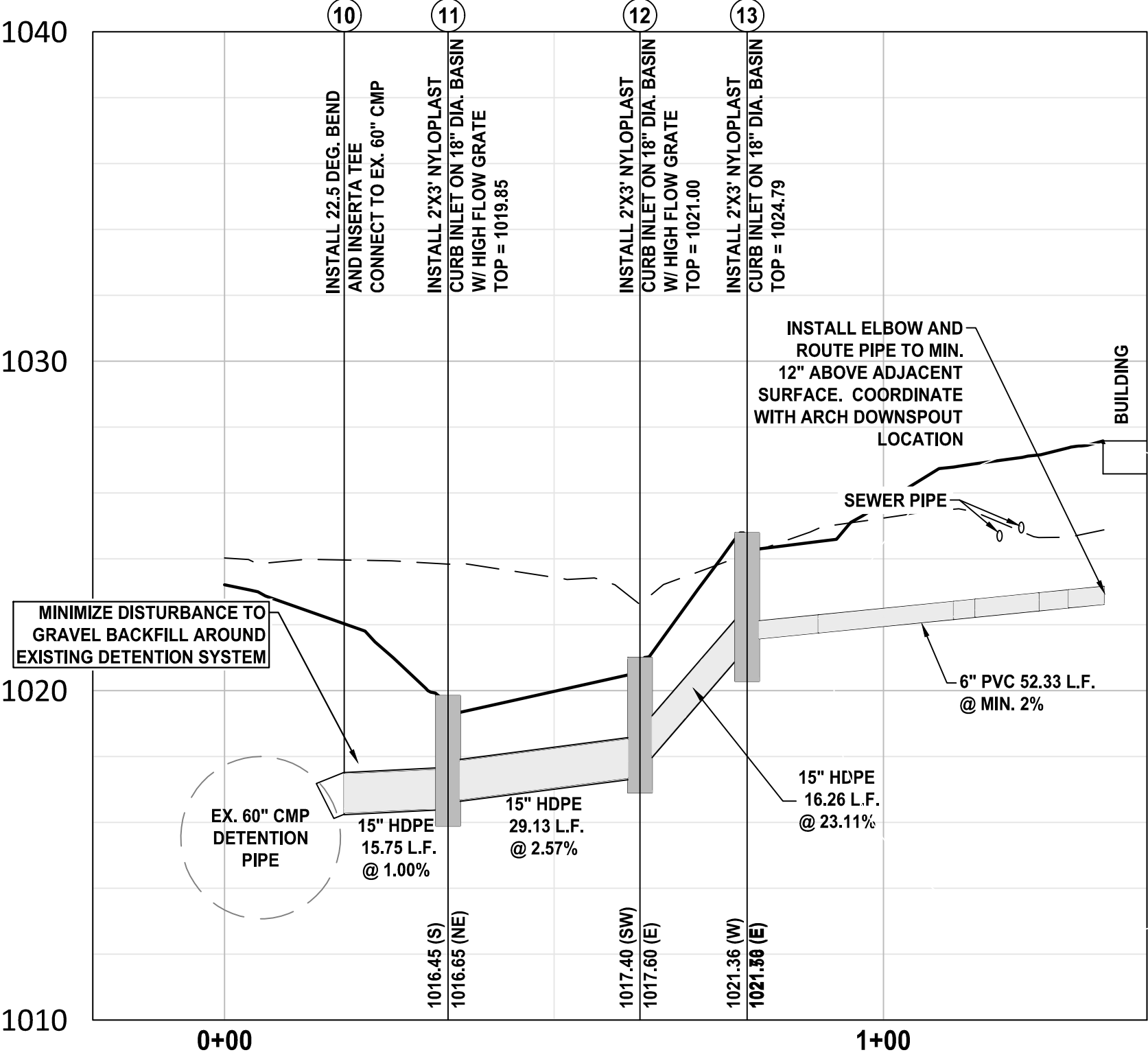
SANITARY
LINE A



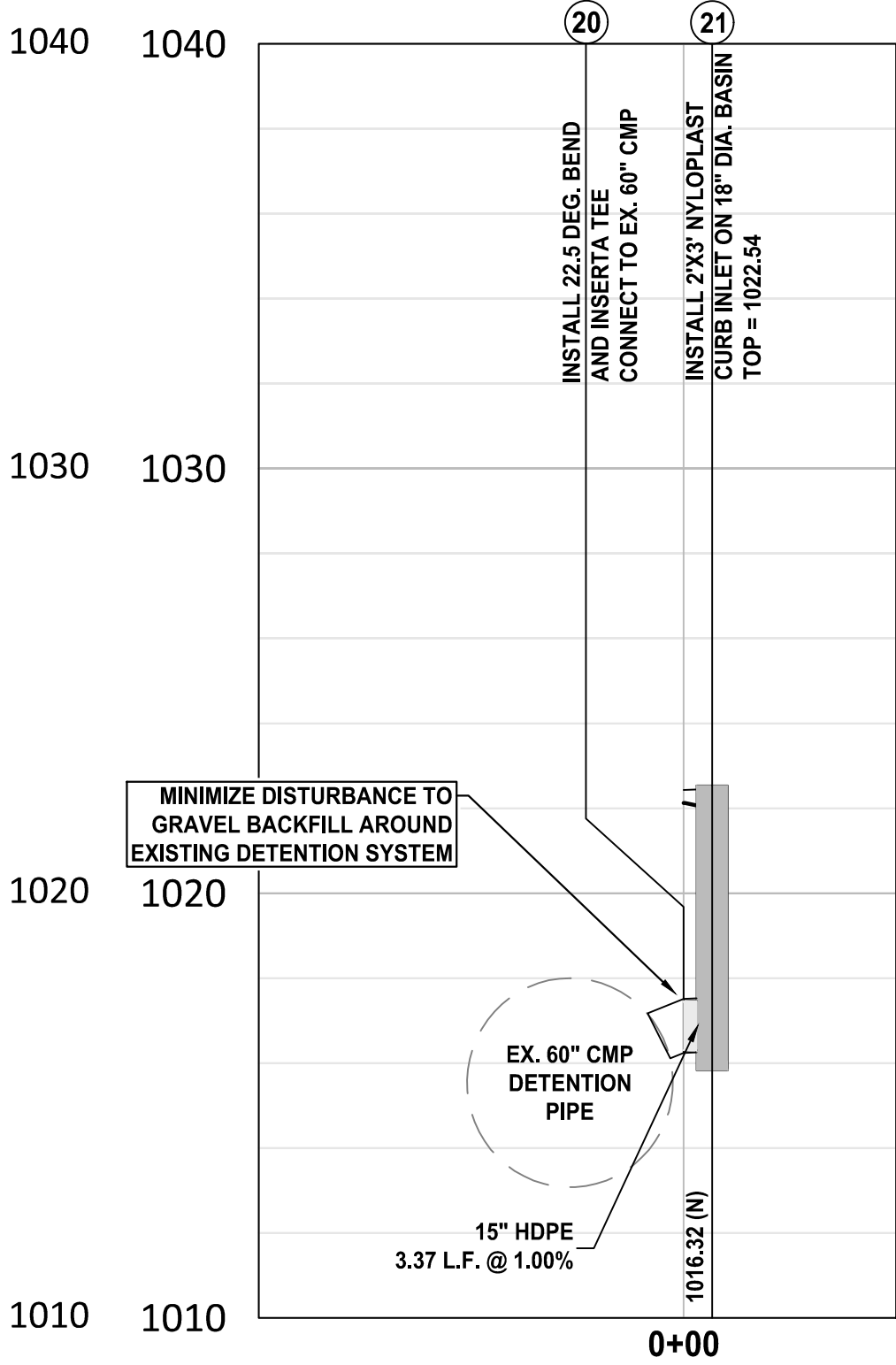
SANITARY
LINE B



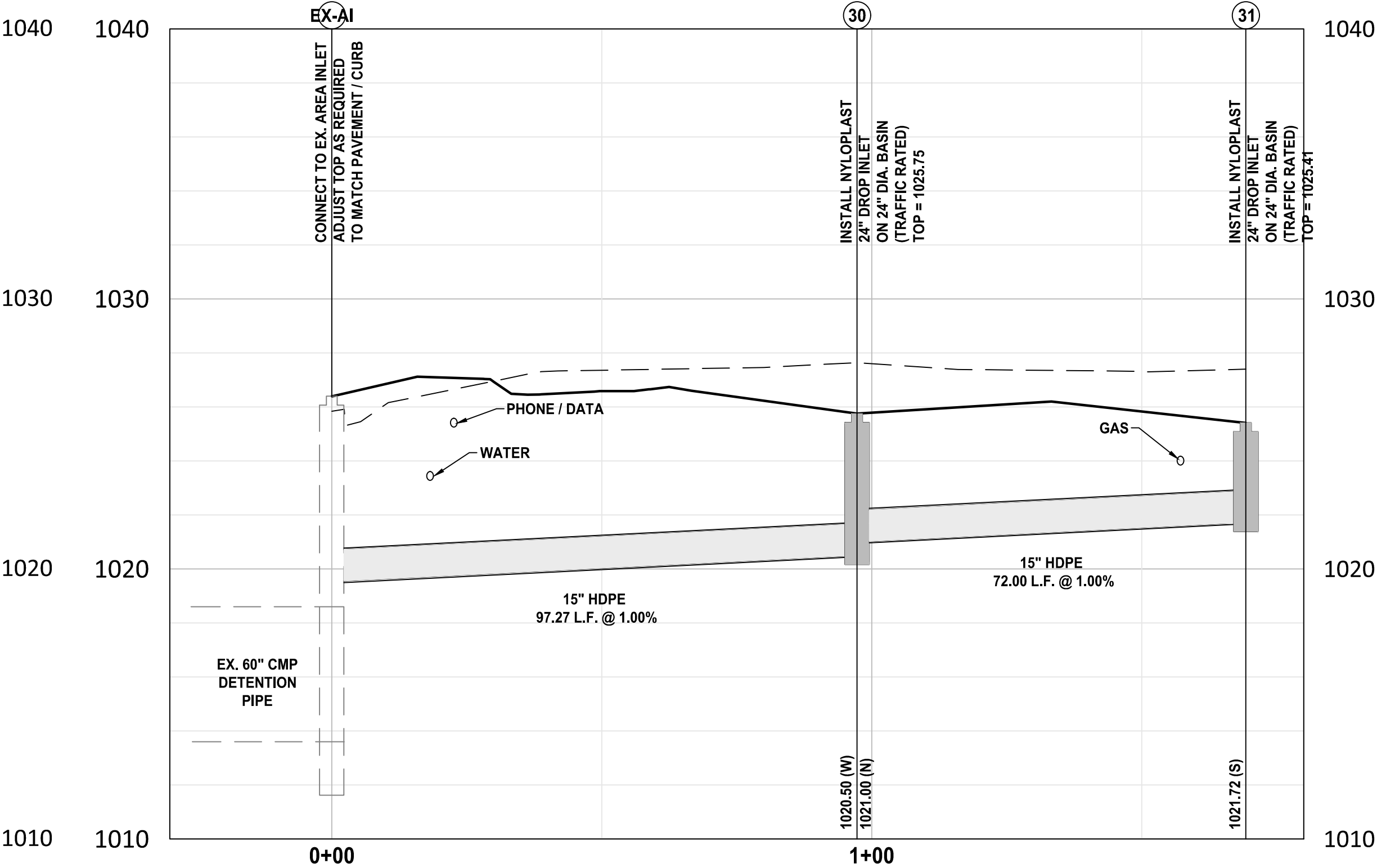
STORM
LINE 1



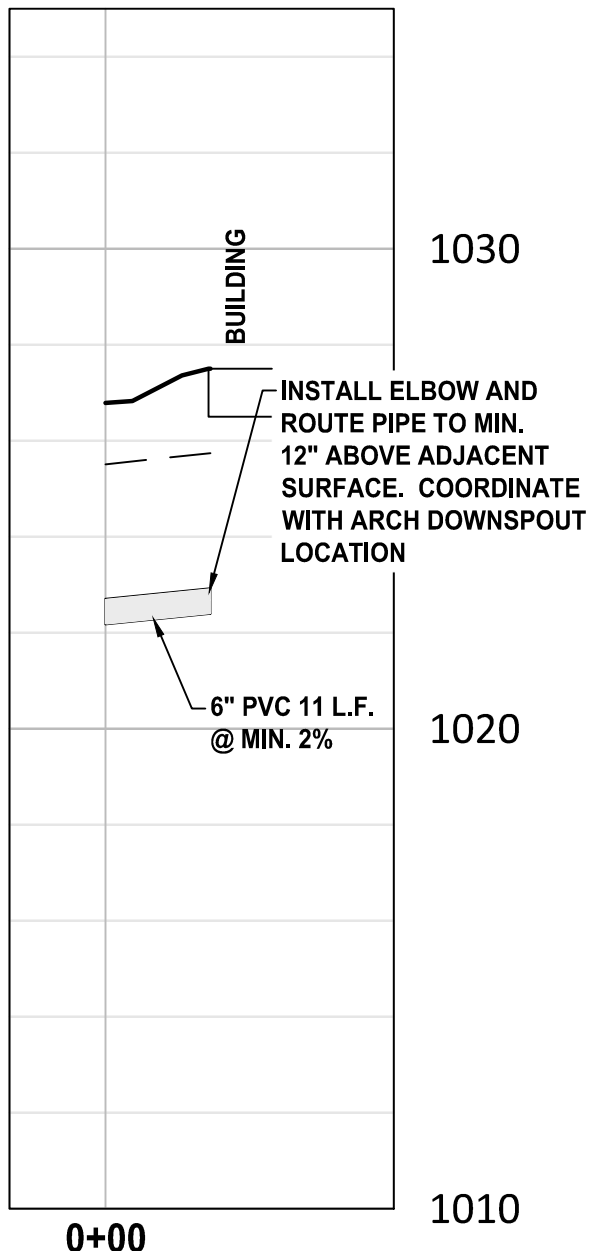
STORM
LINE 2



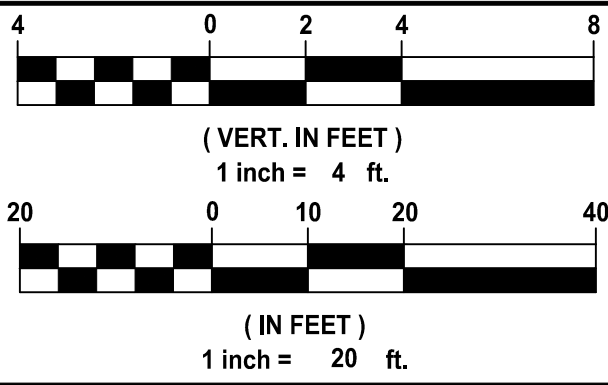
STORM
LINE 3



STORM
LINE 4



BY	REVISION	DATE
RC/ACA	FOR REVIEW PER CITY COMMENTS DATED 6-5-2020 & PROJECT PLACED ON HOLD DUE TO COVID	6-29-22
RC/ACA	FOR REVIEW	5-21-20

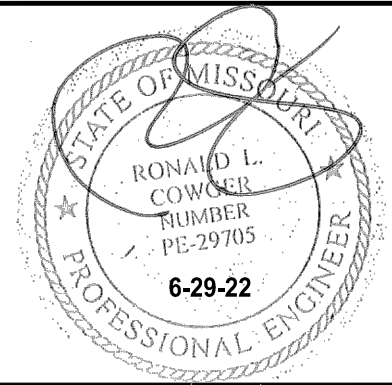


AGC Engineers, INC.

405 S. Leonard St., Suite D
Liberty, Missouri 64068

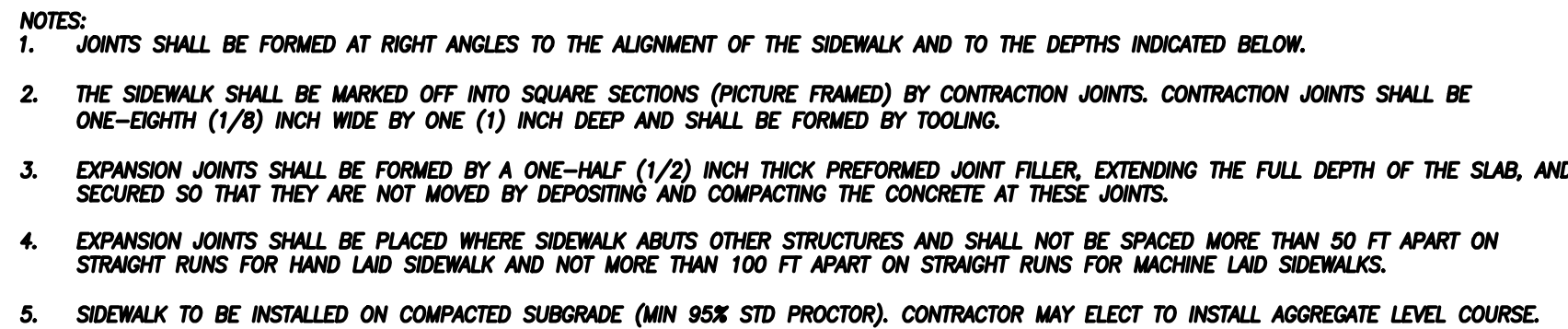
816.781.4200
fax 792.3666

www.agcengineers.com

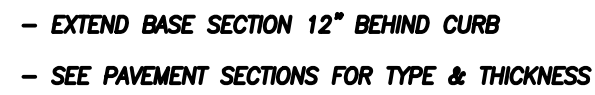


PANERA BREAD BAKERY - CAFE
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

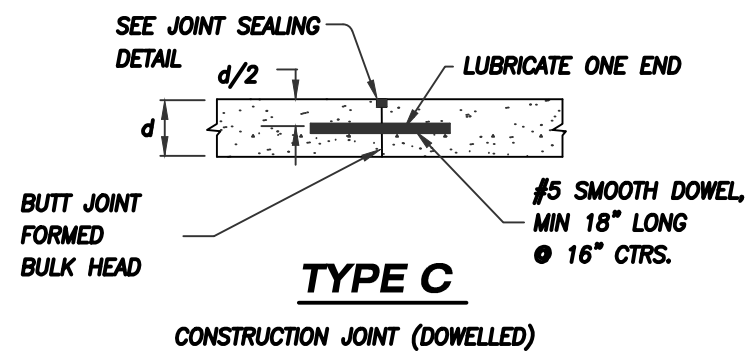
SITE DEVELOPMENT PLANS
UTILITY PLAN & PROFILES



NOT TO SCALE



NOT TO SCALE

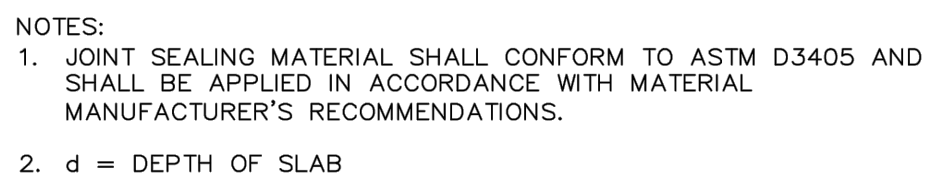


NOT TO SCALE



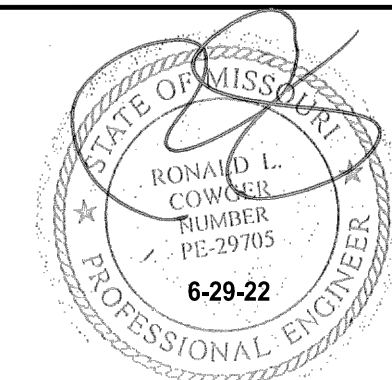
1. EXPANSION JOINTS SHALL BE FORMED BY A ONE-HALF (1/2) INCH THICK PREFORMED JOINT FILLER, CUT TO THE CONFIGURATION OF THE FULL SIZE OF THE CURB AND GUTTER SECTION AND BEING SEALED SO THAT THEY ARE NOT MOVED BY DEPOSITING AND COMPACTING THE CONCRETE AT THESE JOINTS. THE EDGES OF THESE JOINTS SHALL BE ROUNDED WITH AN EDGING TOOL ONE-EIGHTH (1/8) INCH RADII.
2. EXPANSION JOINTS SHALL BE PLACED WHERE CURB AND GUTTER ABUTS OTHER STRUCTURES AND AT ALL TANGENT POINTS TO CURBS. EXPANSION JOINTS SHALL NOT BE SPACED MORE THAN 50 FEET APART ON STRAIGHT RUNS FOR HAND LAID CURB AND GUTTER AND NOT MORE THAN 100 FEET APART FOR MACHINE LAID CURB AND GUTTER PROVIDED 3/4 INCH THICK JOINT FILLER IS USED. ALL JOINTS SHALL BE FORMED AT RIGHT ANGLES TO THE ALIGNMENT OF THE CURB AND GUTTER.
3. CONTRACTION JOINTS SHALL BE CONSTRUCTED BY SAWING THROUGH THE CURB AND GUTTER TO A DEPTH OF NOT LESS THAN ONE AND ONE-FOURTH (1 1/4) INCHES BELOW THE SURFACE AND TO A WIDTH NOT TO EXCEED THREE-EIGHTHS (3/8) INCH OR THEY MAY BE FORMED BY INSERTING A REMOVABLE METAL TEMPLATE IN THE FRESH CONCRETE, OR BY OTHER METHODS APPROVED BY THE ENGINEER. SEALING OF JOINTS IS NOT REQUIRED. CONTRACTION OR CONSTRUCTION JOINTS SHALL BE LOCATED APPROXIMATELY 10 FEET APART.
4. EXTEND 6" THICK AGGREGATE BASE MINIMUM 12" BEHIND BACK OF CURB.

NOT TO SCALE



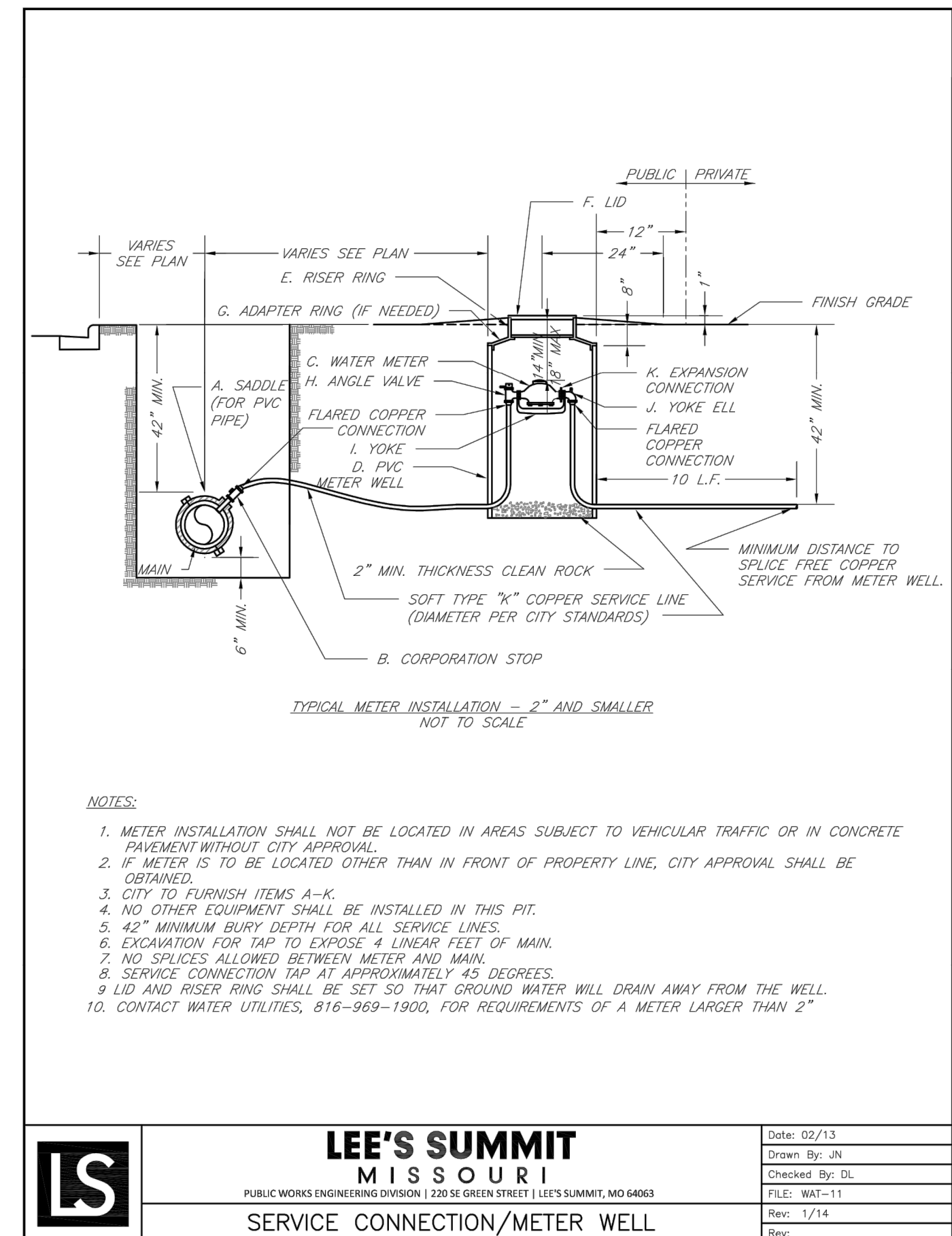
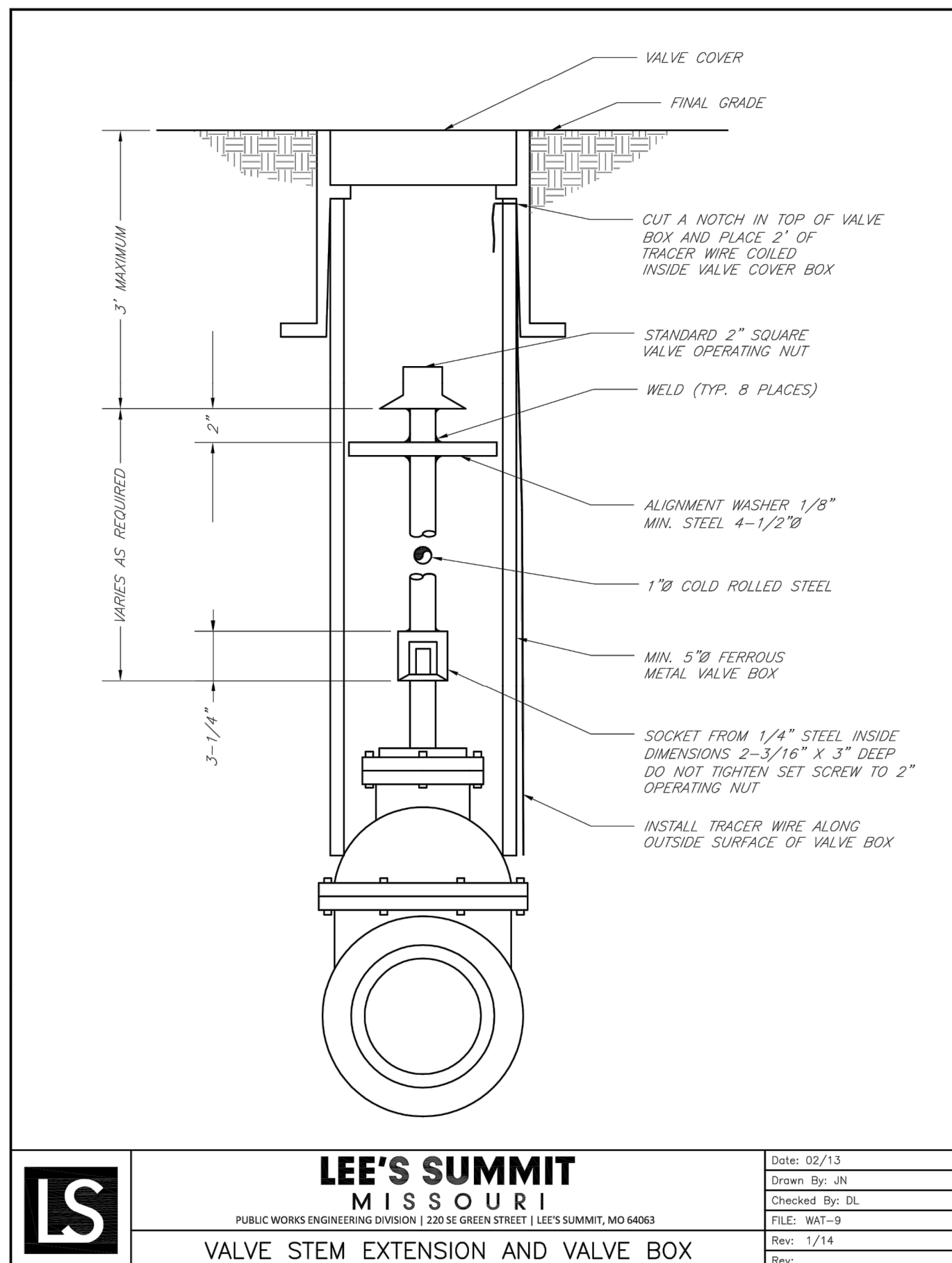
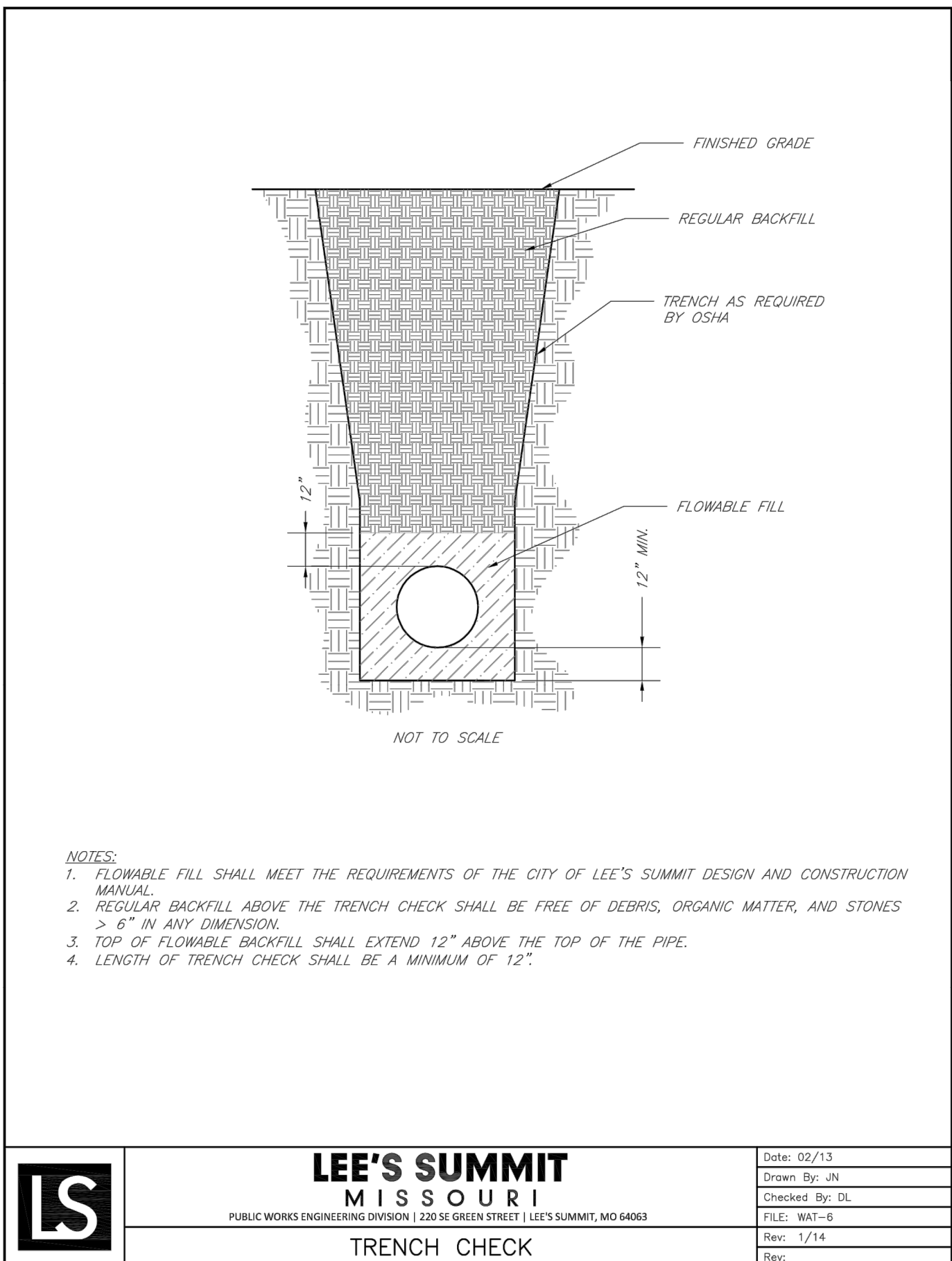
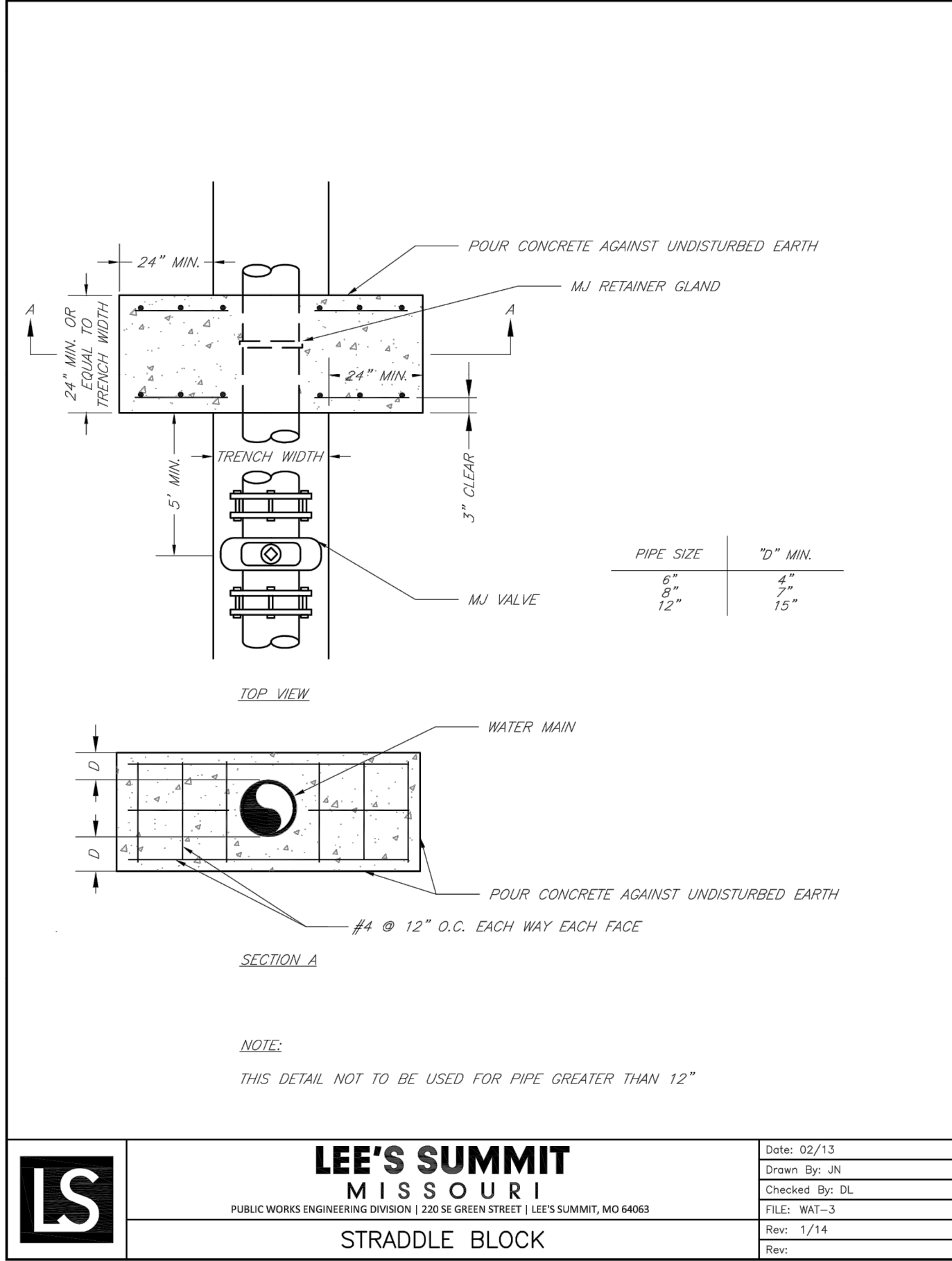
NOT TO SCALE

BY	REVISION	DATE
RC/ACA	FOR REVIEW PER CITY COMMENTS DATED 6-5-2020 & PROJECT PLACED ON HOLD DUE TO COVID	6-29-22
RC/ACA	FOR REVIEW	5-21-20

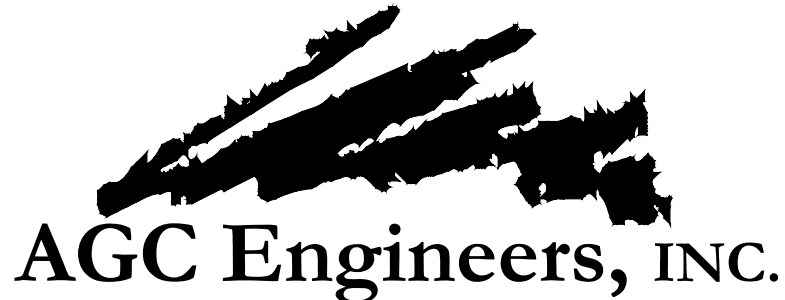


12

N:\Land Projects\Site Development - Overview (Lee's Summit) - Lot 2\Drawings\Drawings-Plans\Final Development Plans\DETAILS.dwg DETAILS (4) 6/29/2022 2:35:05 PM, ANSI (all used) D (4) 49 x 22 (0) inches, 1:1



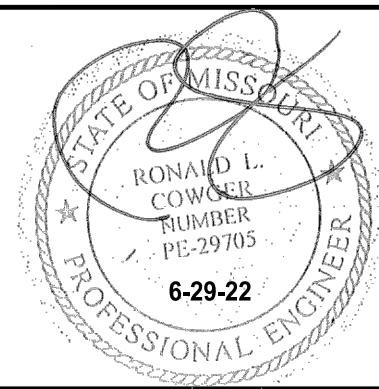
BY	REVISION	DATE
RC/ACA	FOR REVIEW PER CITY COMMENTS DATED 6-5-2020 & PROJECT PLACED ON HOLD DUE TO COVID	6-29-22
RC/ACA	FOR REVIEW	5-21-20



405 S. Leonard St., Suite D
Liberty, Missouri 64068

816.781.4200 ■
fax 792.3666

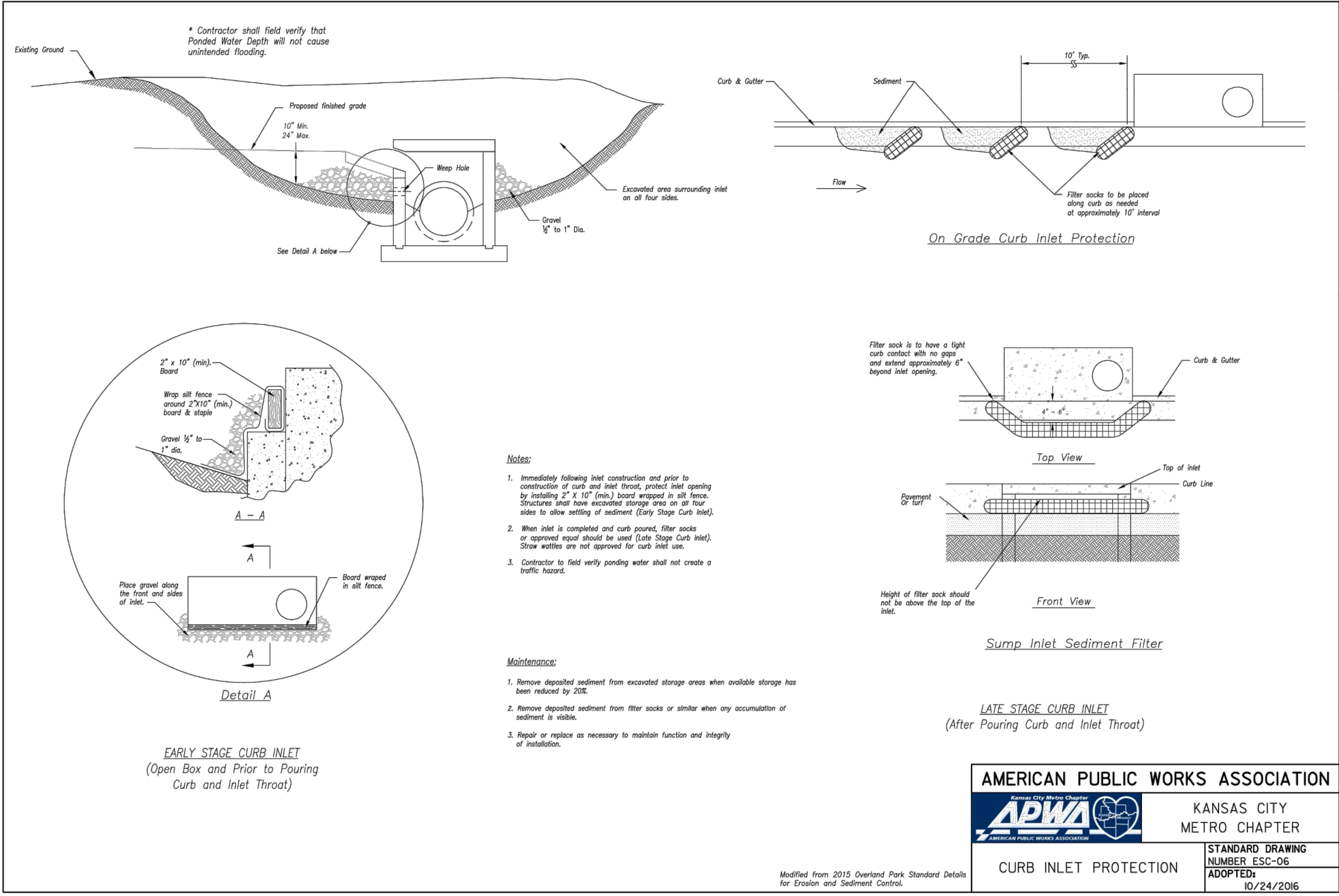
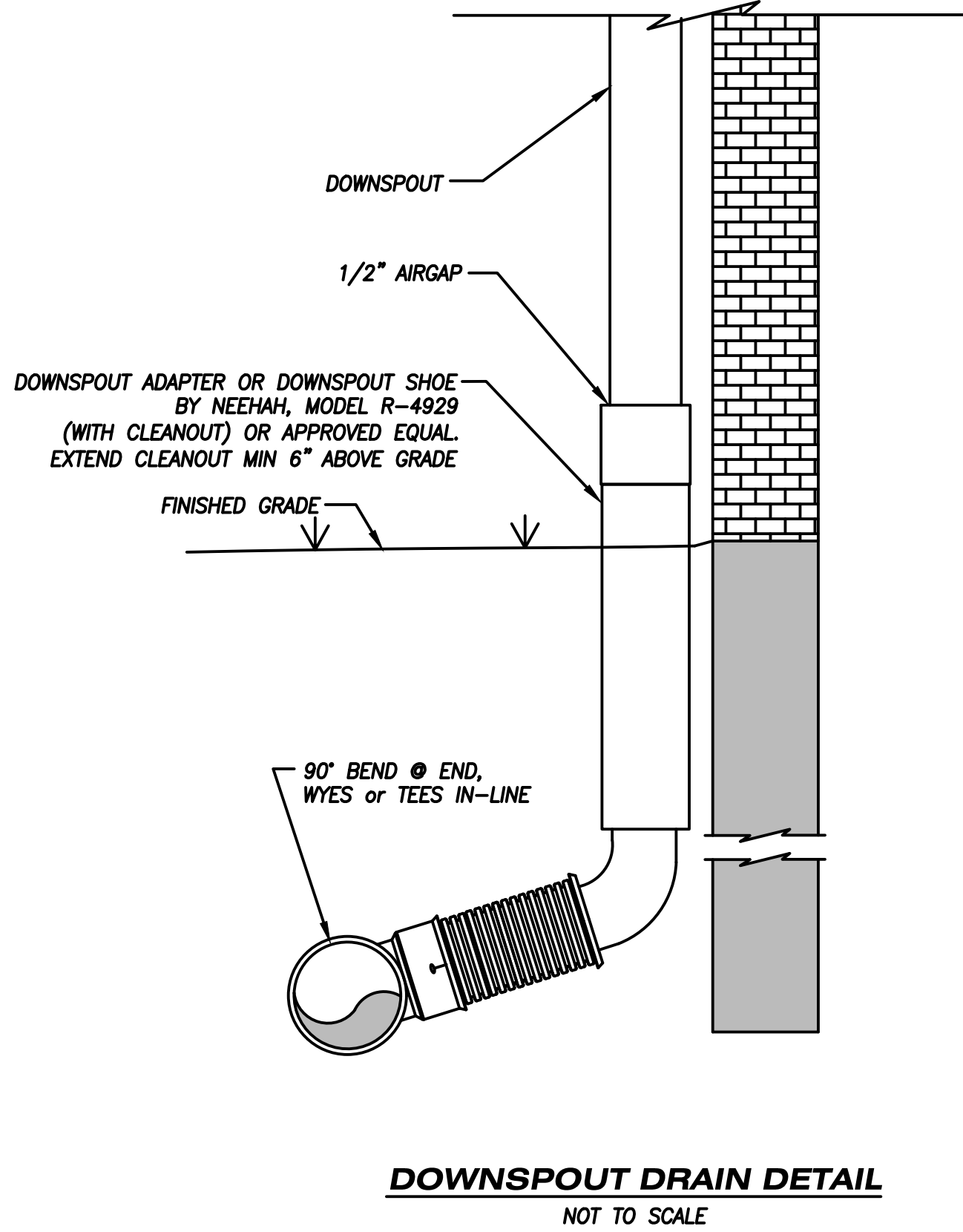
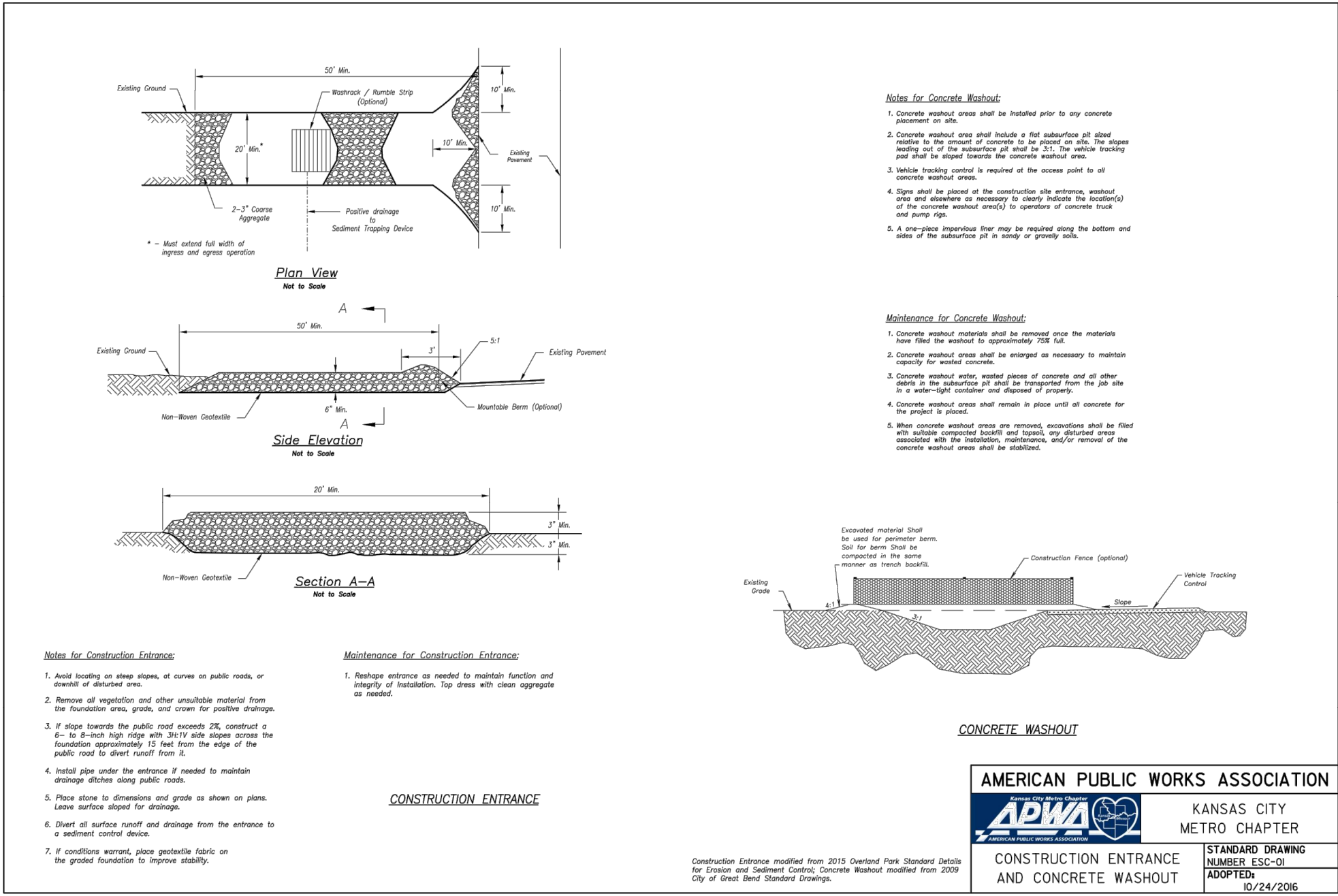
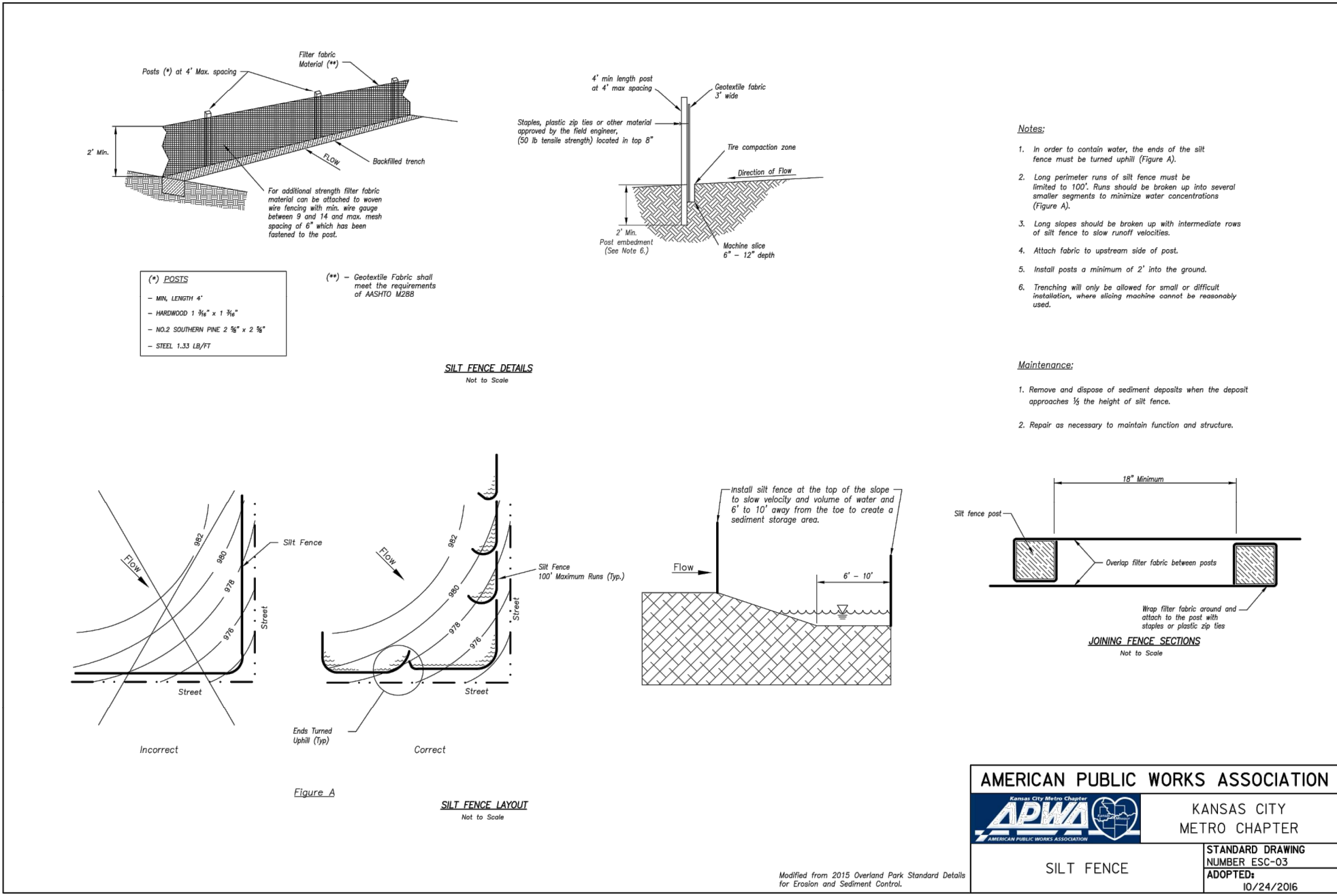
www.agcengineers.com



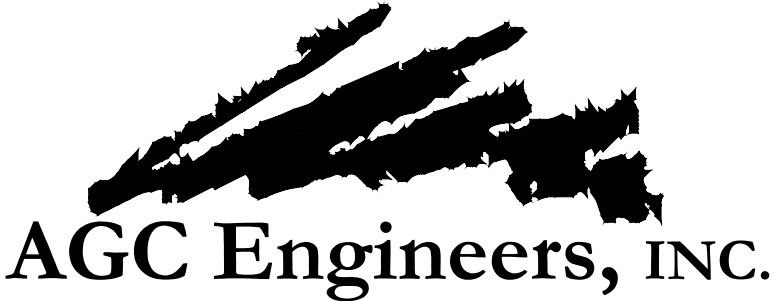
PANERA BREAD BAKERY - CAFE
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

SITE DEVELOPMENT PLANS
DETAILS

N:\Land Projects\Star Development - Oakview (Lee's Summit) - 1 of 2 Drawings\Drawings\Plan\Development\Plan\DETAILS.dwg, DETAILS (3), 1/30/2022 2:35:10 PM, ARCH 18 based D (26.00 x 24.00 inches), 1:1



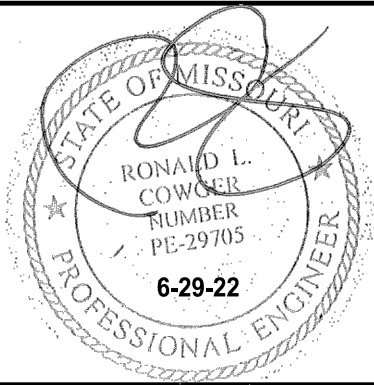
BY	REVISION	DATE
RC/ACA	FOR REVIEW PER CITY COMMENTS DATED 6-5-2020 & PROJECT PLACED ON HOLD DUE TO COVID	6-29-22
RC/ACA	FOR REVIEW	5-21-20



405 S. Leonard St., Suite D
Liberty, Missouri 64068

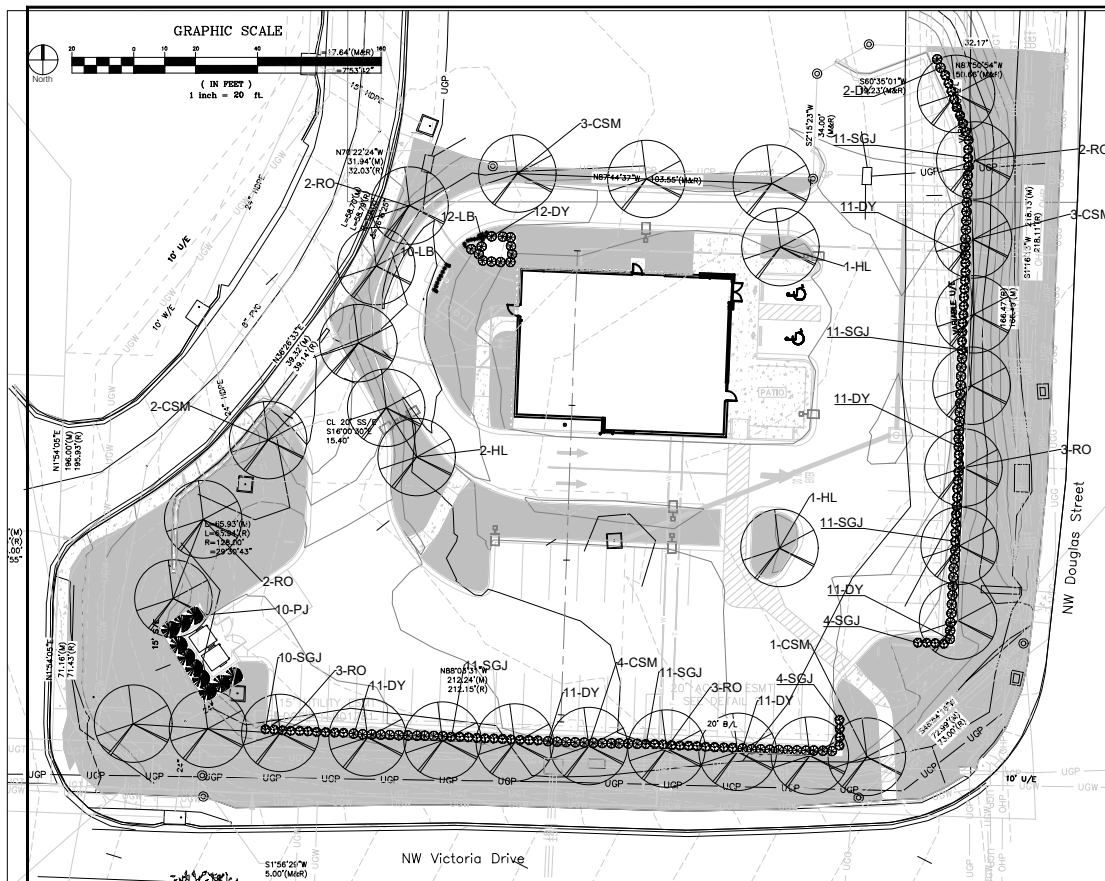
816.781.4200 ■
fax 792.3666

www.agcengineers.com



PANERA BREAD BAKERY - CAFE
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

SITE DEVELOPMENT PLANS
DETAILS



IRRIGATION PERFORMANCE SPECIFICATION:
 THE FOLLOWING CRITERIA SHALL BE CONSIDERED MINIMUM STANDARDS FOR DESIGN AND INSTALLATION OF LANDSCAPE IRRIGATION SYSTEM:
 GENERAL — IRRIGATION SYSTEM TO INCLUDE Drip Irrigation of Shrub Beds ADJACENT TO BUILDINGS, SPRAY HEADS IN THE PARKING ISLANDS, AND ROTORS AROUND THE PERIMETER OF THE PARKING LOTS. HEADS SHALL THROW AWAY FROM BUILDING AND AVOID SPRAYING OVER SIDEWALKS.
 2. IRRIGATION SYSTEM SHALL CONFORM TO ALL INDUSTRY STANDARDS AND ALL FEDERAL, STATE AND LOCAL LAWS GOVERNING DESIGN AND INSTALLATION.
 3. WATER LINE TYPE, SIZE, LOCATION, PRESSURE AND FLOW SHALL BE FIELD VERIFIED PRIOR TO SYSTEM DESIGN AND INSTALLATION.
 4. ALL MATERIALS SHALL BE FROM NEW STOCK FREE OF DEFECTS AND CARRY A MINIMUM ONE YEAR WARRANTY FROM THE DATE OF SUBSTANTIAL COMPLETION.
 5. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED IN SUCH A WAY THAT ALL SYSTEM COMPONENTS OPERATE WITHIN THE GUIDELINES ESTABLISHED BY THE MANUFACTURER.
 6. LAWN AREA AND SHRUB BEDS SHALL BE ON SEPARATE CIRCUITS.
 7. PROVIDE WATER TAP, METER SET, METER VAULT AND ALL OTHER OPERATIONS NECESSARY TO PROVIDE WATER FOR IRRIGATION SHALL CONFORM TO LOCAL WATER GOVERNING AUTHORITY GUIDELINES AND STANDARDS.
 8. BACKFLOW PREVENTION SHALL BE PROVIDED IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
 9. IRRIGATION CONTROLLER TO BE LOCATED IN UTILITY ROOM INSIDE BUILDING, AS IDENTIFIED BY OWNER.
 10. IRRIGATION CONTROLLER STATIONS SHALL BE LABELED TO CORRESPOND WITH THE CIRCUIT IT CONTROLS.
 11. CONTRACTOR SHALL PROVIDE TO THE OWNER WRITTEN OPERATION INFORMATION FOR ALL SYSTEM COMPONENTS.
 12. CONTRACTOR SHALL PROVIDE TO THE OWNER ALL KEYS, ACCESS TOOLS, WRENCHES AND ADJUSTING TOOLS NECESSARY TO GAIN ACCESS, ADJUST AND CONTROL THE SYSTEM.
 13. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS TO THE OWNER FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
 14. AN AUTOMATIC RAIN SHUT-OFF OR MOISTURE DEVICE SHALL BE INSTALLED.
 15. INSTALL SCHEDULE 40 PVC SLEEVES UNDER ALL CURBS, PAVING AND SIDEWALKS. SLEEVES TO BE TWICE THE SIZE OF THE LINE IT HOUSES.
 16. INSTALL MANUAL DRAIN VALVES AT LOWEST POSSIBLE ELEVATION ON IRRIGATION MAIN TO ALLOW GRAVITY DRAINING OF MAIN DURING WINTER MONTHS. PROVIDE QUICK COUPLERS AT MULTIPLE LOCATIONS TO ALLOW FOR EASY "BLOWING OUT" OF LATERAL AND MAIN LINES.
 17. ZONES OR NOZZLES SHALL BE DESIGNED WITH MATCHED PRECIPITATION RATES.
 18. MINIMUM LATERAL DEPTH IS 18" AND MAIN DEPTH IS 18".
 19. SUBMIT DESIGN DRAWING WITH BID TO ALLOW OWNER TO EVALUATE SYSTEM. INCLUDE CUT SHEETS OF ALL COMPONENTS AND ZONE TABLE ILLUSTRATING FLOWS AND ANTICIPATED PRESSURE AT FURTHEST HEAD.
 20. AN "AS-BUILT" SCALED DRAWING SHALL BE PROVIDED TO THE OWNER BY THE CONTRACTOR AND SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
 • AS CONSTRUCTED LOCATION OF ALL COMPONENTS
 • COMPONENT NAME, MANUFACTURER, MODEL INFORMATION, SIZE AND QUANTITY
 • PIPE SIZE AND QUANTITY
 • INDICATION OF SPRINKLER HEAD SPRAY PATTERN
 • CIRCUIT IDENTIFICATION SYSTEM
 • DETAILED METHOD OF WINTERIZING SYSTEM
 SUBMIT "AS-BUILT" DRAWING IN FULL SIZE DRAWING FORM AS WELL AS PDF ELECTRONIC FORMAT. (SCANNING FULL SIZE COPY OF PLAN IS ACCEPTABLE IF IT CAN BE PRINTED TO SCALE)

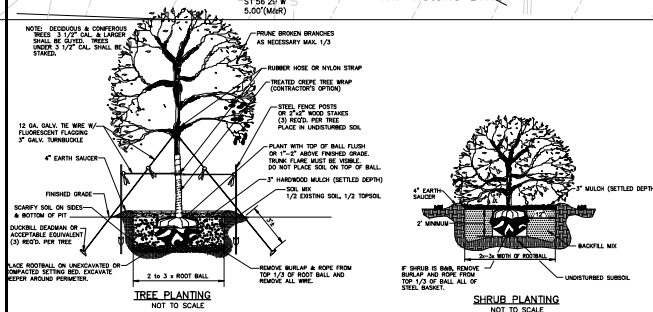
- LANDSCAPING NOTES:**
1. LOCATE ALL UTILITIES BEFORE LANDSCAPE CONSTRUCTION BEGINS.
 2. NOTIFY OWNER REPRESENTATIVE OF ANY LAYOUT DISCREPANCIES.
 3. ALL EXISTING GROUND WITHIN THE LIMITS OF THE CONTRACT, EXCEPT FOR SURFACES OCCUPIED BY BUILDINGS, STRUCTURES, PAVING, AND AS DIRECTED ON THE DRAWINGS AS UNDISTURBED, SHALL BE FILLED WITH SIX INCHES (6") OF TOPSOIL.
 4. ALL DISTURBED AREAS NOT DESIGNATED FOR OTHER PLANTING SHALL BE SODDED. SOD SHALL CONSIST OF 90% TURF TYPE TALL FESCUE 10% BLUEGRASS.
 5. WEED MAT SHALL BE USED UNDER ALL PLANTING AREAS NOT TO BE SODDED OR AS DIRECTED ON THE DRAWINGS. THE MAT SHALL BE COVERED WITH MULCH AND SECURED IN-PLACE BY A SOIL ANCHOR.
 6. QUANTITIES INDICATED IN PLANT LIST ARE FOR CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR PLANT QUANTITIES AS ILLUSTRATED ON THE PLAN.
 7. SHREDDED HARDWOOD MULCH SHALL BE USED AS THREE INCH (3") TOP DRESSING IN ALL PLANT BEDS AND AROUND ALL TREES. SINGLE TREES OR SHRUBS SHALL BE MULCHED TO THE OUTSIDE EDGE OF SAUCER OR LANDSCAPE ISLAND (SEE PLANTING DETAILS).
 8. PROVIDE STEEL EDGING AROUND ALL SHRUB AND GROUNDCOVER BEDS. STEEL EDGING SHALL BE 1/8" x 4" WITH CLIPS AND REBAR STAKES FIVE FEET(5') ON CENTER.
 9. FERTILIZE ALL PLANTS AT THE TIME OF PLANTING WITH TIME-RELEASE FERTILIZER (3-4 SLOW-RELEASE TABLETS/PELLETS).
 10. IF LEANING OCCURS WITHIN ONE YEAR, TREES SHALL BE RE-STAKED (SEE PLANTING DETAILS).
 11. CONTRACTOR SHALL STAKE ALL PLANT MATERIALS PRIOR TO INSTALLATION FOR THE PURPOSE OF DETERMINING CONFLICTS WITH ROCK, UTILITIES, ETC. NO PLANTS CAN BE PLANTED DIRECTLY ON ROCK OR UTILITIES. NOTIFY ARCHITECT/ENGINEER/OWNER AT ONCE IF ANY CONFLICTS OCCUR. CONTRACTOR WILL BE REQUIRED TO ADJUST PLANT LOCATIONS AT NO ADDITIONAL COST.
 12. CONTRACTOR IS RESPONSIBLE FOR WATERING ALL SOD UNTIL ROOTS HAVE KNOTTED INTO SOIL AND OWNER HAS OCCUPIED THE BUILDING.
 13. PROVIDE "GATOR" BAGS ON ALL TREES. REFILL AS NECESSARY UNTIL OWNER OCCUPIES THE BUILDING.
 14. PROVIDE ROLLED EROSION CONTROL MAT, NORTH AMERICAN GREEN SC150BN OR APPROVED EQUAL, OVER ALL NATIVE GRASS SEEDS AREAS.
 15. 1/2" GRAVEL, NOW STRIP — PROVIDE AND INSTALL: 3/4" x 1" STEEL EDGING (SURE-LOC OR EQ.) ANCHOR IN PLACE WITH STAKES PER MANUFACTURER. PROVIDE AND INSTALL HEAVY DUTY WEED BARRIER FABRIC UNDER GRAVEL. PROVIDE AND INSTALL 3" DEPTH OF 1"-2" MULTI-COLORED WASHED RIVER GRAVEL. SUBMIT COLOR SAMPLE TO OWNER FOR APPROVAL.

LANDSCAPE WORKSHEET

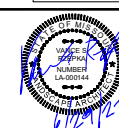
	ORDINANCE REQUIREMENT	REQUIRED FOR THIS SITE	PROPOSED (EXISTING AND NEW LANDSCAPE)
8.720.A.1 Street Frontage Trees (NW Douglas)	1 tree per 30 feet of street frontage	229 ft. of street frontage /30= 8 trees required	8 trees
8.720.A.2 Street Frontage Green Strip (NW Douglas)	20 feet	20 feet	20 feet
8.720.A.3 Street Frontage Shrubs (NW Douglas)	1 shrub per 20 feet of street frontage	229 ft. of street frontage /20= 12 shrubs required	16 shrubs
8.720.A.1 Street Frontage Trees (NW Victoria)	1 tree per 30 feet of street frontage	297 ft. of street frontage /30= 10 trees required	10 new trees
8.720.A.2 Street Frontage Green Strip (NW Victoria)	20 feet	20 feet	20 feet
8.720.A.3 Street Frontage Shrubs (NW Victoria)	1 shrub per 20 feet of street frontage	297 ft. of street frontage/20= 15 shrubs required	15 shrubs
8.790.B.1 Open Yard Shrubs	2 shrubs per 5000 sq. ft. of total lot area excluding building footprint.	23,300 sq. ft./5000 x 2=10 shrubs	12 shrubs
8.790.B.2 Open Groundcover	Open area not covered with other materials shall be covered with sod.		Sod
8.790.B.3 Open Yard Trees	1 tree per 5000 sq. ft. of total lot area excluding building and parking.	23,300 sq. ft./5000=5 trees.	5
8.810.A Parking Lot Landscape Islands	5% of entire parking area (spaces, aisles & drives); 1 island at end of every parking bay, min. 9' wide	25,153 sq.ft. of parking area x .05 = 1,257 sq.ft. of landscape parking lot islands required	1,714 sq.ft.
8.820 Screening of Parking Lot, NW Douglas	12 shrubs per 40 linear feet (must be 2.5 feet tall; berries may be combined with shrubs)	229 linear feet/40 x 12	69 shrubs
8.820 Screening of Parking Lot, NW Victoria	12 shrubs per 40 linear feet (must be 2.5 feet tall; berries may be combined with shrubs)	240 linear feet/40 x 12	72 shrubs

PLANT SCHEDULE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE/REMARKS
TREES				
CSM	13	ACER SACHARUM 'AUTUMN SPLENDOR'	CADDO SUGAR MAPLE	2" CAL. B&B
HL	4	GLEDITSIA TRIACANTHOS 'SKYLINE'	SKYLINE HONEYLOCUST	2" CAL. B&B
RO	15	QUERCUS RUBRA	RED OAK	2" CAL. B&B
PJ	10	JUNIPERUS CHINENSIS 'PERFECTA'	PERFECTA JUNPER	6' HT. B&B
SHRUBS/GRASSES/GROUND COVER				
SGJ	73	JUNIPERUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNIPER	2 GAL. min. 18" HT.
TX	80	TAXUS x MEDIA 'DENSIFORMIS'	DENSIFORMIS YEW	2 GAL. min. 18" HT.
LB	22	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	LITTLE BUNNY FOUNTAIN GRASS	1 GAL.



BY	REVISION	DATE
--	--	--
--	--	--
--	--	--
--	--	--
--	--	--
VSR	FINAL DEVELOPMENT PLAN FOR CITY REVIEW	6/23/2022



PANERA BREAD BAKERY - CAFE
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI
FINAL DEVELOPMENT PLANS
LANDSCAPE PLAN
L100